

APPROVED: STAFF APPROVAL DATE
 APPROVED: ENGINEERING DEPT. APPROVAL DATE
 APPROVED: LANDSCAPE ARCHITECT APPROVAL DATE

BUILDER: PULTE HOMES OF OHIO, LLC.
 ADDRESS: 387 MEDINA ROAD SUITE 1700, MEDINA, OHIO 44256
 PHONE: 330-239-1587

CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING	DELTA
C1	37.82	50.00	19.87	36.93	N38°46'14"W	43°20'30"
C2	9.59	60.00	4.80	9.58	S21°40'38"E	9°09'18"

DIRT CALCULATION
 461 cu. yds. CUT/FILL

INITIAL SITE BENCHMARK:
 SUMMIT COUNTY GEODETIC MONUMENT HU 118
 STATE PLAN COORDINATE
 N 572,745.649
 E 2,250,912.641
 ELEVATION = 1006.912 NAVD 1988

NOTES:
 DOWNSPOUTS TO BE CONNECTED TO STORM SEWER CONNECTION
 SUMP PUMP REQUIRED FOR FOOTER DRAINS

NOTE:
 PURCHASER TO INSTALL MINIMUM OF 3 TREES PER MUNICIPAL REQUIREMENTS

NOTE:
 PURCHASER TO INSTALL LANDSCAPING PER CITY OF HUDSON LANDSCAPING REQUIREMENTS.

NOTE:
 PER ARB, EGRESS WINDOW WELLS SHOULD BE NO MORE THAN 6" ABOVE FINISHED GRADE.

GRAPHIC SCALE



(IN FEET) 1 inch = 20 ft.

PERCENTAGE OF LOT COVERAGE = 28.2%

HOUSE COVERAGE = 3,027 SQ.FT.
 DRIVEWAY COVERAGE = 1,730 SQ.FT.
 WALKWAY COVERAGE = 244 SQ.FT.
 TOTAL COVERAGE = 5,001 SQ.FT.

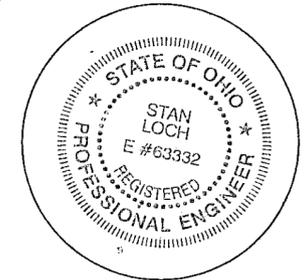
DATE OF SURVEY:
 FEBRUARY 6th, 2019

TYPE OF HOUSE:
 PLAN # EDINBURG
 ELEVATION: FH1A
 GAR: 3 CAR SIDE RIGHT W/9' BASEMENT, GATH RM EXT, SNRM, GST STE & FP

- ① = PROP 1" WAT CONN
- ② = PROP 6" PVC SAS CONN @ 1.0% MIN 10% MAX
- ③ = PROP 6" PVC STS CONN @ 1.0% MIN 10% MAX

LEGEND:

- = PROPOSED TREE
- = EX MONUMENT
- ⊕ = EX CURB INLET
- ⊙ = EX SANITARY MANHOLE
- = EX YARD DRAIN
- ⊙ = IRON PIN SET 5/8"x30" REBAR CAPPED "AZTECH #8249"
- = EXISTING GRADE
- - - = PROPOSED GRADE
- = PROP SILT FENCE
- = INLET PROTECTION
- ⊕ = EX HYDRANT
- ⊕ = EX WATER VALVE
- ⊙ = SUMP PUMP
- ⊙ = EX STORM MANHOLE
- = SWALE
- = FLOW ARROW
- ⊕ = AIR CONDITIONER
- E = ELECTRIC CONNECTION
- G = GAS CONNECTION
- ▽ = OFFSET HUB
- ⊕ = ELECTRIC BOX
- ⊕ = STUB
- ⊕ = LIGHT POST
- ⊕ = TELEPHONE PEDESTAL
- ⊕ = CABLE PEDESTAL
- ⊕ = TRANSFORMER BOX



I CERTIFY THAT THIS PLAN WAS PREPARED BY ME AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

STAN R. LOCH P.E. #63332 DATE 2-8-19

5425 WARNER ROAD - SUITE 12
 VALLEY VIEW, OHIO 44125
 440-602-9071



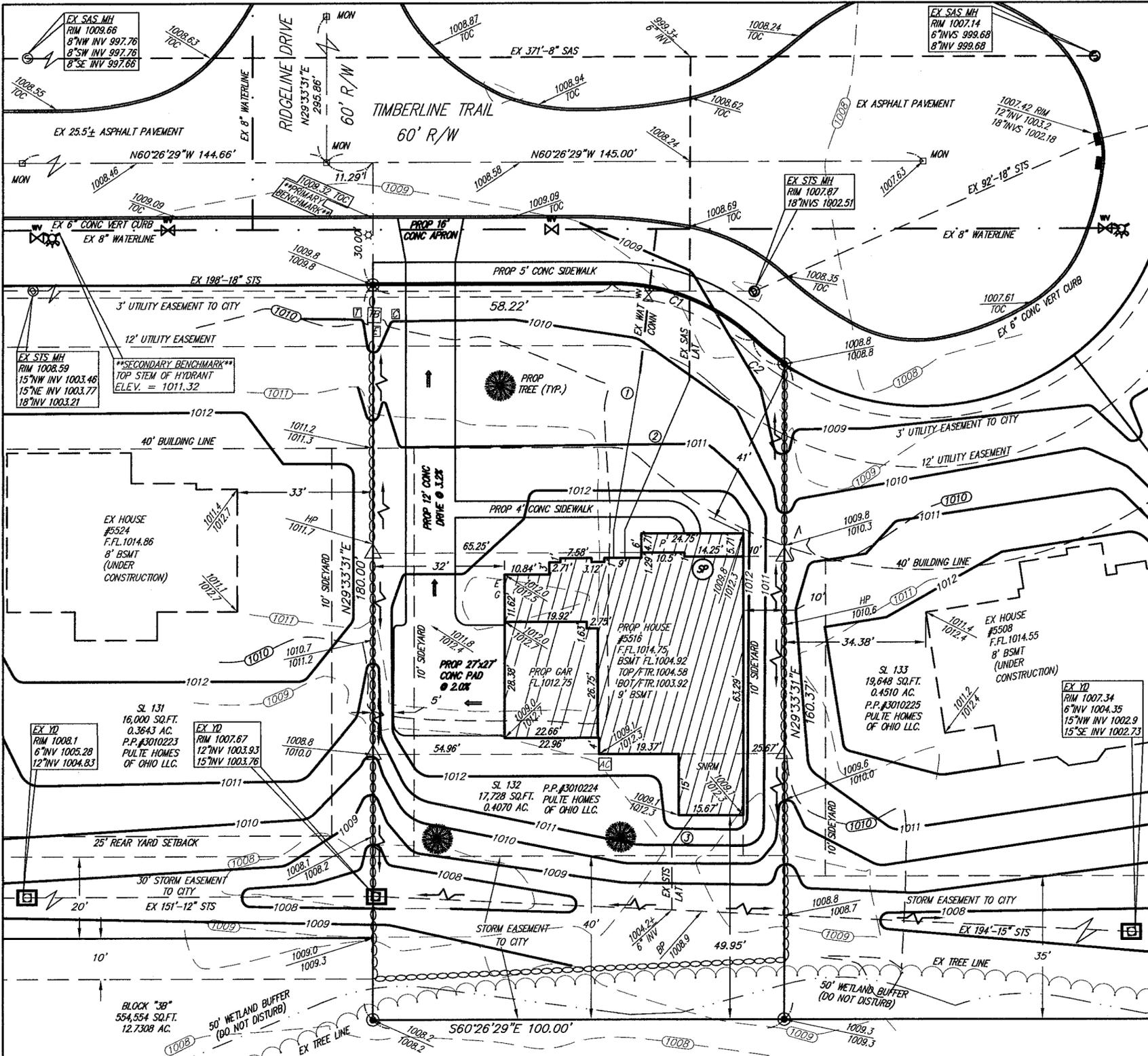
ENGINEERING and SURVEYING
 Civil Engineering - Land Surveying

SHEET CONTENT

SITE PLAN FOR
 PULTE HOMES
 SUBLot 132
 5516 TIMBERLINE TRAIL IN THE
 RESERVE AT RIVER
 OAKS SUBDIVISION PH.3
 SITUATED IN THE
 CITY OF HUDSON
 COUNTY OF SUMMIT
 STATE OF OHIO

