

ADDDEVIATIONS

<u>ABBREVIATIONS</u>				
		HC	HOLLOW CORE	
ABV	ABOVE	HDWR.	HARDWARE	
A/C	AIR CONDITIONING	HM	HOLLOW METAL	
AFF	ABOVE FINISHED FLOOR	HVAC	HEATING, VENTILATION, AND AI	
ALT	ALTERNATE	COND.		
AHJ	AUTHORITY HAVING JURISDICTION	HT	HEIGHT	
ALUM	ALUMINUM			
APPROX.	APPROXIMATELY	INSUL	INSULATION	
ARCH ASPH	ARCHITECTURAL ASPHALT			
АЗРП	ASPHALI	JST	JOIST	
BD	BOARD	LAM	LAMINATED	
BLDG	BUILDING	LF	LINEAR FOOT	
BOTT	BOTTOM OF			
BRG	BEARING	MAS	MASONRY	
BOTT	BOTTOM	MATL	MATERIAL	
BTW	BETWEEN	MAX.	MAXIMUM	
CE.	CUDIC FEET	MECH	MECHANICAL	
CF CIP	CUBIC FEET	MFG.	MANUFACTURER	
CJ	CAST IN PLACE CONTROL JOINT	MIN.	MINIMUM	
CLG	CEILING	MISC	MISCELLANEOUS	
CLR	CLEAR	MO	MASONRY OPENING	
CMU	CONCRETE MASONRY UNIT	MTD MTL	MOUNTED	
CONC	CONCRETE	IVI I L	METAL	
CO	CLEAN OUT	NOM	NOMINAL	
CONT	CONTINUOUS	NTS	NOT TO SCALE	
DBL	DOUBLE	0/	OVER	
DEPT	DEPARTMENT	O.C.	ON CENTER	
DIA	DIAMETER	OPN	OPENING	
DIM	DIMENSION			
DN	DOWN	PREFAB	PREFABRICATED	
DR	DOOR	PLYWD	PLYWOOD	
DS	DOWNSPOUT	P. LAM	PLASTIC LAMINATE	
DTL	DETAIL	PR	PAIR	
DWG	DRAWING	PSI	POUNDS PER SQUARE INCH	
EA	EACH	REF	REFERENCE	
ELEC	ELECTRICAL	RM	ROOM	
EQ	EQUAL	RO	ROUGH OPENING	
EXH	EXHAUST	REQ	REQUIRED	
EXIST	EXISTING			
EXP	EXPOSED	SC	SOLID CORE	
EXT	EXTERIOR	SECT	SECTION	
		SIM.	SIMILAR	
FD	FLOOR DRAIN	STRUC	STRUCTURAL	
FDN	FOUNDATION			
		TVD	TVDICΔI	

FINISHED FLOOR

FOOT

GYP. BD.

