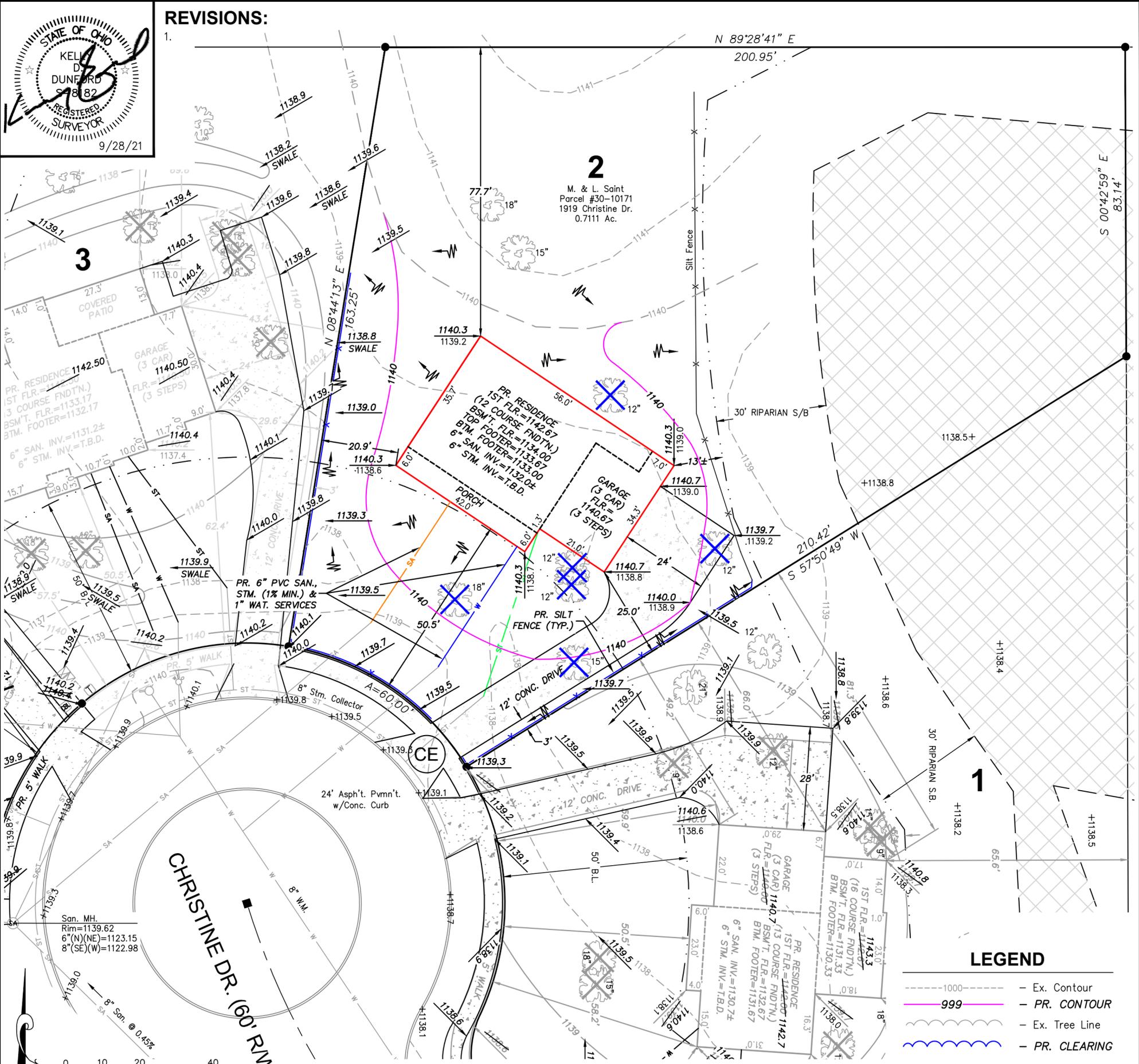




**REVISIONS:**

1.



**SCALE: 1" = 20'**

**DATUM:**  
B.O.B.: RECORD PLAT  
VERT: IMPROVEMENT PLANS

**NOTE:**  
CONCRETE WASHOUT PIT  
LOCATED AT ENTRANCE  
TO DEVELOPMENT.

**CONSTRUCTION NOTES:**

- The contractor must verify all foundation dimensions and proposed grades shown on this plan. Any errors resulting from failure to check or to notify the surveyor of any changes shall not be the responsibility of Apex Land Surveying.
- All grades shall comply w/corresponding government office.
- All swales must maintain a minimum slope of 1%.
- Maintain positive yard drainage away from house.
- Contractor to notify utilities protection services/ OUPS prior to construction.
- Contractor shall verify location and depths of existing laterals & verify if proper connections can be made to house. Contact corresponding government office if discrepancies occur.
- All sewer connections must maintain a minimum slope of 1%.
- A foundation sump pump is/ is not required.
- Silt fence must surround any excavation areas so that no silt escapes site.
- There was no search for easements of record, right-of-ways, restrictive covenants, encumbrances, ownership title evidence, or any other facts that a title search may disclose.



Know what's below.  
Call before you dig.

**TOPOGRAPHIC SURVEY  
& SITE PLAN**

for  
**The Saint Residence**  
by  
**LDA Builders, Inc.**

Situated in the City of Hudson, County of Summit  
and State of Ohio: And known as being Sublot 2  
in the Lake Christine Subdivision, as  
recorded in Doc. #56294530.