REVISIONS			
NO.	DATE	DESCRIPTION	BY

HORIZ. SCALE	VERT. SCALE
1" = 20'	1" = 20'
DRAWN BY	DATE
KEG	2-7-2019
CHECKED BY	DRAWING NO.
SRL	Site-Plans
JOB NO.	SHEET
20142977-3	1 OF 1





FRONT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



PRODUCTION MANAGER
 Jamey Heintzman
 INITIAL RELEASE DATE:
 09/09/2016
 CURRENT RELEASE DATE:
 02/07/2019

REV #	DATE	DESCRIPTION
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GARAGE HANDING
RIGHT

PLAN NAME
EDINBURG
 NPC PLAN NUMBER
2382.300.00 NPC
 LAWSON PLAN ID
LOT 132

SHEET
A3-FH1A
3SB4.1

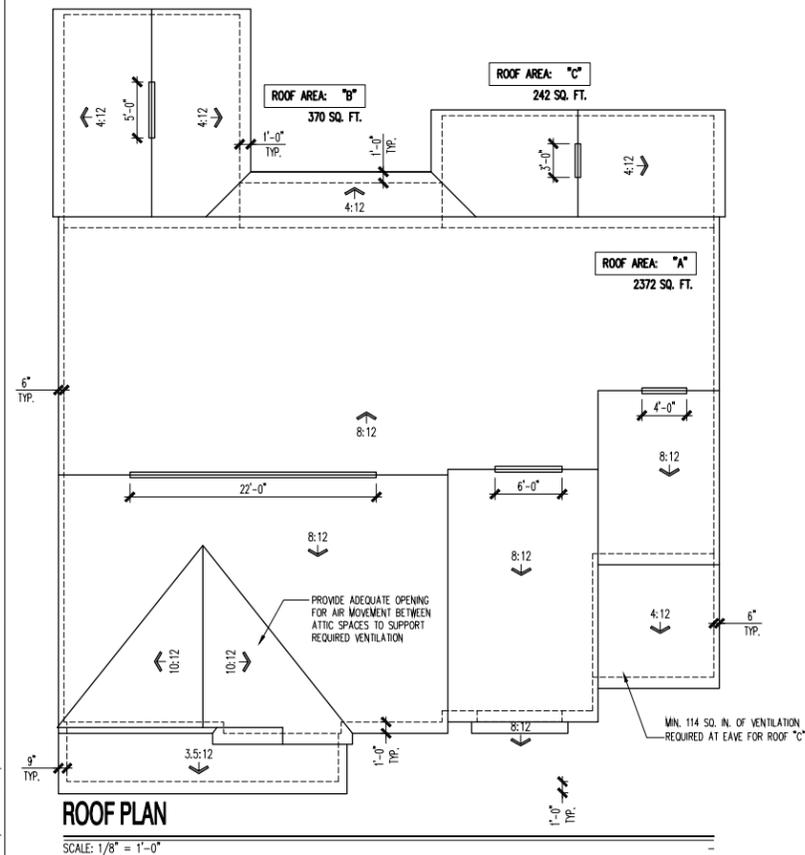
NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

PLOTTED: February 18, 2019 / Annie Lee / 2382-EDINBURG-OH-ROCK-EL-FH1A.DWG

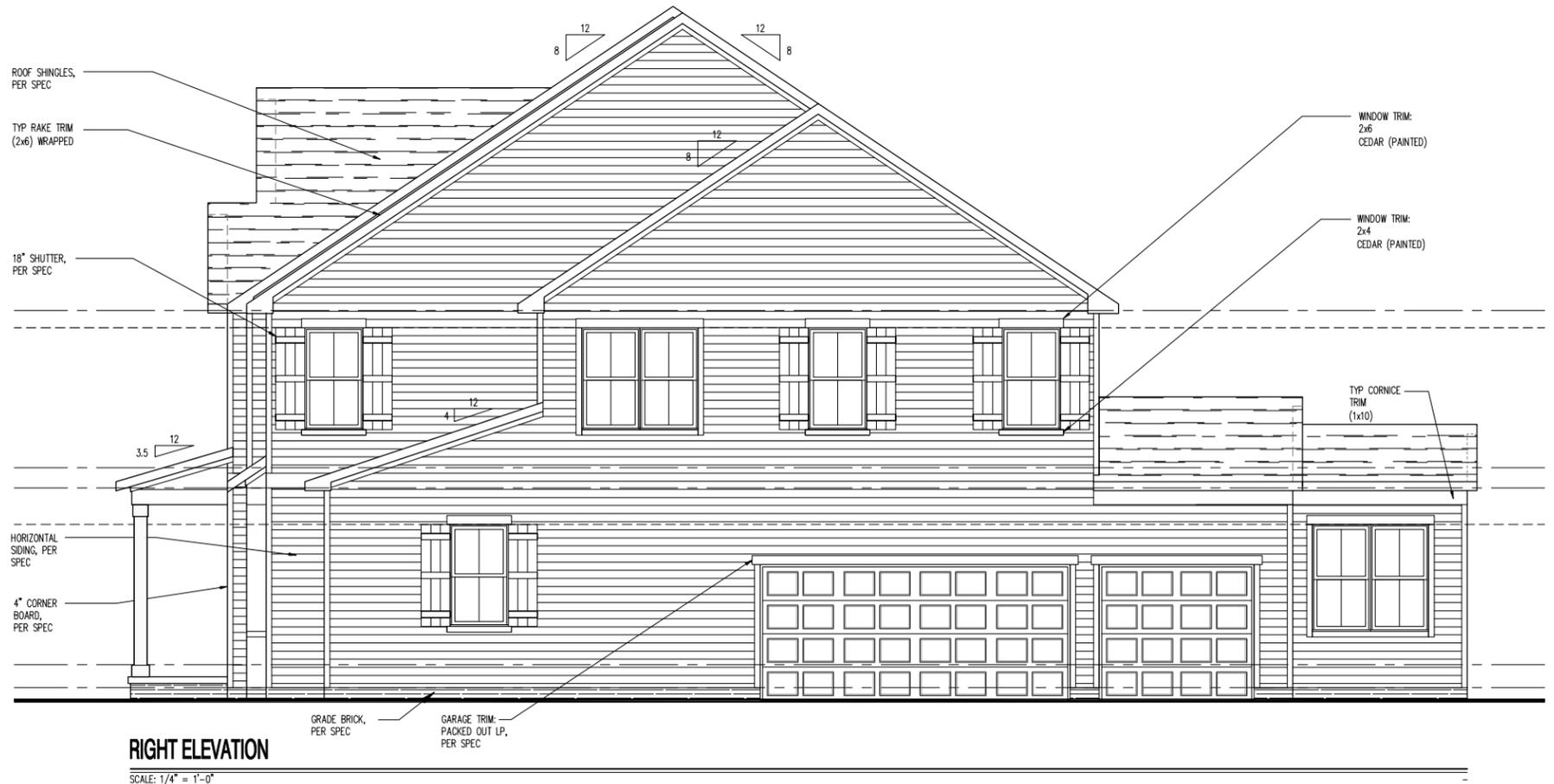
ATTIC VENT SCHEDULE									
ELEVATION FH1A									
ROOF AREA "A"		SQ FTG	2372	AT / NEAR RIDGE			AT / NEAR EAVE		
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT. LARGE (SQ. IN. EACH)	POT. SMALL (SQ. IN. EACH)	RIDGE VENT (SQ. IN. PER SQ.)	EAVE VENT (SQ. IN. EACH)	CONT. VENT (SQ. IN. PER SQ.)	
HIGH - POT VENT ONLY	3.16 - 3.95	3.81	47.78	9	0				
AT EAVE	4.74 - 3.95	4.17	52.22				0	40.00	
TOTAL (MIN)	7.91 - 7.91	7.98	100.00						
HIGH - RIDGE VENT	3.16 - 3.95	4.00	49.83	0	0		32.00		
AT EAVE	4.74 - 3.95	4.03	50.17				0	58.00	
TOTAL (MIN)	7.91 - 7.91	8.03	100.00	ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE					

ATTIC VENT SCHEDULE									
ELEVATION FH1B									
ROOF AREA "B"		SQ FTG	370	AT / NEAR RIDGE			AT / NEAR EAVE		
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT. LARGE (SQ. IN. EACH)	POT. SMALL (SQ. IN. EACH)	RIDGE VENT (SQ. IN. PER SQ.)	EAVE VENT (SQ. IN. EACH)	CONT. VENT (SQ. IN. PER SQ.)	
HIGH - POT VENT ONLY	0.49 - 0.62	0.85	50.41	2	0				
AT EAVE	0.74 - 0.62	0.83	49.59				0	12.00	
TOTAL (MIN)	1.23 - 1.23	1.68	100.00						
HIGH - RIDGE VENT	0.49 - 0.62	0.63	50.00	0	0		5.00		
AT EAVE	0.74 - 0.62	0.63	50.00				0	9.00	
TOTAL (MIN)	1.23 - 1.23	1.25	100.00	ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE					

