

Meeting Date:

July 8, 2019

Location:

6338 Hudson Crossing Pkwy

Parcel Number

3010245

Request:

Site Plan Application

Applicant:

Premier Development Partners

Property Owner:

Manneschi & Benedetti Properties,
LLC.

Zoning:

D6-Western Hudson Gateway

Case Manager:

Kris McMaster

Staff Recommendation

Approval subject to conditions on
page **three**.

Contents

- Application letter, dated 7/2/19
- Site Plan, dated 6/21/19
- Elevations/floor Plans, dated 6/21/19
- Improvement Plans, dated 6/21/19
- City Engineer Review, dated June 28, 2019
- PC Decision of expired previous site approval, dated 6/11/18



Existing Conditions, City of Hudson GIS

Project Background:

Application has been received for proposed construction of a new manufacturing/office facility for a supplier of metal detectors and security equipment located at the Hudson Crossing Business Park. The proposed project includes construction of a 116,000-square foot facility 74,056 square feet for office and lab, 46,217 square feet of warehouse/production, 3 loading docks and 1 drive thru door, 95 parking stalls and 22 landbanked parking spaces. Future expansion area plans are to add 185,373 square feet and 146 landbank parking spaces.

Staff notes that this site plan was previously before PC, Case 1018-3913 and approved on June 11, 2018. This approval expired this June 10, 2019.

Adjacent Development:

The subject property is located within the interior of the Hudson Crossing Business Park at 6336 Hudson Crossing Parkway within District 6 Western Hudson Gateway. The subject property is adjacent to a multi-tenant 125,000 square foot building to the west, vacant land to the south and The Reserve at River Oaks Subdivision to the north. To the west commercial industrial acreage within the Village of Boston Heights.

Hudson Planning Commission	SITE PLAN REVIEW
Case No. 2019-550 January 11, 2020	July 2, 2019

District Standards (Section 1205)

- ☒ **Use** The facility will be a manufacturing/office facility for CEIA USA, Ltd., a supplier of metal detectors and security equipment. They also sell and service Induction Heating Equipment. The proposed warehousing/office uses are permitted by right.
- ☒ **Dimensional Standards** The dimensional standards for lot width, lot frontage, and setbacks are acceptable. The plans depict the 32.2 acres with future expansion area plans of 182,373 square feet and 146 landbank parking spaces.
- ☒ **Pedestrian Amenities** The applicant has appropriately proposed a sidewalk along the parking lot connecting to the building entrance. A sidewalk path from the building entrance to the street has been provided. Sidewalks are currently in place along Hudson Crossing Parkway to West Streetsboro Street along all the business frontages except one undeveloped parcel which will be installed once developed.

Zoning Development and Site Plan Standards (Section 1207)

- ☒ **Impervious Surface** The impervious surface coverage may be no more than 80% of the total gross lot area. Application complies with applicable standards
- ☐ **Wetlands/Streams** Wetlands are located to the north and west of the development, outside of the project limits. The submitted plan complies with the applicable 100-foot setback from the delineated wetlands. Submission of updated wetland delineation report and flood zones is required to confirm the wetland boundary has not changed. (Condition 1)
- ☒ **Vegetation Protection** Application complies with applicable standards.
- ☒ **Landscaping** The concept site plan indicates appropriate areas to accommodate the necessary front yard, street trees, perimeter parking lot, and interior island landscaping. Proposed plan meets this requirement.
- ☒ **Parking** Industrial/manufacturing facilities are required to provide one space for each employee on the shift with the highest number of employees. There are a total of 57 employees which consists of 52 full-time employees and 5 temporary employees. The current proposal contains 95 paved spaces, 22 landbank parking spaces.
- ☐ **Exterior Lighting** An exterior lighting plan including photometrics must be in compliance with applicable standards of Section 1207.18(g). Spec sheets on proposed lighting fixtures are required to be submitted. (Condition 2)
- ☐ **Circulation** The site plan should minimize the number of curb cuts (reduce to one curb cut from two) to provide for safe and functional movement of traffic onto, off of, and within the site per Section 1207.18(f)(1)(A). (Condition 3)
- ☒ **Industrial Design** The Architectural Design Committee made a recommendation to the Planning Commission of their acceptance of the design per Section 1207.18(h) at the July 8, 2018 meeting which Planning Commission approved. The building still contains the color concrete masonry units, a precast wall panel system with textured paint finish, horizontal and vertical banding, and large glass panels with a composite metal panel canopy at the office mass. Staff notes the building design has had minor changes to include more windows on the front and rear elevations and the addition of more loading docks at west side elevation. Staff finds the design to be in conformance with the 2018 approval.

Hudson Planning Commission	SITE PLAN REVIEW
Case No. 2019-550 January 11, 2019	July 2, 2019

City Departments:

- ☐ **Engineering** City Engineer, Brad Kosco has submitted a review letter dated June 28, 2019. Mr. Kosco notes the preliminary site plan is acceptable and comments on the plan will need to be addressed prior to approval of the final plan as noted in review letter. (Condition 4)
- ☐ **Fire Department** Fire Marshal Shawn Kasson is currently reviewing plan due to staff receiving this application late. (Condition 5)

Findings:

The staff finds that the application is in substantial compliance with the use, zoning development site plan, and other governmental regulations, and land disturbance and grading review contained in Section 1204.04.

Required PC Action

The PC shall consider the development application, the staff report, and then take final action. PC shall approve, approve with conditions, or deny the application based on its compliance with the appropriate review standards. All decisions of the Commission shall be based on findings of fact related to the relevant standards of the Code.

Recommendation

Approve the site plan in Case 2019-550 for 6336 Hudson Crossing Parkway, Parcel #3010245, Hudson Business Park according to plans received June 21, 2019 subject to the following conditions:

1. Submission of updated wetland delineation report and flood zones is required.
2. Planning Commission accepts the minor changes to the elevations from the approved recommendation of the Design Subcommittee on July 8, 2018 for Development in Districts 6 and 8 and approves the project design.
3. Spec sheets on lighting fixture types.
4. Reduce the number of curb cuts to one.
5. The comments of City Engineer, Brad Kosco must be addressed per the June 28, 2019 correspondence for final approval of the plan.
6. Subject to review and approval by Fire Marshal, Shawn Kasson.
7. Satisfaction of the above conditions prior to scheduling of a preconstruction meeting with City Officials and no clearing or construction of any kind shall commence prior to the issuance of a Zoning Certificate.



Tuesday, July 02, 2019

To Whom It May Concern;

At our Twinsburg, OH facility, CEIA USA, Ltd. sells and services walk through, handheld, and underground search metal detectors. We also sell and service Induction Heating Equipment featuring PowerCube generators. This is mainly done through warehousing and shipping. In addition to this, CEIA USA, Ltd. has also begun some light manufacturing and assembly of metal detectors and accessories in Twinsburg, OH as well.

CEIA USA, Ltd has a total of 57 employees which consists of 52 full-time employees and 5 temporary employees. Of these, currently, 45 employees, 40 full-time and the 5 temporary employees, report to the Twinsburg, OH facility. We currently have approximately 45 available parking spaces. Currently it is a one shift operation. The office is open typically between 7am and 7pm, and working hours are 8:00am to 5:00pm.

Best regards,

A handwritten signature in black ink, appearing to read "Bruno Carano", written in a cursive style.

Bruno Carano

Director of Finance & Administration



Date: CITY REVIEW 06.21.19

CEIA USA, LTD.	
MANNESCHI & BENEDETTI PROPERTIES, LLC	
HUDSON CROSSING PARKWAY	
HUDSON, OHIO	
Approved By:	
Approval Date:	
Scale:	1" = 50'

PRELIMINARY
NOT FOR CONSTRUCTION

Developer Job Number: _____

Consultant Job Number: _____

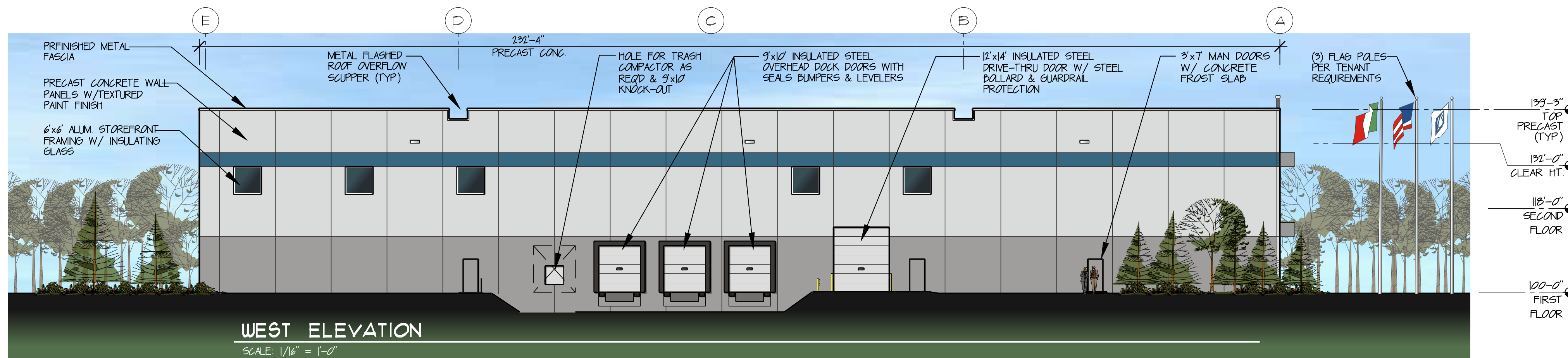
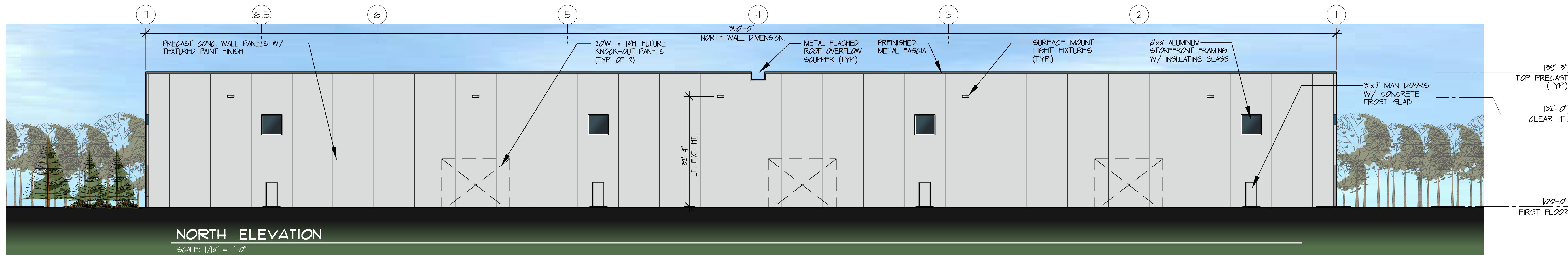
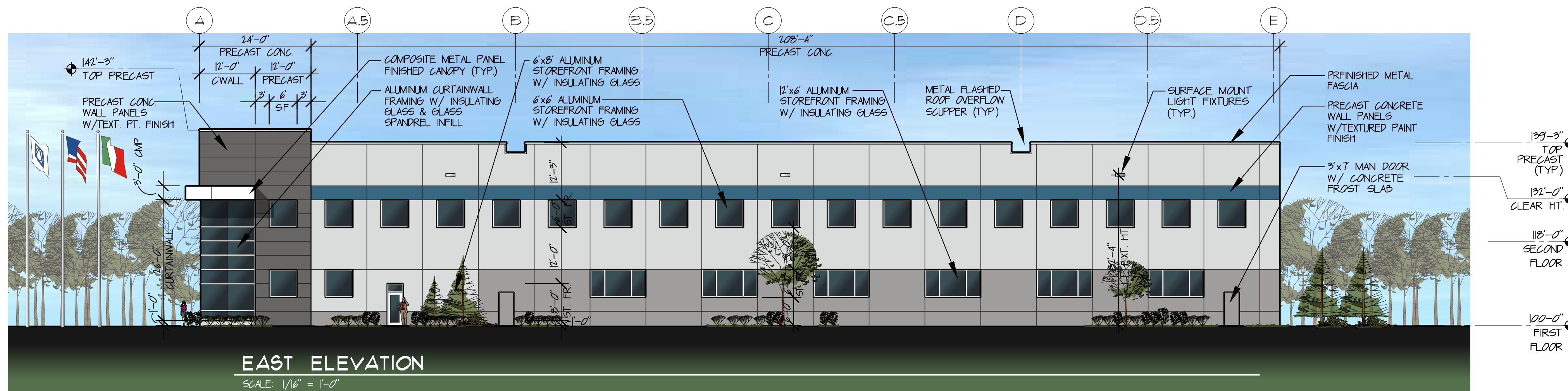
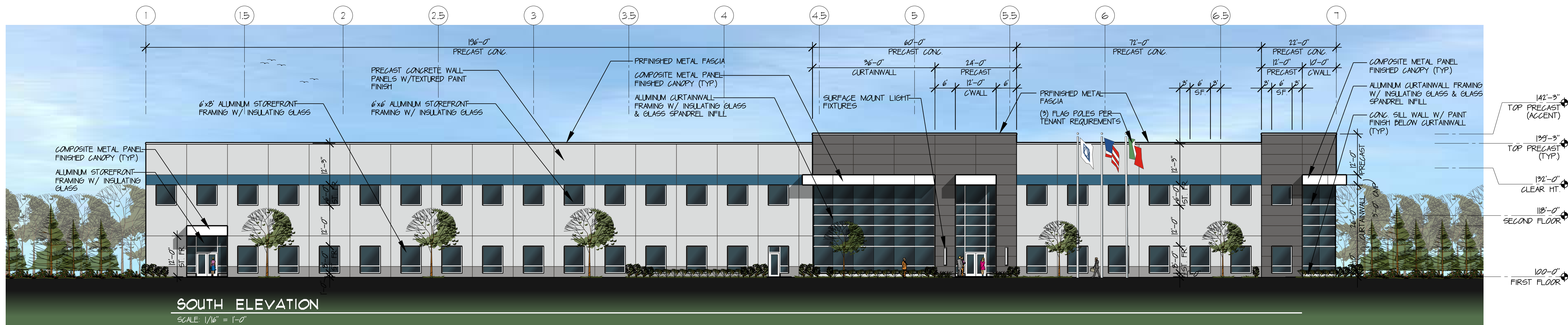
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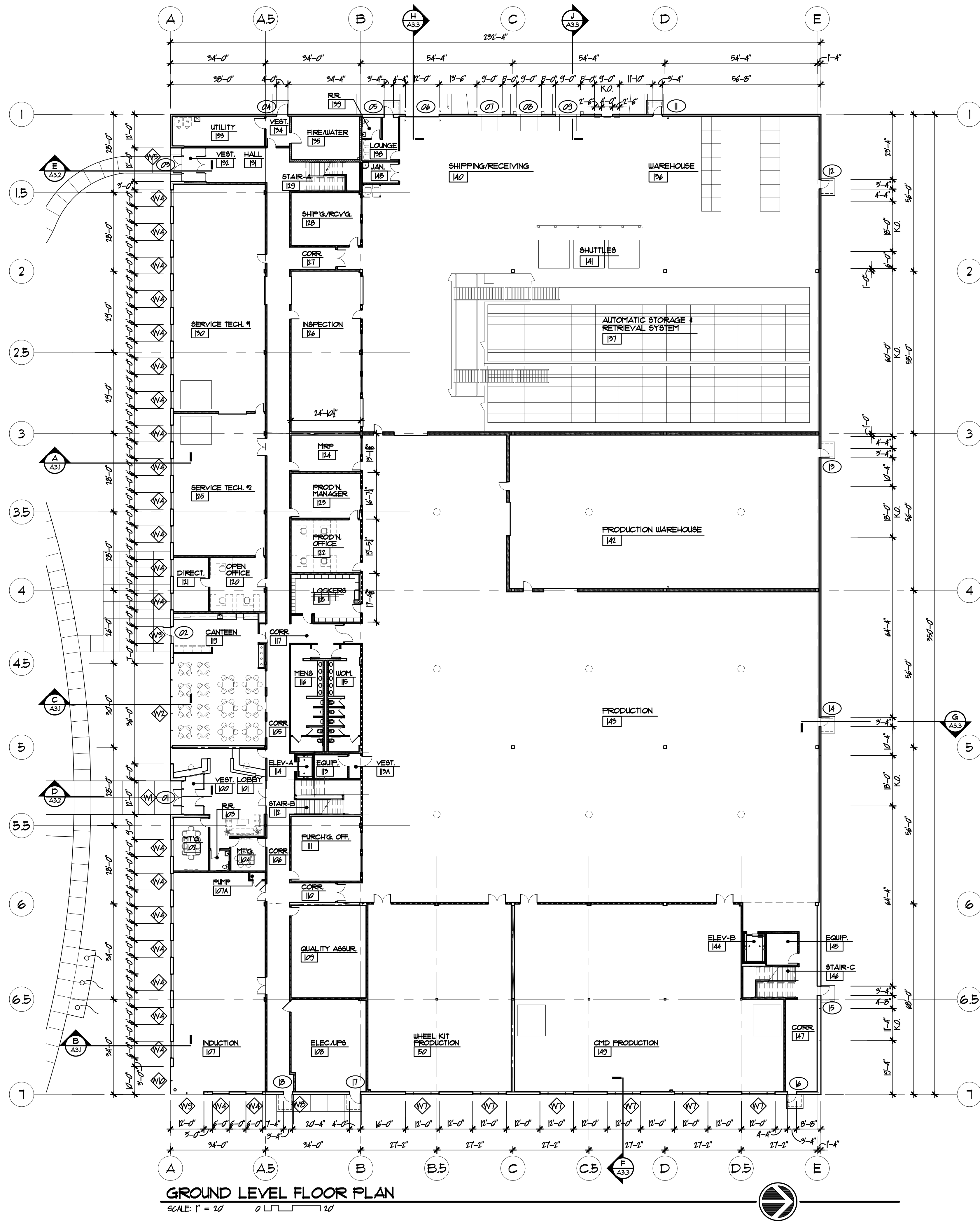
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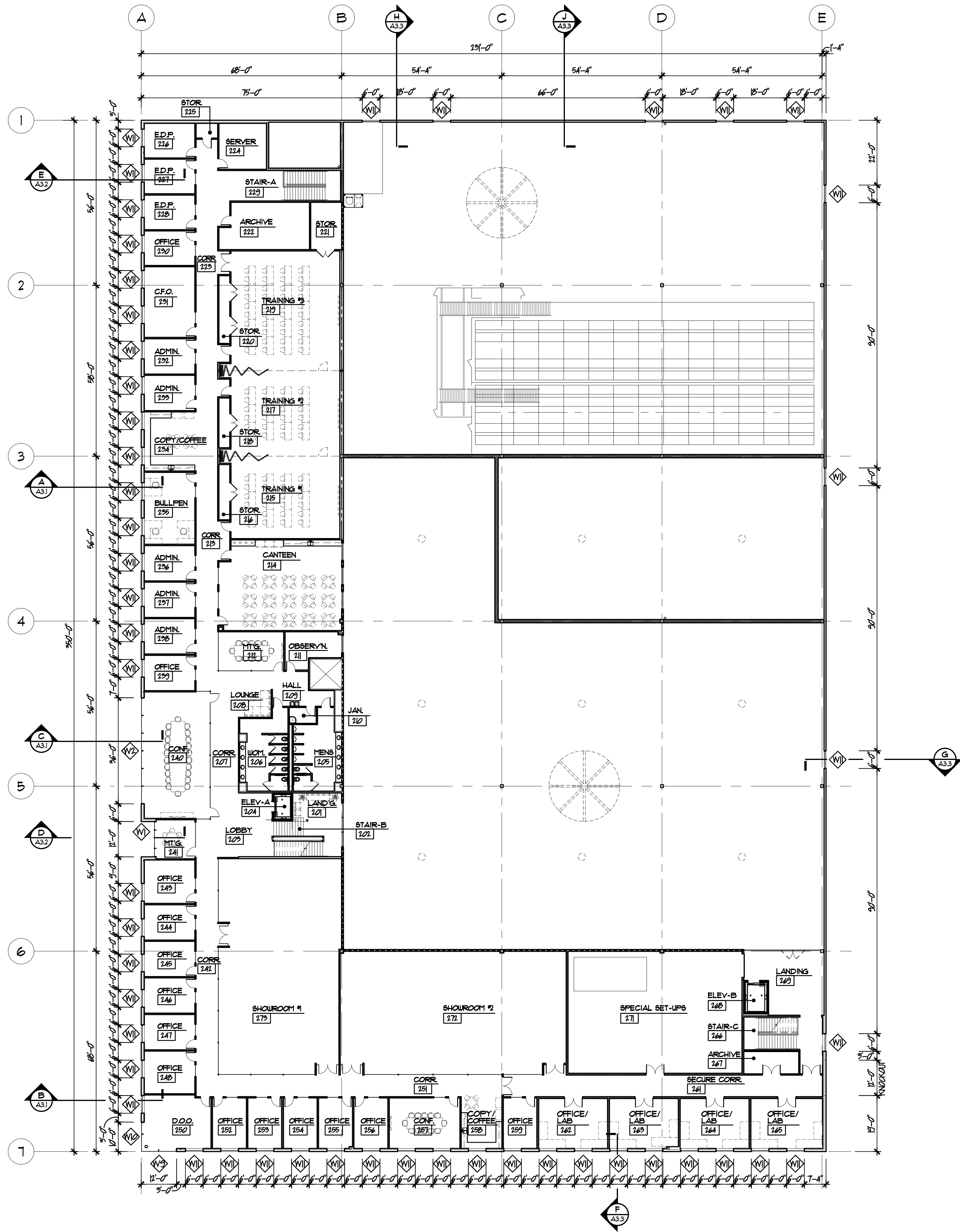
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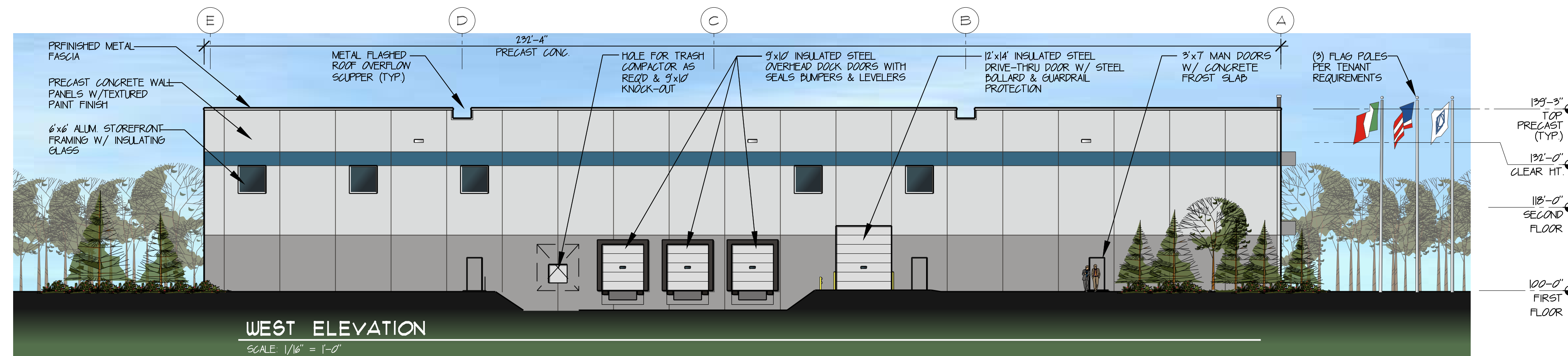
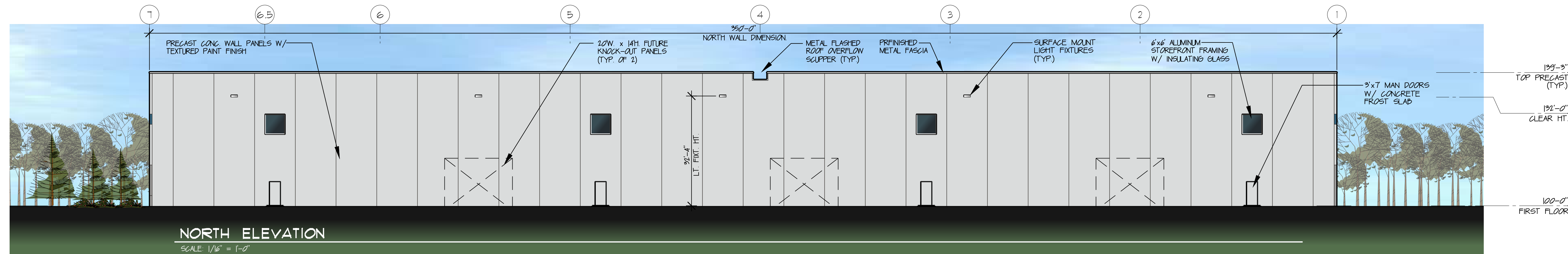
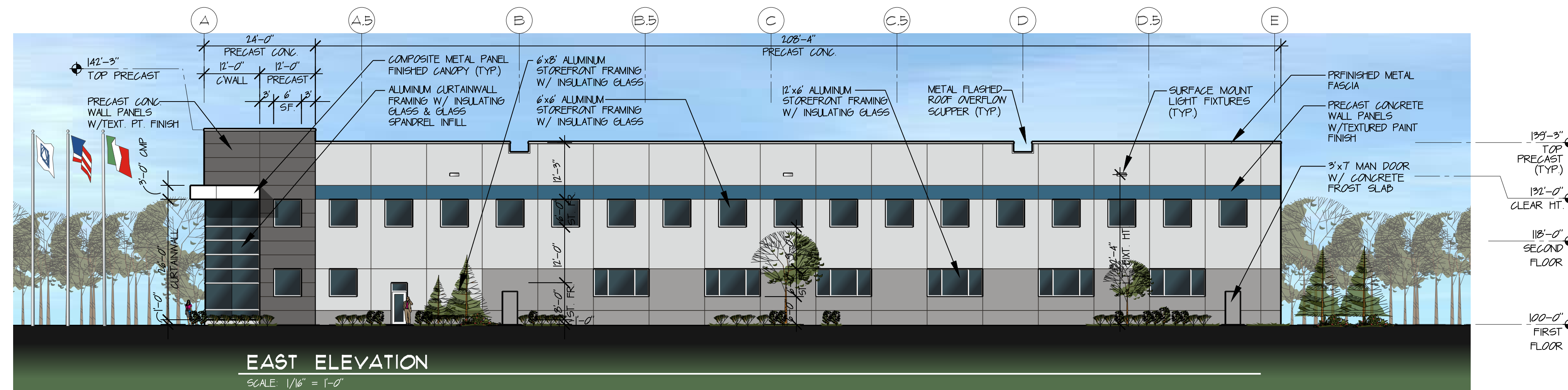
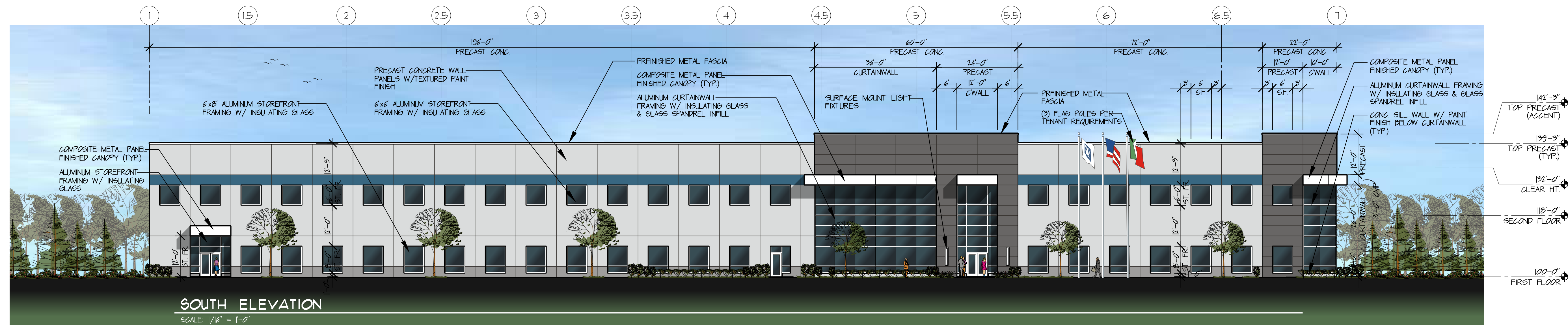




GROUND LEVEL FLOOR PLAN
SCALE: 1" = 20'



UPPER LEVEL FLOOR PLAN
SCALE: 1" = 20'



Old Plan 7-8-18

TITLE COMMITMENT (Exceptions)