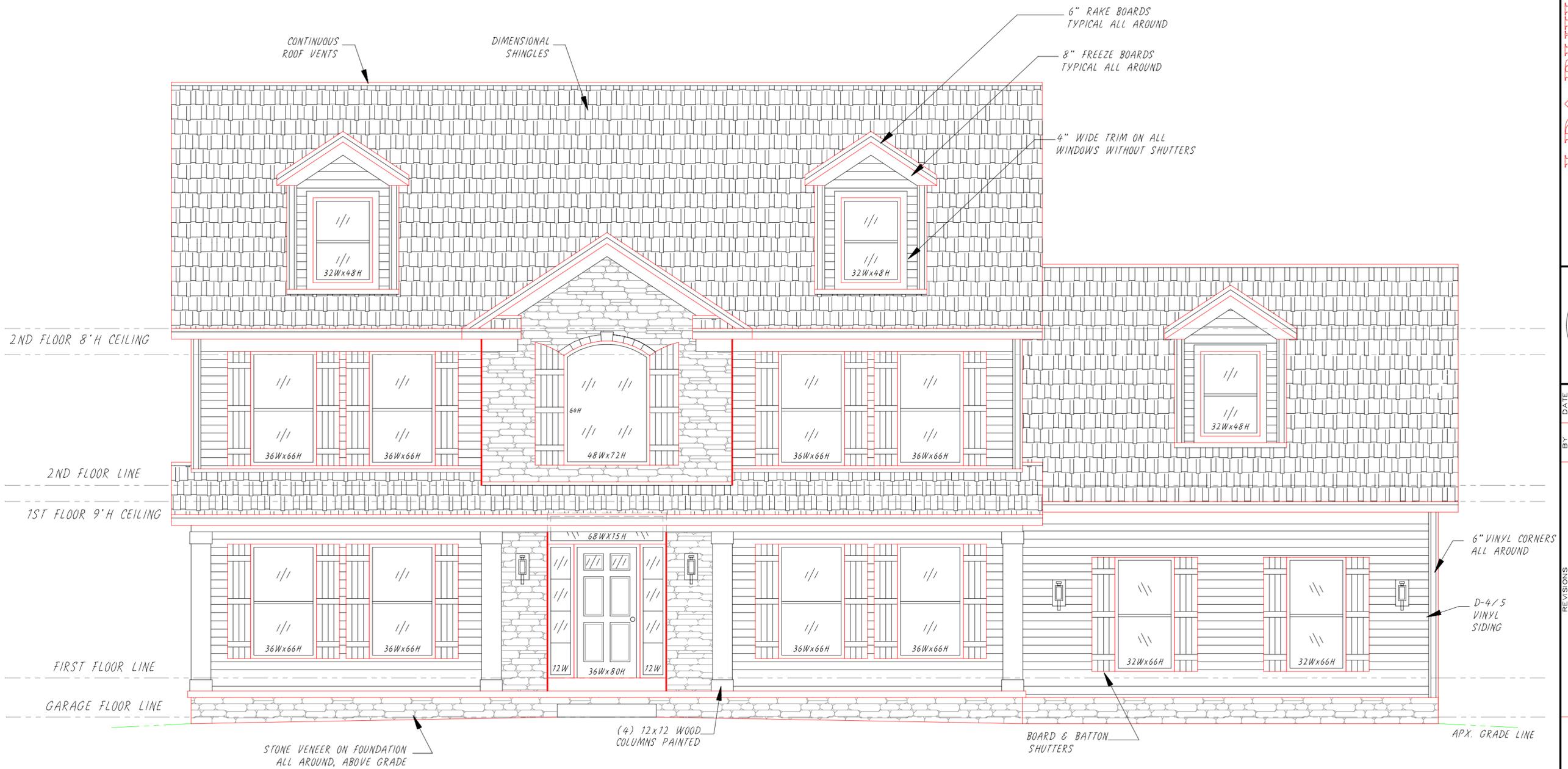
- LEGEND**
- - - - -1000 - Ex. Contour
  - 999 - PR. CONTOUR
  - - - - - Ex. Tree Line
  - - - - - PR. CLEARING
  - AS-BUILT PR. GRADE
  - Ex. Grade PR. DRAINAGE
  - X - TREE TO BE REMOVED
  - CE - PR. CONST. ENTRANCE
  - Ex. = Existing PR. = PROPOSED
  - SA ST - Ex. San/Stm. MH.
  - Ex. Pedestals
  - Ex. Hydrant
  - - Iron Pin Fnd./Set
  - - Iron Pipe Fnd.
  - - Mon. Fnd.

SURVEYED BY:

**APEX LAND SURVEYING**

KELLY D. DUNFORD, P.S. 8182  
2858 FULMER DR., SILVER LAKE, OH  
(330) 928-7750  
ps8182@sbcglobal.net  
www.apexlandsurveying.com

TITLE: TOPO & SITE PLAN	DATE: SEPT. 2021
CLIENT: LDA BUILDERS	PROJ.: 2018063
SCALE: 1" = 20'	FILE: 2018063.dwg
DRAWN BY: KDD	CHECKED BY: KDD
CREW: KDD & KD2	SHEET: 1 OF 1
SHEET SIZE: 17" X 22"	



Front Elevation (S/L 2 - 1919 Christine Dr.)

PARCLE #30-10171  
 S/L 2, Lake Christine  
 1919 Christine Dr, Hudson, Ohio  
 Lot Size - 60' Frontage x 270.42' Deep on right, .7111 acres  
 Overall House Size - 63'Wx37'-8"D. 2,471 Apx sq.ft. on lot  
 3081 Sq ft Living Area,  
 (1605 Sq ft on First floor & 1476 Sq ft on Second floor)  
 1605 Sq ft Basement and 628 Sq ft of Garage

LC002

ILIDA BUILDERS  
 INCORPORATED  
 Boston Hts., Ohio U.S.A. • Phone/Fax (330) 528-3800 • Akron (330) 342-4240  
 TITLE RIDGEWOOD II, 2 STORY (3096 sq.ft.)  
 NO. 21-LC002-10  
 FRONT ELEVATION



SCALE	DATE	DRN	APVD
.25" = 1'	09/27/21	TOK'D	/s/
REVISIONS			
BY	DATE		

CUSTOMER  
 Martin & Lyn  
 Saint



Left Side Elevation

CUSTOMER

Martin & Lyn  
Saint

SCALE .25" = 1'