ATTIC VENT SCHEDULE									
ELEVATION FH1C									
ROOF AREA "C"		SQ FTG	242	AT / NEAR RIDGE			AT / NEAR EAVE		
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT. LARGE (SQ. IN. EACH)	POT. SMALL (SQ. IN. EACH)	RIDGE VENT (SQ. IN. PER SQ.)	EAVE VENT (SQ. IN. EACH)	CONT. VENT (SQ. IN. PER SQ.)	
HIGH - POT VENT ONLY	0.32 - 0.40	0.00	#####	0	0				
AT EAVE	0.48 - 0.40	0.00	####				0	0.00	
TOTAL (MIN)	0.81 - 0.81	0.00	#####	ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE					
HIGH - RIDGE VENT	0.32 - 0.40	0.00	#####	0	0		0.00		
AT EAVE	0.48 - 0.40	0.00	####				0	0.00	
TOTAL (MIN)	0.81 - 0.81	0.00	#####	ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE					



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

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Midwest Zone Office
1900 E. Golf Road, - Suite 300
Schaumburg, Illinois 60173



Elevation Farmhouse 1A
3 Car Side Entry
Front, Side and Rear Elevations, Roof Plan And Ventilation Schedule

PRODUCTION MANAGER
Jamey Heintzman
INITIAL RELEASE DATE:
09/09/2016
CURRENT RELEASE DATE:
02/07/2019

REV #	DATE	DESCRIPTION
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GARAGE HANDING
RIGHT

PLAN NAME
EDINBURG
NPC PLAN NUMBER
2382.300.00 NPC
LAWSON PLAN ID
LOT 132

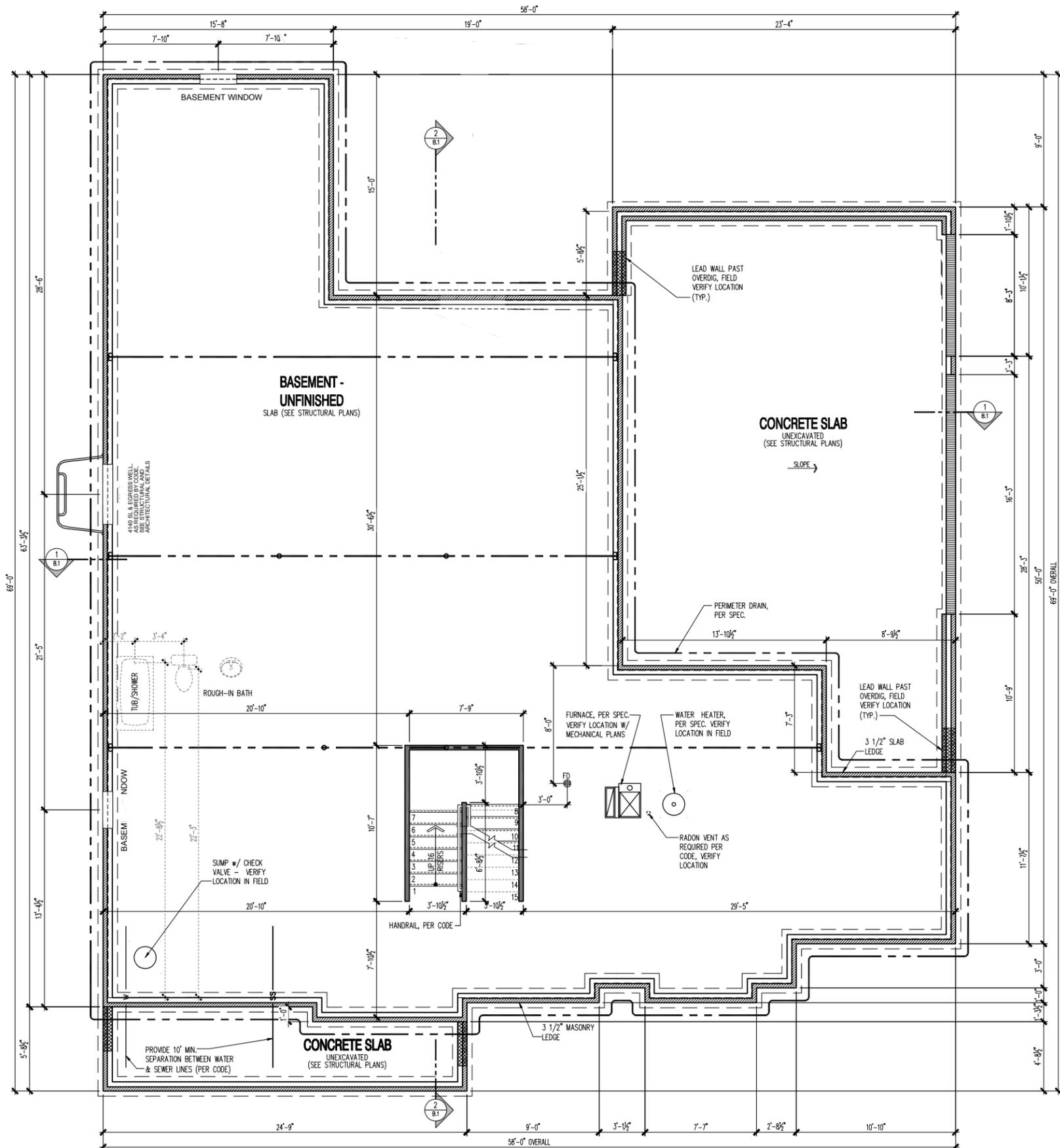
SHEET
A3-FH1A
3SB42

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

FOUNDATION NOTES

GENERAL SPECIFICATIONS

- WHERE DISCREPANCIES BETWEEN SOILS REPORT AND STRUCTURAL DRAWINGS OCCUR, CONTACT THE STRUCTURAL ENGINEER.
- FINISH GRADE SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE.
- SURFACE WATER TO DRAIN AWAY FROM STRUCTURE. THE GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10 FEET (2% FOR IMPERVIOUS SURFACES) IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES.
- GARAGE SLAB SHALL SLOPE A MIN. OF 2" AWAY FROM STRUCTURE.
- CONCRETE STOOPS AND PORCH/PATIO SLABS SHALL SLOPE A MIN. OF 1/4" PER FOOT AWAY FROM STRUCTURE.
- PROVIDE BEARING LEDGE FOR MASONRY AS INDICATED BY STRUCTURAL DRAWINGS.
- FOR ADDITIONAL INFORMATION SEE STRUCTURAL DRAWINGS AND NOTES