FOOTING

FURRING

GALVANIZED GAUGE

GYPSUM BOARD GYPSUM

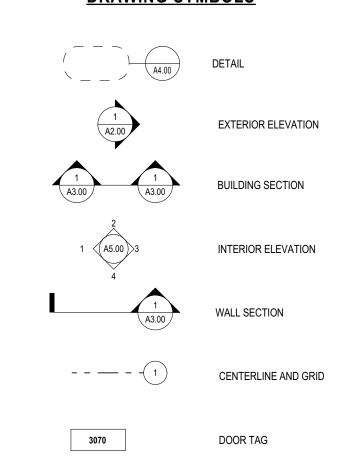
GENERAL CONTRACTOR

TYPICAL

UNLESS NOTED OTHERWISE

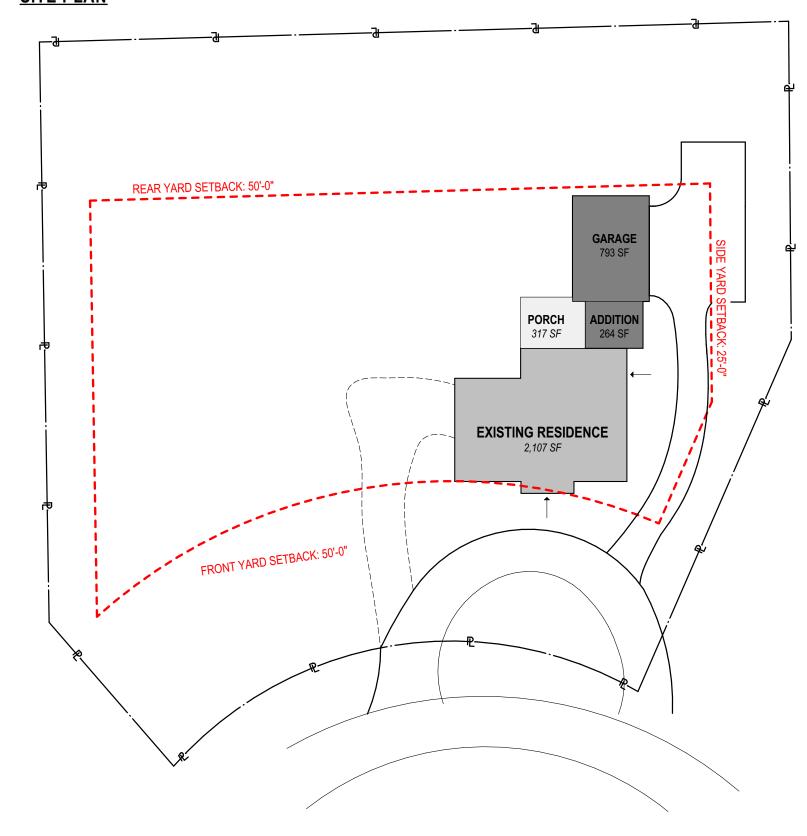
WELDED WIRE FABRIC

DRAWING SYMBOLS



WINDOW TAG

SITE PLAN



HILL RESIDENCE

PROJECT INFORMATION

SUMMIT COUNTY **PARCEL NO** 3200476

DISTRICT 3 | OUTER VILLAGE RESIDENTIAL NEIGHBORHOOD

INTERIOR RENOVATION OF NEW OWNER'S SUITE IN THE EXISTING GARAGE, KITCHEN REVAMP, AND AN ADDITION OFF THE REAR OF THE EXISTING

RESIDENCE.

EXISTING FIRST FLOOR 1,677 SF 422 SF OWNER'S SUITE RENOVATION ADDITION (EXCLUDING GARAGE) 283 SF

TOTAL PROPOSED FIRST FLOOR 2,382 SF (FACE OF EXTERIOR SHEATHING)

GARAGE ADDITION 792 SF

1,660 SF **4,042 SF** SECOND FLOOR **TOTAL AREA**

PROJECT TEAM

ARCHITECT:

HARA ARCHITECTS HUDSON, OHIO P: 419.410.6241

CONTACT: NATE BAILEY

DRAWING INDEX

G100	COVER SHEET	11/04/2024	
D100	DEMOLITION PLANS	11/04/2024	
A101	FIRST FLOOR PLAN	11/04/2024	
A102	SECOND FLOOR PLAN	11/04/2024	
A201	EXTERIOR ELEVATIONS	11/04/2024	
A202	EXTERIOR ELEVATIONS	11/04/2024	

PROJECT GENERAL NOTES

THE CONTRACTOR WILL FURNISH ALL LABOR, MATERIAL, EQUIPMENT, PERMITS, TAXES, AND INSURANCE NECESSARY TO COMPLETE THE WORK INDICATED AND/ OR IMPLIED IN THE CONSTRUCTION DOCUMENTS UNLESS NOTED OTHERWISE AND WILL COORDINATE THE WORK RESPONSIBILITIES OF ALL SUBCONTRACTORS. ALL LABOR AND MATERIALS TO CARRY OUT FULLY THE INTENTIONS OF THE PLANS AND SPECIFICATIONS ARE PART OF THE CONTRACT, WHETHER OR NOT SPECIFICALLY DOCUMENTED.