DATE 09/27/21

DRN /Z

APVD

REVISIONS

BY DATE



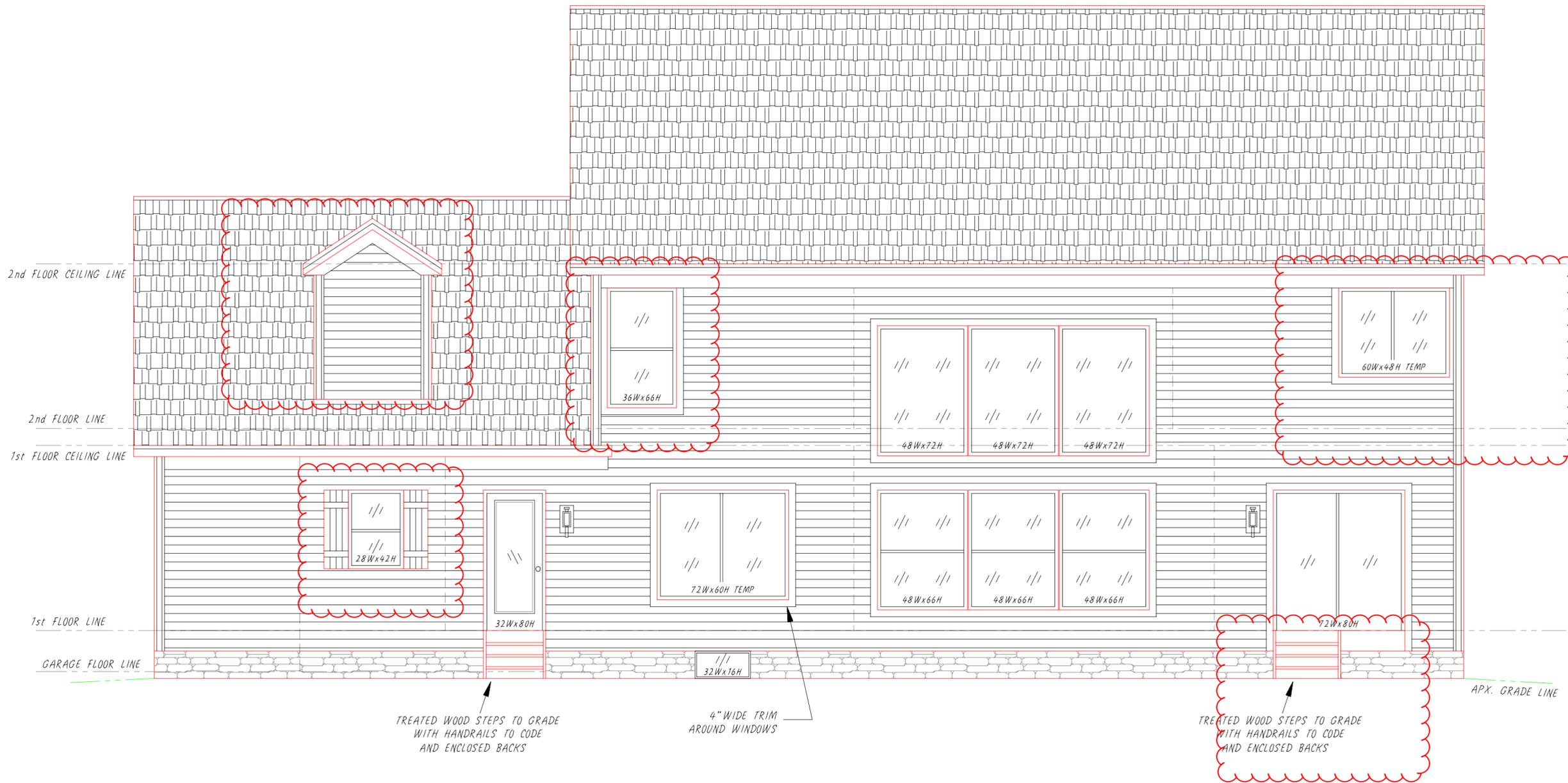
ILIDA BUILDERS  
INCORPORATED

Boston Hts., Ohio U.S.A. • Phone/Fax Cleveland (330) 528-3800 • Akron (330) 342-4240

TITLE RIDGEWOOD II, 2 STORY (3096 sq.ft.)

LEFT SIDE ELEVATION

NO. 21-LC002-11



Rear Elevation

CUSTOMER: **Martin & Lyn Saint**  
 SCALE: 1/8" = 1'-0"  
 DATE: 09/27/21  
 DRN: /  
 APVD: /  
 REVISIONS: /  
 BY: / DATE: /  
 I.D.A. BUILDERS  
 IN CORPORATION  
 Boston Hts., Ohio U.S.A. • Phone/Fax: (330) 528-3800 • Akron: (330) 342-4240  
 TITLE: **RIDGEWOOD II, 2 STORY (3096 sq.ft.)**  
 NO.: **21-LC002-12**  
**REAR ELEVATION**



Right Side Elevation

CUSTOMER

Martin & Lyn  
Saint

SCALE .25" = 1'

DATE 09/27/17

DRN /Z

APYD

REVISIONS

BY

DATE



ILIDA BUILDERS

IN CORPORATION  
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TITLE RIDGEWOOD II, 2 STORY (3096 sq.ft.)