GRADE BRICK FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

PLOTTED: February 15, 2019 / Annie Lee / 2382-EDINBURG-OH-ROCK-PLANNING

Midwest Zone Office
1900 E. Golf Road, - Suite 300
Schaumburg, Illinois 60173



Grade Brick Foundation Plan

PRODUCTION MANAGER
Jamey Heintzman
INITIAL RELEASE DATE:
09/09/2016
CURRENT RELEASE DATE:
02/07/2019

REV #	DATE	DESCRIPTION
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GARAGE HANDING
RIGHT

PLAN NAME
EDINBURG
NPS PLAN NUMBER
2382.300.00 NPC
LAWSON PLAN ID
LOT 132

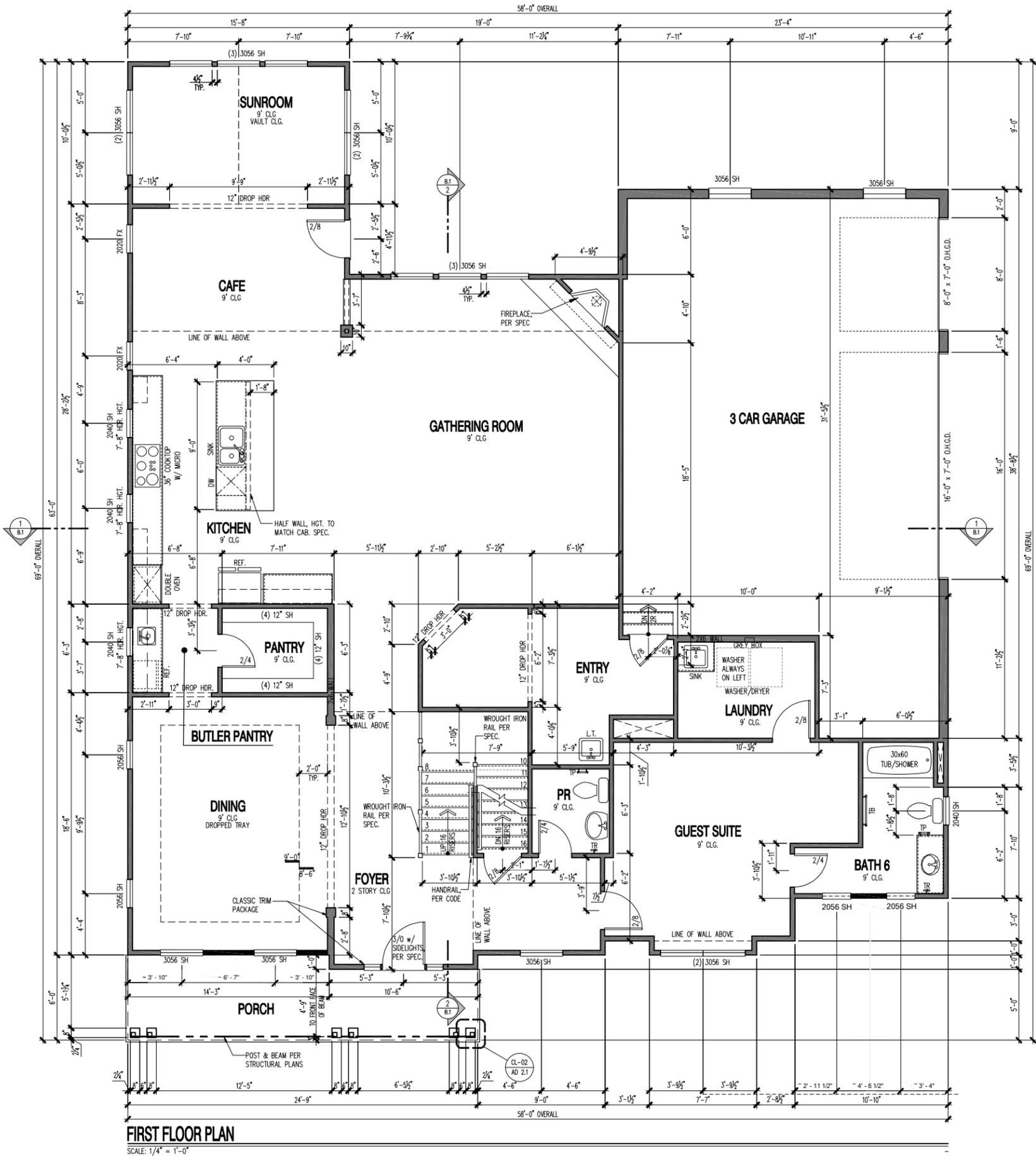
SHEET
A0
G-1.1

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS (c) Copyright: Pulte Home Corporation - 2019

FLOORPLAN NOTES

GENERAL SPECIFICATIONS

1. ALL ANGLED WALLS (OTHER THAN THOSE AT 90°) SHALL BE CONSIDERED TO BE AT 45° UNLESS NOTED OTHERWISE.
2. ALL NON-BEARING WALLS TO BE 2x4 STUDS AT 24" O.C. KITCHEN AND PULTE PLANNING CENTER WALLS, WHERE CABINETS ARE TO BE HUNG, SHALL BE FRAMED AT 16" O.C.
3. PROVIDE A 1-3/8" OR LARGER SOLID CORE WOOD DOOR, SOLID CORE STEEL DOOR OR HONEYCOMB CORE STEEL DOOR, OR 20 MINUTE FIRE-RATED DOOR EQUIPPED WITH A SELF-CLOSING DEVICE BETWEEN GARAGE AND LIVING SPACE IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
4. PROVIDE FIRE SEPARATION BETWEEN DWELLING AND GARAGE IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
5. PROVIDE 1/2" DRYWALL AT WALLS, CEILING AND UNDERSIDE OF STAIR ASSEMBLY ACCESSIBLE SPACE UNDER STAIRS IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
6. ALL GLAZING INSTALLED IN HAZARDOUS LOCATIONS AS DEFINED BY THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE SHALL HAVE A PERMANENT DESIGNATION OR LABEL AFFIXED TO EACH PANE OF GLAZING BEARING THE MANUFACTURER'S LABEL SHOWING THE TYPE AND THICKNESS OF GLASS. FOR OTHER THAN TEMPERED GLASS, LABELS MAY BE OMITTED PROVIDED THE BUILDING OFFICIAL APPROVES THE USE OF A CERTIFICATE, AFFIDAVIT OR OTHER EVIDENCE CONFIRMING COMPLIANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
7. ALL BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT NOT LESS THAN 72" ABOVE THE FLOOR PER THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
8. PROVIDE 1/2" MAX. SHEATHING WITH TAPED JOINTS AS DRAFT STOP WITH BATT INSULATION FILLING ALL CAVITIES AT EXTERIOR WALLS ADJACENT TO TUBS AND SHOWERS.
9. ALL REQUIRED GUARDRAILS AND GUARDWALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. GUARDS SHALL NOT BE LESS THAN 36" HIGH MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE AND NOT LESS THAN 34" HIGH MEASURED VERTICALLY FROM THE SLOPED PLANE THAT ADJOINS THE TREAD NOSINGS.
10. ALL REQUIRED HANDRAILS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH 4 OR MORE RISERS. HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34" OR MORE THAN 38" AS MEASURED VERTICALLY FROM THE SLOPED PLANE THAT ADJOINS THE TREAD NOSINGS AND SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE NOT LESS THAN 1-1/2" BETWEEN THE WALL AND THE HANDRAIL.
11. BASEMENTS, HABITABLE ATTICS AND ALL SLEEPING ROOMS MUST HAVE AT LEAST ONE EMERGENCY ESCAPE IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. THE EMERGENCY ESCAPE MUST HAVE A 5.7 SF CLEAR OPENING AND A SILL HEIGHT OF NO MORE THAN 44" ABOVE FINISHED FLOOR. ESCAPE WINDOWS AT GRADE LEVEL MUST HAVE A MIN. OF 5.0 SF OF OPEN AREA. REQUIRED CLEAR OPENINGS SHALL BE A MINIMUM OF 24" HIGH AND 20" WIDE. EMERGENCY ESCAPES WITH A FINISHED SILL HEIGHT BELOW THE ADJACENT GRADE MUST HAVE A WINDOW WELL AND LADDER IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES.
12. FOR ADDITIONAL INFORMATION SEE STRUCTURAL DRAWINGS AND NOTES.