ALL WORK WILL CONFORM TO THE CURRENT OHIO BUILDING, MECHANICAL & PLUMBING CODES, AS WELL AS THE CURRENT NATIONAL BOARD OF FIRE UNDERWRITERS AND ALL OTHER APPLICABLE CITY CODES, LOCAL LAWS, AND AUTHORITIES HAVING JURISDICTION. CODE STANDARDS AND PUBLICATIONS OF PRIVATE AND PUBLIC BODIES MENTIONED WITHIN THE SPECIFICATIONS OR ON THE DRAWINGS, WILL BE CONSIDERED TO BE THOSE IN FORCE AT THE TIME OF THE CONTRACT

THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONTROLLED INSPECTIONS AND ANY TECHNICAL TESTING REQUIRED FOR CONTROLLED INSPECTIONS AS STIPULATED BY ALL APPLICABLE CODES.

ALL MANUFACTURED ARTICLES, MATERIALS, AND EQUIPMENT WILL BE NEW AND FREE OF DEFECTS AND WILL BE SUPPLIED, INSTALLED, CONNECTED, ERECTED, USED, CLEANED, AND CONDITIONED AS DIRECTED BY THE RESPECTIVE MANUFACTURERS, UNLESS SPECIFIED OTHERWISE.

THE CONTRACTOR WILL NOTIFY THE ARCHITECT OF ANY ERRORS, OMISSIONS, CONFLICTS, OR AMBIGUITIES IN AND BETWEEN THE DRAWINGS AND THE SPECIFICATIONS PRIOR TO PROCEEDING WITH THE WORK. IF SUCH NOTICE IS NOT FURNISHED TO THE ARCHITECT, THE CONTRACTOR WILL BE DEEMED TO HAVE INSPECTED THE DRAWINGS AND SPECIFICATIONS AND TO HAVE FOUND THEM IN PROPER FORM FOR EXECUTION.

THE CONTRACTOR REPRESENTS THAT HE HAS HAD ADEQUATE ACCESS TO THE JOB SITE AND BUILDING AREA IN WHICH THE WORK IS TO BE PERFORMED, THAT HE HAS SATISFIED HIMSELF AT TO THE NATURE AND LOCATION OF WORK, INCLUDING ANY OBSTRUCTIONS, SCOPE OF WORK, ACTUAL LEVELS, THE EQUIPMENT AND FACILITIES NEEDED PRELIMINARY TO AND DURING THE EXECUTION OF THE WORK AND ALL OTHER MATTERS, WHICH CAN IN ANY WAY AFFECT THE WORK OR THE COST THEREOF UNDER THIS CONTRACT, AND THAT HE HAS STUDIED THE CONTRACT DOCUMENTS AND ALL OTHER DOCUMENTS PERTAINING TO THE INSTALLATION OF OTHER TRADES WHICH MAY INFLUENCE HIS WORK.

THE CONTRACTOR WILL ASSUME FULL RESPONSIBILITY, INCLUDING RESPONSIBILITY FOR ALL RELATED COSTS FOR ANY AND ALL WORK DONE WITHOUT THE APPROVAL OF THE ARCHITECT IF SUCH WORK IS IN CONFLICT WITH THE CONTRACT,

THE OWNER WILL ESTABLISH THE LIMITS OF THE CONSTRUCTION SITE IN ADDITION TO ANY CONTRACT LIMIT LINES SHOWN IN THE DRAWINGS. THE CONTRACTOR WILL CONTINUE HIS OPERATIONS WITHIN THESE LIMITS, UNLESS UPON WRITTEN REQUEST AND REPLY, A VARIANCE IS AGREED TO BY THE OWNER. THE CONTRACTOR WILL BE RESPONSIBLE FOR TRESPASS ON AND/ OR DAMAGE TO OTHER PROPERTY BY ANY OF HIS EMPLOYEES OR HIS SUBCONTRACTOR'S

THE CONTRACTOR WILL BE RESPONSIBLE FOR THE SAFE WORKING CONDITIONS AT THE SITE. THE ARCHITECT AND OWNER WILL NOT BE DEEMED TO HAVE ANY RESPONSIBILITY OR LIABILITY IN CONNECTION HEREWITH.