The following has been reviewed and is based on the Title Commitment for ALTA Parcel.....
ALTA.....PP#3009928
All of 32.1831 acres (surveyed) 'Consolidated Lot 2A-2'

and Appurtenant Easements as shown hereon and those exceptions affecting said subject parcels are listed as follows:

Revere Title Agency
Title Commitment: ALTA Order #1912-COM - REVISION #1
Effective Date: May 17, 2018 at 7:29 a.m.
Schedule B - Section 2

1 thru 8) Standard exceptions
SEE RECORD DOCUMENTS - NOT SHOWN HEREON

- 9) The Plat of Minor Subdivision, as shown on the Plat recorded in Reception No. 55741079 of Summit County Records, shows the following:
a) Easements
b) Wetlands
c) Building Lines
d) etc
Note: No further examination has been made on the above Plat.
AFFECTS ALTA PARCEL - SEE RECORD DOCUMENTS - SHOWN HEREON
- 10) Easement from F.D. Shultz and Ella A. Shultz to Ohio Edison Company, dated May 27, 1941, filed for record on September 15, 1941 and recorded in Book 1899, Page 282 of Summit County Records.
DOES NOT AFFECT ALTA PARCEL - NOT SHOWN HEREON
- 11) Easement from The 303 Realty company to Ohio Edison Company, dated June 10th, 1959, filed for record July 3, 1959 and recorded in Volume 3691, Page 196 of Summit County Records.
DOES NOT AFFECT ALTA PARCEL - NOT SHOWN HEREON
- 12) Oil and gas lease by and between Fortuna Company and Eastern Gas Transmissions, Inc., dated September 5, 1975, filed for record February 2, 1976 and recorded in Volume 5604, Page 15 of Summit County Records.
Note: No further examination has been made on the above Oil & Gas Lease.
AFFECTS ALTA PARCEL - SEE RECORD DOCUMENTS - SHOWN HEREON (SEE 2ND RECORDING EXCEPTION #25 BELOW)
- 12A) Assigned from Eastern-Noble Ventures, Jud Noble & Associates, Inc. and Eastern Gas Transmission, Inc. to Park-Ohio Industries, dated September 15, 1976, filed for record September 15, 1976 and recorded in Volume 5852, Page 264 of Summit County records.
AFFECTS ALTA PARCEL - SEE RECORD DOCUMENTS - SHOWN HEREON (SAME AS EXCEPTION #18C BELOW)
- 12B) Assigned from Park-Ohio Industries, Inc. to POI Energy, Inc., dated January 19, 1978, filed for record January 23, 1979 and recorded in Volume 5957, Page 641 of Summit County records.
AFFECTS ALTA PARCEL - SEE RECORD DOCUMENTS - SHOWN HEREON (SAME AS EXCEPTION #18D BELOW)
- 13) Reservation contained in the Deed from Hudson Lane, Inc. now by merger Sunrise Development inc. to the State of Ohio, dated April 22, 1975, filed for record July 1, 1975 and recorded in Volume 5681, Page 537 of Summit County Records.
DOES NOT AFFECT ALTA PARCEL - NOT SHOWN HEREON
- 14) Judgement Entry, Case No. 75-8-1828 for Appropriation of Land for Highway Purposes, by and between Fortuna Company, et al, and The State of Ohio, dated September 1, 1976, filed for record September 8, 1976 and recorded in Volume 5809, Page 585 of Summit County Records.
DOES NOT AFFECT ALTA PARCEL - NOT SHOWN HEREON
- 15) Oil and Gas Lease by and between Sunrise Development, Inc. and David A. Waldron & Associates, Inc. and Steve and Helen Gnatovich, dated December 8, 1983, filed for record December 20, 1983 and recorded in Volume 6804, Page 40 of Summit County Records.
Note: No further examination has been made on the above Oil & Gas Lease.
AFFECTS ALTA PARCEL - SEE RECORD DOCUMENTS - SHOWN HEREON
- 15A) Assigned from David A. Waldron & Assoc., Inc. to David A. Waldron, dated January 18, 1984, filed for record January 19, 1984 and recorded in Volume 6887, Page 296 of Summit County Records.
AFFECTS ALTA PARCEL - SEE RECORD DOCUMENTS - SHOWN HEREON
- 15B) Assigned form Sunrise Development Co., to Fortuna Company, dated March 12, 1985, filed for record March 19, 1985 and recorded in Volume 7023, Page 536 of summit County Records.
AFFECTS ALTA PARCEL - SEE RECORD DOCUMENTS - SHOWN HEREON
- 15C) Amendment by and between Prestige and Premier Companies and David A. Waldron, dated December 16, 2002, filed for record March 13, 2003 and recorded in Reception No. 54838512 of summit County Records.
AFFECTS ALTA PARCEL - SEE RECORD DOCUMENTS - SHOWN HEREON (SAME PARCEL AS IN EXCEPTION #18E BELOW)
- 16) Right-of-Way from Fortuna Company to Park-Ohio Energy, Inc. dated September 27, 1984, filed for record October 10, 1984 and recorded in Volume 6986, Page 496 of Summit County Records.
AFFECTS ALTA PARCEL - SEE RECORD DOCUMENTS - SHOWN HEREON
- 17) Easement for Highway Purposes from Thomas O. Thompson and Earla M. Thompson to The State of Ohio, dated May 16, 1962, filed for record October 25, 1962 and recorded in Volume 4128, Page 619 of Summit County Records.
DOES NOT AFFECT ALTA PARCEL - NOT SHOWN HEREON
- 18) Oil and Gas Lease by and between Eastern Gas Transmission, Inc. "Lessee", and John R. Thompson, "Lessor", dated September 22, 1975. filed for record October 14, 1975 and recorded in Volume 5603, Page 556 of Summit County Records.
Note: No further examination has been made on the above Oil and Gas Lease.
DOES NOT AFFECT ALTA PARCEL - NOT SHOWN HEREON (SAME PARCEL AS IN EXCEPTION #19 & 21 BELOW)
- 18A) Assigned from Eastern Gas Transmission, Inc. to Park-Ohio Industries, Inc. dated September 26, 1975, filed for record January 9, 1976 and recorded in Volume 5723, Page 211 of Summit County Records.
DOES NOT AFFECT ALTA PARCEL - NOT SHOWN HEREON

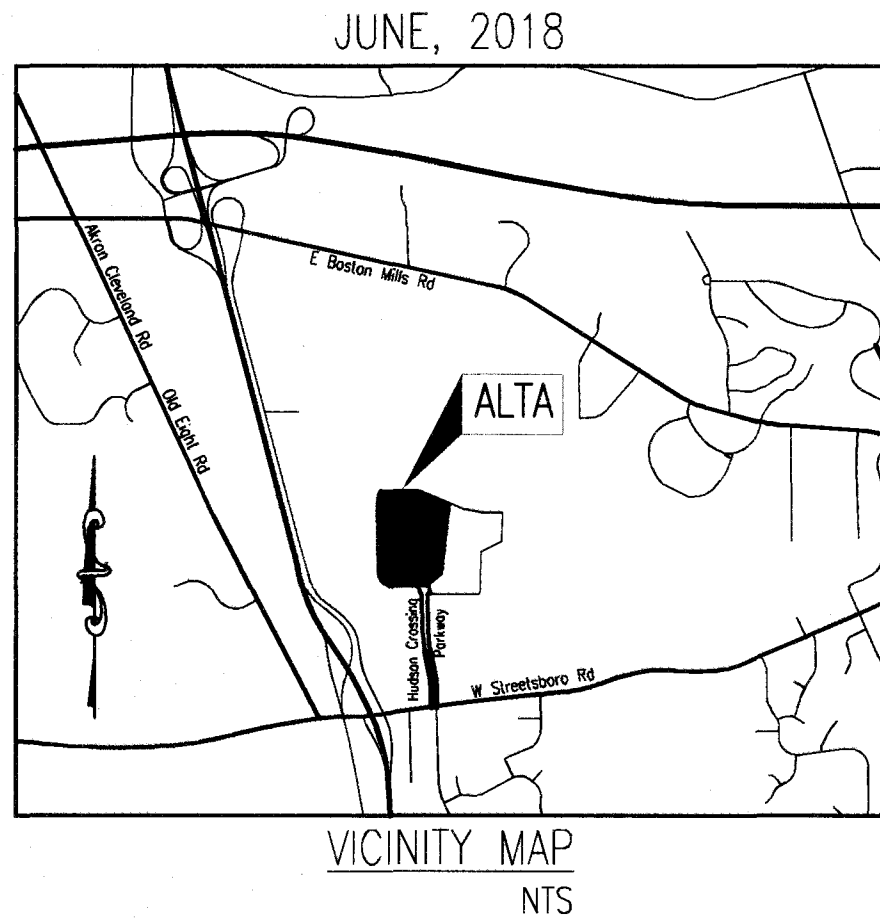
ALTA/ACSM SURVEY

PP#3009928
FOR

MANNESCHI & BENEDETTI, L.L.C.
INDUSTRIAL LAND PARTNERS HOLDINGS, L.L.C.
REVERE TITLE AGENCY, INC.
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

HUDSON CROSSING PARKWAY
CITY OF HUDSON
SUMMIT COUNTY, OHIO

BEING KNOWN AS ALL OF THE 32.1831 ACRES (SURVEYED) "CONSOLIDATED LOT 2A-2' OF ORIGINAL HUDSON TOWNSHIP LOTS #41 & 51 AS SHOWN ON THE "LOT SPLIT & CONSOLIDATION PLAT FOR PP #3009928 & 3009929" AS RECORDED IN RECEPTION #_____ DATED _____, 2018 OF SUMMIT COUNTY PLAT RECORDS AS CONVEYED TO INDUSTRIAL LAND PARTNERS HOLDINGS, L.L.C. BY DEED DATED _____, 2018 IN RECEPTION #_____ (PP#_____) OF SUMMIT COUNTY DEED RECORDS.



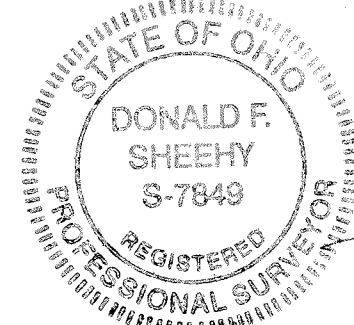
SHEET INDEX

- 1 ALTA-TITLE SHEET
W/EXCEPTIONS (AS PER TITLE COMMITMENT)
- 2 TOPOGRAPHICAL LOCATIONS & ALTA LEGAL DESCRIPTION
(AS SURVEYED)
- 3 ALTA-BOUNDARY W/EASEMENTS & PROPERTY MAP
W/FLOOD PLAIN & WETLANDS

ALTA PARCEL DATA (as consolidated)		DOCUMENT LISTINGS
1-A LOT "2A".....	29.0050 Acs. - 1,263,457 Sq. Ft.	A "MINOR SUBDIVISION OF SUBLT '2' OF THE HUDSON CROSSING PARKWAY INDUSTRIAL SUBDIVISION" RECEPTION #55741079 - 11/17/2010
2-B -SPLIT AREA "A".....	0.7995 Acs. - 34,828 Sq. Ft.	
3-B REMAINDER "2A-1".....	28.2055 Acs. - 1,228,629 Sq. Ft.	B "LOT SPLIT & CONSOLIDATION FOR PARCELS #3009928 & 3009929" (TO BE RECORDED) RECEPTION #_____ - /-/-
4-C +VACATED R/W (N).....	1.3248 Acs. - 57,709 Sq. Ft.	
5-D +LOT SPLIT #4.....	2.6502 Acs. - 115,444 Sq.Ft.	C "VACATION PLAT W/EASEMENTS PART OF HUDSON CROSSING PARKWAY" (TO BE RECORDED) RECEPTION #_____ - /-/-
6-D CONSOLIDATED "2A-2".....	32.1831 Acs. - 1,401,899 Sq.Ft.	
NOTE: THIS ALTA/ACSM SURVEY PLAT WAS PREPARED IN CONJUNCTION WITH THE ABOVE REFERENCED PLATS A, B, C & D AND WITHOUT THE BENEFIT OF PLATS B, C & D BEING RECORDED AT THE TIME OF THIS PLAT PREPARATION.		D "LOT SPLIT & CONSOLIDATION FOR PARCELS #3009928 & 3009749" (TO BE RECORDED) RECEPTION #_____ - /-/-

SURVEYOR'S CERTIFICATION:

TO: MANNESCHI & BENEDETTI, L.L.C., INDUSTRIAL LAND PARTNERS HOLDINGS, L.L.C., REVERE TITLE AGENCY, INC. AND OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY.
THIS IS TO CERTIFY THAT THIS PLAT AND THE SURVEY ON WHICH IT WAS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6, 8, 11, 13, 14, & 19 OF TABLE 'A' THEREOF. THE FIELD WORK WAS COMPLETED ON MARCH 09, 2018.



Donald F. Sheehy, P.S. No. 7849

7.11.2018
DATE

TITLE COMMITMENT (Exceptions continued)

- 18B) Partial Release by Eastern Gas Transmission, Inc. dated January 21, 1976, filed for record February 2, 1976 and recorded in Volume 5723, page 625 of Summit County Records.
DOES NOT AFFECT ALTA PARCEL - NOT SHOWN HEREON
- 18C) Assigned from Eastern-Noble Ventures, Jud Noble & Associates, Inc. and Eastern Gas Transmission, Inc. to Park-Ohio Industries, Inc. dated September 15, 1976, filed for record September 16, 1976 and recorded in Volume 5852, Page 264 of Summit County Records.
AFFECTS ALTA PARCEL - SEE RECORD DOCUMENTS - SHOWN HEREON (SAME AS EXCEPTION #12A ABOVE)
- 18D) Assigned from Park-Ohio Industries, Inc. to POI Energy, Inc. dated January 19, 1978, filed for recorded January 23, 1979 and recorded in Volume 5957, Page 641 of Summit County Records.
AFFECTS ALTA PARCEL - SEE RECORD DOCUMENT - SHOWN HEREON (SAME AS EXCEPTION #12B ABOVE)
- 18E) Amendment by and between Prestige and Premier Companies and David A. Waldron dated December 16, 2002, recorded in Reception No. 54838513 of Summit County Records.
AFFECTS ALTA PARCEL - SEE RECORD DOCUMENTS - SHOWN HEREON (SAME PARCEL AS IN EXCEPTION #15C ABOVE)
- 18F) Correction of Lease Amendment by Duke Realty Ohio dated October 19, 2006 in Reception No. 55379737 of Summit County Records.
DOES NOT AFFECT ALTA PARCEL - NOT SHOWN HEREON (SAME AS EXCEPTION #21C BELOW)
- 19) Right-of-Way Agreement from John R. Thompson to Eastern Gas Transmission, inc. dated September 23, 1975, filed for record February 2, 1976 and recorded in Volume 5741, Page 307 of Summit County Records.
DOES NOT AFFECT ALTA PARCEL - NOT SHOWN HEREON (SAME PARCEL AS IN EXCEPTION #18 ABOVE & #21 BELOW)
- 19A) Assigned from Easter-Noble Ventures, Jud Noble & Associates, Inc. and Eastern Gas Transmission, Inc. to Park-Ohio Industries, Inc. dated September 15, 1976, filed for record September 16, 1976 and recorded in Volume 5852, Page 274 of summit County Records.
DOES NOT AFFECT ALTA PARCEL - NOT SHOWN HEREON
- 19B) Amendment by and between Prestige and Premier Companies and David A. Waldron, dated December 16, 2002, filed for record March 13, 2003 and recorded in Reception No. 54838514 of Summit County Records.
AFFECTS ALTA PARCEL - SEE RECORD DOCUMENTS - SHOWN HEREON (GAS WELLS #3 & 4)
- 19C) Correction of Pipeline Right-of-Way by Duke Realty Ohio dated October 19, 2006, and recorded in Reception No. 55379738 of Summit County Records.
DOES NOT AFFECT ALTA PARCEL - NOT SHOWN HEREON
- 20) Easement from Fortuna Company to Ohio Edison Company, dated July 24, 1984, filed for record August 13, 1994 and recorded in Volume 6928, Page 221 of Summit County Records.
DOES NOT AFFECT ALTA PARCEL - NOT SHOWN HEREON
- 21) Oil and Gas Lease by and between Eastern Gas Transmission, Inc., "Lessee" and John R. Thompson, "Lessor", dated September 22, 1975, filed for record February 2, 1976 and recorded in Volume 5604, Page 24 of Summit County Records.
Note: No further examination has been made on the above Oil & Gas Lease.
DOES NOT AFFECT ALTA PARCEL - NOT SHOWN HEREON (SAME PARCEL AS IN EXCEPTION #18 & 19 ABOVE)
- 21A) Partial Release of Surface Rights by Great Lakes Energy Partners, L.L.C. dated February 10, 2003, filed for record February 14, 2003 and recorded in Reception No. 54824602 of Summit County Records.
DOES NOT AFFECT ALTA PARCEL - NOT SHOWN HEREON
- 21B) Assignment from Eastern Gas Transmissions, Inc. to Park-Ohio industries, Inc. dated February 10, 1976, filed for record February 17, 1976 and recorded in Volume 5723, Page 823 of Summit County Records.
DOES NOT AFFECT ALTA PARCEL - NOT SHOWN HEREON
- 21C) Correct of Lease Amendment by Duke Realty Ohio, dated October 19, 2006 and recorded in Reception No. 55379737 of Summit County Records.
DOES NOT AFFECT ALTA PARCEL - NOT SHOWN HEREON (SAME AS EXCEPTION #18F ABOVE)
- 22) Matters set forth on the Hudson Crossing Parkway Industrial Subdivision, filed for record September 22, 2006 and recorded in Reception No. 55370315 of summit County Records.
a) Wetlands Preservation Areas and related setbacks
b) South Bioretention Pond and related utilities easements and facilities
c) Tank battery and gas wells and related setbacks and facilities
d) Note Re: Cost of future roadway extension to be paid by developer of roadway
e) Pump Station parcel to be conveyed to City of Hudson
f) Proposed utility easements
g) Existing utility easements & setbacks
h) Proposed area of vacation along State Route 303/ Southern line of Sublot 2
i) Proposed Gas Line Easements in favor of David A. Waldron & Associates
Note: No further examination was made on the above plat.
AFFECTS ALTA PARCEL - SEE RECORD DOCUMENTS - SHOWN HEREON (SAME AS EXCEPTION #23 BELOW)
- 23) Declaration of Development Standards, Covenants and Restrictions from Industrial Land Partners, L.L.C. to Hudson Crossing Business Park, filed for record November 24, 2010 and recorded in Reception No. 55743311 of Summit County Records.
NOTE: Said restrictive covenants have not been violated and any future violations thereof will not cause a forfeiture or reversion of title.
NOTE: "But, however, deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin to the extent such matters violate 42 USC 3604(c)."
AFFECTS ALTA PARCEL - SEE RECORD DOCUMENTS - SHOWN HEREON

FOR CONTINUATION OF TITLE COMMITMENT EXCEPTIONS, SEE SHEET #2/3

TITLE SHEET W/EXCEPTIONS

DESIGNED BY:	BAS
DRAWN BY:	JAW
CHECKED BY:	DFS
DATE:	JULY, 2018
SCALE:	NA
SCALE:	NA
PROJECT NUMBER	18129
Drawing Name	18129 ALTA Master
SHEET:	1
TOTAL SHEETS:	3

ALTA/ACSM SURVEY
(ALTA-TITLE SHEET)
MANNESCHI & BENEDETTI, L.L.C.
CITY OF HUDSON
COUNTY OF SUMMIT, OHIO

REVISIONS	
1)	06-14-18 REMISED AS PER TITLE CO.
2)	06-18-18 UPDATED TITLE COMMITMENT AS PER TITLE CO.
3)	06-20-18 UPDATED EXCEPTIONS #12, 12B, 18D & 25
4)	06-21-18 UPDATED EXCEPTIONS #12, 12B, 18D & 25

CVE CHAGRIN VALLEY ENGINEERING, LTD.
Creative Engineers. Intelligent Solutions.
22999 Forbes Road, Suite B
Brownsburg, IN 46106
Cleveland, Ohio 44146-5667
www.cve-engineering.com

ALTA/ACSM SURVEY

PP#3009928
FOR
MANNESCHI & BENEDETTI, L.L.C.
INDUSTRIAL LAND PARTNERS HOLDINGS, L.L.C.
REVERE TITLE AGENCY, INC.
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

HUDSON CROSSING PARKWAY CITY OF HUDSON SUMMIT COUNTY, OHIO

WETLANDS (CURRENT DELINEATION)

CURRENT WETLANDS DELINEATION-2018
THE CURRENT WETLAND BOUNDARY SHOWN HEREON WAS ESTABLISHED BY CHAGRIN VALLEY ENGINEERING IN 2018 USING US ARMY CORPS OF ENGINEERS TECHNICAL GUIDANCE INCLUDING THE CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL (JANUARY 1987) AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTH-CENTRAL AND NORTHEAST REGION (JANUARY 2002).
THE EDGE OF WETLANDS, INCLUDING 50' & 100' SETBACK LINES SHOWN ON EXCEPTIONS #1 & 2 (PLATS) WERE UPDATED TO CONFORM TO THE CURRENT WETLANDS DELINEATIONS 2018.

WETLANDS-FLOOD PLANE-ZONING-SETBACKS

100' WETLANDS SETBACK EVALUATED FOR 2018 IMPROVEMENTS BUILDING RESTRICTION SETBACK.
SITE NOT WITHIN 100-YEAR FLOOD BOUNDARY DEFINED BY FIRM FLOOD INSURANCE RATE MAPS - SUMMIT COUNTY, OHIO
- CITY OF HUDSON - #390660 - PANEL 0126E
- MAP #39153C0126E
- EFFECTIVE DATE JULY 20, 2009
ZONE 6 - WESTERN HUDSON GATEWAY
MIN. FRONT YARD SETBACK - 50 FEET
MIN. SIDE & REAR YARD SETBACK - 25 FEET
BUILDING RESTRICTIONS FROM RESIDENTIAL ZONE - 100 FEET

ALTA PARCEL DATA (as consolidated)

1-A LOT '2A'.....	29.0050 Acs. - 1,263,457 Sq. Ft.
2-B -SPLIT AREA 'A'.....	0.7995 Acs. - 34,828 Sq. Ft.
3-B REMAINDER '2A-1'.....	28.2055 Acs. - 1,228,629 Sq. Ft.
4-C +VACATED R/W (N).....	1.3274 Acs. - 57,826 Sq. Ft.
5-D +LOT SPLIT #4.....	2.6502 Acs. - 115,444 Sq. Ft.
6-D CONSOLIDATED '2A-2'.....	32.1831 Acs. - 1,401,899 Sq. Ft.

DOCUMENT LISTINGS

- A "MINOR SUBDIVISION OF SUBLT '2' OF THE HUDSON CROSSING PARKWAY INDUSTRIAL SUBDIVISION" RECEPTION #55741079 - 11/17/2010
B "LOT SPLIT & CONSOLIDATION FOR PARCELS #3009928 & 3009929" (TO BE RECORDED) RECEPTION # - - - - -
C "VACATION PLAT W/EASEMENTS PART OF HUDSON CROSSING PARKWAY" (TO BE RECORDED) RECEPTION # - - - - -
D "LOT SPLIT & CONSOLIDATION FOR PARCELS #3009928 & 3009749" (TO BE RECORDED) RECEPTION # - - - - -

BASIS OF BEARING

THE BASIS OF BEARINGS FOR THIS LEGAL DESCRIPTION IS NORTH 01°07'35" WEST AS THE CENTERLINE OF HUDSON CROSSING PARKWAY (VARIABLE WIDTH RIGHT-OF-WAY) BY PLAT BEARING SHOWN ON THE "MINOR SUBDIVISION OF SUBLT 2 OF THE HUDSON CROSSING PARKWAY INDUSTRIAL SUBDIVISION FOR INDUSTRIAL LAND PARTNERS" IN PLAT BOOK 19-76 PLAT 55370315 OF SUMMIT COUNTY RECORDER'S OFFICE, PLAT MAP DEPARTMENT AND ARE USED TO INDICATE ANGLES ONLY.

REFERENCES:

MINOR SUBDIVISION OF SUBLT 2 OF THE HUDSON CROSSING PARKWAY INDUSTRIAL SUBDIVISION
PREPARED BY MCSTEEN & ASSOCIATES INC. DORNER - PS#6943
RECEPTION NO 55741079 - PLAT BOOK 19-76
DATED NOVEMBER 17, 2010
HUDSON CROSSING PARKWAY INDUSTRIAL SUBDIVISION
PREPARED BY MCSTEEN & ASSOCIATES INC. DORNER - PS#6943
RECEPTION NO 55370315 - PLAT BOOK 19-76
DATED SEPTEMBER 22, 2006
THE RESERVE AT RIVER OAKS SUBDIVISION PHASE 2 & REPLAT OF SUBLOTS 24 & 25 IN THE RESERVE AT RIVER OAKS SUBDIVISION PHASE 1
PREPARED BY DONALD C. BOHNING & ASSOCIATES, CO. ACKERMAN - PS#8196
RECEPTION NO 56156194
DATED SEPTEMBER 11, 2015
TAX MAPS OF RECORD
SUMMIT COUNTY PLAT MAP RECORDS

NOTES

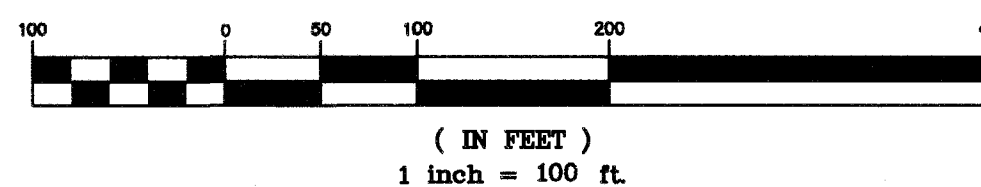
- * EX. GAS WELL IS SHOWN ON EXHIBIT-A OF EXCEPTION #15C & 18E AND ON EXCEPTION #1 & 2 (PLAT) ALONG WITH AN EXISTING 25' GAS LINE EASEMENT & 100' SETBACK, NO FURTHER RECORDS WERE FOUND OR PROVIDED WITH THE TITLE COMMITMENT.
- * THE BIOTRENTION POND FOR LOT #2A IS SHOWN ON EXCEPTION #9 (PLAT), NO FURTHER RECORDS WERE FOUND OR PROVIDED WITH THE TITLE COMMITMENT.
- ** THE EDGE OF WETLANDS SHOWN HEREON, INCLUDING THE 50' & 100' SETBACKS LINES, WERE UPDATED TO CONFORM TO THE CURRENT WETLANDS DELINEATION 2018 AND HEREBY REPLACES THE ONES SHOWN ON EXCEPTION #9 & 22 (PLAT), NO FURTHER RECORDS WERE FOUND OR PROVIDED WITH THE TITLE COMMITMENT.