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

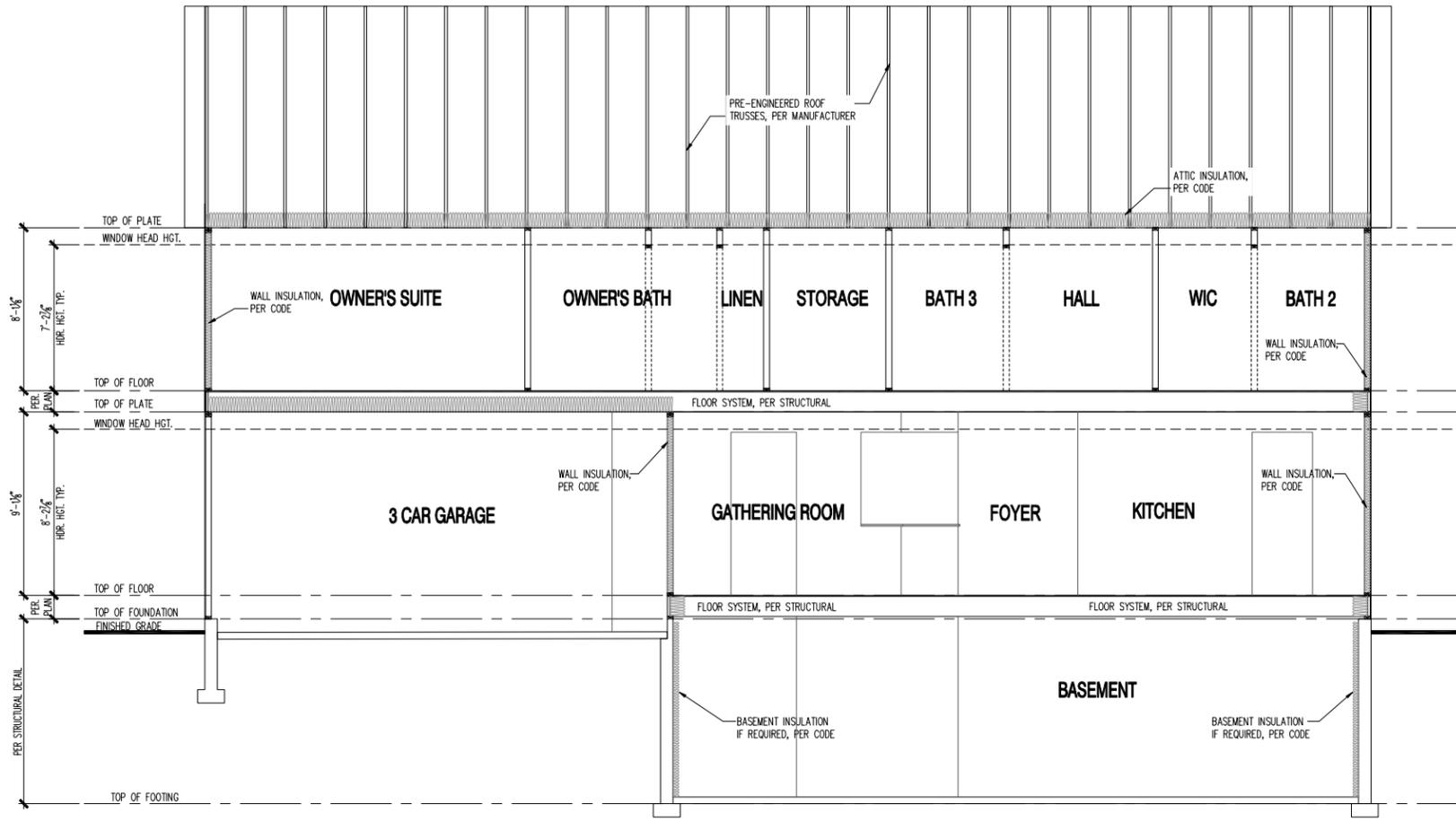
PRODUCTION MANAGER	Jammy Heintzman
INITIAL RELEASE DATE:	09/09/2016
CURRENT RELEASE DATE:	02/07/2019