CONSTRUCTION OPERATIONS WILL NOT INVOLVE INTERRUPTION OF HEATING, WATER, ELECTRICAL, OR OTHER SERVICES TO ANY PORTION OF THE BUILDING OUTSIDE THE LIMITS OF THE CONSTRUCTION SITE DESCRIBED IN NOTE 9.

THE CONTRACTOR WILL BE RESPONSIBLE FOR CORRECTING ANY DEFICIENCIES CUASED BY DEFECTIVE OR ILL TIMED WORK AT NO ADDITIONAL COST TO THE OWNER.

NO SUBSTITUTIONS ARE PERMITTED EXCEPT WHERE THE TERM "APPROVED EQUAL" APPEARS. ALL SUBSTITUTIONS MUST BE APPROVED IN WRITING BY THE ARCHITECT. THE CONTRACTOR IS TO SUBMIT SAMPLES OR CATALOG CUTS OF ALL VISIBLE MATERIALS AND EQUIPMENT FOR THE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION.

PROJECT TEAM:

HARA ARCHITECTS STRUCTURAL

PROJECT #: 2407

SCHEMATIC DESIGN

COVER SHEET

ARCHITECT HARA ARCHITECTS

STRUCTURAL

MATERIAL SCHEDULE

PROJECT TEAM:

ALL MATERIAL ASSEMBLIES LISTED BELOW TO OCCUR OVER THE FOLLOWING UNLESS NOTED OTHERWISE:

O/ WEATHER BARRIER O/ APA RATED EXTERIOR GRADE OSB SHEATHING O/ 2X6 STUDS W/ R-19 BATT INSULATION

LAP SIDING
VINYL SIDING TO MATCH EXPOSURE AND COLOR OF EXISTING RESIDENCE.

HATCH DENOTES EXISTING HOUSE TO REMAIN

- ASPHALT SHINGLE ROOF

DORMER BEYOND

FAUX SHAKE ROOFING AT MANSARD ROOF

EXISTING VERICAL SIDING

TO REMAIN, NEW PAINT

FIRST FLOOR ELEV. 0'-0"

PROPOSED ADDITION

EXISTING RESIDENCE

- SECOND FLOOR ELEV. 9'-0" AFF

NEW WINDOW AT

EXISTING FRONT

DOOR TO REMAIN

PREVIOUS OPENING

ASPHALT SHINGLE ROOF (R-1)
30 YEAR ARCHITECTURAL SHINGLE
0/ MANUFACTURER'S RECOMMENDED UNDERLAYMENT
0/ 17/32" APA RATED EXTERIOR GRADE SHEATHING. ICE GUARD SHOULD BE
INSTALLED AT ALL EAVES AND VALLEYS, UP 72", AND WRAPPED OVER THE FACE

OF ALL FASCIAS.

EXTERIOR ELEVATION GENERAL NOTES

ROOF SOFFITS TO MATCH EXISTING RESIDENCE UNLESS NOTED OTHERWISE. ALL FIBER CEMENT EXTERIOR TRIM TO BE AZEK OR BORAL, PAINTED, OR APPROVED EQUAL.

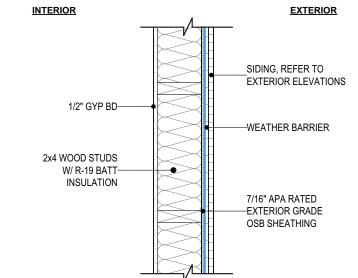
ALL EXPOSED WOOD ELEMENTS AND TONGUE AND GROOVE CEILINGS IS TO BE DOUG FIR, STAINED AND SEALED. COORDINATE FINAL COLOR WITH ARCHITECT AND OWNER