- A EDGE OF WETLANDS (TYP.)
B 50' WETLANDS SETBACK (TYP.) (NO DISTURBANCE)
C 100' WETLANDS SETBACK (TYP.) & LIMITS OF CONSERVATION EASEMENT

LEGEND

- o 'MCSTEEN' - DENOTES A RECORD 5/8" IRON PIN SET CAPPED 'MCSTEEN 7104' PER PLAT #55741079
 - I.P.S. 'SHEEHY' - DENOTES A 5/8" X 30" IRON PIN SET CAPPED 'D.F. SHEEHY' P.S.#7849
 - = Indicates Monument Box Found
 - ℄ = Centerline
 - R/W = Right-of-Way
 - Calc. = Calculated
 - Usd. = Used
 - Vol. = Volume
 - 1 = Exception No.
 - ℄ = Property Line
 - Rec. = Record
 - Msd. = Measured
 - Fnd. = Found
 - Pg. = Page
- (See sheet #1/3 for description)

GRAPHIC SCALE



PROPERTY MAP
NTS

ALTA/ACSM SURVEY
(ALTA-TITLE SHEET)

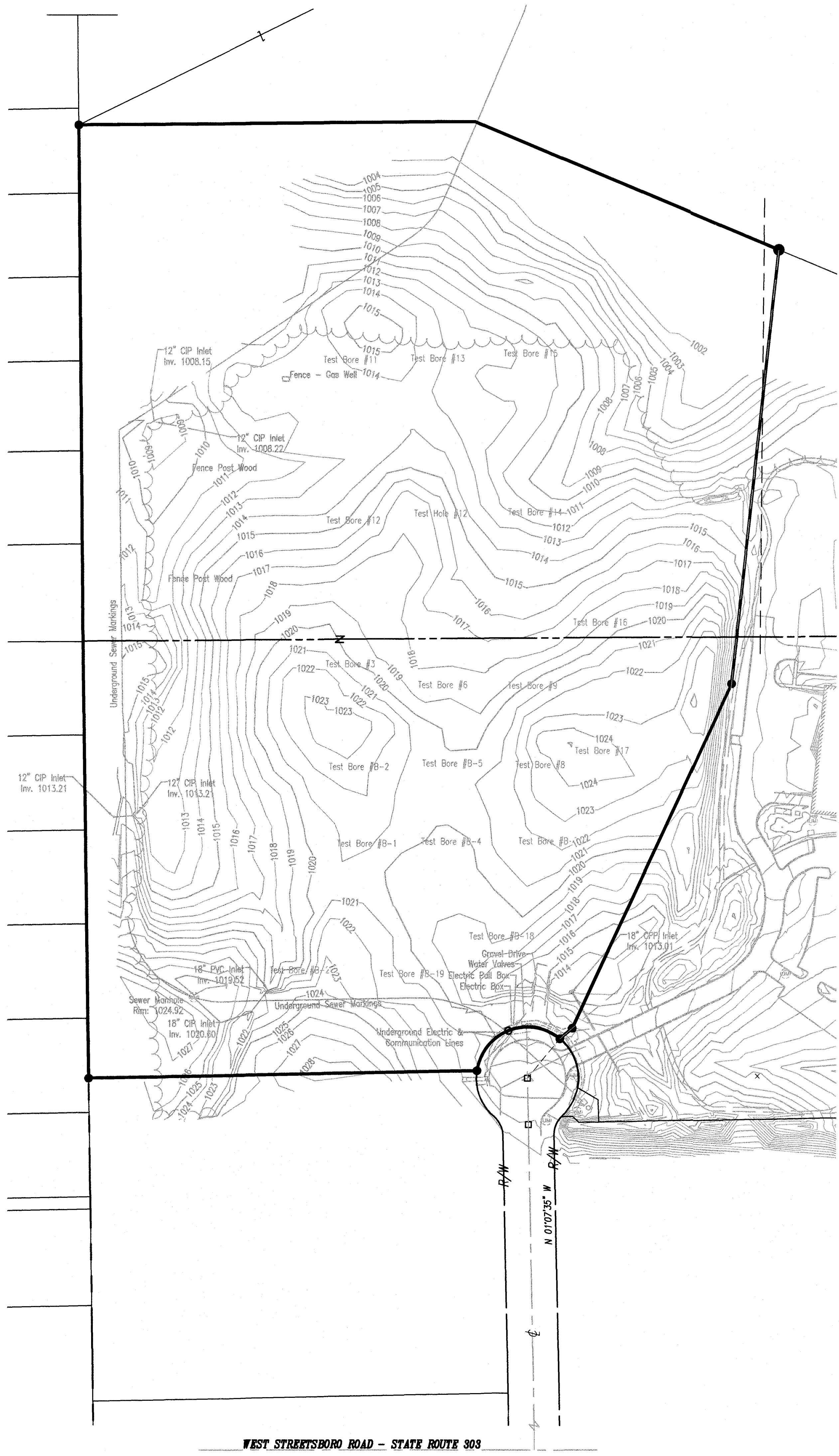
MANNESCHI & BENEDETTI, L.L.C.
CITY OF HUDSON
COUNTY OF SUMMIT, OHIO

ALTA BOUNDARY W/EASEMENTS & PROPERTY MAP

DESIGNED BY: BAS
DRAWN BY: JAW
CHECKED BY: DFS
DATE: JULY, 2018
SCALE: 1"=100'
SCALE: NA
PROJECT NUMBER
18129
Drawing Name
18129 ALTA Master
SHEET: 3
TOTAL SHEETS: 3

CHAGRIN VALLEY
ENGINEERING, LTD
Creative Engineers. Intelligent Solutions.
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Cleveland, Ohio 44146-5667
Phone: 440.439.1999 Fax: 440.439.1769
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REVISIONS
1 08-14-18 REVISED AS PER TITLE CO.
2 08-18-18 UPDATED TITLE COMMITMENT AS PER TITLE CO.
3 08-20-18 UPDATED EXCEPTIONS #12, 12B, 18D & 25
4 08-21-18 UPDATED EXCEPTIONS #12, 12B, 18D & 25



ALTA/ACSM SURVEY
PP#3009928
FOR
MANNESCHI & BENEDETTI, L.L.C.
INDUSTRIAL LAND PARTNERS HOLDINGS, L.L.C.
REVERE TITLE AGENCY, INC.
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
HUDSON CROSSING PARKWAY
CITY OF HUDSON
SUMMIT COUNTY, OHIO

LEGAL DESCRIPTION
(AS PER TITLE COMMITMENT - BEING ALL OF LOT #2A)
Grantee.....Industrial Land Partners Holdings, L.L.C.
Instrument #55858752
Dated.....March 09, 2012
29.0052 Acres-deed + other lands

LEGAL DESCRIPTION
32.1803 ACRES CONSOLIDATED 'LOT 2A'
INDUSTRIAL LAND PARTNERS HOLDINGS LLC
CITY OF HUDSON
SUMMIT COUNTY, OHIO

Situated in the City of Hudson, County of Summit and State of Ohio and known as being part of Original Hudson Township Lots 41 and 51, and being part of Industrial Land Partners Holdings LLC's land described in recorded reception number 55858752 (part parcel #3) dated 05-09-2012 (PP #3009928), as shown as 'Lot 2A' dedicated on the 'Minor Subdivision of Sublot 2 of the Hudson Crossing Parkway Industrial Subdivision for Industrial Land Partners', as shown on reception number 55741079, and part of Industrial Land Partners Holdings LLC's land described in recorded reception number 55858752 (part parcel #1) dated 05-09-2012 (PP #3009749), and being all of a **32.1803 acres (1,401,779 sq. ft.)** (calculated/survey) parcel of land all of Summit County Deed Records and further bounded and described as follows:

Beginning at a point of tangent at a split monument box on the centerline of Hudson Crossing Parkway (Variable Width Right-of-Way), thence **North 01°07'35" West**, along said centerline of Hudson Crossing Parkway, a distance of **72.70 feet** to a split monument box in a monument box found and used;

Thence **North 39°18'04" East**, a distance of **80.00 feet** to a 5/8" iron pin set (capped 'D.F. Sheehy, S-7849') on the curved sideline of said Hudson Crossing Parkway, at an interior corner of Industrial Land Partners Holdings LLC's land, described in recorded reception number 55858752 dated 05-09-2012 (PP #3009928), and the Principal Place of Beginning of the Premises herein intended to be described;

Course 1: Thence along said Hudson Crossing Parkway Northerly curved sideline along a curve deflecting to the left, **168.78 feet**, said curve having a radius of **80.00 feet**, a tangent of **141.05 feet**, a delta of **120°52'40"** and a chord which bears **South 68°52'20" West, 139.17 feet** passing a 5/8" iron pin (capped McSteen) (0.31'W) to a pint at a 5/8" iron pin set (capped 'D.F. Sheehy, S-7849') to a proposed Northeasterly corner of said Industrial Land Partners Holdings LLC's land;

Course 2: Thence **South 88°52'25" West**, along a new dimension line of said Industrial Land Partners Holdings LLC's land, a distance of **608.34 feet** to a 5/8" iron pin set (capped 'D.F. Sheehy, S-7849') on the easterly sideline of 'The Petit Bros. Farm Allotment Plat Book 19 / Pages 76-77 S.C.M.R.';

Course 3: Thence **North 00°47'28" West**, along said Easterly line of 'The Petit Bros. Farm Allotment Plat Book 19 / Pages 76-77 S.C.M.R.' to an angle point therein witnessed by a 2" iron pipe found (0.13' E of line) at a lot line of Original Lots 41 & 51, a distance of **680.56 feet**;

thence **North 00°32'18" West**, continuing along said Easterly line of 'The Petit Bros. Farm Allotment Plat Book 19 / Pages 76-77 S.C.M.R.' to the Southwest corner of land as conveyed to Prestige & Premier Companies land therein, as recorded in recorded reception number 56156194 dated 09-11-20015 (PP 10133), a distance of **802.38 feet** to a 5/8" iron pin (capped 'D.F. Sheehy, S-7849');

thence **North 89°31'39" East**, along the Southerly line of said Prestige & Premier Companies land, a distance of **620.31 feet** to a 5/8" iron pin set (capped 'D.F. Sheehy, S-7849') at an angle point therein;

thence **South 67°30'04" East**, continuing along said Southerly line of Prestige & Premier Companies land, a distance of **515.40 feet** to a 5/8" iron pin set (capped 'D.F. Sheehy, S-7849') the Northwesterly corner of said Face Off LLC's land;

thence **South 06°10'06" West**, along the Westerly line of said Face Off LLC's land, a distance of **679.39 feet** to a 5/8" iron pin set (capped 'D.F. Sheehy, S-7849') at a new division line;

thence **South 24°51'47" West**, continuing along said new division line, a distance of **91.91 feet** to a 5/8" iron pin set (capped 'D.F. Sheehy, S-7849') on the Southerly line of Face Off LLC's land;

thence **South 50°36'02" West**, along said Westerly line of Face Off LLC's land, a distance of **25.38 feet** to the Principal Place of Beginning and containing **32.1803 acres (1,401,779 sq. ft.)** of land as surveyed, calculated and described from Summit County Records according to a survey by Donald F. Sheehy, Registered Surveyor #7849 of Chagrin Valley Engineering Ltd., in June, 2018, be the same as or less but subject to all legal highways and easements of record;

The Principal Place of Beginning for this legal description is **North 01°07'35" West** as the centerline of Hudson Crossing Parkway (Variable Width Right-of-Way) by plat bearing records of the 'Minor Subdivision of the Hudson Crossing Parkway Industrial Subdivision for Industrial Land Partners' as shown on reception number 55741079, of Summit County Records and are angles only.

LEGEND

- 'McSTEEN' - DENOTES A RECORD 5/8" IRON PIN SET CAPPED 'McSTEEN 7104' PER PLAT #55741079
- I.P.S. SHEEHY - DENOTES A 5/8" X 30" IRON PIN SET CAPPED 'D.F. SHEEHY' P.S.#7849
- ☐ = Indicates Monument Box Found
- CL = Centerline PL = Property Line
- R/W = Right-of-Way Rec. = Record
- Calc. = Calculated Msd. = Measured
- Usd. = Used Fnd. = Found
- Vol. = Volume Pg. = Page
- ① = Exception No.

(See sheet #1/3 for description)

GRAPHIC SCALE

(IN FEET)
1 inch = 100 ft.

CHAGRIN VALLEY ENGINEERING, LTD

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1) REVISED AS PER TITLE CO.	REVISIONS
2) 06-18-18 UPDATED TITLE COMMITMENT AS PER TITLE CO.	
3) 06-20-18 UPDATED EXCEPTIONS #12, 12B, 18D & 25	
4) 06-21-18 UPDATED EXCEPTIONS #12, 12B, 18D & 25	

ALTA/ACSM SURVEY
(ALTA-TITLE SHEET)

MANNESCHI & BENEDETTI, L.L.C.
CITY OF HUDSON
COUNTY OF SUMMIT, OHIO

DESIGNED BY:	BAS
DRAWN BY:	JAW
CHECKED BY:	DFS
DATE:	JULY, 2018
SCALE:	1"=100'
SCALE:	NA
PROJECT NUMBER	18129
Drawing Name	18129 ALTA Master
SHEET:	2
TOTAL SHEETS:	3

IMPROVEMENT PLANS
FOR
CEIA USA
HUDSON CROSSING PARKWAY
HUDSON CROSSING BUSINESS PARK
IN THE
CITY OF HUDSON
COUNTY OF SUMMIT
STATE OF OHIO

TOTAL SITE ACREAGE: 32.18 AC.
EXISTING IMPERVIOUS AREA: 0.0 AC.
PROPOSED IMPERVIOUS AREA: 4.56 AC. (14%)

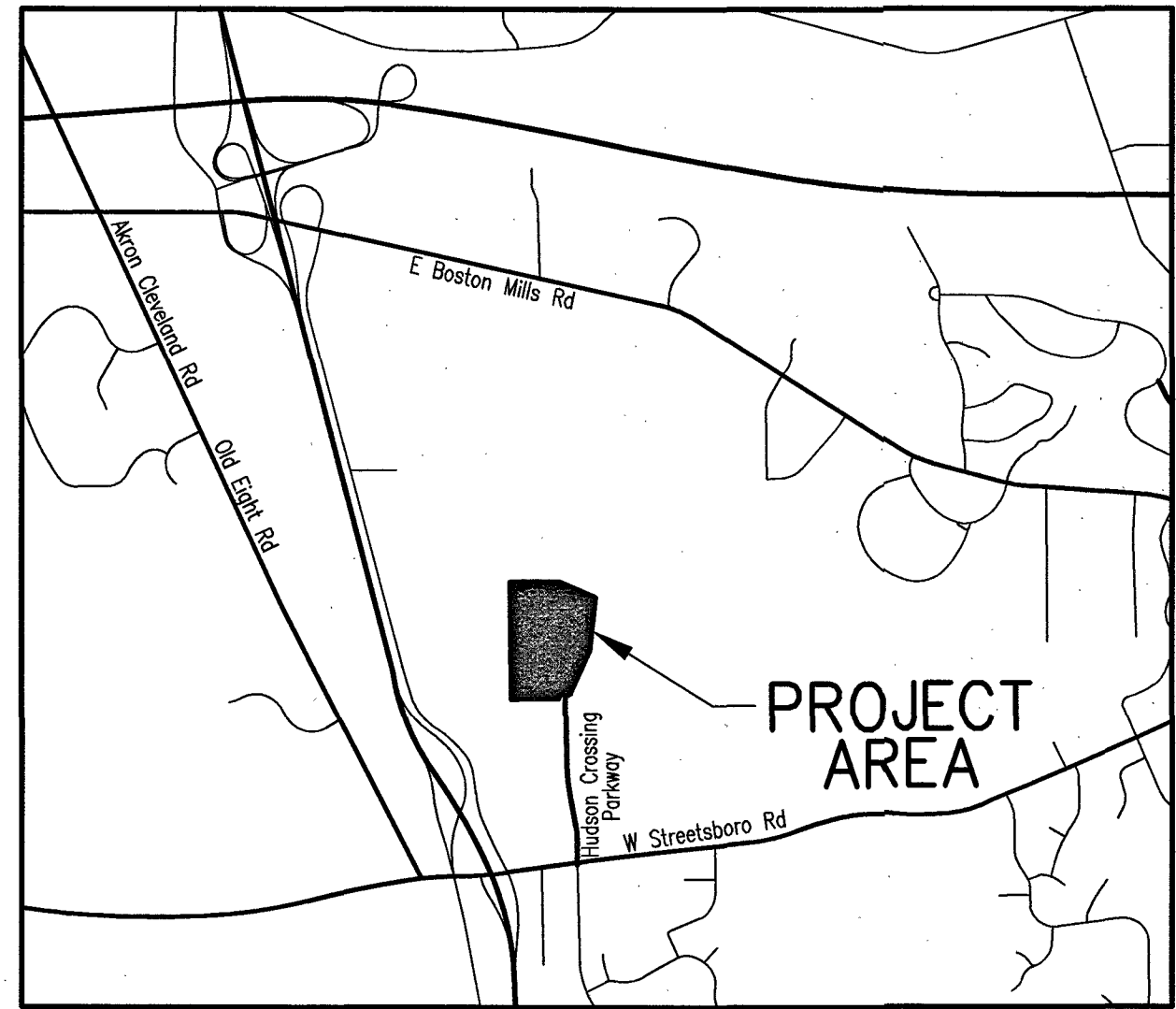
PREMIER
Development Partners
5301 Grant Avenue
Cleveland, OH 44125
Phone: (216)341-1200

**DAVISON
SMITH
CERTO**
ARCHITECTS, INC.
26031.8 CENTER RIDGE RD.
WESTLAKE, OHIO 44145
TELEPHONE: 440.835.3957
FACSIMILE: 440.835.4042
MAIL: jcerto@dsarchitects.com

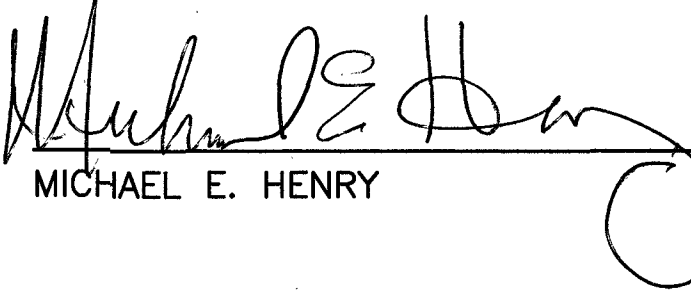
PREPARED BY
CVE CHAGRIN VALLEY
ENGINEERING, LTD.
Creative Engineers. Intelligent Solutions.
22999 Forbes Road, Suite B Cleveland, Ohio 44146-5667
Phone • 440.439.1999 Fax • 440.439.1969 www.cvelimited.com

JUNE 2019

INDEX OF SHEETS	
SHEET	DESCRIPTION
C.1	TITLE SHEET
C.2	EXISTING CONDITIONS/DEMOLITION PLAN
C.3-C.4	SITE PLAN
C.5-C.8	GRADING PLAN
C.9-C.10	UTILITY PLAN
C.11-C.12	STORMWATER POLLUTION PREVENTION PLAN
C.13	STORMWATER POLLUTION PREVENTION PLAN NOTES
C.14	STORMWATER POLLUTION PREVENTION PLAN DETAIL
C.15-C.17	STANDARD DETAILS & NOTES



VICINITY MAP
No Scale


MICHAEL E. HENRY

P.E. No. 01321

Ohio Utilities Protection Service
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before you dig

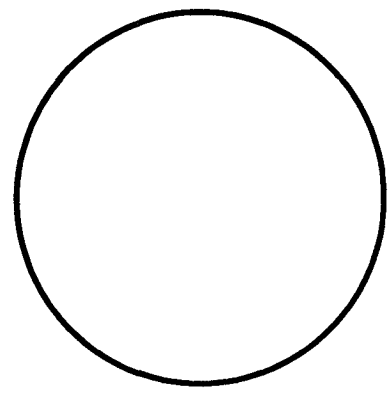
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26031.8 CENTER RIDGE RD.
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CVE
CHAGRIN VALLEY
ENGINEERING, LTD.
22999 FORBES ROAD, SUITE B
CLEVELAND, OHIO 44146
Phone: (440) 439-1999
Fax: (440) 439-1969

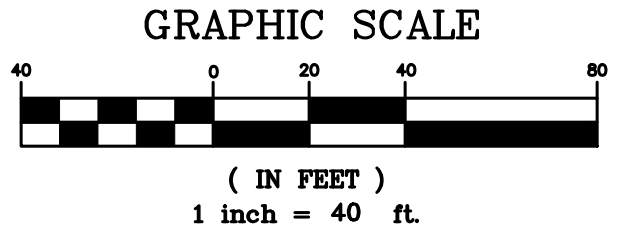
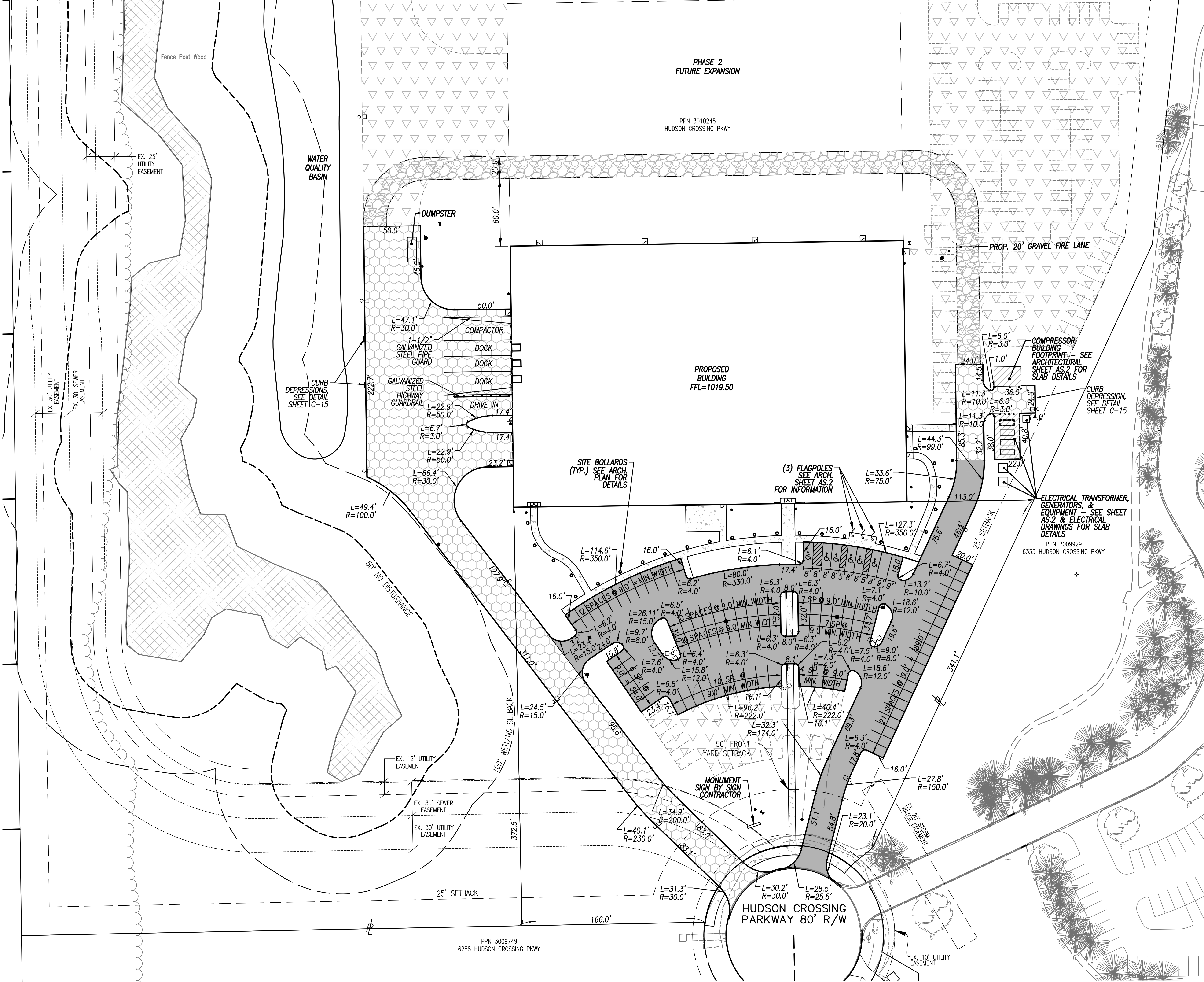
Date: 6/21/2019 PERMIT

Approved By: _____
Approved Date: _____
Scale: 1" = 40'
CEIA USA
HUDSON CROSSING PARKWAY
HUDSON CROSSING BUSINESS PARK
HUDSON, OHIO
TITLE SHEET CIVIL PLAN SET



Developer Job Number: _____
Consultant Job Number: _____
Drawing Number: C-1
1 of 17 Sheets

FOR CONTINUATION
SEE SHEET C-4



INDEX OF SYMBOLS

- | | |
|-------------------------|-------------------------|
| ○ Iron Pin | ⊞ Catch Basin |
| + MAG Nail | ⊞ Downspout |
| ⊞ Cable Box | ⊞ Headwall |
| ⊞ Air Conditioning Unit | ⊞ Telephone Box |
| ⊞ Electric Box | ⊞ Telephone Box (OBT) |
| ⊞ Electric Box (CEI) | ⊞ Telephone Manhole |
| ⊞ Electric Manhole | ⊞ Water Gate Valve |
| ⊞ Electric Pull Box | ⊞ Hydrant |
| ⊞ Electric Vault | ⊞ Siamese Hydrant |
| ⊞ Electric Meter | ⊞ Water Manhole |
| ⊞ Fiber Optic Box | ⊞ Sprinkler Control Box |
| ⊞ Gas Meter | ⊞ Water Valve Box |
| ⊞ Gas Manhole | ⊞ Utility Tone Marker |
| ⊞ Gas Stop Box | ⊞ Basketball Hoop |
| ⊞ Gas Valve Box | ⊞ Bollard |
| ⊞ Gas Vent Pipe | ⊞ Flagpole |
| ⊞ Unknown Manhole | ⊞ Light Pole |
| ⊞ Monitoring Well | ⊞ Utility Pole |
| ⊞ Sanitary Cleanout | ⊞ Sign |
| ⊞ Sewer Manhole | ⊞ Pullbox |
| | ⊞ Prop. Light Pole |

LEGEND

- | | |
|--|--|
| | PROPOSED CONCRETE WALK
SEE DETAIL SHEET C-15 |
| | FUTURE PAVEMENT |
| | PROPOSED HEAVY DUTY CONCRETE
PAVEMENT WITH INTEGRAL CURB
SEE DETAIL SHEET C-15 |
| | PROPOSED LIGHT DUTY CONCRETE
PAVEMENT WITH INTEGRAL CURB
SEE DETAIL SHEET C-15 |
| | PROPOSED GRAVEL FIRE LANE
SEE DETAIL SHEET C-15 |

- NOTES:
- ALL PARKING SPACES WILL BE MINIMUM 9'-0" WIDTH X 19'-0" LENGTH, AS LABELED IN THE SITE PLAN.
 - EXISTING CONCRETE CURB SHALL BE SAW CUT HORIZONTALLY TO PROVIDE 1 1/2" RAISE ABOVE EXISTING GUTTER LINE OF CONCRETE PAVEMENT.
 - ALL DIMENSIONS ARE FROM FACE OF CURB, UNLESS OTHERWISE NOTED.