REV #	DATE	DESCRIPTION

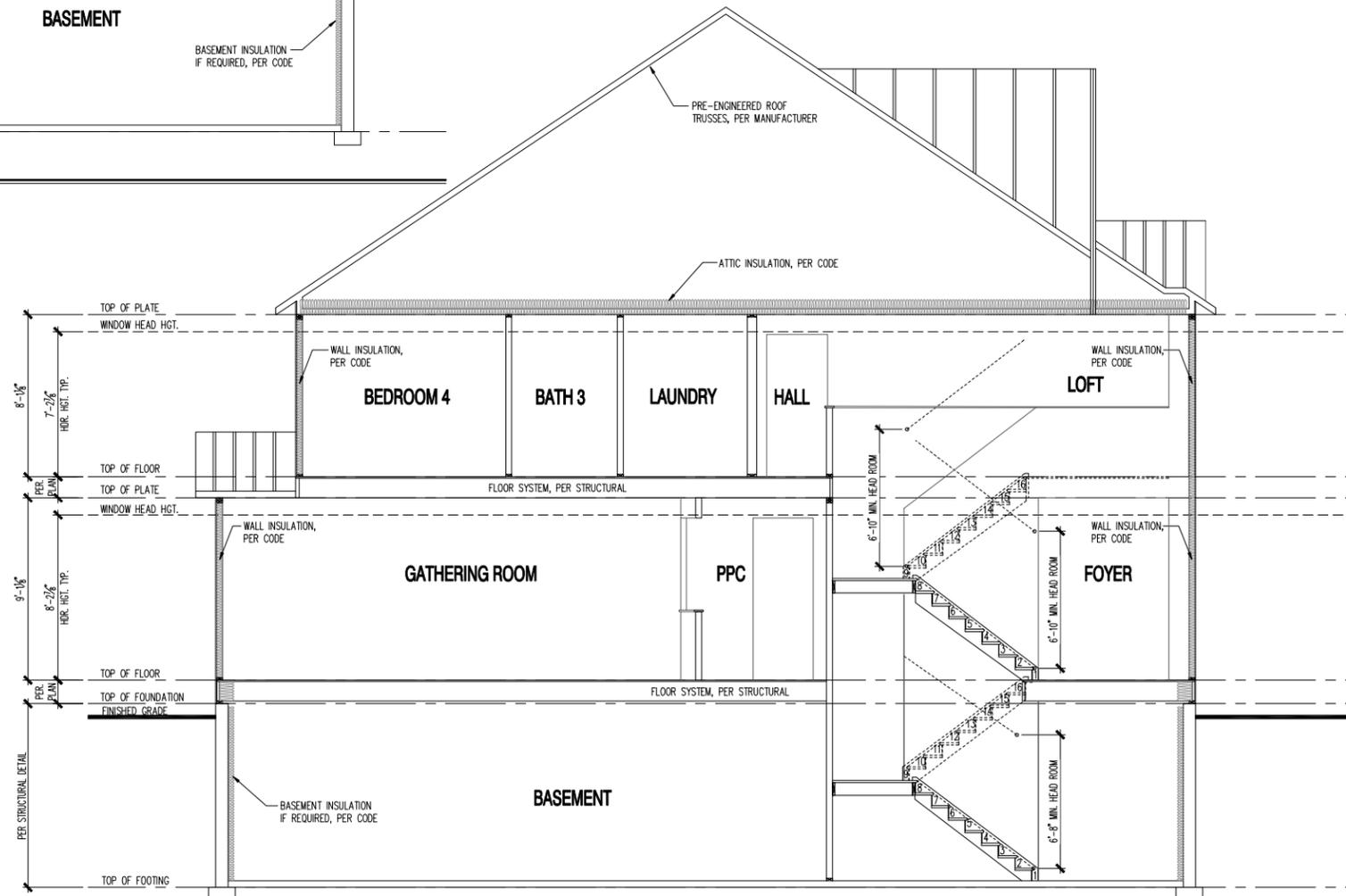
GARAGE HANDING
RIGHT

PLAN NAME
EDINBURG
NPC PLAN NUMBER
2382.300.00 NPC
LAWSON PLAN ID
LOT 132

SHEET
A1
4-1.1



1 BASEMENT BUILDING SECTION 1
SCALE: 1/4" = 1'-0"

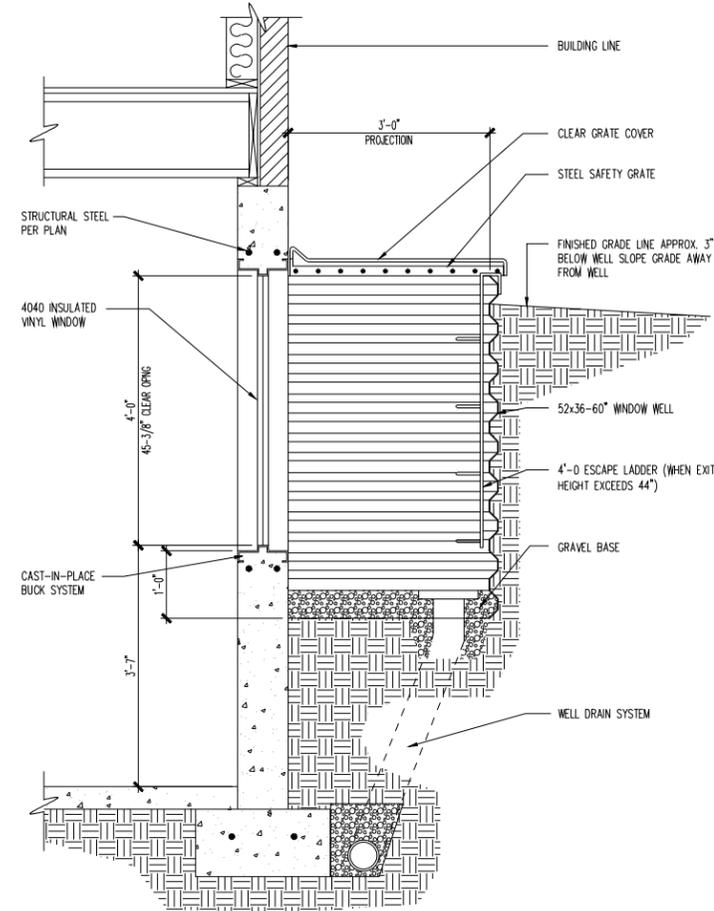


2 BASEMENT BUILDING SECTION 2
SCALE: 1/4" = 1'-0"

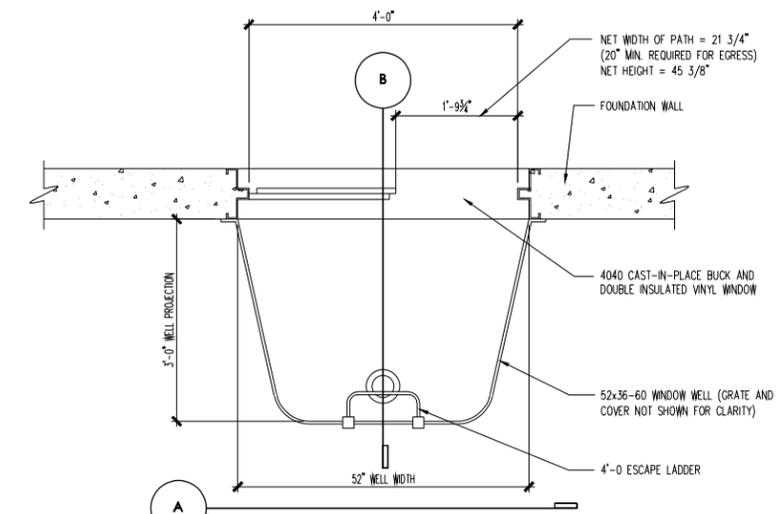


PRODUCTION MANAGER Jarney Fleishman INITIAL RELEASE DATE: 09/09/2016 CURRENT RELEASE DATE: 02/07/2019	
REV #	DATE / DESCRIPTION
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GARAGE HANDING RIGHT	
PLAN NAME EDINBURG NPC PLAN NUMBER 2382.300.00 NPC LAWSON PLAN ID LOT 132	
SHEET A2 B.1	

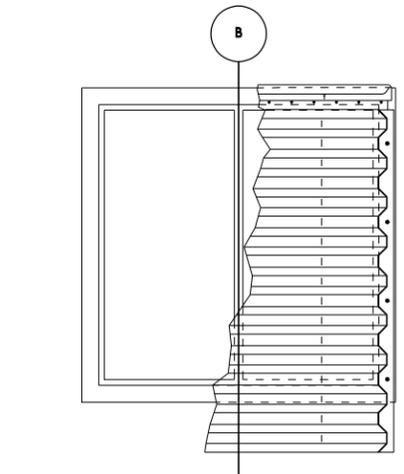
NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS



B TYPICAL ESCAPE WINDOW WELL
SC. 3/4" = 1'-0" DETAIL SECTION



M-06 TYPICAL ESCAPE WINDOW WELL
SC. 3/4" = 1'-0" PLAN VIEW



A TYPICAL ESCAPE WINDOW WELL
SC. 3/4" = 1'-0" ELEVATION

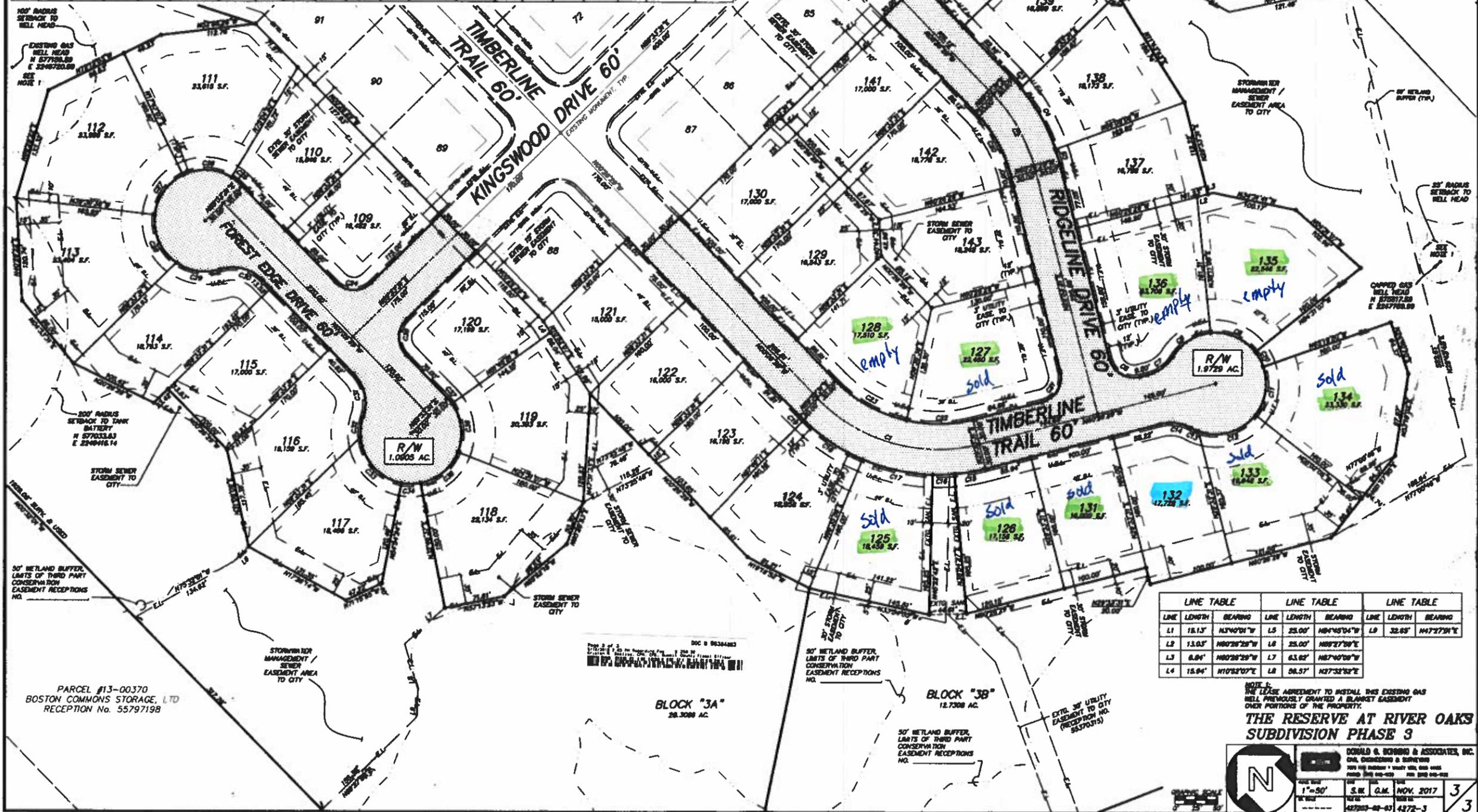
NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

REV #	DATE	DESCRIPTION
03/17/2014		GENERAL UPDATES
04/02/2014		INT. TRIM & MISC
05/07/2014		GENERAL REDLINES
07/18/2014		DETAILS & FIXES
09/09/2014		DET's E121-E122
09/24/2014		DET's IT-11/IT-22
10/02/2014		DET IT-22
10-22-2014		DET M-07

PRODUCTION MANAGER	RICK STARKEY
INITIAL RELEASE DATE:	4/8/2013
CURRENT RELEASE DATE:	03/17/2014
PLAN NAME	
NPC PLAN NUMBER	
LAWSON PLAN ID	
SHEET	AD
	3.7