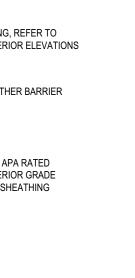
ALL ROOF PENETRATIONS TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLTION TO ENSURE AESTHETIC EXPECTATIONS ARE MAINTAINED. GUTTER PROFILES SHALL BE SUBMITTED FOR APPROVAL PRIOR TO ORDERING SAFETY GLAZING TO BE IN ACCORDANCE WITH THE 2019 RESIDENTIAL CODE OF OHIO (SECTION R308)

BEDROOM EGRESS WINDOWS TO COMPLY WITH THE 2019 RESIDENTIAL CODE OF OHIO (SECTION R310)

EXTERIOR WALL TYPES

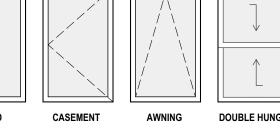
NOTE: WALL INFORMATION IS DEMONSTRATED IN PLAN VIEW





RESIDENCE

WINDOW LEGEND



BASIS OF DESIGN:

SIDE OF HOUSE ELEVATION

SECOND FLOOR ELEV. 9'-0" AFF

FIRST FLOOR ____

INFILL PREVIOUS OPENING -

1 FRONT OF HOUSE ELEVATION

SCALE: 1/4" = 1'-0"

WITH SIDING TO MATCH

EXTERIOR ELEVATIONS

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MATERIAL SCHEDULE

PROJECT TEAM:

ARCHITECT HARA ARCHITECTS STRUCTURAL

ALL MATERIAL ASSEMBLIES LISTED BELOW TO OCCUR OVER THE FOLLOWING UNLESS NOTED OTHERWISE:

O/ WEATHER BARRIER O/ APA RATED EXTERIOR GRADE OSB SHEATHING O/ 2X6 STUDS W/ R-19 BATT INSULATION

LAP SIDING
VINYL SIDING TO MATCH EXPOSURE AND COLOR OF EXISTING RESIDENCE.

OF ALL FASCIAS.

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30 YEAR ARCHITECTURAL SHINGLE
O/ MANUFACTURER'S RECOMMENDED UNDERLAYMENT O/ 17/32" APA RATED EXTERIOR GRADE SHEATHING. ICE GUARD SHOULD BE INSTALLED AT ALL EAVES AND VALLEYS, UP 72", AND WRAPPED OVER THE FACE

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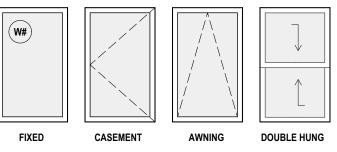
OHIO (SECTION R310)

EXTERIOR WALL TYPES NOTE: WALL INFORMATION IS DEMONSTRATED IN PLAN VIEW

<u>INTERIOR</u> **EXTERIOR** SIDING, REFER TO EXTERIOR ELEVATIONS 1/2" GYP BD---------WEATHER BARRIER 2x4 WOOD STUDS W/ R-19 BATT——— INSULATION 7/16" APA RATED ---EXTERIOR GRADE OSB SHEATHING

RESIDENCE

WINDOW LEGEND



BASIS OF DESIGN:

SECOND FLOOR ELEV. 9'-0" AFF

______FIRST FLOOR ELEV. 0'-0"

⊕ FIRST FLOOR ______

SIDE OF HOUSE ELEVATION

EXTERIOR ELEVATIONS

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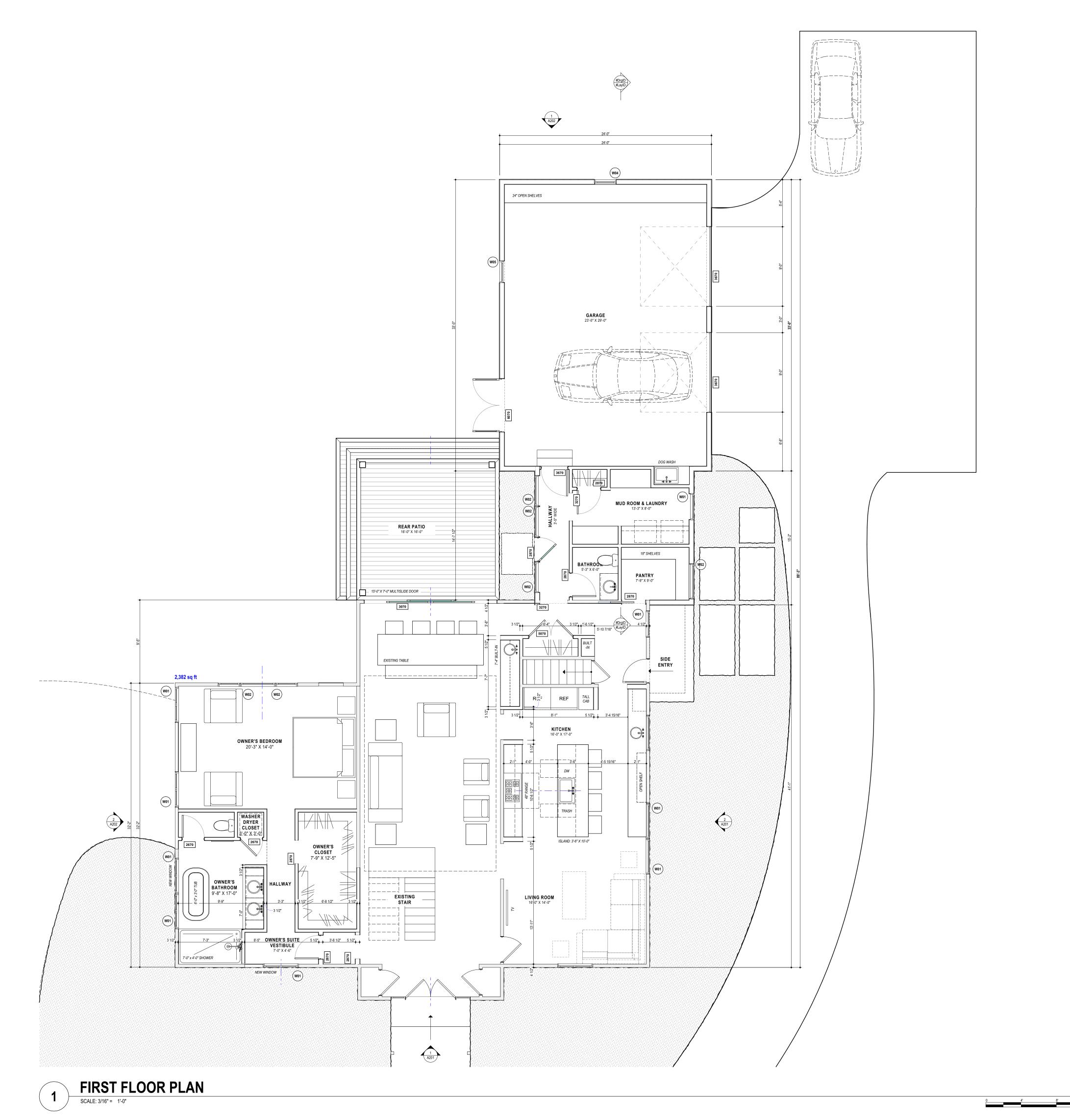


1 REAR OF HOUSE ELEVATION SCALE: 1/4" = 1'-0"

T/PARAPET WALL
ELEV. 11'-6" AFF

SCALE: 1/4" = 1'-0"

PROPOSED ADDITION EXISTING RESIDENCE





PROJECT TEAM:

ARCHITECT HARA ARCHITECTS

STRUCTURAL

FLOOR PLAN GENERAL NOTES

VERIFY DIMENSIONS AND CONDITIONS IN FIELD. WHEN DIMENSIONS AND/OR CONDITIONS AS INDICATED ON DRAWINGS CONFLICT WITH ACTUAL, CONTACT ARCHITECT FOR CLARIFICATION

PROVIDE SOUND DEADENING INSULATION AROUND BEDROOMS, BATHROOMS, MECHANICAL ROOMS, AND PLUMBING STACKS

BLOCK WEBS SOLID AT BEARING WALL LOCATIONS ABOVE

CONTRACTOR TO EXTEND ALL POSTS DOWN TO SOUND FOUNDATION, INSTALL FULL DEPTH SOLID BLOCKING AT ALL POINT LOAD LOCATIONS.