RIGHT SIDE ELEVATION

NO. 21-LC002-13

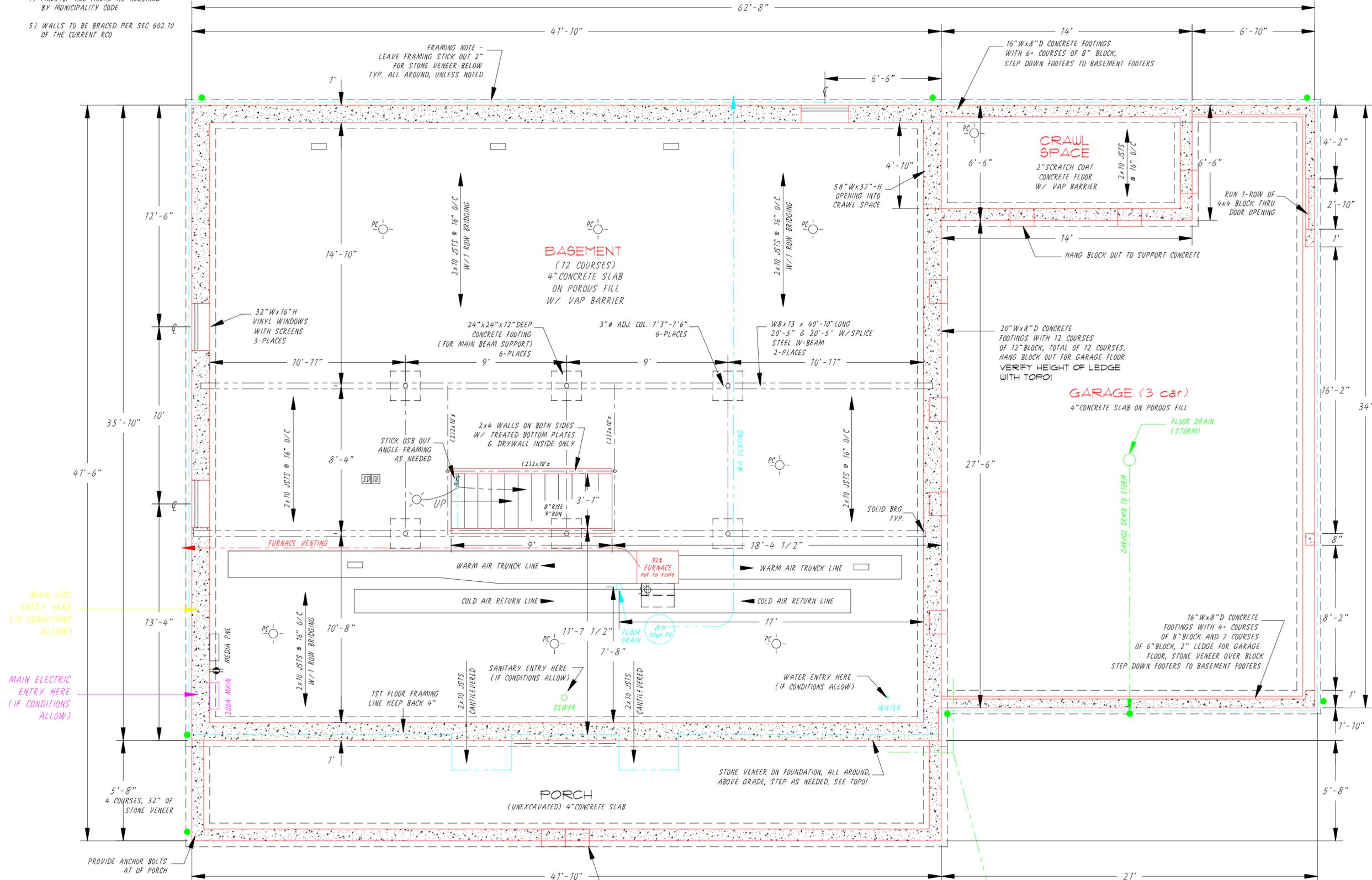
**FRAMING NOTES**

- 1) PROVIDE DOUBLE JOIST AND CROSS BLOCKING UNDER ALL PARALLEL WALLS
- 2) ALL FRAMING LUMBER TO BE STRUCTURAL GRADE
- 3) SPACE FLOOR JOISTS OR HEADER OFF FLOOR JOISTS FOR TOILETS, CENTER OF TOILET 4" D DRAINS ARE 12" OFF WALL
- 4) FIRESTOP ALL AREAS AS REQUIRED BY MUNICIPALITY CODE
- 5) WALLS TO BE BRACED PER SEC 602.10 OF THE CURRENT RCD

**MASONRY NOTES**

- 1) STEP DOWN FOOTINGS WHERE SLAB MEETS BASEMENT FOR DIRECT BEARING
- 2) FILL ALL VOIDS IN MASONRY WALLS PRIOR TO DAMP/WATERPROOFING
- 3) SEE ELEVATION DRAWINGS & TOPO FOR GARAGE FLOOR LEDGE & STEPPING OF BRICK/STONE VENEER

FRAMING NOTE -  
LEAVE FRAMING STICK OUT 2"  
FOR STONE VENEER BELOW  
TYP. ALL AROUND, UNLESS NOTED



**Foundation  
Front of House**

TO STORM LINE,  
USE ONLY Y'S NO T'S  
● = DOWNSPOUTS  
UPRIGHTS

**ILDIA BUILDERS**  
INCORPORATED  
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NO. 21-LC002-22  
TITLE RIDGEWOOD II, 2 STORY (3096 sq.ft.)  
FOUNDATION PLAN



SCALE	DATE	BY	DATE
1/8" = 1'-0"	09/27/21	DRN	APVD

CUSTOMER  
**Martin & Lyn  
Saint**



HVAC NOTES

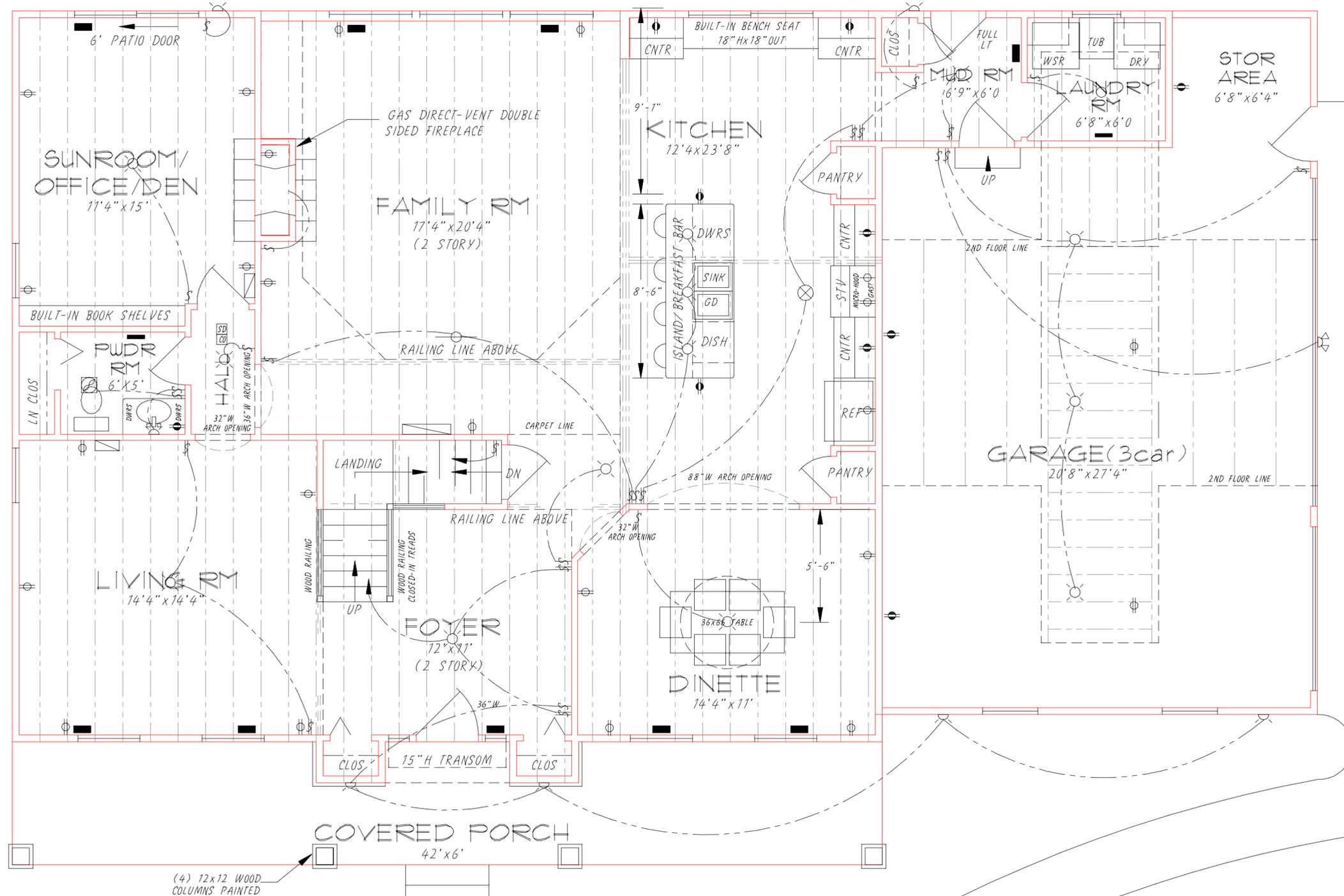
ALL HVAC TO BE INSTALLED PER LOCAL CODES  
ACTUAL SUPPLY & RETURN AIR LOCATIONS  
MAY VARY WITH SITE CONDITIONS