CURVE TABLE					CURVE TABLE					CURVE TABLE										
CURVE	RADIUS	LENGTH	DANGHT	CHORD	BEARING	DELTA	CURVE	RADIUS	LENGTH	DANGHT	CHORD	BEARING	DELTA	CURVE	RADIUS	LENGTH	DANGHT	CHORD	BEARING	DELTA
C1	300.00'	308.44'	118.47'	300.00'	N37°28'29"W	89°08'08"	C11	60.00'	60.00'	32.78'	67.57'	N37°28'29"W	89°08'08"	C21	30.00'	47.12'	30.00'	42.43'	N74°37'31"E	89°08'08"
C2	300.00'	104.72'	83.80'	103.53'	N1°43'37"E	39°08'08"	C12	60.00'	78.17'	43.40'	70.35'	N37°28'29"W	71°40'48"	C22	170.00'	60.35'	40.85'	78.82'	N47°37'31"E	89°08'08"
C3	300.00'	17.85'	8.82'	17.85'	N01°46'43"E	4°39'25"	C13	60.00'	8.82'	4.88'	8.82'	N37°28'29"W	89°08'08"	C23	170.00'	87.88'	80.22'	96.32'	N47°37'31"E	89°08'08"
C4	300.00'	83.80'	42.88'	83.18'	N1°43'37"E	39°08'08"	C14	60.00'	37.82'	18.87'	38.87'	N37°28'29"W	43°29'25"	C24	30.00'	47.12'	30.00'	42.43'	N74°37'31"E	89°08'08"
C5	300.00'	18.88'	8.82'	18.88'	N37°11'37"E	4°13'47"	C15	300.00'	37.82'	18.87'	37.82'	N37°28'29"W	89°08'08"	C25	60.00'	18.18'	7.82'	18.12'	N37°28'29"W	89°08'08"
C6	30.00'	47.12'	30.00'	42.43'	N74°37'31"E	89°08'08"	C16	300.00'	85.88'	13.00'	85.88'	N47°37'31"E	89°08'08"	C26	60.00'	60.00'	32.78'	67.57'	N37°28'29"W	89°08'08"
C7	60.00'	37.82'	18.87'	38.87'	N37°28'29"W	43°29'25"	C17	300.00'	85.18'	43.00'	84.78'	N47°37'31"E	89°08'08"	C27	60.00'	60.00'	32.78'	67.57'	N37°28'29"W	89°08'08"
C8	60.00'	84.42'	38.84'	83.88'	N77°47'38"W	81°38'08"	C18	300.00'	85.18'	43.00'	84.78'	N47°37'31"E	89°08'08"	C28	60.00'	64.91'	38.04'	81.78'	N72°28'29"W	81°38'08"
C9	60.00'	60.00'	32.78'	67.57'	N37°28'29"W	89°08'08"	C19	300.00'	8.82'	4.88'	8.82'	N37°28'29"W	89°08'08"	C29	60.00'	84.38'	33.21'	82.82'	N37°28'29"W	89°08'08"
C10	60.00'	30.00'	18.14'	30.00'	N18°04'31"E	18°11'17"	C20	170.00'	88.00'	45.85'	88.00'	N1°43'37"E	39°08'08"	C30	60.00'	84.88'	30.82'	82.82'	N37°28'29"W	89°08'08"

CURVE TABLE						
CURVE	RADIUS	LENGTH	DANGHT	CHORD	BEARING	DELTA
C31	60.00'	64.88'	30.82'	62.82'	N37°28'29"W	89°08'08"
C32	60.00'	24.14'	12.82'	23.87'	N37°28'29"W	89°08'08"
C33	60.00'	78.00'	40.88'	72.88'	N37°28'29"W	74°37'31"
C34	60.00'	83.17'	11.73'	83.83'	N37°28'29"W	89°08'08"
C35	60.00'	60.00'	32.78'	67.57'	N37°28'29"W	89°08'08"
C36	60.00'	60.00'	32.78'	67.57'	N37°28'29"W	89°08'08"
C37	60.00'	8.82'	4.83'	8.82'	N37°28'29"W	89°08'08"
C38	30.00'	47.12'	30.00'	42.43'	N74°37'31"E	89°08'08"

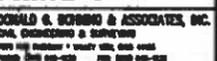


LINE TABLE		LINE TABLE		LINE TABLE	
LINE	LENGTH	BEARING	LINE	LENGTH	BEARING
L1	18.13'	N37°08'17"W	L5	25.00'	N47°48'04"W
L2	13.03'	N02°28'29"W	L6	25.00'	N47°27'00"E
L3	8.84'	N02°28'29"W	L7	63.85'	N37°40'00"W
L4	18.94'	N10°32'07"E	L8	58.57'	N37°32'32"E

NOTE: THE LEASE AGREEMENT TO INSTALL THIS EXISTING GAS WELL PREVIOUSLY GRANTED A BLANKET EASEMENT OVER PORTIONS OF THE PROPERTY.

THE RESERVE AT RIVER OAKS SUBDIVISION PHASE 3





DONALD S. BURDICK & ASSOCIATES, INC.
 CIVIL ENGINEERING & SURVEYING
 1000 W. 10TH STREET, SUITE 200
 MINNEAPOLIS, MN 55426-1000
 TEL: 612-338-4400 FAX: 612-338-4401

DATE: 11/15/17
 S.H. G.M. NOV. 2017
 447203-02-03 4472-3

PARCEL #13-00370
 BOSTON COMMONS STORAGE, LTD
 RECEPTION No. 55797198

BLOCK "3A"
 26,308 AC.

BLOCK "3B"
 12,708 AC.

BLOCK "3C"
 22,883 AC.
 (RESERVED FOR FUTURE DEVELOPMENT)



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"

PATTEN, Schaller, JJ, SPE / Knappek Builders / 1101-12000000-00-1000-01-00000000

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Midwest Zone Office
 1900 E. Golf Road, Suite 300
 Schaumburg, Illinois 60173



Elevation Craftsman 2G
 3 Car Side Entry
 Front, Side and Rear Elevations, Roof Plan And Ventilation Schedule

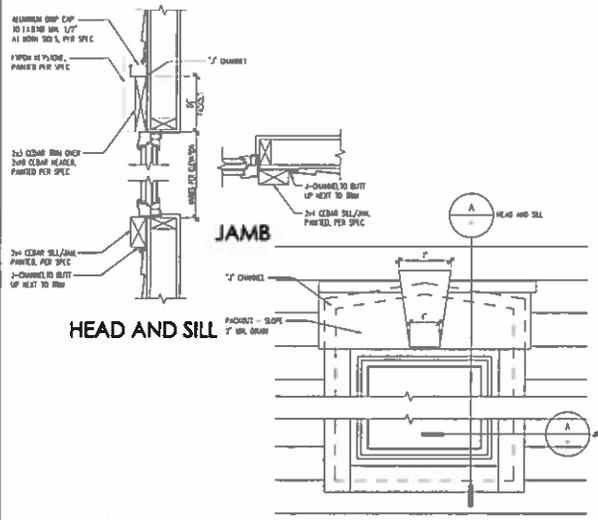
PROJECT NUMBER	1101-12000000-00-1000-01-00000000
DATE	10/20/2014
PROJECT NAME	1101-12000000-00-1000-01-00000000
PROJECT ADDRESS	1101-12000000-00-1000-01-00000000
PROJECT CITY	1101-12000000-00-1000-01-00000000
PROJECT STATE	1101-12000000-00-1000-01-00000000
PROJECT ZIP	1101-12000000-00-1000-01-00000000

REV	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

EDINBURG
 REALTY GROUP
 2882.300.00 NPC
 10/1/15

SHEET
A3-CR2G
 338.1

126



WINDOW TRIM DETAIL
SCALE: 1/2" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