PARKING COUNT:
89 STANDARD SPACES
6 ADA SPACES
95 TOTAL SPACES
168 ADDITIONAL FUTURE SPACES

PREMIER
Development Partners
5301 Grant Avenue
Cleveland, OH 44125
Phone: (216)341-1200

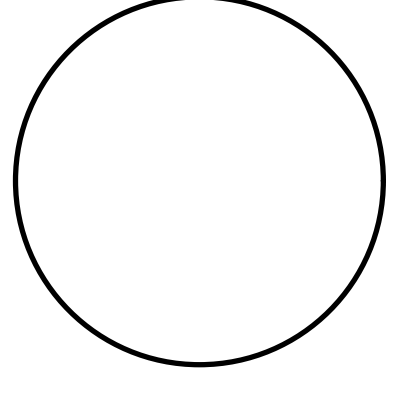
DAVISON SMITH CERTO
ARCHITECTS, INC.
26031.8 CENTER RIDGE RD
WESTLAKE, OHIO 44145
TELEPHONE: 440.835.3957
FACSIMILE: 440.835.4042
MAIL: jpc@dsarchitects.com

cve
CHAGRIN VALLEY
ENGINEERING, LTD.
22909 FORBES ROAD, SUITE B PINE (440) 439-1999
CLEVELAND, OHIO 44146 FAX: (440) 439-1999

Date: 6/21/2019 PERMIT

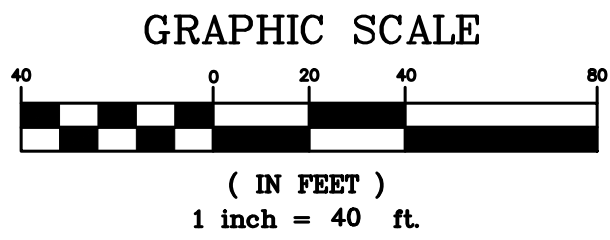
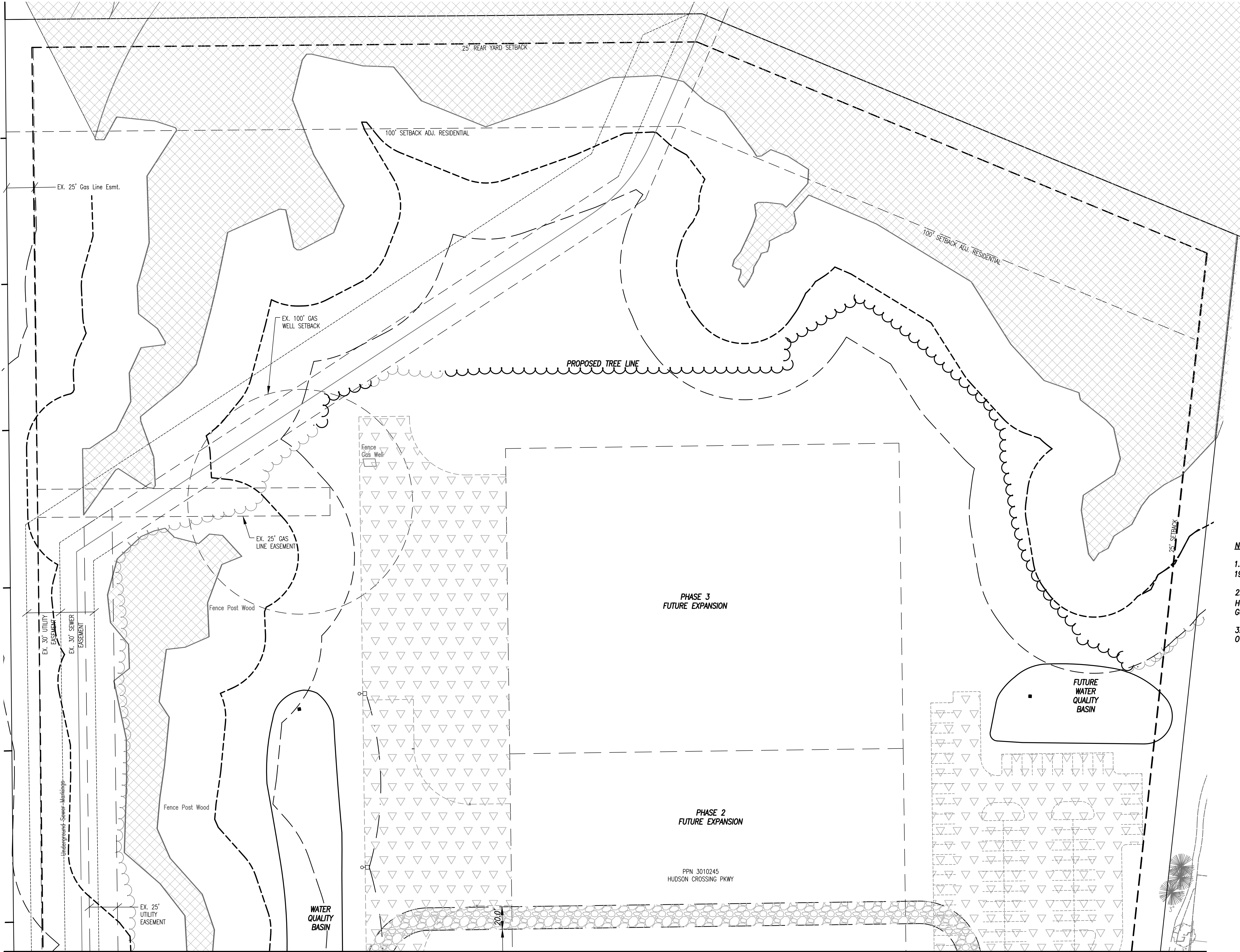
Approved By: _____
Approval Date: _____
Scale: 1" = 40'

CEIA USA
HUDSON CROSSING PARKWAY
HUDSON CROSSING BUSINESS PARK
HUDSON, OHIO
SITE PLAN



Developer Job Number: _____
Consultant Job Number: _____
Drawing Number: C-3
3 Of 17 Sheets

Ohio Utilities Protection Service
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before you dig



INDEX OF SYMBOLS

- | | |
|-------------------------|-------------------------|
| ○ Iron Pin | ⊞ Catch Basin |
| + MAG Nail | ● Downspout |
| ▢ Cable Box | ⌒ Headwall |
| ⊞ Air Conditioning Unit | ⊞ Telephone Box |
| ⊞ Electric Box | ⊞ Telephone Box (OBT) |
| ⊞ Electric Box (CEI) | ⊞ Telephone Manhole |
| ⊞ Electric Manhole | ⊞ Water Gate Valve |
| ⊞ Electric Pull Box | ⊞ Hydrant |
| ⊞ Electric Vault | ⊞ Siamese Hydrant |
| ⊞ Electric Meter | ⊞ Water Manhole |
| ⊞ Fiber Optic Box | ⊞ Sprinkler Control Box |
| ⊞ Gas Meter | ⊞ Water Valve Box |
| ⊞ Gas Manhole | ⊞ Utility Tone Marker |
| ⊞ Gas Stop Box | ⊞ Basketball Hoop |
| ⊞ Gas Valve Box | ⊞ Bollard |
| ⊞ Gas Vent Pipe | ⊞ Flagpole |
| ⊞ Unknown Manhole | ⊞ Light Pole |
| ⊞ Monitoring Well | ⊞ Utility Pole |
| ● Sanitary Cleanout | ⊞ Sign |
| ○ Sewer Manhole | ⊞ Pullbox |
| | ⊞ Prop. Light Pole |

LEGEND

- | | |
|--|--|
| | PROPOSED CONCRETE WALK
SEE DETAIL SHEET C-15 |
| | FUTURE PAVEMENT |
| | PROPOSED HEAVY DUTY CONCRETE
PAVEMENT WITH INTEGRAL CURB
SEE DETAIL SHEET C-15 |
| | PROPOSED LIGHT DUTY CONCRETE
PAVEMENT WITH INTEGRAL CURB
SEE DETAIL SHEET C-15 |
| | PROPOSED GRAVEL FIRE LANE
SEE DETAIL SHEET C-15 |

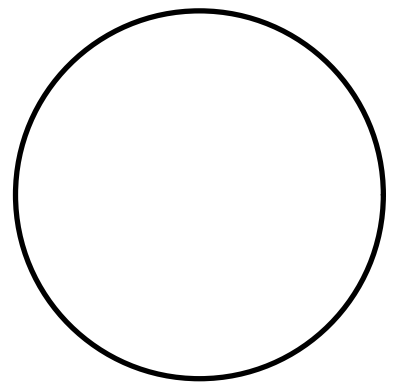
NOTES:

1. ALL PARKING SPACES WILL BE MINIMUM 9'-0" WIDTH X 19'-0" LENGTH, AS LABELED IN THE SITE PLAN.
2. EXISTING CONCRETE CURB SHALL BE SAW CUT HORIZONTALLY TO PROVIDE 1 1/2" RAISE ABOVE EXISTING GUTTER LINE OF CONCRETE PAVEMENT.
3. ALL DIMENSIONS ARE FROM FACE OF CURB, UNLESS OTHERWISE NOTED.

PARKING COUNT:

89 STANDARD SPACES
6 ADA SPACES
95 TOTAL SPACES
168 ADDITIONAL FUTURE SPACES

FOR CONTINUATION
SEE SHEET C-3



Developer Job Number:

Consultant Job Number:

Drawing Number:

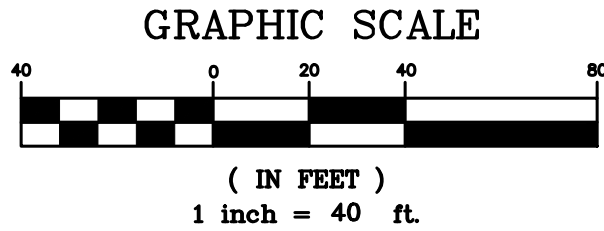
C-4

4 Of 17 Sheets

Ohio Utilities Protection Service

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FOR CONTINUATION
SEE SHEET C-6



INDEX OF SYMBOLS

- | | |
|-------------------------|-------------------------|
| ● Iron Pin | ⦿ Catch Basin |
| ● MAG Nail | ● Downspout |
| □ Cable Box | ⌋ Headwall |
| ⊞ Air Conditioning Unit | ☎ Telephone Box |
| ⊞ Electric Box | ☎ Telephone Box (OBT) |
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| ⊗ Electric Manhole | ⦿ Water Gate Valve |
| ⊗ Electric Pull Box | ⦿ Hydrant |
| ⊞ Electric Vault | ⦿ Siamese Hydrant |
| ⊞ Electric Meter | ⦿ Water Manhole |
| ⊞ Fiber Optic Box | ⊞ Sprinkler Control Box |
| ⊞ Gas Meter | ⊞ Water Valve Box |
| ⊗ Gas Manhole | ⦿ Utility Tone Marker |
| ⊗ Gas Stop Box | ⦿ Basketball Hoop |
| ⊗ Gas Valve Box | ⦿ Bollard |
| ⊗ Gas Vent Pipe | ⦿ Flagpole |
| ⦿ Unknown Manhole | ⦿ Light Pole |
| ⦿ Monitoring Well | ⦿ Utility Pole |
| ○ Sanitary Cleanout | ⦿ Sign |
| ○ Sewer Manhole | ⦿ Pullbox |

LEGEND

- · 1012 —
- EXISTING CONTOUR
WITH ELEVATION
- 1012 —
- PROPOSED CONTOUR
WITH ELEVATION



26031.B CENTER RIDGE RD.
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ENGINEERING, LTD.**
999 FORBES ROAD, SUITE B CLEVELAND, OHIO 44146
PHONE: (440) 439-1999
FAX: (440) 439-1969

Date: 6.21.2019 PERMIT

CEIA USA
HUDSON CROSSING PARK
HUDSON CROSSING BUSINESS
HUDSON, OHIO
GRADING PLAN

Developer Job Number:

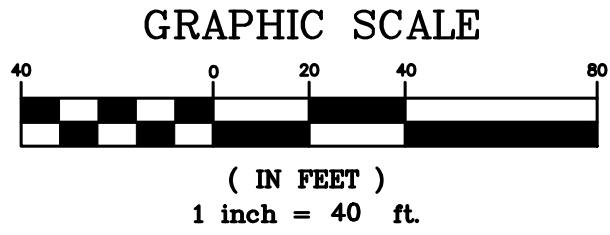
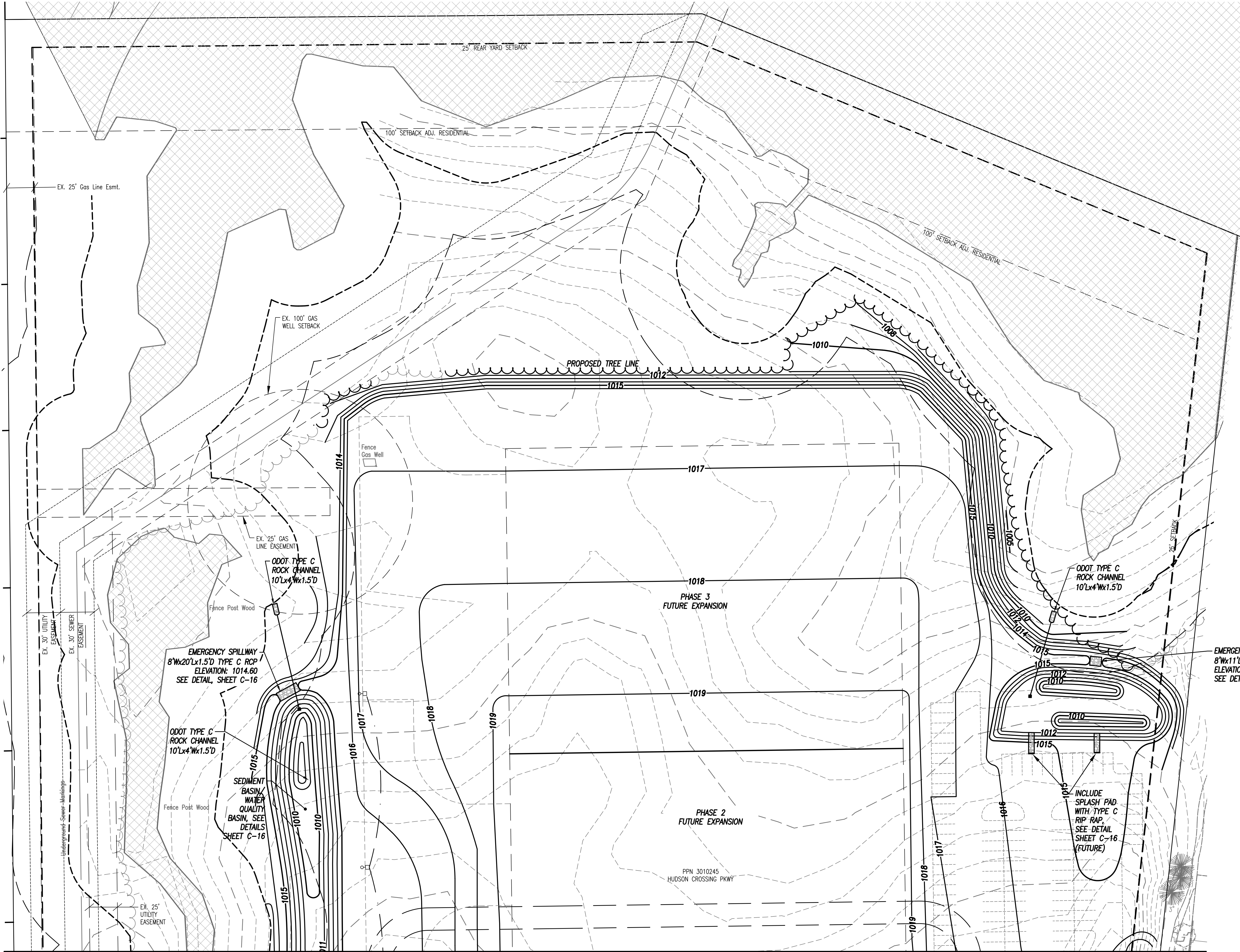
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Drawing Number:

$$C = 5$$

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INDEX OF SYMBOLS

- | | |
|-------------------------|-------------------------|
| ○ Iron Pin | ⊞ Catch Basin |
| + MAG Nail | ● Downspout |
| □ Cable Box | ⌒ Headwall |
| ⊞ Air Conditioning Unit | ⊞ Telephone Box |
| ⊞ Electric Box | ⊞ Telephone Box (OBT) |
| ⊞ Electric Box (CEI) | ⊞ Telephone Manhole |
| ⊞ Electric Manhole | ⊞ Water Gate Valve |
| ⊞ Electric Pull Box | ⊞ Hydrant |
| ⊞ Electric Vault | ⊞ Siamese Hydrant |
| ⊞ Electric Meter | ⊞ Water Manhole |
| ⊞ Fiber Optic Box | ⊞ Sprinkler Control Box |
| ⊞ Gas Meter | ⊞ Water Valve Box |
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| ⊞ Gas Vent Pipe | ⊞ Flagpole |
| ⊞ Unknown Manhole | ⊞ Light Pole |
| ⊞ Monitoring Well | ⊞ Utility Pole |
| ⊞ Sanitary Cleanout | ⊞ Sign |
| ○ Sewer Manhole | ⊞ Pullbox |

LEGEND

- | | |
|--------------|------------------------------------|
| --- 1012 --- | EXISTING CONTOUR
WITH ELEVATION |
| — 1012 — | PROPOSED CONTOUR
WITH ELEVATION |

FOR CONTINUATION
SEE SHEET C-5

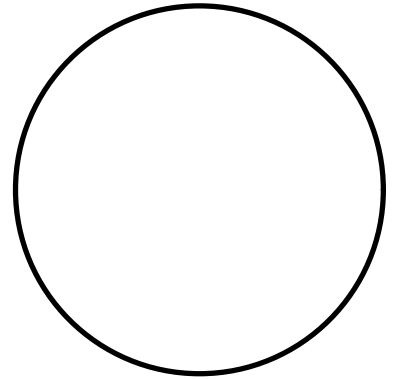
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MAIL: jpc@dsarchitects.com

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Date: 6/21/2019 PERMIT

CEIA USA
HUDSON CROSSING PARKWAY
HUDSON CROSSING BUSINESS PARK
HUDSON, OHIO
GRADING PLAN

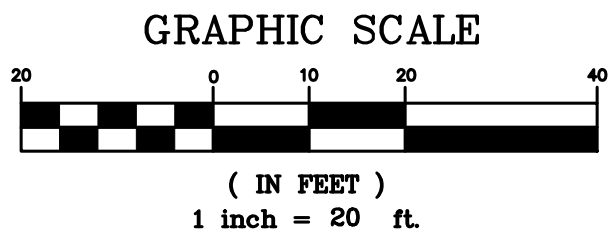
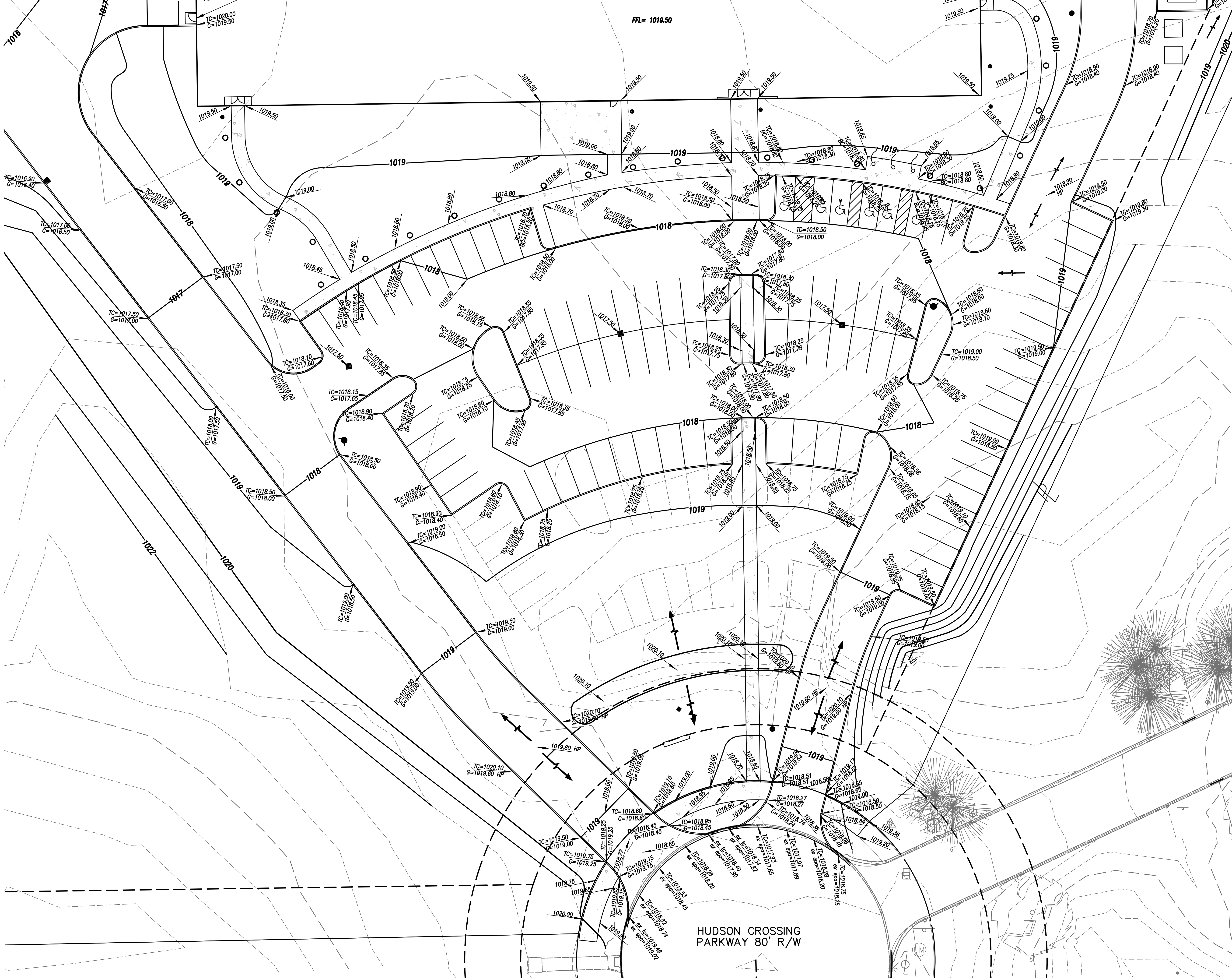


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Drawing Number:
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FOR CONTINUATION
SEE SHEET C-8

FOR CONTINUATION
SEE SHEET C-8



INDEX OF SYMBOLS

- | | |
|-------------------------|-------------------------|
| ○ Iron Pin | ⊞ Catch Basin |
| + MAG Nail | ● Downspout |
| ⊞ Cable Box | ⊞ Telephone Box |
| ⊞ Air Conditioning Unit | ⊞ Telephone Box (OBT) |
| ⊞ Electric Box | ⊞ Telephone Manhole |
| ⊞ Electric Box (CEI) | ⊞ Water Gate Valve |
| ⊞ Electric Manhole | ⊞ Hydrant |
| ⊞ Electric Pull Box | ⊞ Siamese Hydrant |
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| ⊞ Fiber Optic Box | ⊞ Water Valve Box |
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| ⊞ Gas Stop Box | ⊞ Bollard |
| ⊞ Gas Valve Box | ⊞ Flagpole |
| ⊞ Gas Vent Pipe | ⊞ Light Pole |
| ⊞ Unknown Manhole | ⊞ Utility Pole |
| ⊞ Monitoring Well | ⊞ Sign |
| ⊞ Sanitary Cleanout | ⊞ Pullbox |
| ○ Sewer Manhole | |

LEGEND

- | | |
|---------------------|---|
| --- 1012 --- | EXISTING CONTOUR
WITH ELEVATION |
| — 1012 — | PROPOSED CONTOUR
WITH ELEVATION |
| 1012.00
1012.00C | PROPOSED SPOT ELEVATION
TP = TOP OF PAVEMENT
TC = TOP OF CURB |

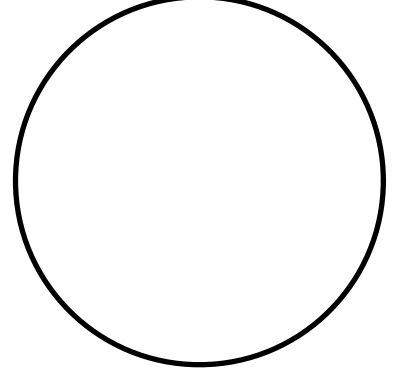
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CLEVELAND, OHIO 44146 FAX: (440) 439-1999

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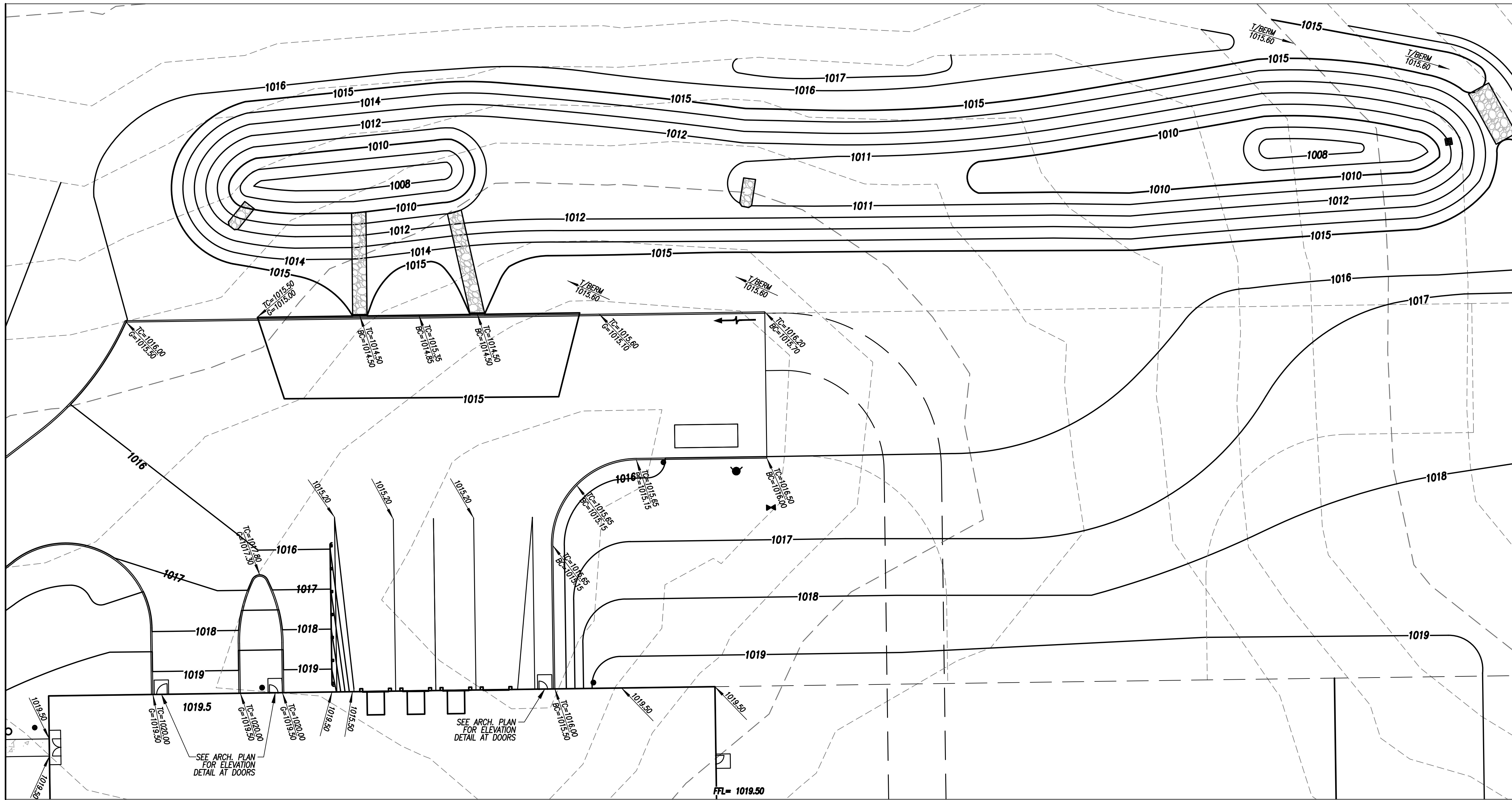
Approved By: CEIA USA
HUDSON CROSSING PARKWAY
HUDSON CROSSING BUSINESS PARK
HUDSON, OHIO
GRADING PLAN



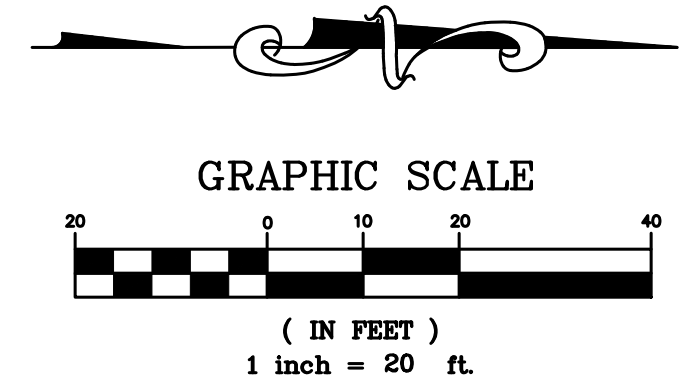
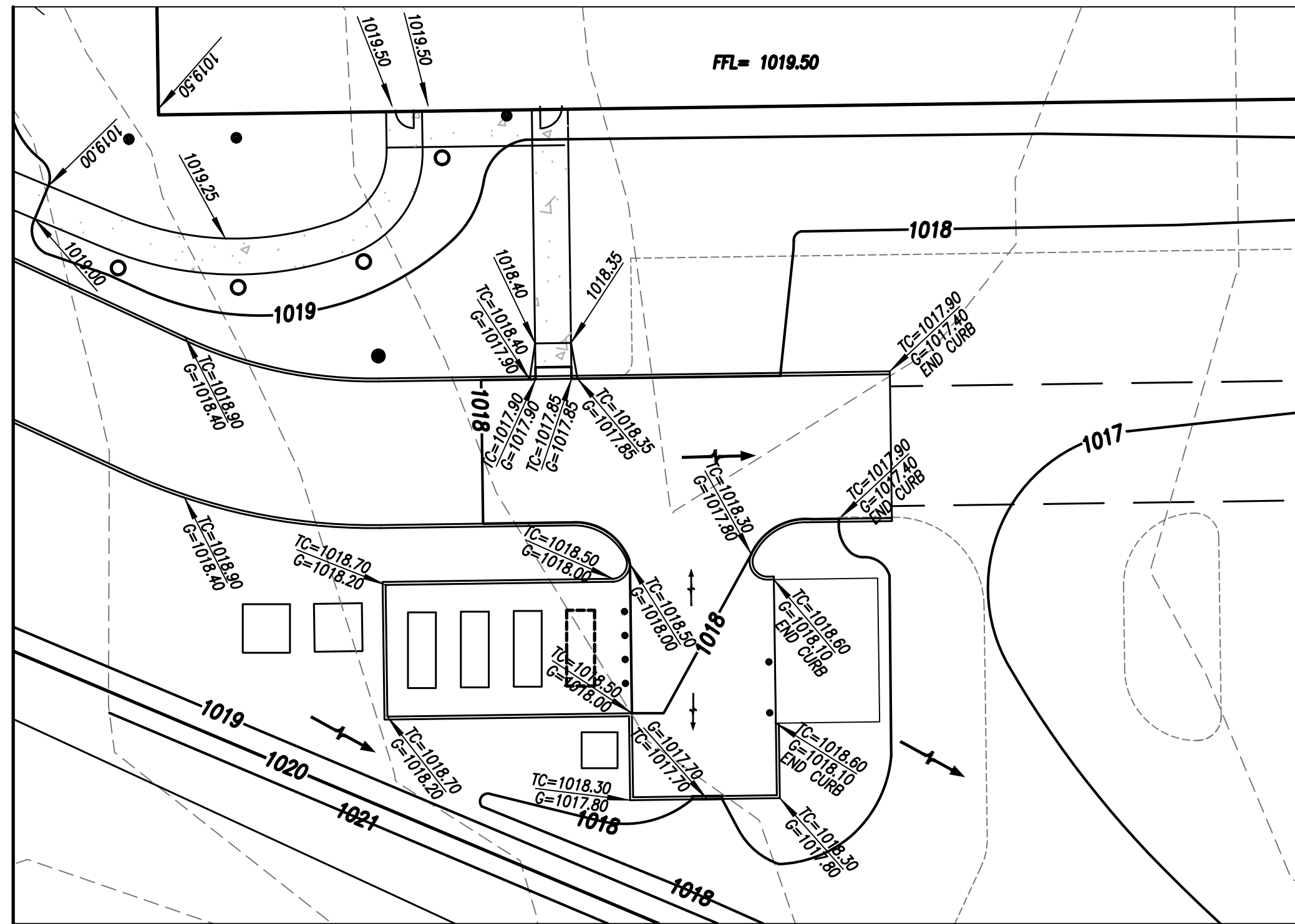
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FOR CONTINUATION
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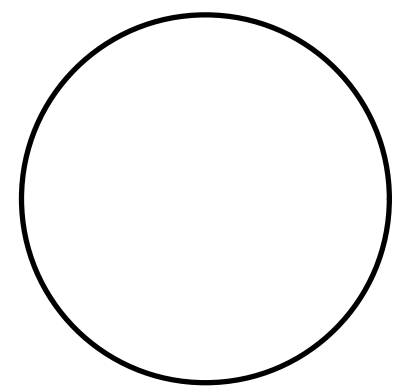