- = SUPPLY LOCATED ON FIRST FLOOR
- ▣ = SUPPLY LOCATED ON SECOND FLOOR
- = SUPPLY LOCATED IN BASEMENT
- 4" RND DUCT WITH 2x10 REG.
- 6" RND DUCT WITH 2x12 REG.
- 6" RND DUCT WITH 4x10 REG.
- 7" RND DUCT WITH 4x12 REG.
- = 6" RND DUCT WITH 2x12 TOE KICK REG.
- = 4x10 REG. LOCATED IN DUCT
- ▭ = RETURN AIR ONE JOIST SPACE
- ▭ = RETURN AIR TWO JOIST SPACES

ELECTRICAL NOTES

- 1) ALL ELECTRICAL TO BE INSTALLED PER CURRENT N.E.C. & LOCAL CODES
- 2) MAIN SERVICE PANEL AMPS SHOWN ON PLAN
- 3) ALL OUTLETS ARE TAMPERPROOF
- 4) ALL OUTLETS ARE ARCH FAULT PROTECTED EXCEPT COUNTER TOP, GARAGE, 220's AND BASEMENT GFI
- 5) ACTUAL DEVICE LOCATIONS MAY VARY FROM PLAN DUE TO SITE CONDITIONS

- ⊙ SINGLE POLE SWITCH
- ⊙ 3 WAY SWITCH
- ⊙ 4 WAY SWITCH
- ⊙ SINGLE OUTLET
- ⊙ DUPLEX OUTLET
- ⊙ HALF SWITCHED DUPLEX OUTLET
- ⊙ GFI OUTLET
- ⊙ WP WEATHERPROOF GFI OUTLET
- ⊙ FLOOR OUTLET
- ⊙ 220V OUTLET
- ⊙ AC 220V AC DISCONNECT 40 AMPS
- ⊙ CEILING LIGHT
- ⊙ WALL LIGHT
- ⊙ TRACK LIGHT
- ⊙ FLOOD LIGHT
- ⊙ PC PULL-CHAIN LIGHT
- ⊙ RECESSED LIGHT
- ⊙ FLUORESCENT LIGHT
- ⊙ EXHAUST FAN
- ⊙ FL EXHAUST FAN W/ LIGHT
- ⊙ CEILING FAN
- ⊙ LT CEILING FAN W/ LIGHT
- ⊙ SD SMOKE DETECTOR (IONIZATION TYPE)
- ⊙ CO<sup>2</sup> DETECTOR (PHOTOELECTRIC TYPE)
- ⊙ THERMOSTAT
- ⊙ CH DOORBELL CHIMES
- ⊙ PHONE JACK
- ⊙ TV JACK



**Floor Plan (1st Floor)**  
Front of House

**ILIDA BUILDERS**  
INCORPORATED  
Boston Hts., Ohio U.S.A. • Phone/Fax (330) 528-3800 • Akron (330) 342-4240  
NO. **21-1000-23**  
ELEC & HVAC LAYOUT  
TITLE **RIDGEWOOD II, 2 STORY (3096 sq.ft.)**  
FLOOR PLAN (1st Floor)



SCALE	DATE	BY	DATE
.25" = 1'	09/27/21	TK/D	
		AP/VD	

CUSTOMER  
**Martin & Lyn**  
**Saint**

CONCRETE DRIVE



HVAC NOTES

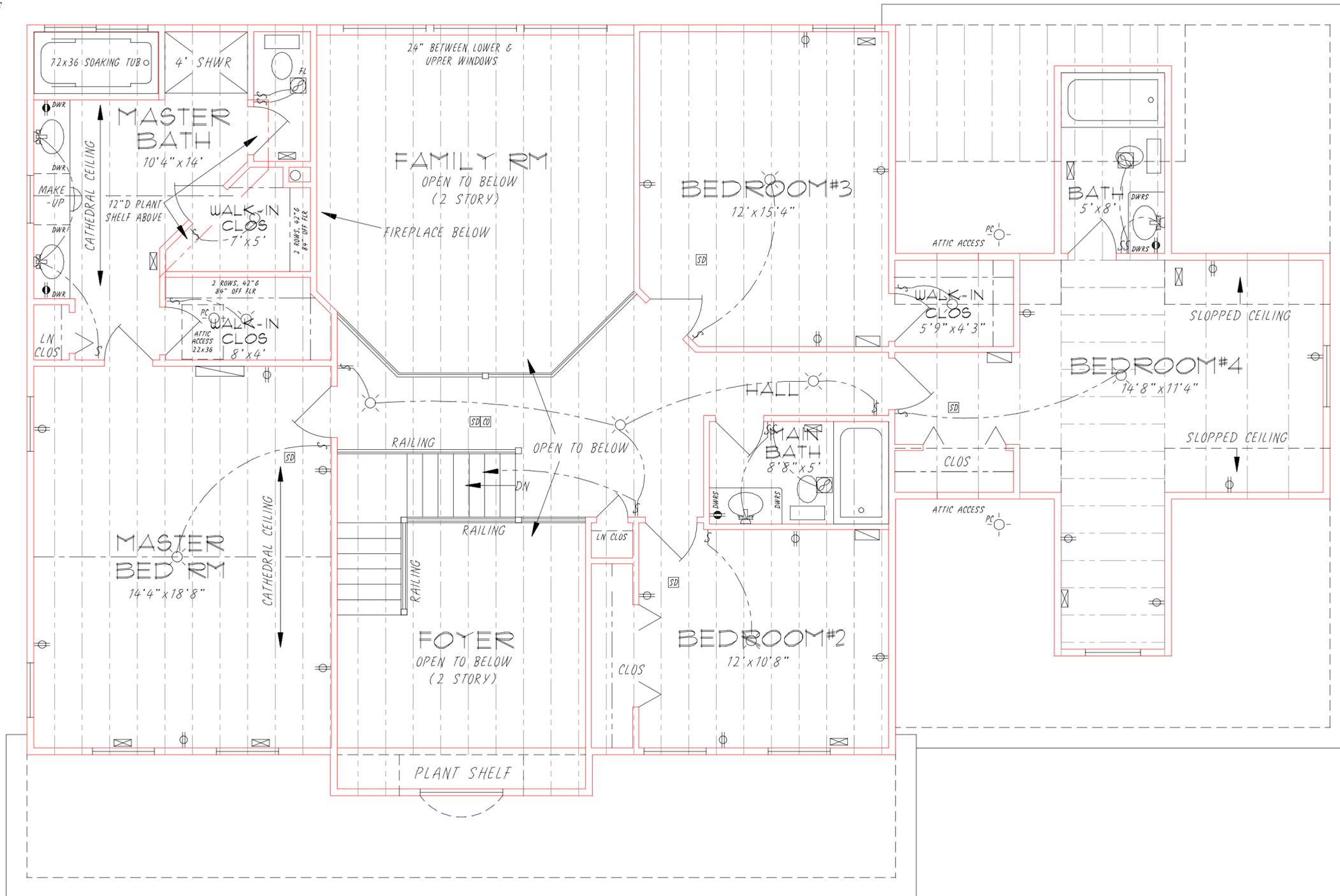
ALL HVAC TO BE INSTALLED PER LOCAL CODES  
ACTUAL SUPPLY & RETURN AIR LOCATIONS  
MAY VARY WITH SITE CONDITIONS