ALL FOOTINGS TO EXTEND DOWN TO FROST LEVEL MINIMUM.

COORDINATE EXACT LOCATIONS OF FLOOR DRAINS WITH MECHANICAL CONTRACTOR.

PROVIDE 5/8" GYP. BOARD TYPE "X" ON GARAGE CEILINGS.

ALL INTERIOR DOORS TO BE 1 7/8" SOLID CORE WOOD DOORS. COORDINATE WITH FINISH PLANS FOR FINAL FINISH SELECTIONS

ALL INTERIOR TRIM TO BE POPLAR OR APPROVED EQUAL. COORDINATE WITH INTERIOR ELEVATIONS AND MILLWORK DRAWINGS FOR SELECT TYPES AND PROFILES.

ALL MILLWORK TO BE PER DRAWINGS.

REFER TO CONSULTANT DRAWINGS IF APPLICABLE FOR COORDINATION OF WORK BETWEEN TRADES

FLOOR TRUSS CRITERIA TCDL= 10 PSF BCDL= 10 PSF

NET UPLIFT= 15 PSF 19/32" APA RATED EXPOSURE 1 OSB

ROOF TRUSS CRITERIA TCLL= 25 PSF TCDL= 10 PSF BCDL= 10 PSF NET UPLIFT= 10 PSF ATTIC LL= 40 PSF Δ TTL < L/240

> WOOD HEADERS (U.N.O.) OPENING HEADERS

NON BEARING BEARING UP TO 4'-0" (2) 2 X 8 1 JACK, 1 KING 1 JACK, 1 KING 4'-0" - 6'-0" (2) 2 X 10 1 JACK, 1 KING 2 JACK, 1 KING 6'-1" - 8'-0" (2) 2 X 12 1 JACK, 1 KING 2 JACK, 1 KING 8'-1" - 10'-0" (2) 11 1/4 LVL 2 JACK, 1 KING 3 JACK, 1 KING _____

INDICATES WEB STIFFENING BELOW BEARING WALL ABOVE INDICATES AREA OF ADDITIONAL FRAMING REQUIRED

INDICATES POINT LOAD FROM ABOVE

INDICATES LOCATION OF

BEARING WALL ABOVE INDICATES BEARING WALL

RESIDENCE

PROJECT #: 2407

ISSUE	ID	DATE
SCHEMATIC DESIGN		11/04/2024

FIRST FLOOR PLAN

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PROJECT TEAM:

ARCHITECT
HARA ARCHITECTS
STRUCTURAL

IILL RESIDENCE

PROJECT #: 2407

ISSUE ID DATE
SCHEMATIC DESIGN 11/04/2024

MEMOVE EXISTNO CHANCEY

REMOVE COSTING PURIFICIAL TO ACCOMMENTE SET OF ACCOMMENT OF ACCOMMENT

REMOVE PORTION OF WALL ——
TO ACCOMMODATE NEW

REMOVE EXISTING HOT WATER — TANK EXHAUST CHIMNEY

> REMOVE EXISTING WALL —— COMPLETELY

SLIDING DOOR

| 3'-2" |

— REMOVE PORTION OF WALL
TO ACCOMMODATE OPENING
INTO PANTRY

REMOVE CABINETS & COUNTERTOPS COMPLETELY

FIRST FLOOR DEMOLITION PLAN

SCALE: 3/16" = 1'-0"

SECOND FLOOR DEMOLITION PLAN

SCALE: 3/16" = 1'-0"

DEMOLITION PLANS

D100

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SECOND FLOOR PLAN

A102

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SECOND FLOOR PLAN

SCALE: 3/16" = 1'-0"

2 A202