INDEX OF SYMBOLS

- | | |
|-------------------------|-------------------------|
| ○ Iron Pin | ⊞ Catch Basin |
| ✚ MAG Nail | ● Downspout |
| ⊞ Cable Box | ⌒ Headwall |
| ⊞ Air Conditioning Unit | ⊞ Telephone Box |
| ⊞ Electric Box | ⊞ Telephone Box (OBT) |
| ⊞ Electric Box (CEI) | ⊞ Telephone Manhole |
| ⊞ Electric Manhole | ⊞ Water Gate Valve |
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| ⊞ Electric Vault | ⊞ Siamese Hydrant |
| ⊞ Electric Meter | ⊞ Water Manhole |
| ⊞ Fiber Optic Box | ⊞ Sprinkler Control Box |
| ⊞ Gas Meter | ⊞ Water Valve Box |
| ⊞ Gas Manhole | ⊞ Utility Tone Marker |
| ⊞ Gas Stop Box | ⊞ Basketball Hoop |
| ⊞ Gas Valve Box | ⊞ Bollard |
| ⊞ Gas Vent Pipe | ⊞ Flagpole |
| ⊞ Unknown Manhole | ⊞ Light Pole |
| ⊞ Monitoring Well | ⊞ Utility Pole |
| ⊞ Sanitary Cleanout | ⊞ Sign |
| ○ Sewer Manhole | ⊞ Pullbox |

LEGEND

- | | |
|--------------|---|
| --- 1012 --- | EXISTING CONTOUR
WITH ELEVATION |
| — 1012 — | PROPOSED CONTOUR
WITH ELEVATION |
| 1019.50 | PROPOSED SPOT ELEVATION
TP = TOP OF PAVEMENT
TC = TOP OF CURB |



Developer Job Number:

Consultant Job Number:

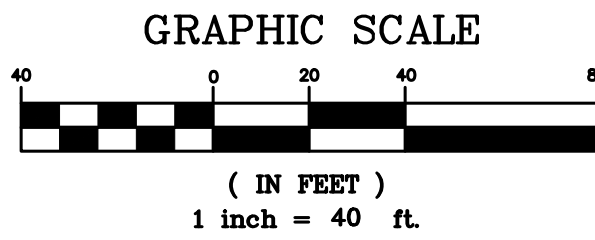
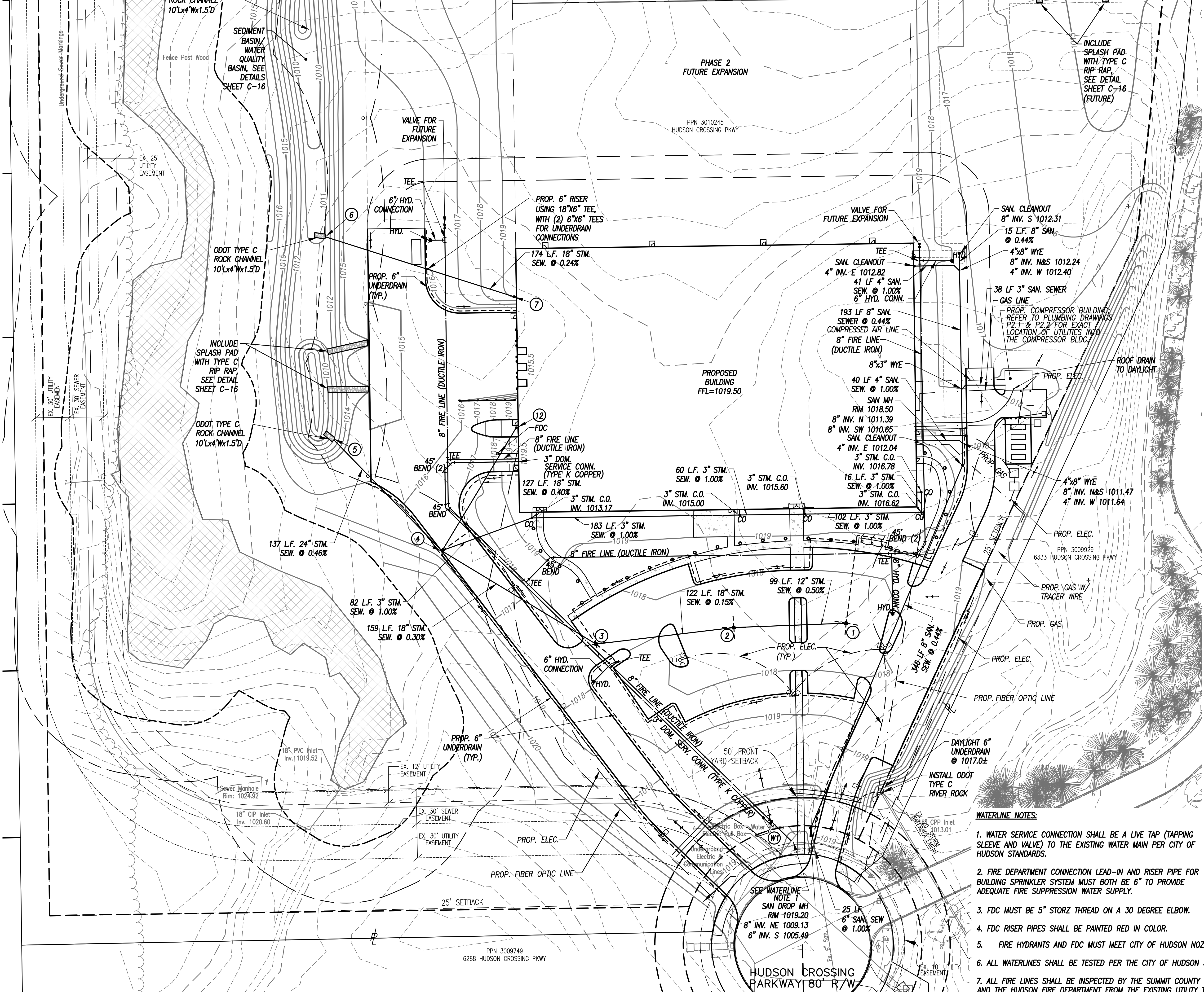
Drawing Number:

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FOR CONTINUATION
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INDEX OF SYMBOLS

- Iron Pin
- MAG Nail
- Cable Box
- Air Conditioning Unit
- Electric Box
- Electric Box (CEI)
- Electric Manhole
- Electric Pull Box
- Electric Vault
- Electric Meter
- Fiber Optic Box
- Gas Meter
- Gas Manhole
- Gas Stop Box
- Gas Valve Box
- Gas Vent Pipe
- Unknown Manhole
- Monitoring Well
- Sanitary Cleanout
- Sewer Manhole
- Catch Basin
- Downspout
- Headwall
- Telephone Box
- Telephone Box (OBT)
- Telephone Manhole
- Water Gate Valve
- Hydrant
- Siamese Hydrant
- Water Manhole
- Sprinkler Control Box
- Water Valve Box
- Utility Tone Marker
- Basketball Hoop
- Bollard
- Flagpole
- Light Pole
- Utility Pole
- Sign
- Pullbox
- Prop. Light Pole

LEGEND

- 1012 --- EXISTING CONTOUR WITH ELEVATION
- 1012 --- PROPOSED CONTOUR WITH ELEVATION

PIPE SPECIFICATIONS

STORM: "HDPE" - HDPE PIPE PER ASTM F2764 AND ODOT ITEM 707.33

SANITARY: "PVC" - SDR 35 D-3034 PVC WITH ASTM D-3212 PREMIUM JOINTS

WATER MAINS:

- 8" FIRE LINE: "D.I." - DUCTILE IRON, CLASS 52
- 3" DOM. SERV. CONN.: "T.K.C." - TYPE K COPPER
- 4" DRY LINE: "D.I." - DUCTILE IRON, CLASS 52

STRUCTURE SCHEDULE

NO.	TYPE	GRATE (RIM)	INVERT
1	2-2-C INLET	1017.50	12" W 1013.50
2	2-2-C INLET	1017.50	12" E 1013.00 18" W 1013.00
3	2-2-C INLET	1017.50	18" E&NW 1012.82
4	72" STM. MH EJ 1700 TYPE M OPEN GRATE	1016.80	18" SE 1012.35 18" NE 1012.35 24" NW 1012.35 6" NE&SW 1014.13 3" NE 1012.35 24" SE 1011.72
5	HW-2.1		18" E 1011.00
6	HW-2.1		18" E 1011.00
7	48" STM. MH	1019.40	12" E 1013.00 18" W 1011.42
8	2-3 OUTLET STRUCTURE SEE SHEET C-14	1014.10	18" N 1011.00 2.6" S 1011.00
9	HW-2.1		18" S 1010.57
10	2-3 OUTLET STRUCTURE SEE SHEET C-14	1014.25	15" N 1012.00 1.8" S 1012.00
11	HW-2.1		15" S 1008.98
12	48" STM. MH	1019.40	15" E 1013.00 18" SW 1012.86
W1	8" RESILIENT SEAT GATE/BOX VALVE (INSERTA-VALVE) 3" DOMESTIC COPPER LINE SHUTOFF VALVE/BOX		

WATERLINE NOTES:

- WATER SERVICE CONNECTION SHALL BE A LIVE TAP (TAPPING SLEEVE AND VALVE) TO THE EXISTING WATER MAIN PER CITY OF HUDSON STANDARDS.
- FIRE DEPARTMENT CONNECTION LEAD-IN AND RISER PIPE FOR BUILDING SPRINKLER SYSTEM MUST BOTH BE 6" TO PROVIDE ADEQUATE FIRE SUPPRESSION WATER SUPPLY.
- FDC MUST BE 5" STORZ THREAD ON A 30 DEGREE ELBOW.
- FDC RISER PIPES SHALL BE PAINTED RED IN COLOR.
- FIRE HYDRANTS AND FDC MUST MEET CITY OF HUDSON NOZZLE THREAD SPECIFICATIONS.
- ALL WATERLINES SHALL BE TESTED PER THE CITY OF HUDSON STANDARDS.
- ALL FIRE LINES SHALL BE INSPECTED BY THE SUMMIT COUNTY DEPT. OF BUILDING STANDARDS AND THE HUDSON FIRE DEPARTMENT FROM THE EXISTING UTILITY TO THE BUILDING.

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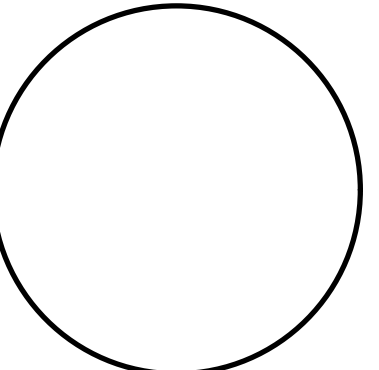
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TELEPHONE: 440.835.3957
FACSIMILE: 440.835.4042
MAIL: jsmith@dsac architects.com

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Date: 6/21/2019 PERMIT

Approved By: _____
Approval Date: _____
Scale: 1" = 40'

CEIA USA
HUDSON CROSSING PARKWAY
HUDSON CROSSING BUSINESS PARK
HUDSON, OHIO
UTILITY PLAN



Developer Job Number: _____

Consultant Job Number: _____

Drawing Number: _____

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6. ALL FIRE LINES SHALL BE INSPECTED BY THE SUMMIT COUNTY DEPT. OF BUILDING STANDARDS AND THE HUDSON DEPARTMENT FROM THE EXISTING UTILITY TO THE BUILDING.

(IN FEET)

1 inch = 40 ft.

	Iron Pin		Catch Basin
	MAG Nail		Downspout
	Cable Box		Headwall
	Air Conditioning Unit		Telephone Box
	Electric Box		Telephone Box (OBT)
	Electric Box (CEI)		Telephone Manhole
	Electric Manhole		Water Gate Valve
	Electric Pull Box		Hydrant
	Electric Vault		Siamese Hydrant
	Electric Meter		Water Manhole
	Fiber Optic Box		Sprinkler Control Box
	Gas Meter		Water Valve Box
	Gas Manhole		Utility Tote Marker
	Gas Stop Box		Basketball Hoop
	Gas Valve Box		Bollard
	Gas Vent Pipe		Flagpole
	Unknown Manhole		Light Pole
	Monitoring Well		Utility Pole
	Sanitary Cleanout		Sign
	Sewer Manhole		Pullbox
			Prop. Light Pole

-- 1012 -- **EXISTING CONTOUR
WITH ELEVATION**
 — 1012 — **PROPOSED CONTOUR
WITH ELEVATION**

8" FIRE LINE: "D.I." - DUCTILE IRON, CLASS 52
3" DOM. SERV. CONN.: "T.K.C." - TYPE K COPPER
4" DRY LINE: "D.I." - DUCTILE IRON, CLASS 52

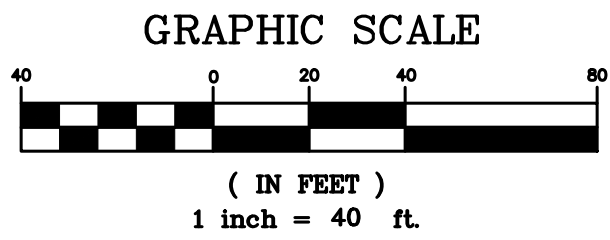
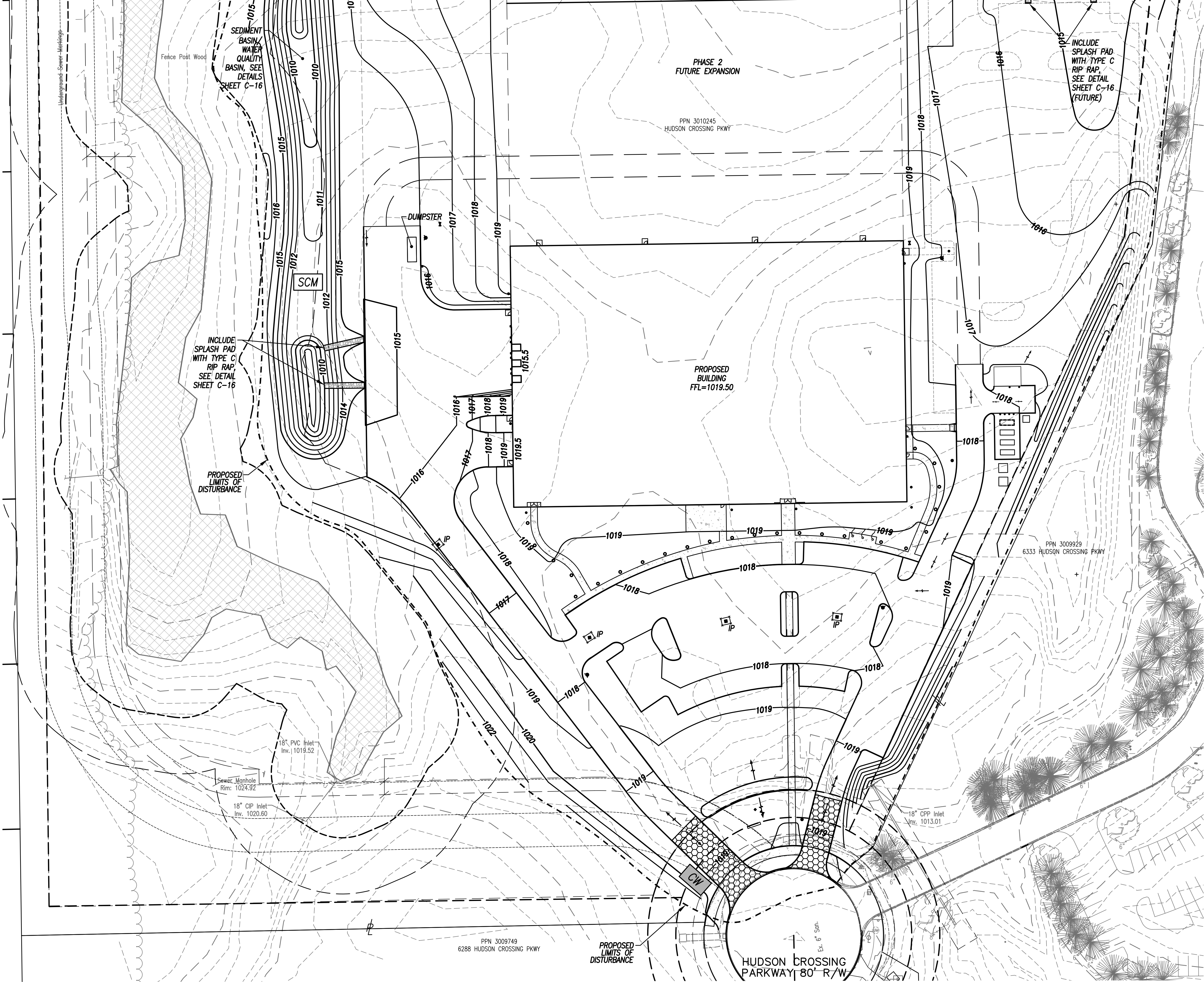
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UTILITY PLAN

FOR CONTINUATION
SEE SHEET C-12



INDEX OF SYMBOLS

- | | |
|-------------------------|-------------------------|
| ○ Iron Pin | ☐ Catch Basin |
| + MAG Nail | ● Downspout |
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| ☐ Unknown Manhole | ☐ Utility Pole |
| ☐ Monitoring Well | ☐ Sign |
| ☐ Sanitary Cleanout | ☐ Pullbox |
| ○ Sewer Manhole | |

STORMWATER POLLUTION
PREVENTION LEGEND

- | | |
|-------------|---|
| — x — x — | SILT PROTECTION |
| - - - - - | LIMITS OF DISTURBANCE |
| ☐ IP | "DANDY SACK" OR EQUAL, SEE
DETAIL - YARD DRAIN INLET
PROTECTION |
| ☐ (Pattern) | STABILIZED CONSTRUCTION
ENTRANCE (MIN. 70' LENGTH) |
| ☐ CW | CONCRETE WASHOUT |
| ☐ SCM | STORMWATER CONTROL
MEASURES |

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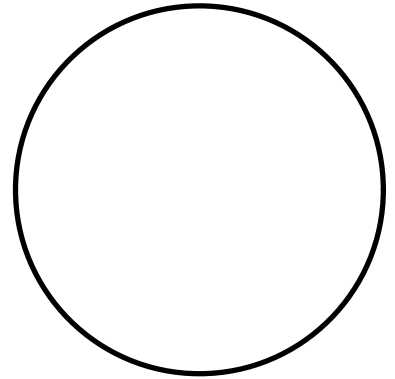
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Date: 6/21/2019 PERMIT

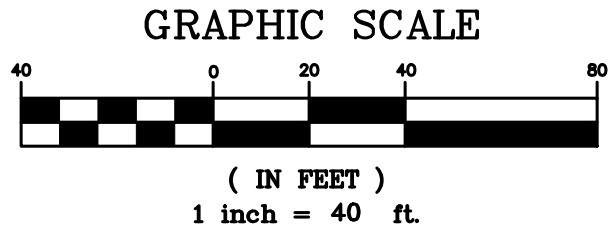
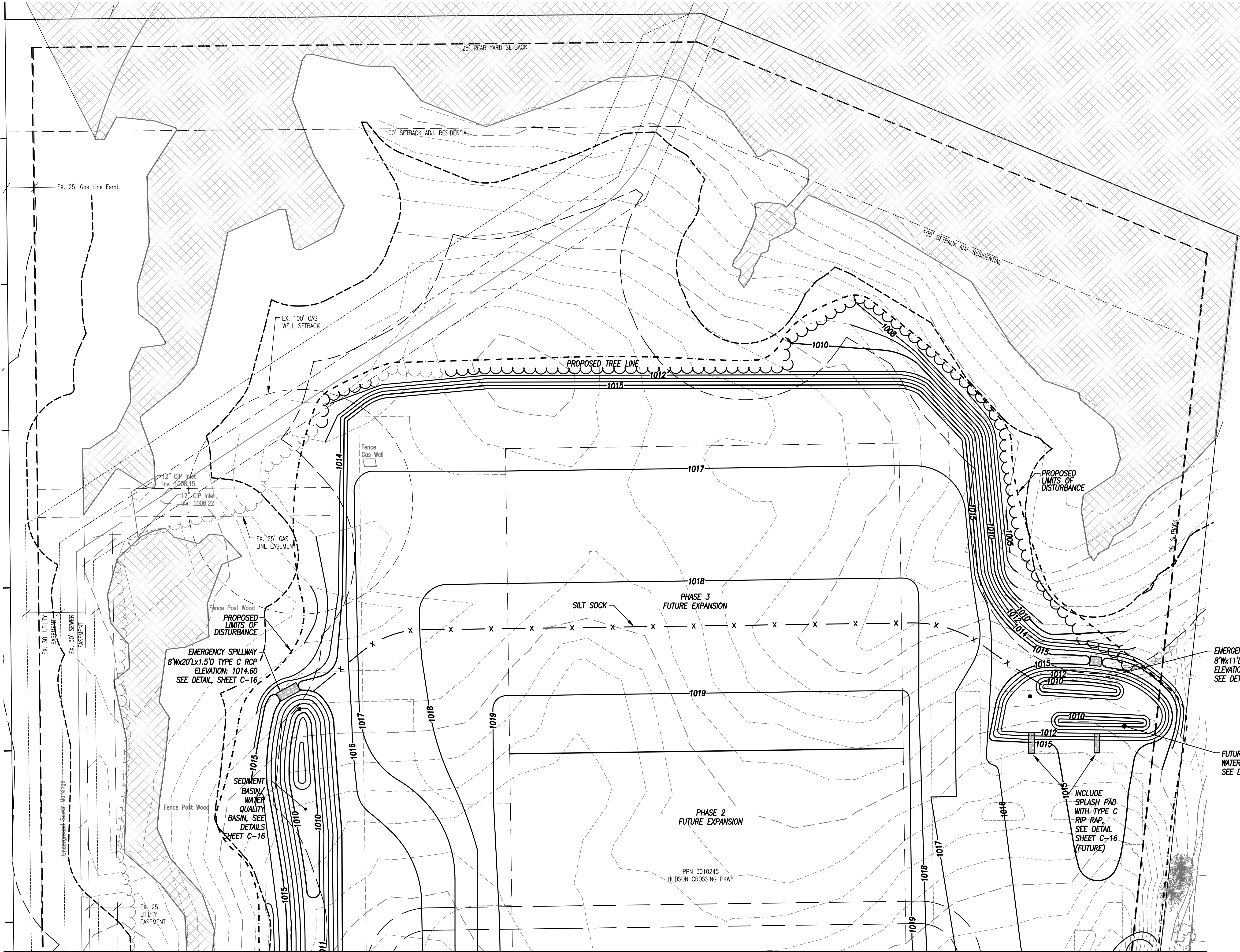
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HUDSON CROSSING BUSINESS PARK
HUDSON, OHIO

STORMWATER POLLUTION PREVENTION PLAN



Developer Job Number:
Consultant Job Number:
Drawing Number:

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INDEX OF SYMBOLS

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| ⊞ Monitoring Well | ⊞ Utility Pole |
| ⊞ Sanitary Cleanout | ⊞ Sign |
| ○ Sewer Manhole | ⊞ Pullbox |

STORMWATER POLLUTION PREVENTION LEGEND

- | | |
|-----------|---|
| — x — x — | SILT PROTECTION |
| - - - - - | LIMITS OF DISTURBANCE |
| ⊞ IP | "DANDY SACK" OR EQUAL, SEE DETAIL - YARD DRAIN INLET PROTECTION |
| ⊞ | STABILIZED CONSTRUCTION ENTRANCE (MIN. 70' LENGTH) |
| ⊞ CW | CONCRETE WASHOUT |
| ⊞ SCM | STORMWATER CONTROL MEASURES |

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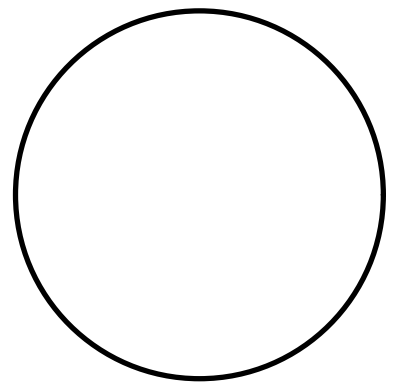
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CLEVELAND, OHIO 44146 FAX (440) 439-1999

Date: 6/21/2019 PERMIT

Approved By: _____
Approval Date: _____
Scale: 1" = 40'

CEIA USA
HUDSON CROSSING PARKWAY
HUDSON CROSSING BUSINESS PARK
HUDSON, OHIO

STORMWATER POLLUTION PREVENTION PLAN



Developer Job Number: _____

Consultant Job Number: _____

Drawing Number: _____

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FOR CONTINUATION
SEE SHEET C-11

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SITE DESCRIPTION FOR CEIA USA – HUDSON CROSSING

1. DESCRIPTION OF THE NATURE AND TYPE OF THE CONSTRUCTION ACTIVITY:

- A. PROJECT NAME & LOCATION:
CEIA USA – HUDSON CROSSING PARKWAY
CITY OF HUDSON, COUNTY OF SUMMIT, STATE OF OHIO
- B. NAME & CONTACT INFORMATION OF OWNER AND GENERAL CONTRACTOR (IF KNOWN):
PREMIER DEVELOPMENT PARTNERS
JERRY GRUSZEWSKI
5301 GRANT AVENUE
CLEVELAND, OHIO 44125
(216) 341-1200
JERRY@PREMIERDEVELOP.COM
- C. OHIO ENVIRONMENTAL PROTECTION AGENCY FACILITY PERMIT # (IF APPLICABLE): 36C10639*AG
- D. THE PROJECT WILL CONSIST OF:
PROPOSED CONSTRUCTION OF A BUILDING, STANDARD AND HEAVY-DUTY CONCRETE PARKING WITH TRUCK DOCKS AND PROPOSED GRAVEL FIRE LANE
- E. TOTAL AREA OF THE SITE/PHASE: SITE 32.18 ACRES
- F. AREA THAT IS EXPECTED TO BE DISTURBED (INCLUDING OFF-SITE BORROW AREAS): 10.10 ACRES
- G. ESTIMATED TOTAL AMOUNT OF IMPERVIOUS SURFACES THAT WILL RESULT: 4.56 ACRES
- H. ESTIMATED PERCENT OF THE TOTAL SITE TO BE COVERED BY IMPERVIOUS SURFACES: 14%
- I. ESTIMATED START DATE 08-01-2019
ESTIMATED COMPLETION DATE 12-31-2019
- J. NAME & CONTACT INFORMATION OF PROJECT ENGINEER:
CHAGRIN VALLEY ENGINEERING
(440) 439-1999

2. EXISTING DATA DESCRIBING THE SOIL:

SOIL TYPE	% OF THE SITE
A. Ca	4.1% – CANADICE SILTY CLAY LOAM
B. CcB	71.5% – CANEADEA SILT LOAM
C. GbB	13.5% – GEEBURG SILT LOAM, 2 TO 6 PERCENT SLOPES
D. GbC2	3.1% – GEEBURG SILT LOAM
E. Ln	3.1% – LORAIN SILTY CLAY LOAM
F. Wt	4.8% – WILLETE MUCK

3. DESCRIPTION OF THE QUALITY OF ANY KNOWN POLLUTANT DISCHARGE FROM THE SITE SUCH AS THAT WHICH MAY RESULT FROM PREVIOUS CONTAMINATION CAUSED BY PRIOR LAND USES:

NO KNOWN POLLUTANTS

4. DESCRIPTION OF PRIOR LAND USES AT THE SITE:

UNDEVELOPED

5. NAME OF THE IMMEDIATE RECEIVING STREAM OR SURFACE WATER(S) AND THE FIRST SUBSEQUENT RECEIVING WATER(S):

UN-NAMED TRIBUTARY TO MUD BROOK

6. DESCRIPTION OF WETLANDS OR OTHER SPECIAL AQUATIC SITES THAT WILL BE DISTURBED OR WHICH WILL RECEIVE DISCHARGES FROM DISTURBED AREAS:

SITE DISCHARGES TO EXISTING WETLAND THAT WILL REMAIN UNDISTURBED

7. DESCRIPTION OF STORM WATER DISCHARGES ASSOCIATED WITH DEDICATED ASPHALT AND DEDICATED CONCRETE PLANTS, AND THE BEST MANAGEMENT PRACTICES TO ADDRESS POLLUTANTS IN THESE STORM WATER DISCHARGES:

NONE

8. SCHEDULE DESCRIBING THE SEQUENCE OF MAJOR SOIL DISTURBING OPERATIONS AND THE IMPLEMENTATION OF SCMS TO CONTROL EROSION, SEDIMENT, AND NON-SEDIMENT POLLUTANTS.