- = SUPPLY LOCATED ON FIRST FLOOR
- ▣ = SUPPLY LOCATED ON SECOND FLOOR
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- 6" RND DUCT WITH 2x12 REG.
- 6" RND DUCT WITH 4x10 REG.
- 7" RND DUCT WITH 4x12 REG.
- 6" RND DUCT WITH 2x12 TOE KICK REG.
- = 4x10 REG. LOCATED IN DUCT
- ▤ = RETURN AIR ONE JOIST SPACE
- ▥ = RETURN AIR TWO JOIST SPACES

ELECTRICAL NOTES

- 1) ALL ELECTRICAL TO BE INSTALLED PER CURRENT N.E.C. & LOCAL CODES
- 2) MAIN SERVICE PANEL AMPS SHOWN ON PLAN
- 3) ALL OUTLETS ARE TAMPERPROOF PROTECTED EXCEPT COUNTER TOP, GARAGE, 220'S AND BASEMENT GFI
- 5) ACTUAL DEVICE LOCATIONS MAY VARY FROM PLAN DUE TO SITE CONDITIONS

- ⚡ SINGLE POLE SWITCH
- ⚡ 3 WAY SWITCH
- ⚡ 4 WAY SWITCH
- ⊕ SINGLE OUTLET
- ⊕ DUPLEX OUTLET
- ⊕ HALF SWITCHED DUPLEX OUTLET
- ⊕ GFI OUTLET
- ⊕ WP WEATHERPROOF GFI OUTLET
- ⊕ FLOOR OUTLET
- ⊕ 220V OUTLET
- ⊕ AC 220V AC DISCONNECT 40 AMPS
- ⊕ CEILING LIGHT
- ⊕ WALL LIGHT
- ⊕ TRACK LIGHT
- ⊕ FLOOD LIGHT
- ⊕ PC PULL-CHAIN LIGHT
- ⊕ RECESSED LIGHT
- ⊕ FLUORESCENT LIGHT
- ⊕ EXHAUST FAN
- ⊕ FL EXHAUST FAN W/ LIGHT
- ⊕ CEILING FAN
- ⊕ LT CEILING FAN W/ LIGHT
- ⊕ SD SMOKE DETECTOR (IONIZATION TYPE)
- ⊕ CO<sup>2</sup> DETECTOR (PHOTOELECTRIC TYPE)
- ⊕ THERMOSTAT
- ⊕ CH DOORBELL CHIMES
- ⊕ PHONE JACK
- ⊕ TV JACK



Floor Plan (2nd Floor)  
Front of House

**ILIDA BUILDLERS**  
INCORPORATED  
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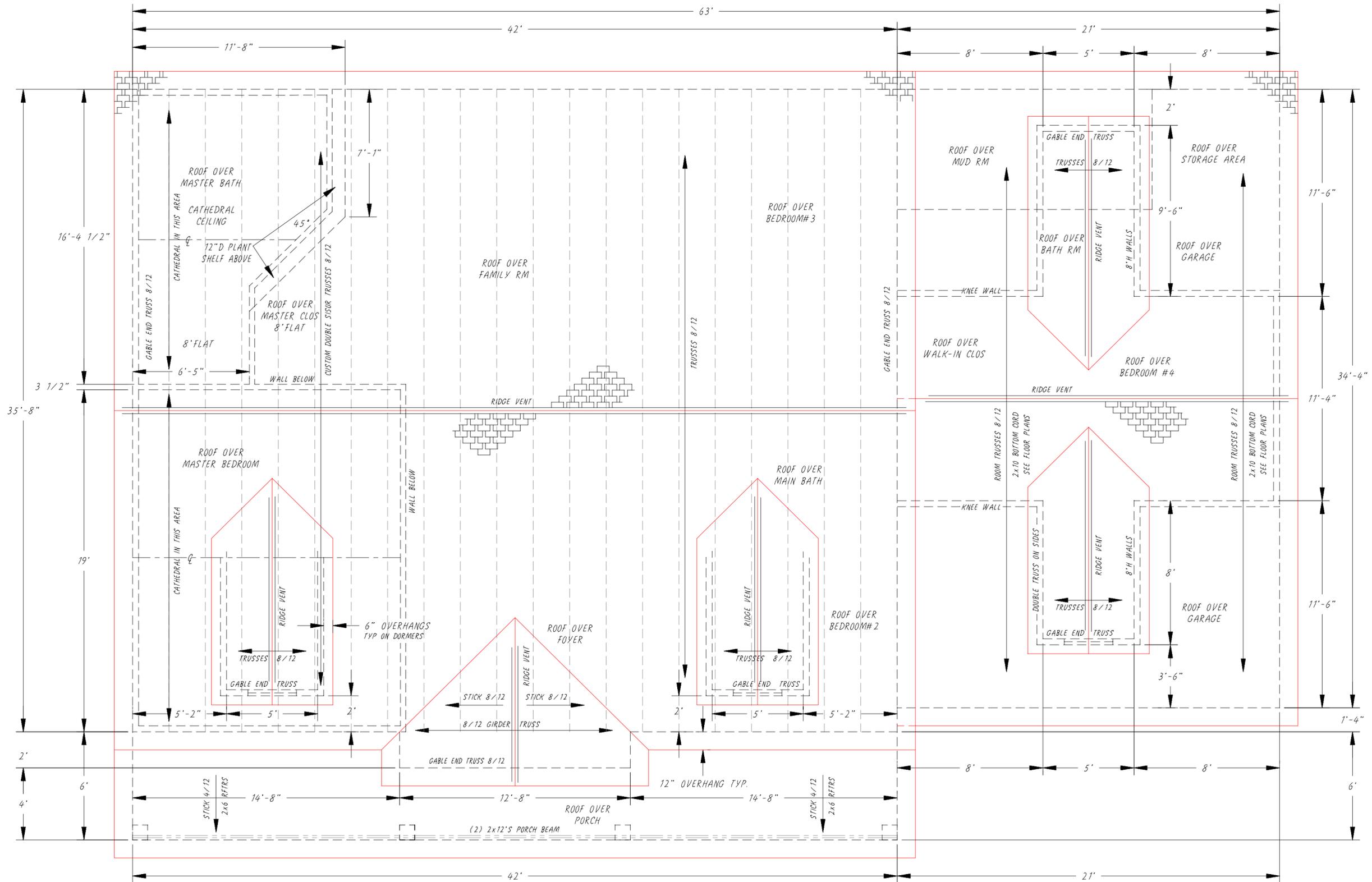
TITLE: **RIDGEWOOD II, 2 STORY (3096 sq.ft.)**  
NO. **21-1000-24**  
ELEC & HVAC LAYOUT