Cleveland Division
387 Medina Rd. Suite 1700
Medina, OH 44256



Front Elevation - Elev. 3 - Emp-Country
Front and Rear Elevations

PRODUCTION SHEETS

NO.	DATE	DESCRIPTION
1	12/28/2009	REV A/B/C / MODIFIED
2		
3		
4		
5		
6		
7		
8		
9		
10		

PROJECT TYPE: **SINGLE FAMILY**

PROPERTY AND: **RIVER OAKS LOT 126**

OWNER: **GARAGE RIGHT**

PREPARED BY: **TBD**

DESIGNED BY: **CRAWFORD**

DATE: **TBD**

PROJECT PLAN NUMBER: **PLAN 2843**

7.09a2

SHEET: Elevation 3, 3E1 / Date: 12/28/09 / File: 2009-12-28-3E1.dwg

ENGINEER OF RECORD: VALERIE A. JULE, ENGINEERING ARCHITECT OF RECORD: GORDON DESIGN - ARCHITECTS

128



128

132



135

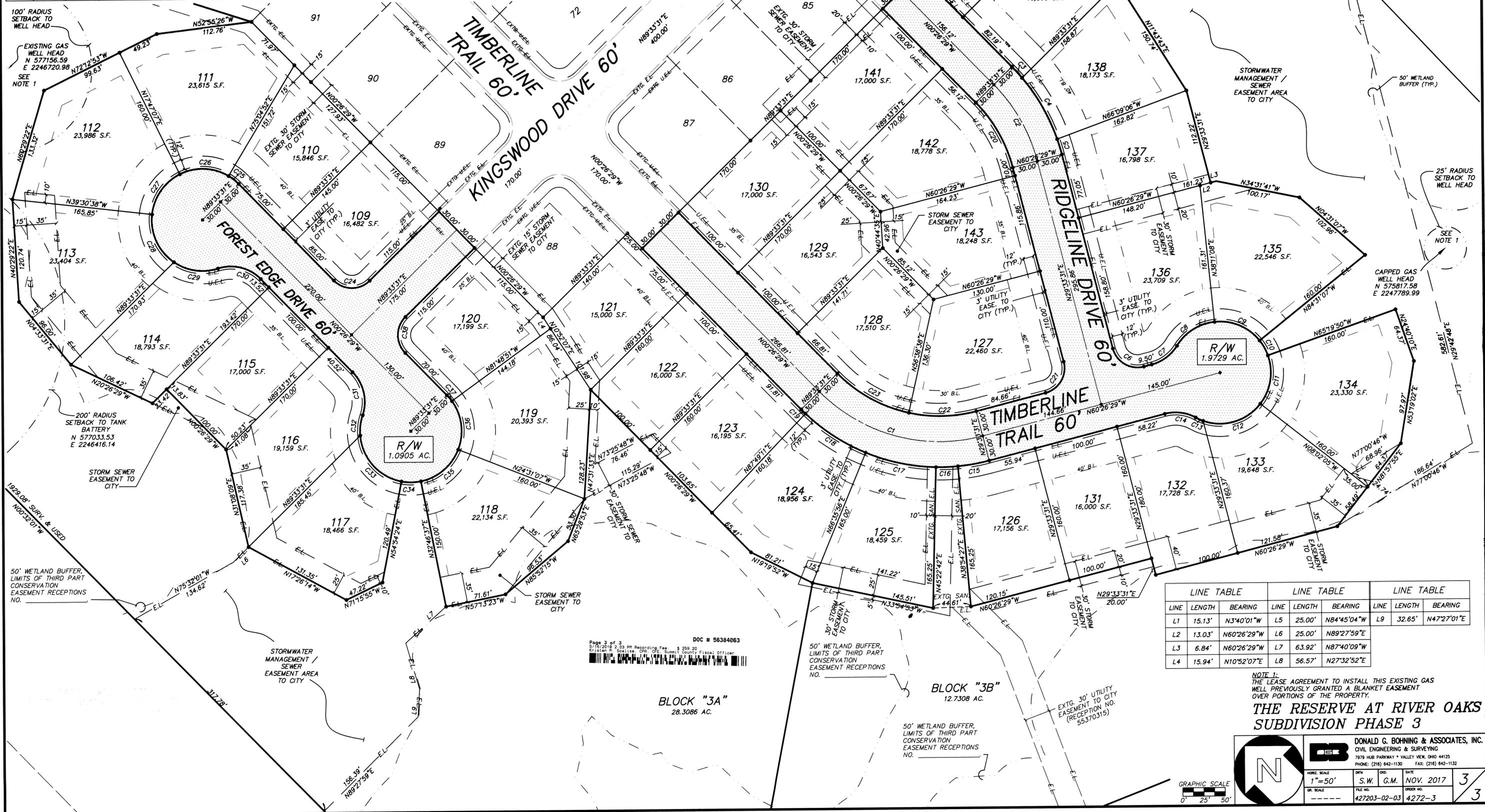


136



CURVE TABLE						CURVE TABLE						CURVE TABLE								
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA	CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA	CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	200.00'	209.44'	115.47'	200.00'	N30°26'29"W	60°00'00"	C11	60.00'	60.00'	32.78'	57.53'	N53°19'02"E	57°17'45"	C21	30.00'	47.12'	30.00'	42.43'	N74°33'31"E	90°00'00"
C2	200.00'	104.72'	53.59'	103.53'	N14°33'31"E	30°00'00"	C12	60.00'	75.17'	43.42'	70.35'	N62°08'41"W	71°46'48"	C22	170.00'	80.36'	40.95'	79.62'	N46°53'56"W	27°05'07"
C3	230.00'	17.82'	8.92'	17.82'	N01°46'43"E	4°26'25"	C13	60.00'	9.59'	4.80'	9.58'	N21°40'38"W	9°09'18"	C23	170.00'	97.66'	50.22'	96.32'	N16°53'56"W	32°54'53"
C4	230.00'	83.62'	42.28'	83.16'	N14°24'50"E	20°49'49"	C14	50.00'	37.82'	19.87'	36.93'	N38°46'14"W	43°20'30"	C24	30.00'	47.12'	30.00'	42.43'	N45°26'29"W	90°00'00"
C5	230.00'	18.99'	9.50'	18.98'	N27°11'37"E	4°43'47"	C15	230.00'	37.53'	18.81'	37.49'	N55°46'01"W	9°20'56"	C25	60.00'	15.16'	7.62'	15.12'	N07°40'49"W	14°28'39"
C6	30.00'	47.12'	30.00'	42.43'	N15°26'29"W	90°00'00"	C16	230.00'	25.98'	13.00'	25.96'	N47°51'25"W	6°28'15"	C26	60.00'	60.00'	32.78'	57.53'	N43°34'01"W	57°17'45"
C7	50.00'	37.82'	19.87'	36.93'	N82°06'44"W	4°32'03"	C17	230.00'	85.19'	43.09'	84.70'	N34°00'41"W	21°73'14"	C27	60.00'	60.00'	32.78'	57.53'	N79°08'15"E	57°17'45"
C8	60.00'	54.42'	29.24'	52.58'	N77°47'56"W	51°58'07"	C18	230.00'	85.19'	43.09'	84.70'	N12°47'27"W	21°73'14"	C28	60.00'	64.91'	36.04'	61.79'	N19°29'56"E	61°58'49"
C9	60.00'	60.00'	32.78'	57.53'	N23°10'00"W	57°17'45"	C19	230.00'	6.98'	3.49'	6.98'	N01°18'39"W	1°44'20"	C29	60.00'	54.36'	29.21'	52.52'	N37°26'55"W	51°54'51"
C10	60.00'	20.09'	10.14'	20.00'	N15°04'31"E	19°11'17"	C20	170.00'	89.01'	45.55'	88.00'	N14°33'31"E	30°00'00"	C30	50.00'	54.95'	30.62'	52.22'	N31°55'25"W	62°57'52"

CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C31	50.00'	54.95'	30.62'	52.22'	N31°02'27"E	62°57'52"
C32	60.00'	24.14'	12.23'	23.97'	N50°59'56"E	23°02'53"
C33	60.00'	78.09'	45.68'	72.69'	N02°11'26"E	74°34'06"
C34	60.00'	23.17'	11.73'	23.03'	N46°09'30"W	22°07'46"
C35	60.00'	60.00'	32.78'	57.53'	N85°52'15"W	57°17'45"
C36	60.00'	60.00'	32.78'	57.53'	N36°50'00"E	57°17'45"
C37	60.00'	9.03'	4.53'	9.03'	N03°52'19"E	8°37'37"
C38	30.00'	47.12'	30.00'	42.43'	N44°33'31"E	90°00'00"



100' RADIUS SETBACK TO WELL HEAD
EXISTING GAS WELL HEAD
N 577156.59
E 2246720.98
SEE NOTE 1

25' RADIUS SETBACK TO WELL HEAD
SEE NOTE 1
CAPPED GAS WELL HEAD
N 575817.58
E 2247789.99

LINE TABLE		LINE TABLE		LINE TABLE				
LINE	LENGTH	BEARING	LINE	LENGTH	BEARING	LINE	LENGTH	BEARING
L1	15.13'	N3°40'01"W	L5	25.00'	N84°45'04"W	L9	32.65'	N47°27'01"E
L2	13.03'	N60°26'29"W	L6	25.00'	N89°27'59"E			
L3	6.84'	N60°26'29"W	L7	63.92'	N87°40'09"W			
L4	15.94'	N10°52'07"E	L8	56.57'	N27°32'52"E			

Page 3 of 3
5/15/2018 2:03 PM Recording Fee: \$ 250.20
Nathan S. Balesky, Surveyor, Summit County Fiscal Officer

NOTE 1:
THE LEASE AGREEMENT TO INSTALL THIS EXISTING GAS WELL PREVIOUSLY GRANTED A BLANKET EASEMENT OVER PORTIONS OF THE PROPERTY.
THE RESERVE AT RIVER OAKS SUBDIVISION PHASE 3

DONALD G. BOHNING & ASSOCIATES, INC.
CIVIL ENGINEERING & SURVEYING
7978 HUB PARKWAY • VALLEY VIEW, OHIO 44125
PHONE: (216) 642-1130 FAX: (216) 642-1132

HORIZ. SCALE: 1"=50'
DATE: NOV. 2017
S.W. G.M.
FILE NO.: 427203-02-03
ORDER NO.: 4272-3