SEE CONSTRUCTION SCHEDULE-THIS SHEET

GENERAL NOTES FOR SEDIMENT POLLUTANT CONTROLS

1. PERIMETER SEDIMENT CONTROLS (I.E. SEDIMENT TRAPS, SILT FENCE, COMPOST SOCKS, COMPOST BERMS, ETC...) SHALL BE IMPLEMENTED AS THE FIRST STEP OF GRADING AND WITHIN SEVEN (7) DAYS FROM THE START OF GRUBBING AND SHALL CONTINUE TO FUNCTION UNTIL UPSLOPE AREAS DRAINING TO THEM ARE PERMANENTLY STABILIZED, OR AS DIRECTED BY THE HUDSON CITY ENGINEER, OR HIS DESIGNATED REPRESENTATIVE.
2. NO EROSION AND SEDIMENT CONTROL BMPS SHALL BE REMOVED FROM THE SITE PRIOR TO ADEQUATE PERMANENT STABILIZATION OF THE ASSOCIATED UPLAND DRAINAGE AREAS AND WITHOUT FIRST OBTAINING AUTHORIZATION FROM THE HUDSON CITY ENGINEER, OR HIS DESIGNATED REPRESENTATIVE, UNLESS THEIR REMOVAL IS SPECIFICALLY PROVIDED FOR WITHIN THE SITE'S APPROVED PLAN.
3. THERE SHALL BE NO SEDIMENT-LADEN OR TURBID DISCHARGES TO WATER RESOURCES OR WETLANDS RESULTING FROM DEWATERING ACTIVITIES. IF TRENCH OR GROUNDWATER CONTAINS SEDIMENT, IT MUST PASS THROUGH A SEDIMENT TRAP OR OTHER EQUALLY EFFECTIVE SEDIMENT CONTROL DEVICE, PRIOR TO BEING DISCHARGED FROM THE CONSTRUCTION SITE. ALTERNATIVELY, SEDIMENT MAY BE REMOVED BY SETTLING IN PLACE OR BY DEWATERING INTO A SUMP PIT, FILTER BAG OR COMPARABLE PRACTICE. GROUND WATER DEWATERING WHICH DOES NOT CONTAIN SEDIMENT OR OTHER POLLUTANTS IS NOT REQUIRED TO BE TREATED PRIOR TO DISCHARGE. HOWEVER, CARE MUST BE TAKEN WHEN DISCHARGING GROUND WATER TO ENSURE THAT IT DOES NOT BECOME POLLUTANT-LADEN BY TRAVERSING OVER DISTURBED SOILS OR OTHER POLLUTANT SOURCES.
4. STREETS DIRECTLY ADJACENT TO CONSTRUCTION ENTRANCES AND RECEIVING TRAFFIC FROM THE DEVELOPMENT AREA, SHALL BE CLEANED DAILY TO REMOVE SEDIMENT TRACKED OFF-SITE. IF APPLICABLE, THE CATCH BASINS ON THESE STREETS NEAREST TO THE CONSTRUCTION ENTRANCES SHALL ALSO BE CLEANED WEEKLY. BASED ON SITE CONDITIONS, THE HUDSON CITY ENGINEER, OR HIS DESIGNATED REPRESENTATIVE, MAY REQUIRE ADDITIONAL BEST MANAGEMENT PRACTICES TO CONTROL OFF-SITE TRACKING AND DUST.
5. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, OR HIS/HER REPRESENTATIVE, TO INSPECT ALL CONTROLS ON THE

SITE AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN TWENTY-FOUR (24) HOURS AFTER ANY STORM EVENT GREATER THAN ONE-HALF INCH OF RAIN PER TWENTY-FOUR (24) HOUR PERIOD. WHEN INSPECTIONS REVEAL THE NEED FOR REPAIR, REPLACEMENT, OR INSTALLATION OF EROSION AND SEDIMENT CONTROL SCMS, THE FOLLOWING PROCEDURES SHALL BE FOLLOWED:

C. WHEN PRACTICES REQUIRE REPAIR OR MAINTENANCE: IF AN INTERNAL INSPECTION REVEALS THAT A CONTROL PRACTICE IS IN NEED OF REPAIR OR MAINTENANCE, WITH THE EXCEPTION OF A SEDIMENT-SETTLING POND, IT MUST BE REPAIRED OR MAINTAINED WITHIN THREE (3) DAYS OF THE INSPECTION. SEDIMENT-SETTLING PONDS MUST BE REPAIRED OR MAINTAINED WITHIN TEN (10) DAYS OF THE INSPECTION.

D. WHEN PRACTICES FAIL TO PROVIDE THEIR INTENDED FUNCTION: IF AN INTERNAL INSPECTION REVEALS THAT A CONTROL PRACTICE FAILS TO PERFORM ITS INTENDED FUNCTION AS DETAILED IN THE SWP3 AND THAT ANOTHER, MORE APPROPRIATE CONTROL PRACTICE IS REQUIRED, THE SWP3 MUST BE AMENDED AND THE NEW CONTROL PRACTICE MUST BE INSTALLED WITHIN TEN (10) DAYS OF THE INSPECTION.

E. WHEN PRACTICES DEPICTED ON THE SWPPP ARE NOT INSTALLED: IF AN INTERNAL INSPECTION REVEALS THAT A CONTROL PRACTICE HAS NOT BEEN IMPLEMENTED IN ACCORDANCE WITH THE SCHEDULE, THE CONTROL PRACTICE MUST BE IMPLEMENTED WITHIN TEN (10) DAYS FROM THE DATE OF THE INSPECTION. IF THE INTERNAL INSPECTION REVEALS THAT THE PLANNED CONTROL PRACTICE IS NOT NEEDED, THE RECORD MUST CONTAIN A STATEMENT OF EXPLANATION AS TO WHY THE CONTROL PRACTICE IS NOT NEEDED.

6. THE APPLICANT SHALL MAINTAIN FOR THREE (3) YEARS FOLLOWING FINAL STABILIZATION THE RESULTS OF THESE INSPECTIONS, THE NAMES AND QUALIFICATIONS OF PERSONNEL MAKING THE INSPECTIONS, THE DATES OF INSPECTIONS, MAJOR OBSERVATIONS RELATING TO THE IMPLEMENTATION OF THE SWP3, A CERTIFICATION AS TO WHETHER THE FACILITY IS IN COMPLIANCE WITH THE SWP3, AND INFORMATION ON ANY INCIDENTS OF NON-COMPLIANCE DETERMINED BY THESE INSPECTIONS.

7. ALL EROSION AND SEDIMENT CONTROL PRACTICES SPECIFIED ON THIS PLAN SHALL CONFORM WITH DETAILS AND SPECIFICATIONS OUTLINED IN THE CURRENT VERSION OF THE OHIO DEPARTMENT OF NATURAL RESOURCES BOOKLET, "RAINWATER AND LAND DEVELOPMENT", OR AS SPECIFIED BY THE HUDSON CITY ENGINEER, OR HIS DESIGNATED REPRESENTATIVE.

8. EROSION AND SEDIMENT CONTROL PRACTICES NOT ALREADY SPECIFIED ON THIS PLAN MAY BE NECESSARY DUE TO UNFORESEEN ENVIRONMENTAL CONDITIONS AND/OR CHANGES IN DRAINAGE PATTERNS CAUSED BY EARTH-MOVING ACTIVITY. ADDITIONAL PRACTICES SHALL BE IMPLEMENTED AT THE DEVELOPER'S EXPENSE AS DIRECTED BY THE HUDSON CITY ENGINEER, OR HIS DESIGNATED REPRESENTATIVE.

9. NO STRUCTURAL SEDIMENT CONTROLS (E.G. SILT FENCE, SEDIMENT TRAPS, ETC.) SHALL BE USED IN A WATER RESOURCE OR WETLAND, UNLESS THEIR USE IS SPECIFICALLY PROVIDED FOR WITHIN THE SITE'S APPROVED PLAN.

10. SOIL STOCKPILES, TOPSOIL OR OTHERWISE, SHALL BE SITUATED AWAY FROM STREETS, SWALES, OR OTHER WATERWAYS AND SHALL BE SEEDED AND/OR MULCHED IMMEDIATELY.

11. ON-SITE PERSONNEL SHALL TAKE ALL NECESSARY MEASURES TO COMPLY WITH APPLICABLE REGULATIONS REGARDING FUGITIVE DUST EMISSIONS, INCLUDING OBTAINING NECESSARY PERMITS FOR SUCH EMISSIONS. THE HUDSON CITY ENGINEER, OR HIS DESIGNATED REPRESENTATIVE, MAY REQUIRE DUST CONTROLS INCLUDING, BUT NOT LIMITED TO, THE USE OF WATER TRUCKS TO WET DISTURBED AREAS, TARPING STOCKPILES, TEMPORARY STABILIZATION OF DISTURBED AREAS, AND REGULATION OF THE SPEED OF VEHICLES ON THE SITE.

12. VEGETATIVE STABILIZATION, DISTURBED AREAS, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF FOURTEEN (14) DAYS OR GREATER SHALL BE STABILIZED WITH SEEDING AND MULCHING OR OTHER APPROPRIATE MEANS WITHIN SEVEN (7) DAYS AFTER THE LAST DISTURBANCE. DISTURBED AREAS THAT WILL REMAIN DORMANT FOR MORE THAN 14 DAYS WITHIN 50 FEET OF A STREAM SHALL HAVE TEMPORARY EROSION CONTROL MEASURES, INCLUDING BUT NOT LIMITED TO SEEDING AND MULCHING, APPLIED WITHIN 2 DAYS. DISTURBED AREAS THAT HAVE REACHED FINAL GRADE SHALL BE STABILIZED WITHIN 7 DAYS OF REACHING FINAL GRADE.

13. ANY DISTURBED AREA NOT PAVED, SODDED, OR BUILT UPON SHALL HAVE A MINIMUM OF 80% UNIFORM VEGETATIVE COVER PRIOR TO FINAL INSPECTION, AND IN THE OPINION OF THE HUDSON CITY ENGINEER, OR HIS DESIGNATED REPRESENTATIVE, WILL BE MATURE ENOUGH TO CONTROL EROSION SATISFACTORILY AND SURVIVE SEVERE WEATHER.

14. IMPLEMENTATION OF EROSION AND SEDIMENT CONTROLS SHALL CONFORM TO THE CITY OF HUDSON CODIFIED ORDINANCES AND THE OHIO EPA CONSTRUCTION GENERAL PERMIT #OHCO00004. IF A CONFLICT EXISTS BETWEEN THE TWO REGARDING EROSION AND SEDIMENT CONTROL IMPLEMENTATION THE MORE RESTRICTIVE SHALL APPLY.

GENERAL NOTES FOR NON-SEDIMENT POLLUTANT CONTROLS

1. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL. THE INDIVIDUAL WHO MANAGES THE DAY-TO-DAY SITE OPERATIONS WILL BE RESPONSIBLE FOR ENSURING ALL FORMS OF WASTE ARE PROPERLY DISPOSED OF.

2. CONTAMINATED SOILS FROM REDEVELOPMENT SITES SHALL BE DISPOSED OF PROPERLY. RUNOFF FROM CONTAMINATED SOILS SHALL NOT BE DISCHARGED FROM THE SITE. PROPER PERMITS SHALL BE OBTAINED FOR DEVELOPMENT PROJECTS ON SOLID WASTE LANDFILL SITES OR REDEVELOPMENT SITES.

3. CONCRETE WASH WATER SHALL NOT BE ALLOWED TO FLOW TO STREAMS, DITCHES, STORM DRAINS, OR ANY OTHER WATER CONVEYANCE. A SUMP OR PIT WITH NO POTENTIAL FOR DISCHARGE SHALL BE CONSTRUCTED IF NEEDED TO CONTAIN CONCRETE WASH WATER. FIELD TILE OR OTHER SUBSURFACE DRAINAGE STRUCTURES WITHIN 10 FT. OF THE SUMP SHALL BE CUT AND PLUGGED. FOR SMALL PROJECTS, TRUCK CHUTES MAY BE RINSED AWAY FROM ANY WATER CONVEYANCES.

4. NO SOLID OR LIQUID WASTE SHALL BE DISCHARGED INTO STORM WATER RUNOFF. ANY AND ALL WASTE MATERIALS (SOLID, HAZARDOUS, CONSTRUCTION & DEMOLITION, SANITARY, TOXIC, CONTAMINATED SOILS, ETC.) GENERATED AT THE SITE SHALL BE PROPERLY DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL RULES/REGULATIONS. ON-SITE STORAGE CONTAINERS SHALL BE COVERED AND NOT LEAKING. IT IS PROHIBITED TO BURN, BURY OR POUR OUT ONTO THE GROUND OR INTO THE STORM SEWERS ANY SOLVENTS, PAINTS, GASOLINE, DIESEL FUEL, USED MOTOR OIL, HYDRAULIC FLUID, ANTIFREEZE, CEMENT CURING COMPOUNDS AND ANY OTHER SUCH TOXIC OR HAZARDOUS MATERIALS OR WASTES.

5. HANDLING CONSTRUCTION CHEMICALS. MIXING, PUMPING, TRANSFERRING OR OTHER HANDLING OF CONSTRUCTION CHEMICALS SUCH AS FERTILIZER, LIME, ASPHALT, CONCRETE DRYING COMPOUNDS, AND ALL OTHER POTENTIALLY HAZARDOUS MATERIALS SHALL BE PERFORMED IN AN AREA AWAY FROM ANY WATERCOURSE, DITCH OR STORM DRAIN.

6. EQUIPMENT FUELING AND MAINTENANCE, OIL CHANGING, ETC., SHALL BE PERFORMED AWAY FROM WATERCOURSES, DITCHES OR STORM DRAINS, IN AN AREA DESIGNATED FOR THAT PURPOSE. THE DESIGNATED AREA SHALL BE EQUIPPED FOR RECYCLING OIL AND CATCHING SPILLS. SECONDARY CONTAINMENT WITH A MINIMUM CAPACITY EQUAL TO 110% OF THE VOLUME OF ALL CONTAINERS IN A STORAGE AREA SHALL BE PROVIDED FOR ALL FUEL/LIQUID STORAGE TANKS AND DRUMS.

7. ALL SANITARY WASTE SHALL BE COLLECTED FROM PORTABLE UNITS A MINIMUM OF THREE TIMES PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR, AS REQUIRED BY LOCAL REGULATION.

8. THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ON SITE DURING THE CONSTRUCTION PROJECT:

- A. AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.
- B. ALL MATERIALS STORED ON SITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.

- C. PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE MANUFACTURER'S LABEL. SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.
- D. WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.
- E. THE MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.
- F. THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS ON SITE.

9. IN ADDITION TO PREVIOUS NOTES, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEAN-UP:

- A. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEAN-UP WILL BE POSTED AND SITE PERSONNEL MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
- B. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON SITE. EQUIPMENT AND MATERIALS WILL INCLUDE, BUT NOT BE LIMITED TO BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, CAT LITTER, SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY DESIGNATED FOR THIS PURPOSE.
- C. ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
- D. THE SPILL AREA WILL BE KEPT WELL-VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.
- E. SPILLS OF TOXIC OR HAZARDOUS MATERIALS WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE.
- F. THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.
- G. THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY-TO-DAY OPERATIONS WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR. HE/SHE WILL DESIGNATE SITE PERSONNEL WHO WILL RECEIVE SPILL PREVENTION AND CLEANUP TRAINING. THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND CLEANUP. THE NAMES OF RESPONSIBLE SPILL PERSONNEL WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IN THE OFFICE TRAILER ON SITE.

10. ALL CONSTRUCTION AND DEMOLITION DEBRIS (C&DD) WASTE WILL BE DISPOSED OF IN AN OHIO EPA APPROVED C&DD LANDFILL AS REQUIRED BY OHIO REVISED CODE (ORC) 3714 AND LOCAL REGULATIONS.

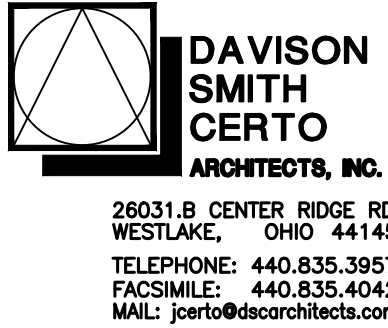
11. SPILLS OF 25 GALLONS OR MORE OF PETROLEUM PRODUCTS SHALL BE REPORTED TO OHIO EPA 1-800-282-9378, THE LOCAL FIRE DEPARTMENT, AND THE LOCAL EMERGENCY PLANNING COMMITTEE WITHIN 30 MIN. OF THE DISCOVERY OF THE RELEASE. ALL SPILLS, WHICH RESULT IN CONTACT WITH WATERS OF THE STATE, MUST BE REPORTED TO OHIO EPA'S HOTLINE.

12. OPEN BURNING IS PROHIBITED.

CONSTRUCTION SCHEDULE

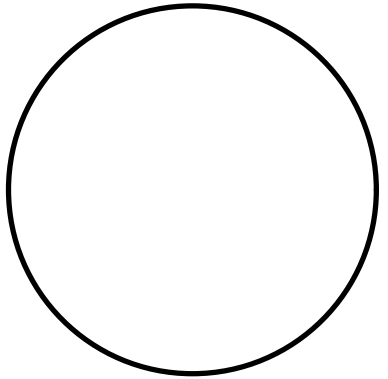
1. INSTALL SILT PROTECTION AND INLET PROTECTION
2. CONSTRUCT WATER QUALITY BASIN. INSTALL TEMPORARY SKIMMER ON WATER QUALITY BASIN PER PLAN DETAILS.
3. PERFORM CLEARING AND TOPSOIL STRIPPING.
4. PROVIDE CONCRETE WASHOUT PRIOR TO CURB AND WALK INSTALLATION.
5. APPLY PERMANENT SEED/MULCH WITH EROSION CONTROL MATTING TO WATER QUALITY BASIN SIDE SLOPES AND ALL DISTURBED AREAS
6. CONSTRUCT BUILDING, PAVING, UTILITIES, AND ALL PLANNED IMPROVEMENTS.
7. PERFORM FINAL GRADING.
8. APPLY PERMANENT VEGETATIVE STABILIZATION TO ALL LANDSCAPED AREAS UPON SATISFACTORY ESTABLISHMENT OF VEGETATION (70% UNIFORM COVERAGE).
9. INSPECT AND CLEAN PROPOSED OUTLET STRUCTURE WITHIN WATER QUALITY BASIN. REMOVE TEMPORARY SKIMMER. REMOVE ACCUMULATED SEDIMENT AS NECESSARY TO RESTORE PERMANENT DESIGN VOLUMES WITHIN WATER QUALITY BASIN.

SWP3 AMENDMENT LOG		
DATE SWP3 ACTIVITY INITIATED	DESCRIPTION OF SWP3 ACTIVITY	DATE SWP3 ACTIVITY CEASED (TEMP.OR PERM.)



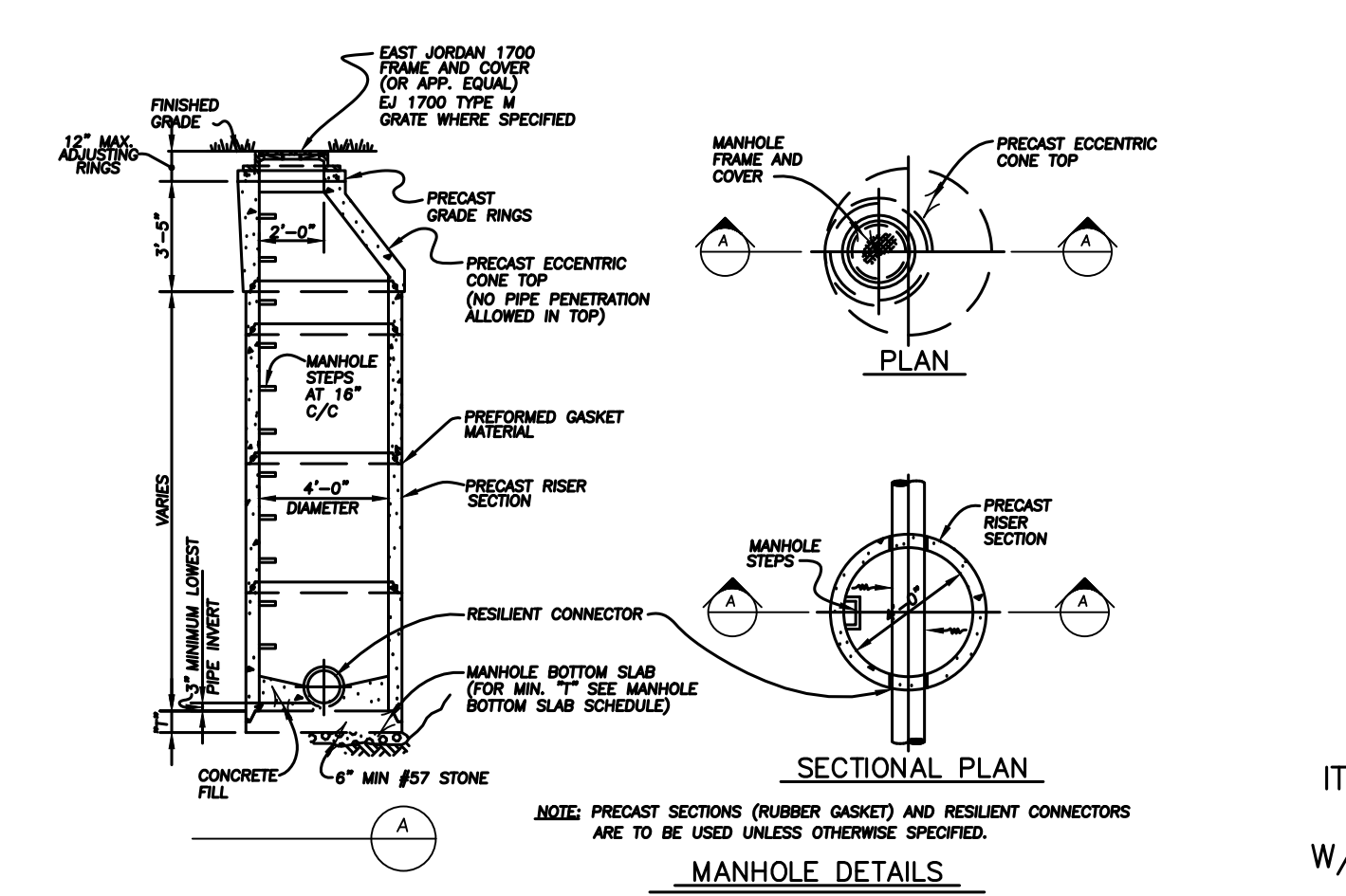
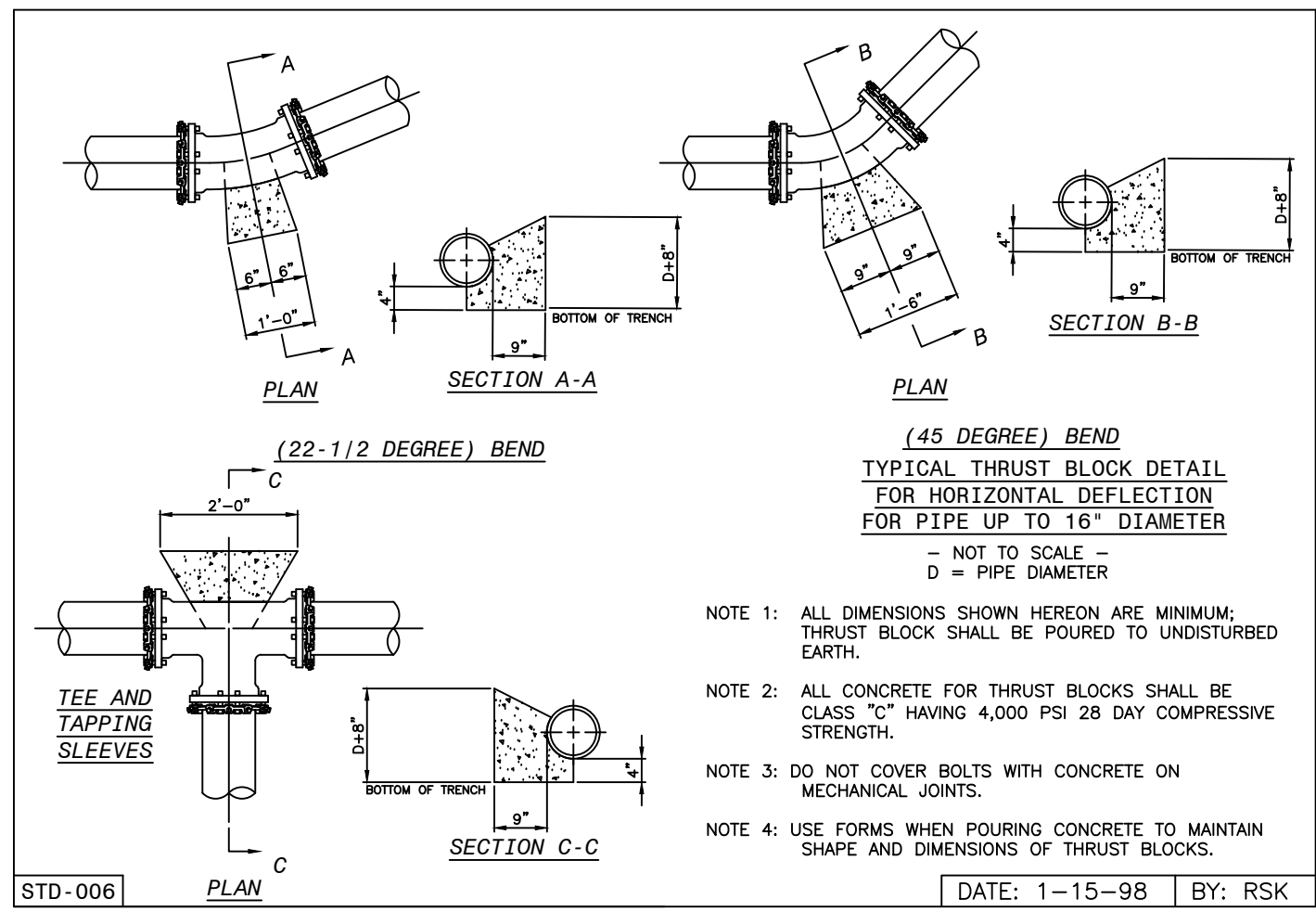
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CEIA USA
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HUDSON CROSSING BUSINESS PARK
HUDSON, OHIO
STORMWATER POLLUTION PREVENTION PLAN NOTES \$ = 40'