FLOOR PLAN (2nd Floor)

SCALE: .25" = 1'  
DATE: 09/27/17  
DRN: /Z  
APVD: /

CUSTOMER: **Martin & Lyn Saint**

REVISIONS	BY	DATE



### Roof Plan Front of House

TRUSSES @ 24" O/C & STICK FRAMING @ 16" O/C  
TRUSSES TO BE -  
8/12 SIDETO SIDE & 8/12 FRONTTOBACK

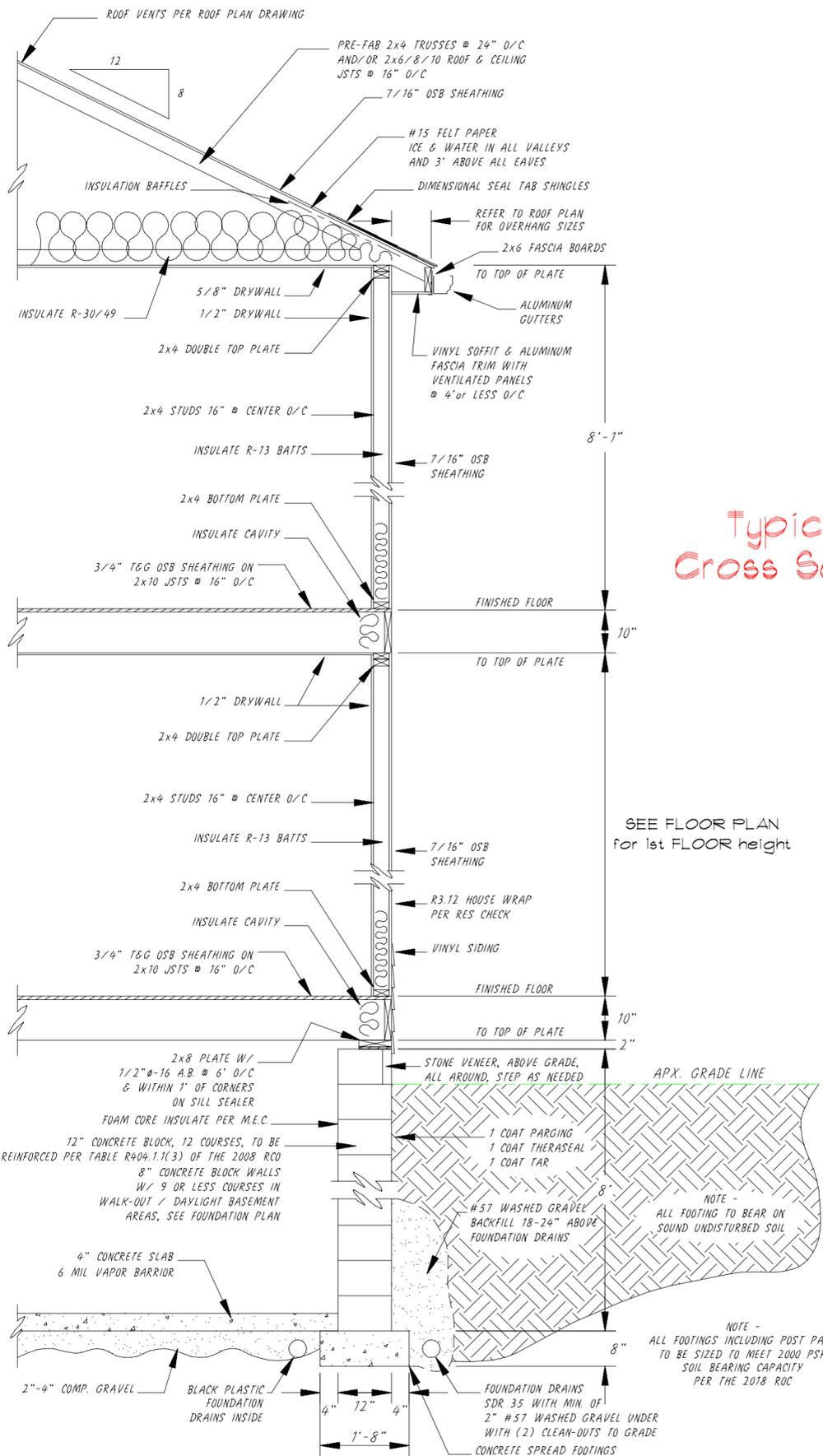
ILIDA BUILDERS  
 INCORPORATED  
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 NO. 21-LC002-25  
 TITLE RIDGEWOOD II, 2 STORY (3096 sq.ft.)  
 ROOF PLAN