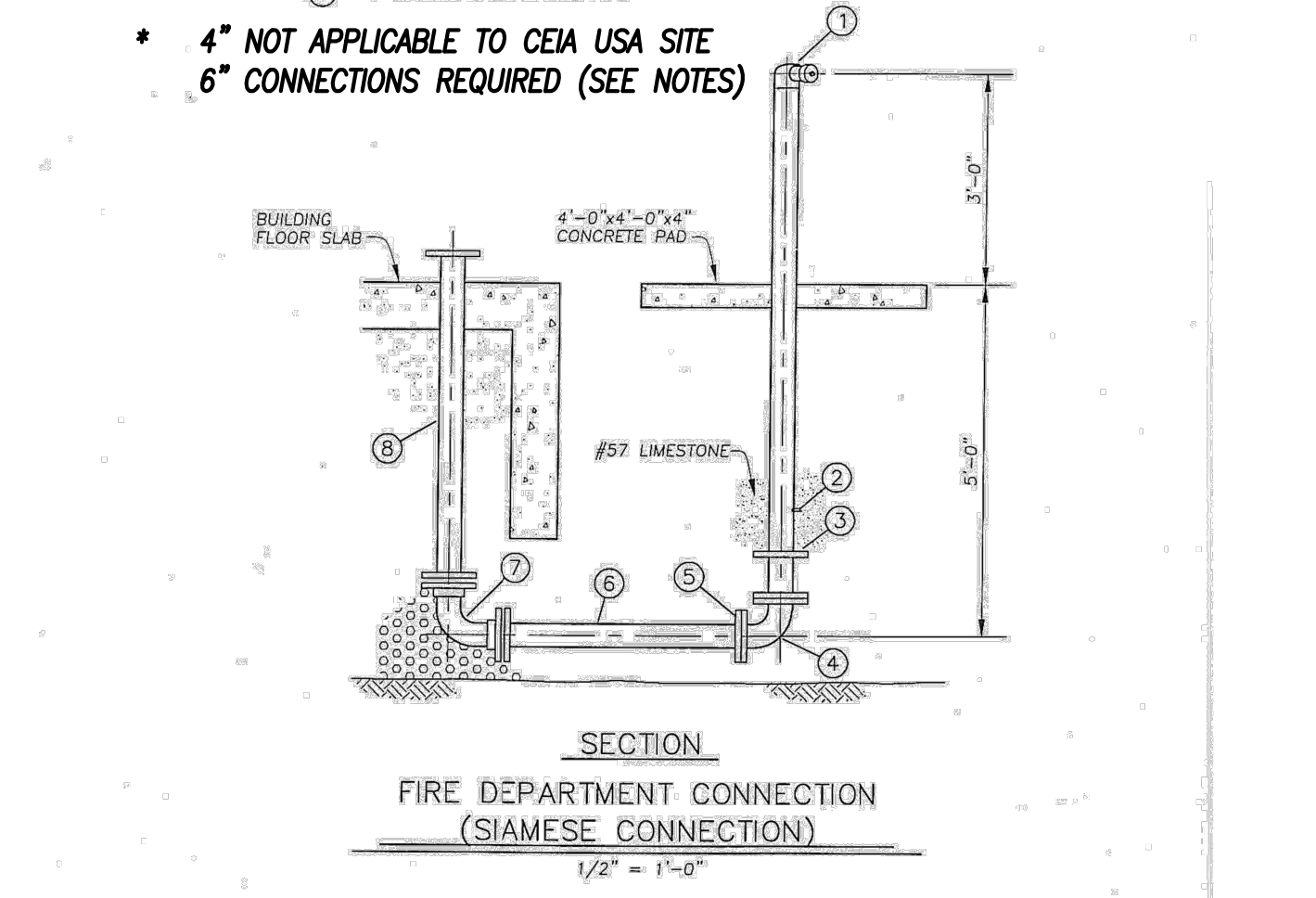


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Consultant Job Number:

Drawing Number:
C-13
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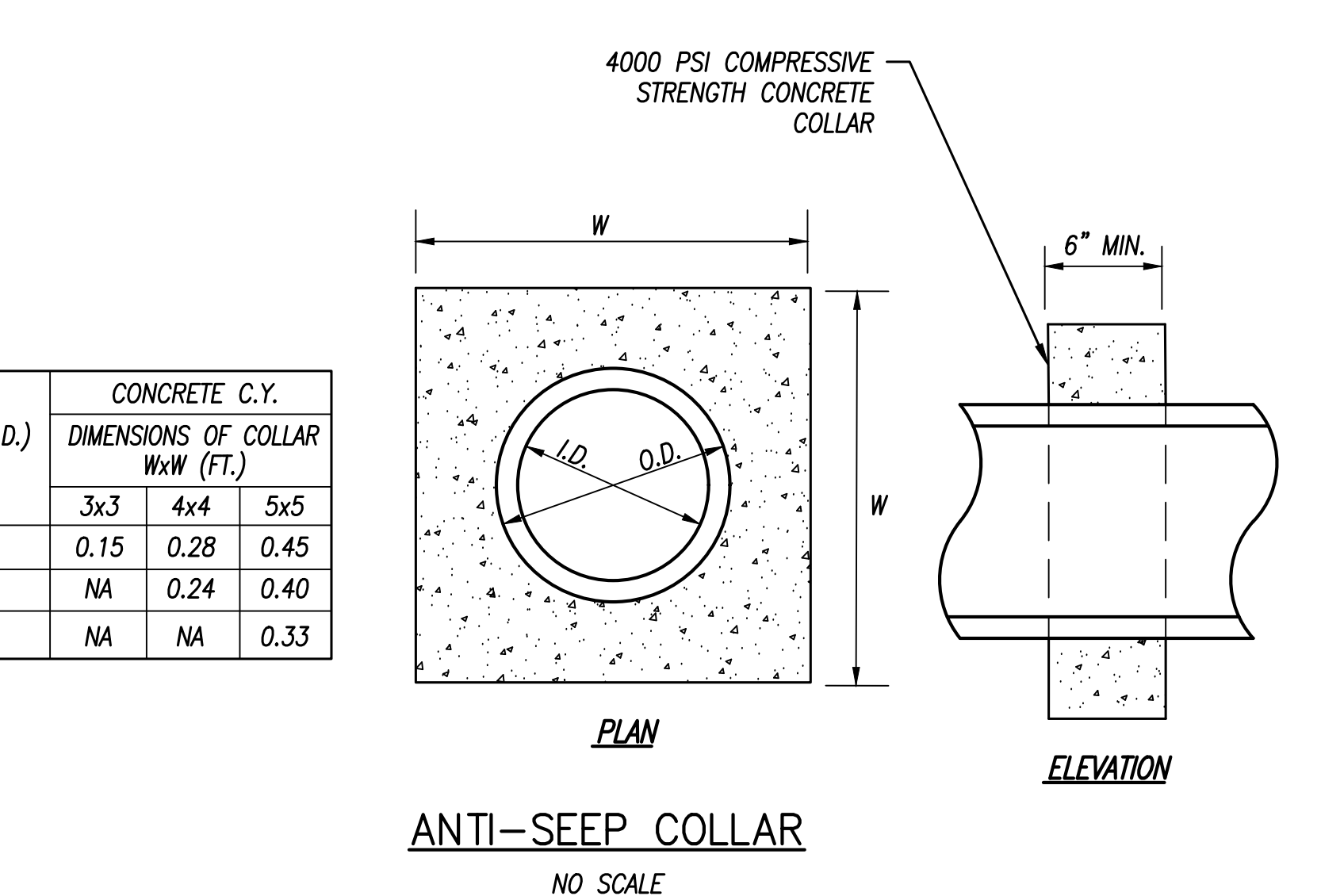
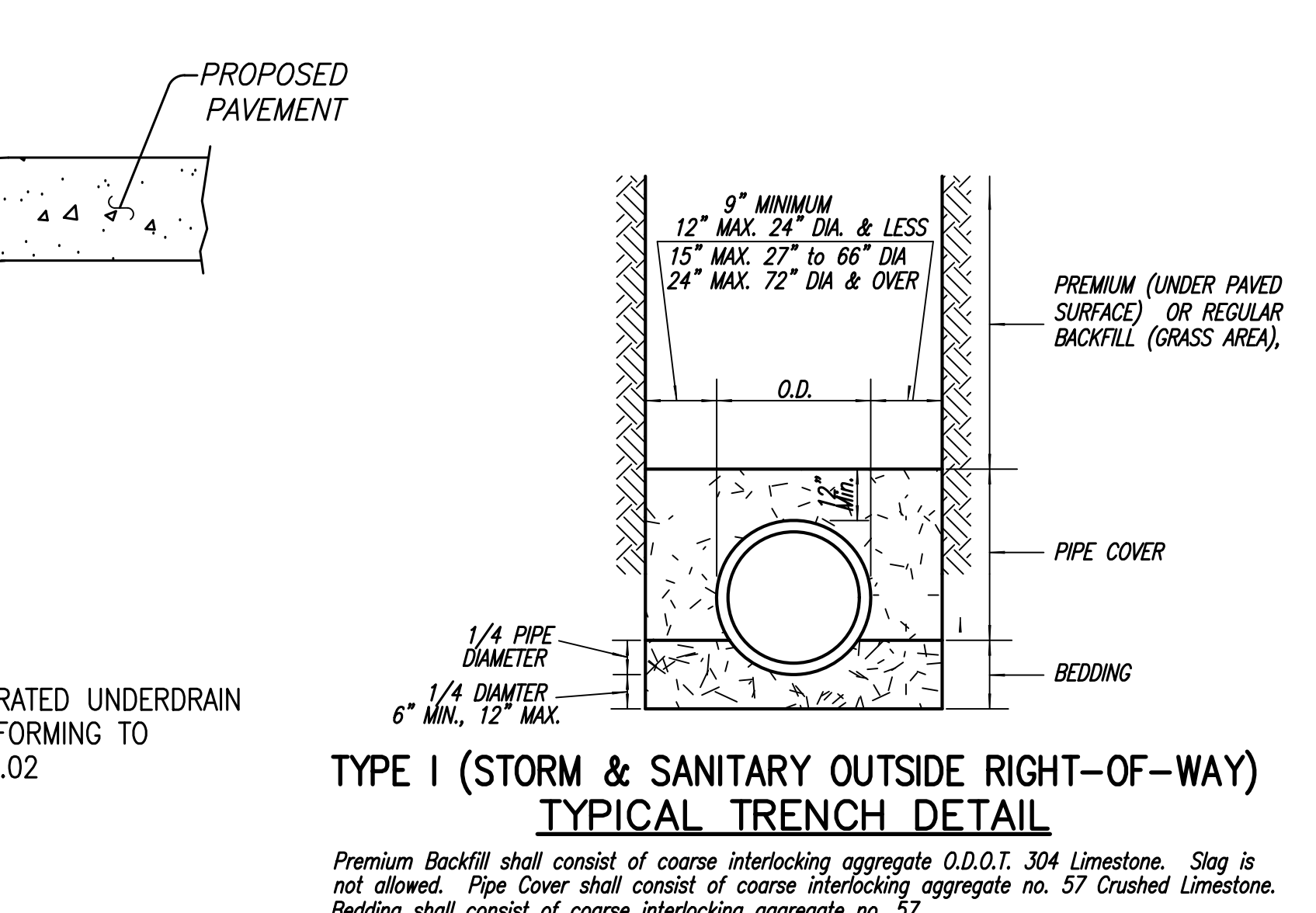
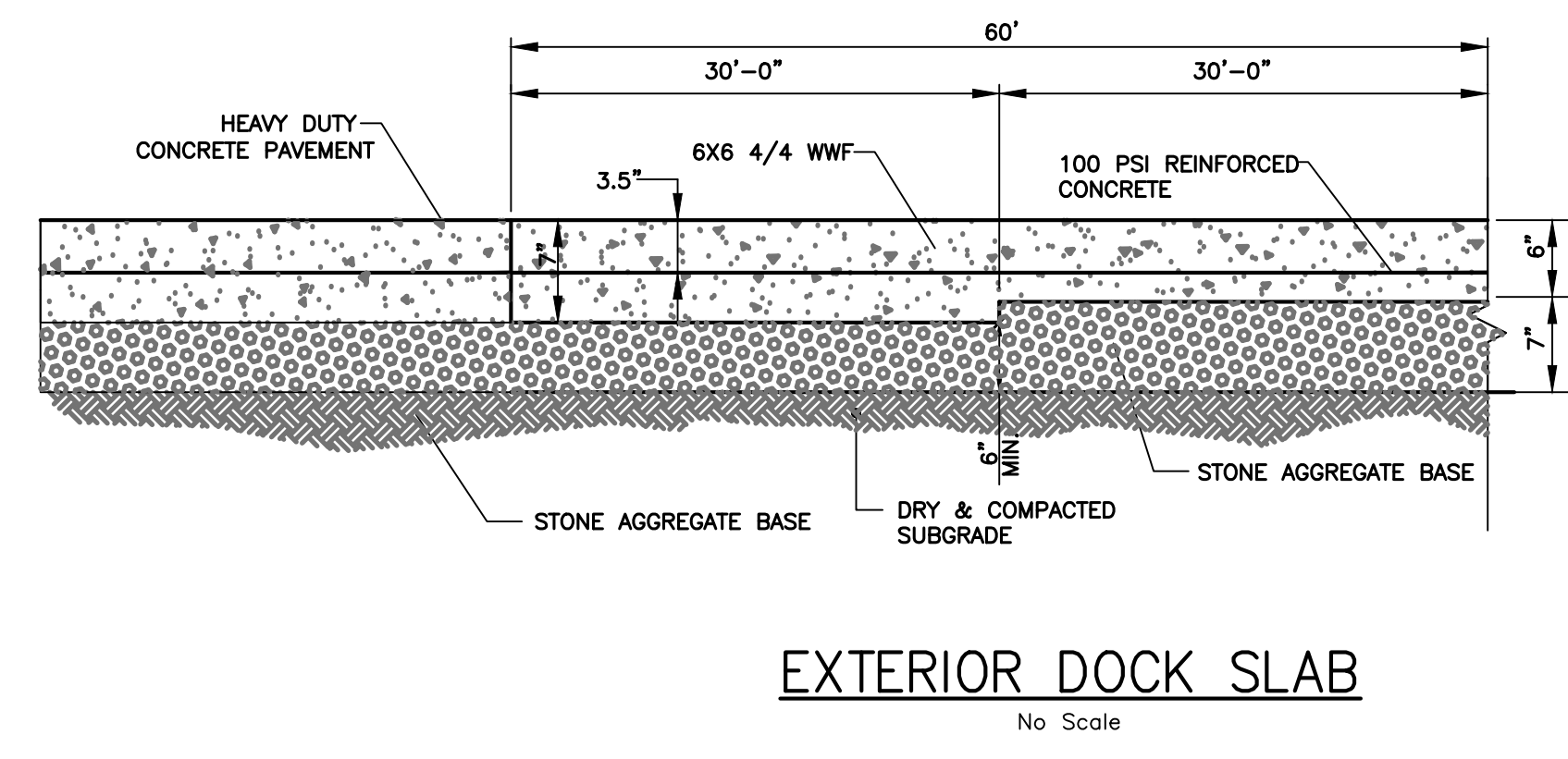
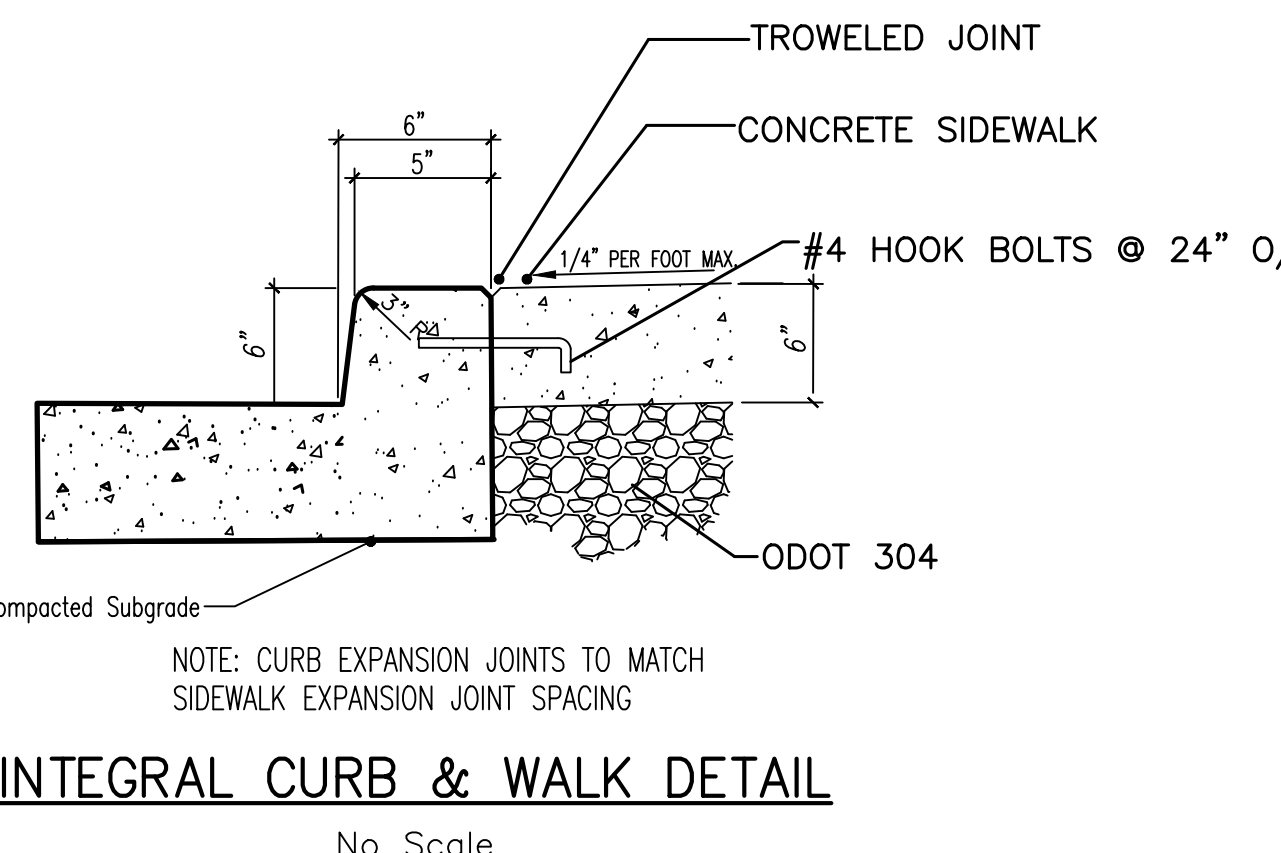
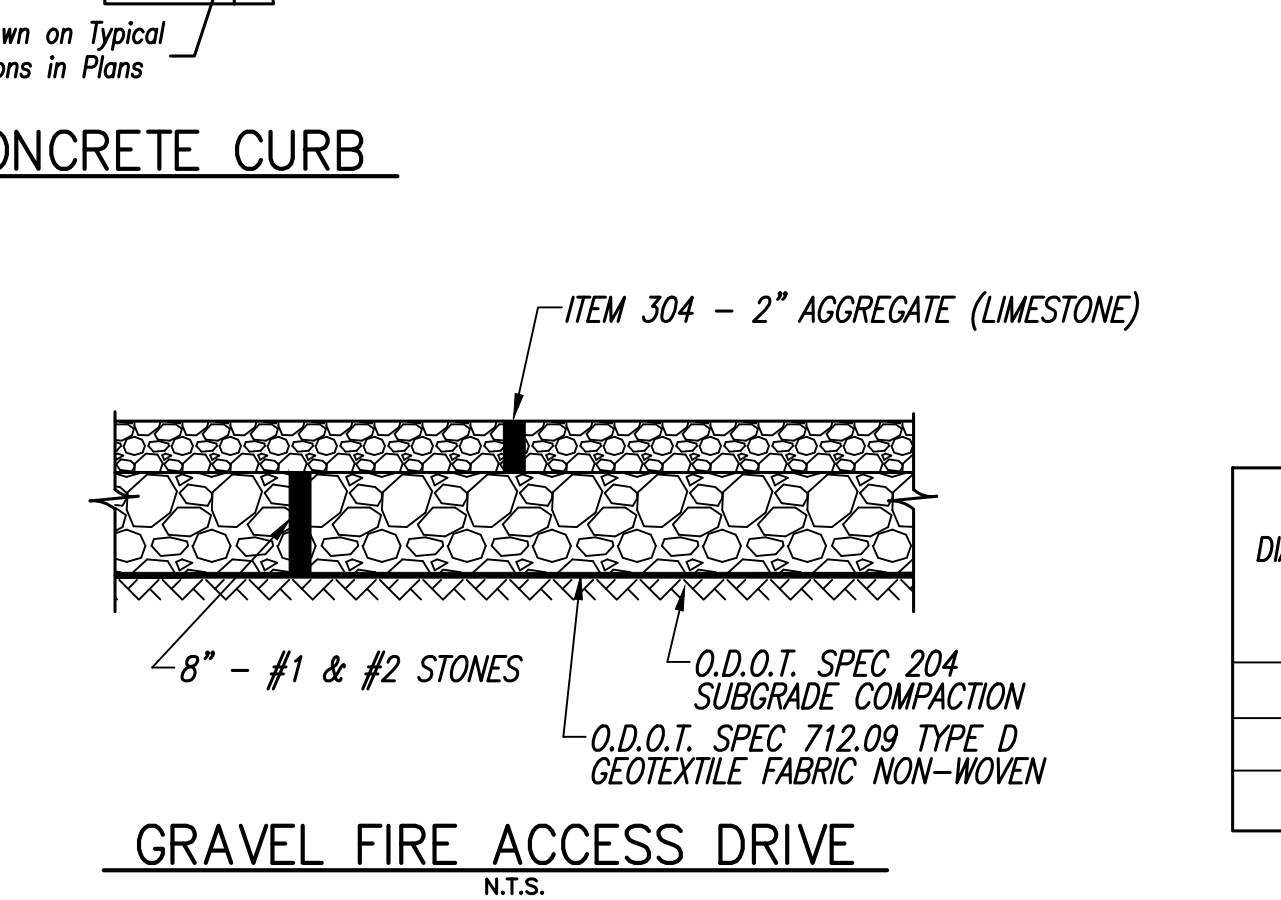
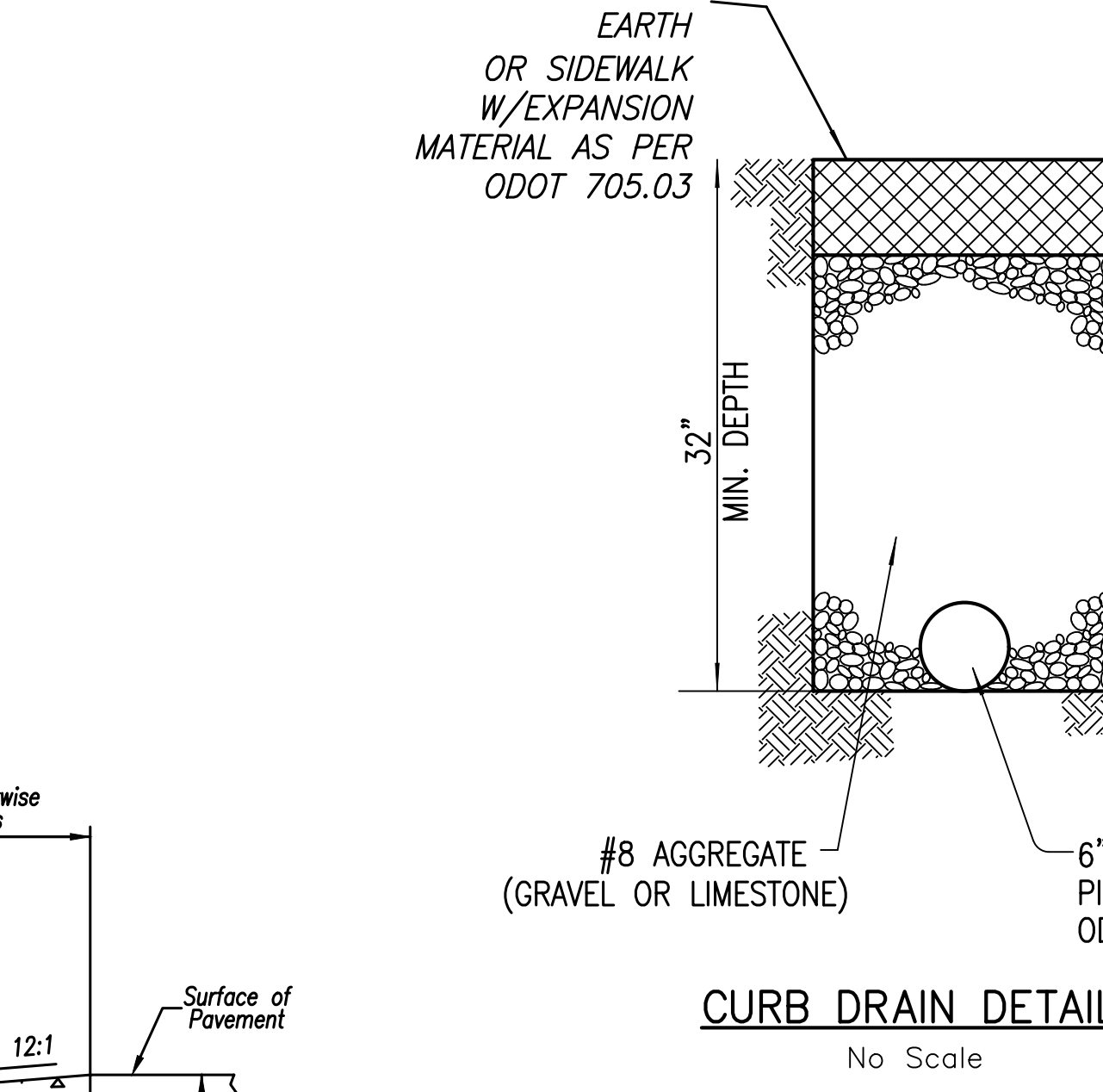
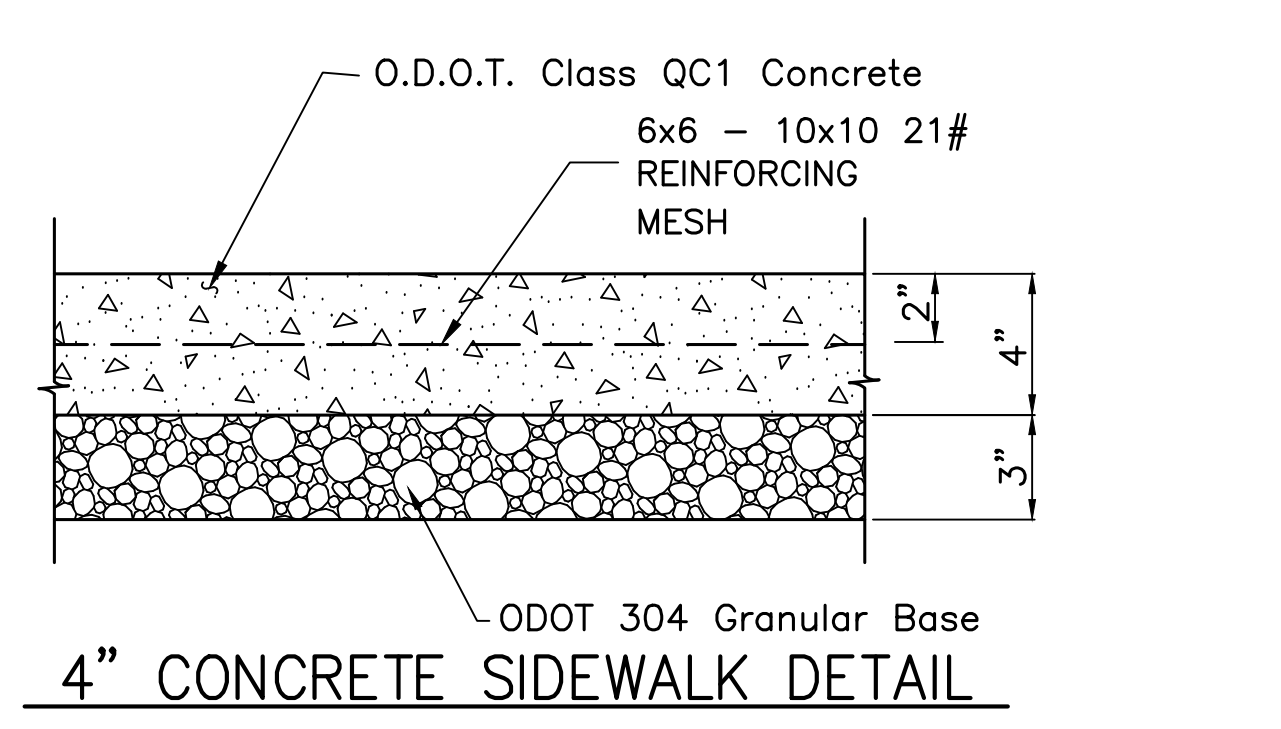
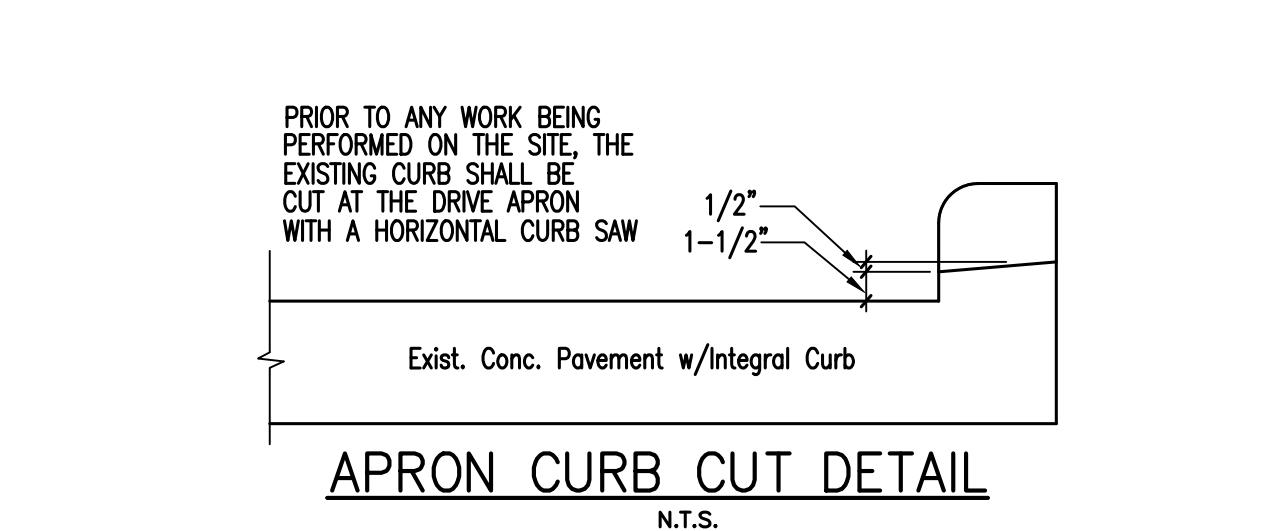
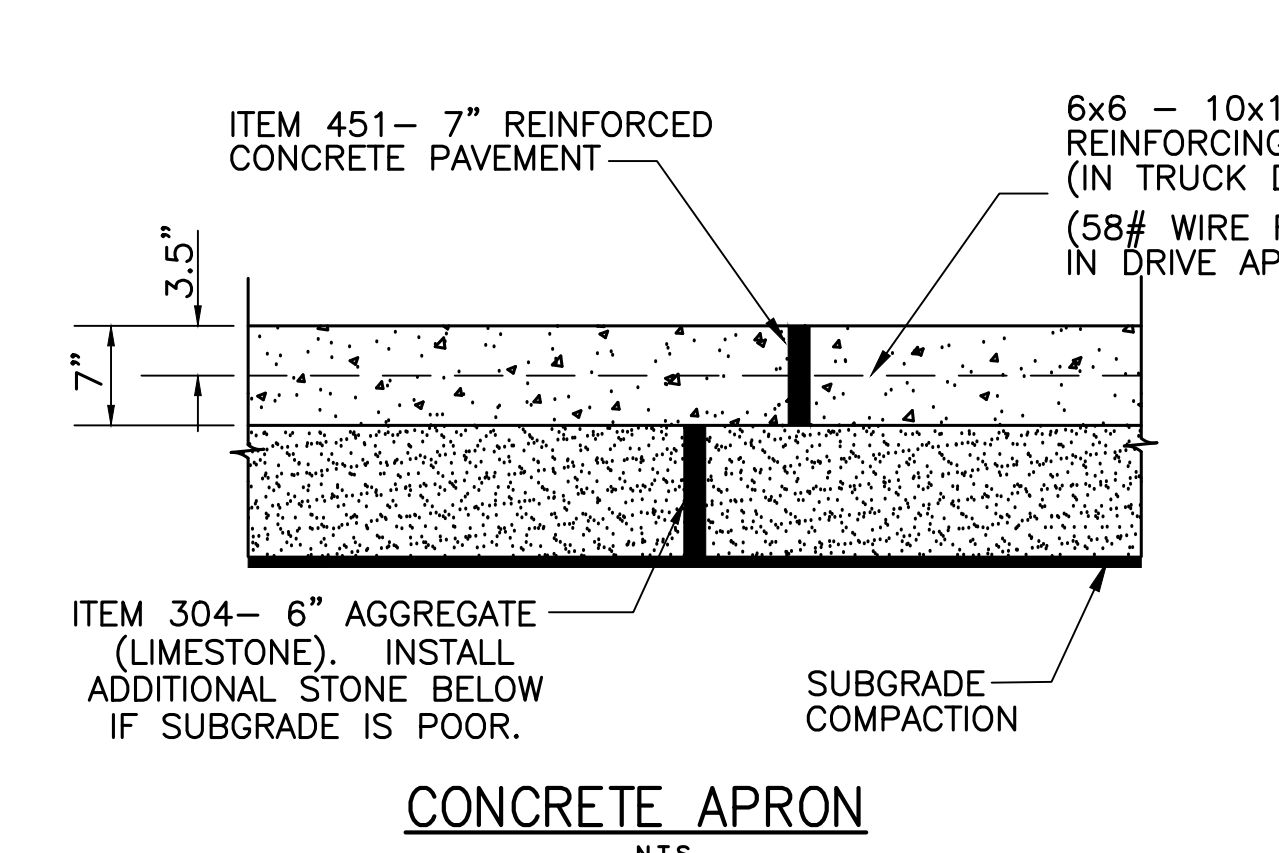
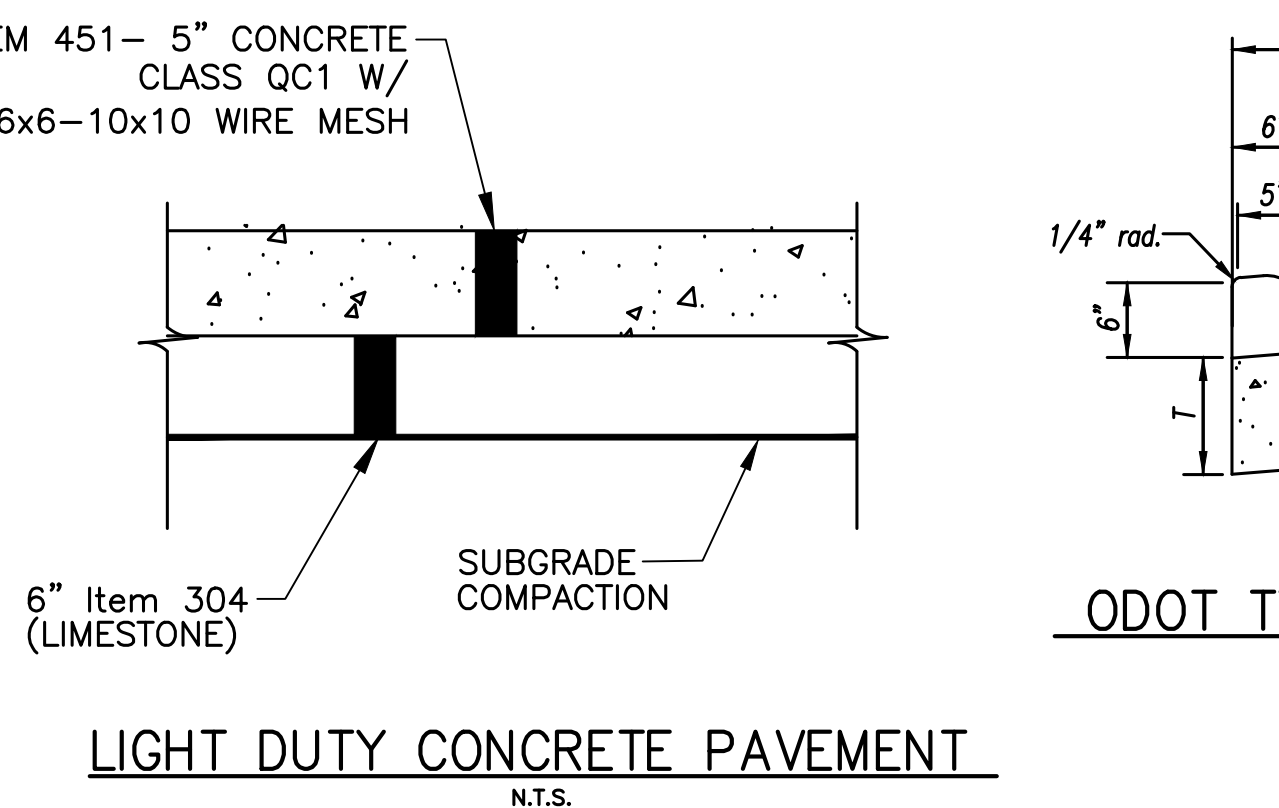
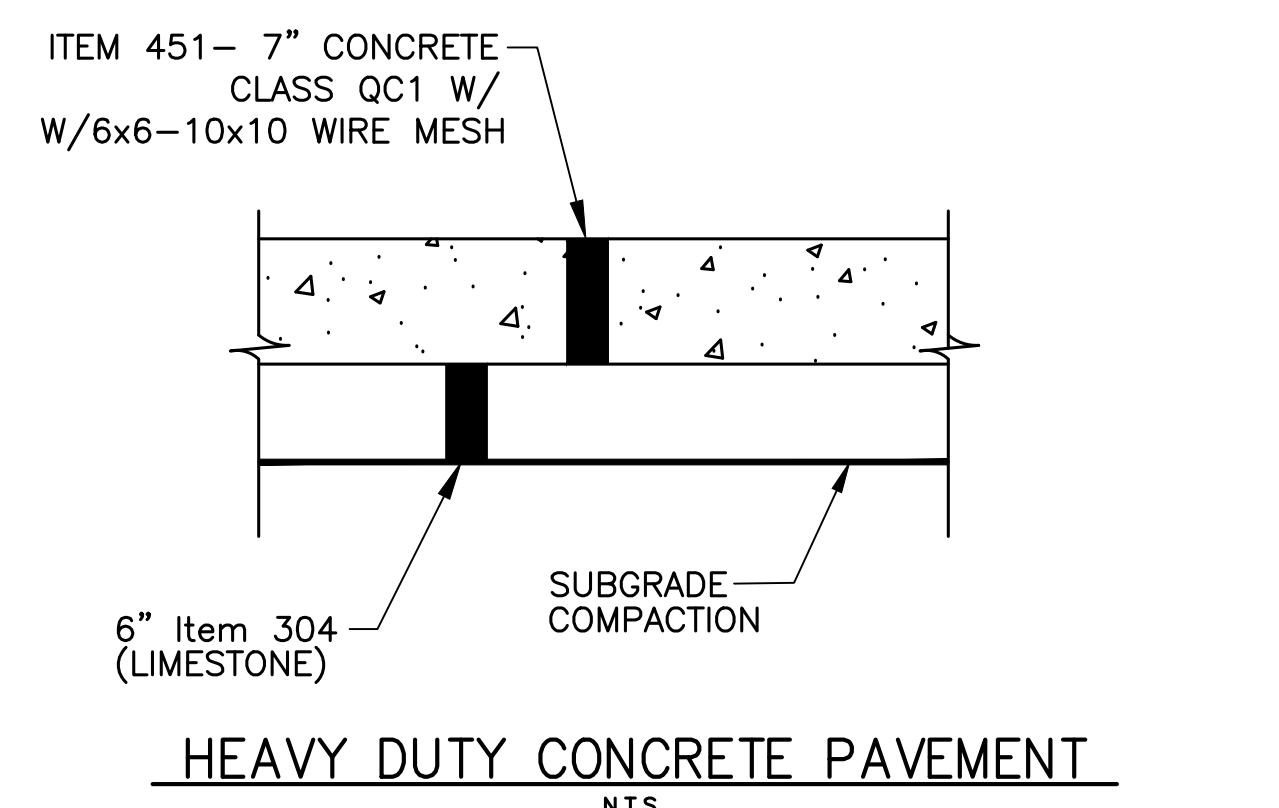
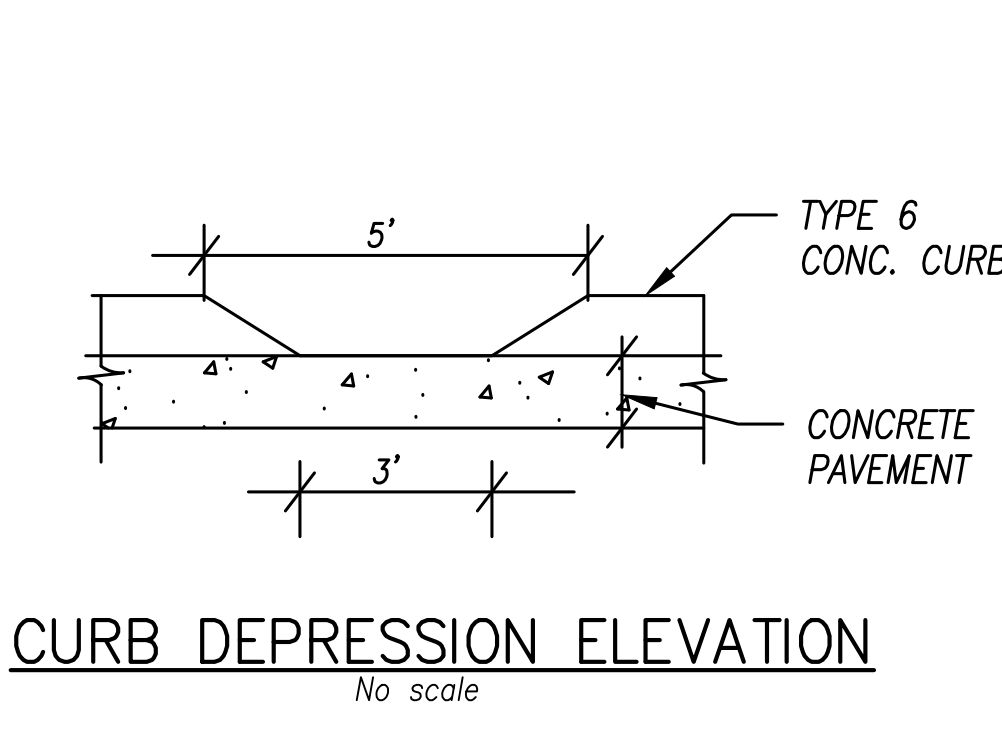