REVISIONS	DATE

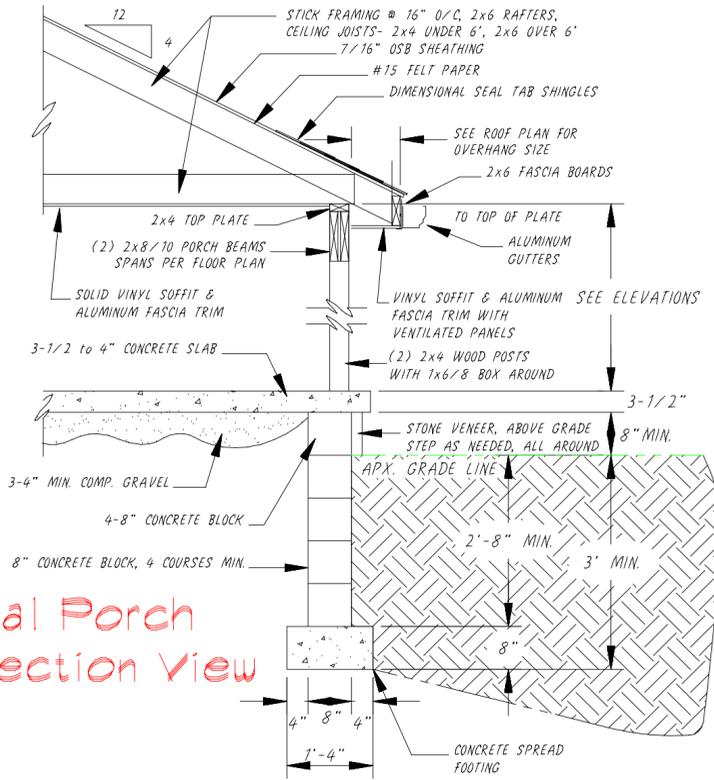
CUSTOMER  
**Martin & Lyn  
Saint**

SCALE 1/8" = 1'-0"  
 DATE 09/27/11  
 DRN /TKD  
 APVD /

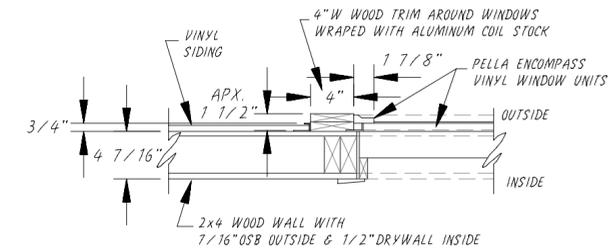
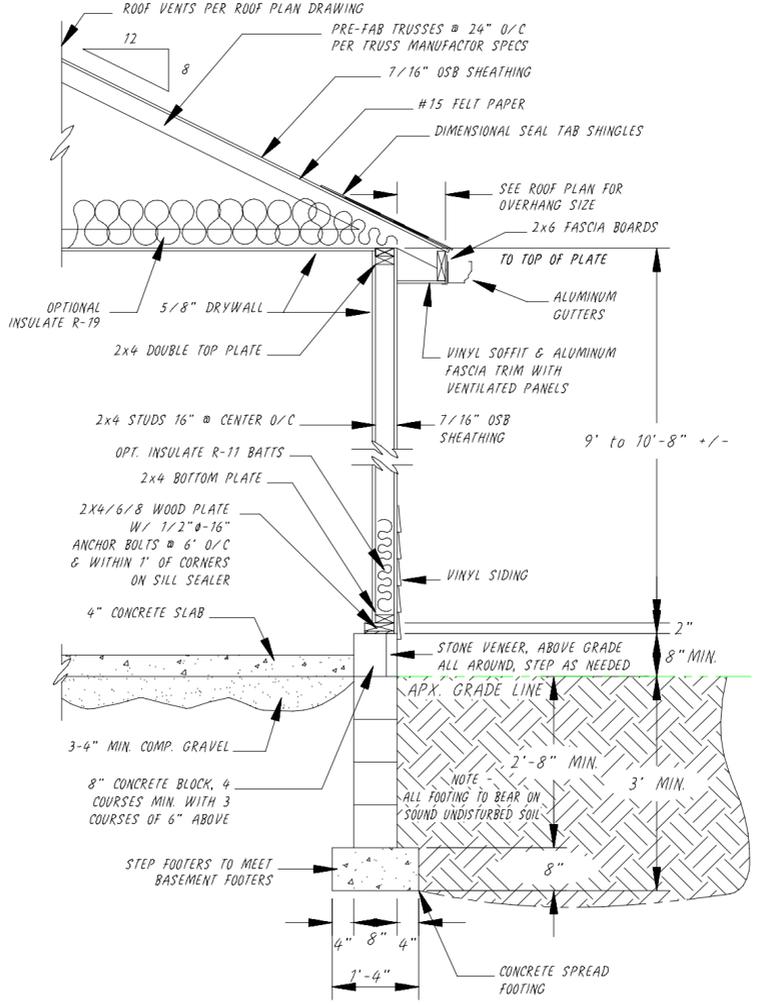


Main House Wall Cross Section View

Typical Porch Cross Section View



Garage Wall Cross Section View



Typical Window Section View (Scale 1" = 1')

- CONSTRUCTION NOTES (2018 RCO)
- 1) ALL ROOF PITCHES TO BE A 8/12 SIDE TO SIDE & A 8/12 FRONT TO BACK, UNLESS NOTED, INCLUDING GARAGES, PORCHES & CANTILEVERS
  - 2) ALL PARALLEL WALLS TO HAVE DOUBLE JOISTS AND CROSS BLOCKING UNDER THEM
  - 3) GARAGE WALLS, BETWEEN GARAGE & HOUSE, AND GARAGE CEILING TO HAVE 5/8" FIRECODE DRYWALL
  - 4) FOUNDATION WALLS TO BE REINFORCED PER SECTION 401 OF THE 2018 RCO
  - 5) ALL HEADERS TO BE A MIN. OF (2) 2x10'S WITH 7/16" OSB CENTER, OR LARGER AS INDICATED ON FLOOR PLANS
  - 6) ALL ROOF STICK FRAMING & OVERBUILDS TO BE A MIN. OF 2x6 FOR SPANS UNDER 14', A MIN. OF 2x8 FOR SPANS 14' TO 18' AND INCLUDE 2x8 SHOE PLATES, 2x8 RIDGE BOARDS AND 2x4 COLLAR TIES
  - 7) TRUSS ANCHORS TO BE INSTALLED PER SECTION 802 OF THE 2018 RCO
  - 8) ALL DEAD AND LIVE LOADS TO BE PER THE 2018 RCO, AND MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS TO BE PER SECTION 301 OF THE 2018 RCO
  - 9) THE MAIN DOOR BETWEEN THE HOUSE & GARAGE, AND ALL FIRESTOPPING TO COMPLY WITH SECTION 301 OF THE 2018 RCO.

ILIDA BUILDERS  
 IN CORPORATION  
 Boston Hts., Ohio U.S.A. • Phone/Fax Cleveland(330) 528-3800 • Akron(330) 342-4240  
 NO. 21-LC002-29  
 RIDGEWOOD II, 2 STORY (3096 sq.ft.)  
 CROSS SECTION VIEW & DETAILS

SCALE	5" = 1'
DATE	09/27/21
DRN	TCK/D
APVD	/

CUSTOMER: Martin & Lyn Saint







S/L 2 - 1919 Christine Dr. — subject property



S/L 1 - 1931 Christine Dr. – east of subject property, 1st lot to the right



S/L 3 - 1911 Christine Dr. – west of subject property, 1st lot to the left



S/L 4 - 1904 Christine Dr. – west of subject property, 2nd lot to the left



S/I 5 – 1912 Christine Dr. across the street (south) of subject property



S/I 6 – 1924 Christine Dr. across the street (south) of subject property



S/I 7- 1936 Christine – across the street and east of subject property



s/l 8- 1948 Christine Dr- across the street and east of subject property