- ① = 4"x2-2 1/2" NST 90° SIEMENSE W/ CAPS (FDC) FIRE DEPT. CONNECTION
 - ② = 4"x8" CALV. THREADED HIPPLE TAPPED 6" FROM BOTTOM END W/ 1/2" BALL DRIP VALVE
 - ③ = 4" COMPANION FLANGE AND GASKET SET 55 BOLTS AND NUTS
 - ④ = 4" FLANGED 90° ELBOW
 - ⑤ = 4" EZ FLANGE (EBBA)
 - ⑥ = 4" PIPE (RESTRAINED)
 - ⑦ = 4" MJ 90° ELBOW W/ MEGALUGS
 - ⑧ = 4" FLANGE x PE SPOOL PIPE
- * 4" NOT APPLICABLE TO CEIA USA SITE
6" CONNECTIONS REQUIRED (SEE NOTES)



SEE DISCLAIMER STATEMENT ON THE TITLE PAGE OF THESE ENGINEERING STANDARDS
HYDSAM.DWG: 05-13-02

- NOTES:**
1. FIRE DEPARTMENT CONNECTION LEAD-IN AND RISER PIPE FOR BUILDING SPRINKLER SYSTEM MUST BOTH BE 6" TO PROVIDE ADEQUATE FIRE SUPPRESSION WATER SUPPLY.
 2. FDC MUST BE 5" STORZ THREAD ON A 30 DEGREE ELBOW.
 3. FDC RISER PIPES SHALL BE PAINTED RED IN COLOR.
 4. FIRE HYDRANTS AND FDC MUST MEET CITY OF HUDSON NOZZLE THREAD SPECIFICATIONS.
 5. ALL WATERLINES SHALL BE TESTED PER THE CITY OF HUDSON STANDARDS.
 6. ALL FIRE LINES SHALL BE INSPECTED BY THE SUMMIT COUNTY DEPT. OF BUILDING STANDARDS AND THE HUDSON FIRE DEPARTMENT FROM THE EXISTING UTILITY TO THE BUILDING.



- THE FOLLOWING ODOT STANDARD CONSTRUCTION DRAWINGS ARE TO BE INCLUDED AS PART OF THE DRAWING SET FOR THIS PROJECT:
1. BP-7.1 "CURB RAMPS"
 2. CB-1.1 "CATCH BASINS NO'S. 2-2A & B"
 3. CB-2.1 "CATCH BASINS NO'S. 2-3 & 2-4"
 4. HW-1.1 "FULL-HEIGHT HEADWALLS"

PREMIER
Development Partners
5301 Grant Avenue
Cleveland, OH 44125
Phone: (216)341-1200

DAVISON SMITH CERTO
ARCHITECTS, INC.
26031.8 CENTER RIDGE RD
WESTLAKE, OHIO 44145
TELEPHONE: 440.835.3957
FACSIMILE: 440.835.4042
MAIL: pc@dsacorporates.com

CHAGRIN VALLEY ENGINEERING, LTD.
22909 FORBES ROAD, SUITE B
CLEVELAND, OHIO 44146
PHONE: (440) 439-1999
FAX: (440) 439-1999

Date: 6/21/2019 PERMIT

Approved By: _____
Approval Date: _____
Scale: AS NOTED

CEIA USA
HUDSON CROSSING PARKWAY
HUDSON CROSSING BUSINESS PARK
HUDSON, OHIO

STANDARD DETAILS

Developer Job Number: _____

Consultant Job Number: _____

Drawing Number: C-15

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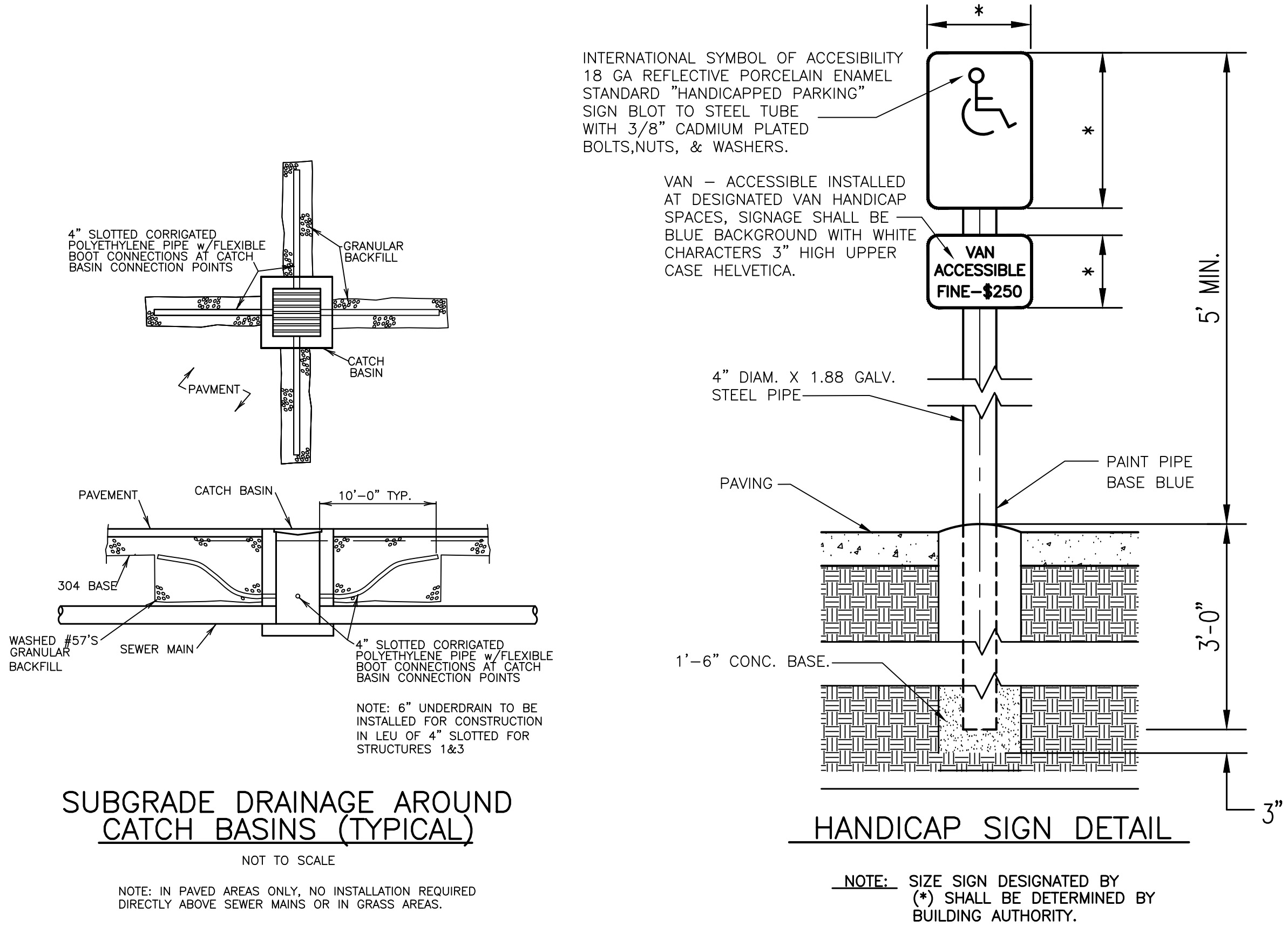
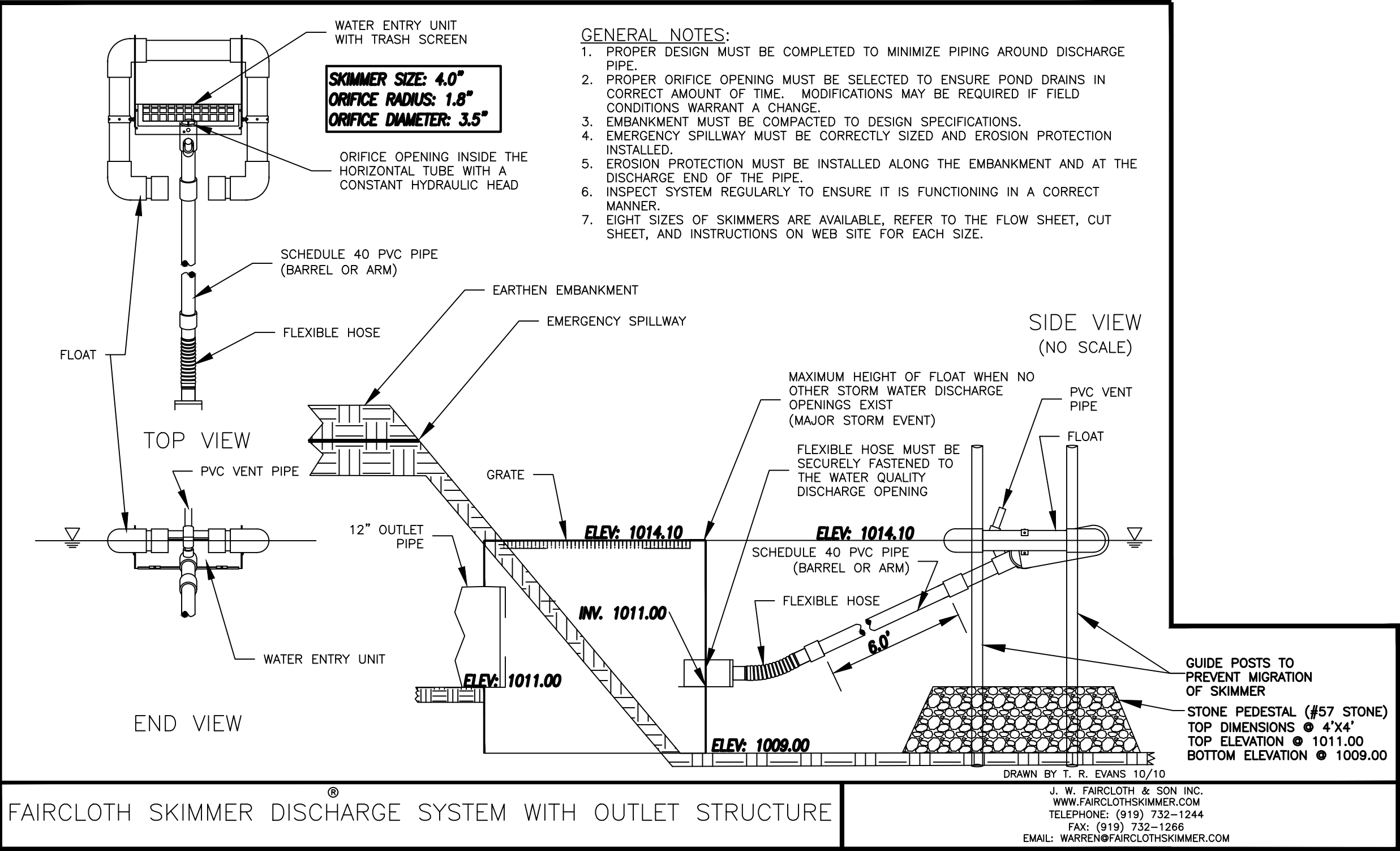
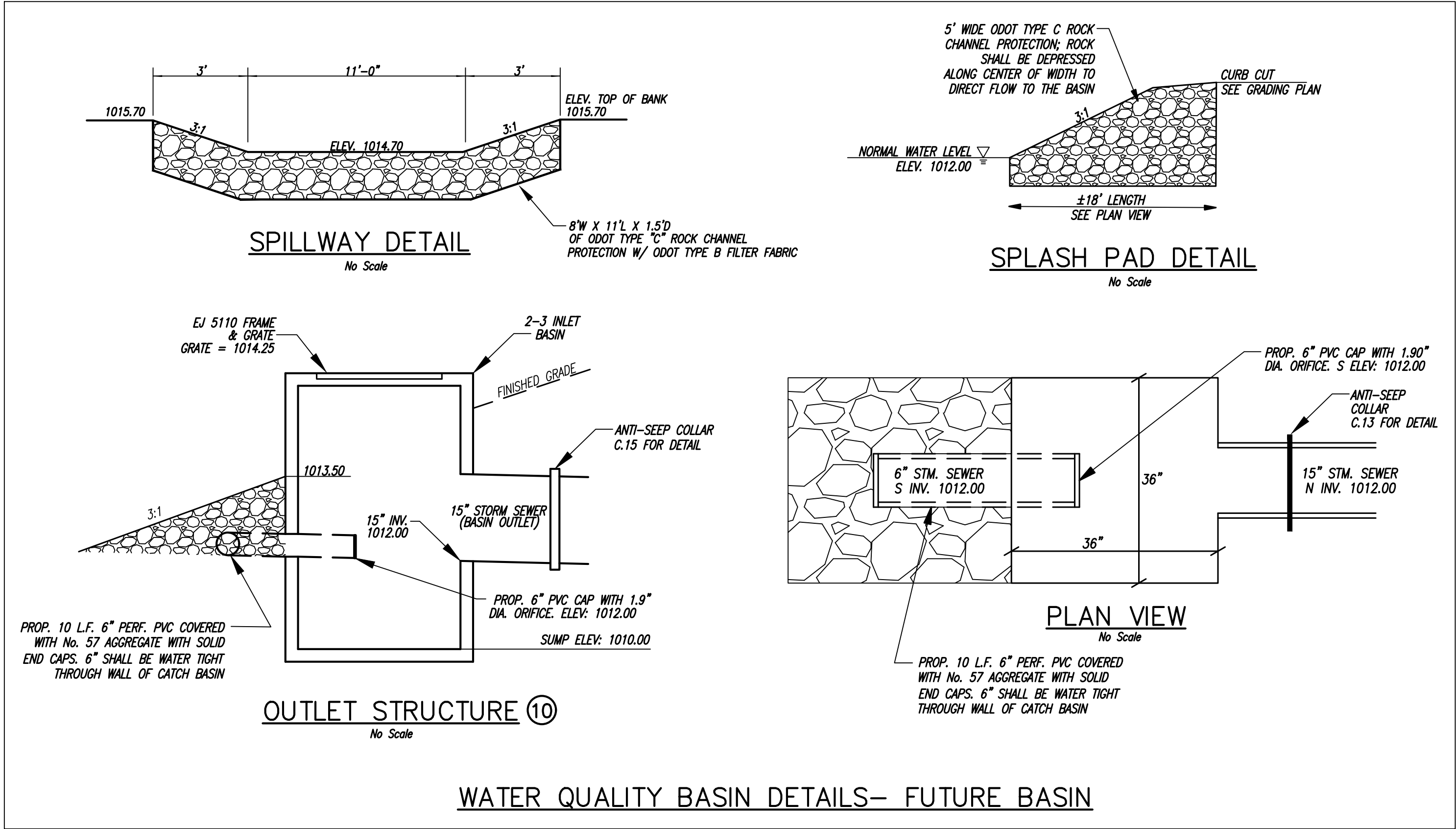
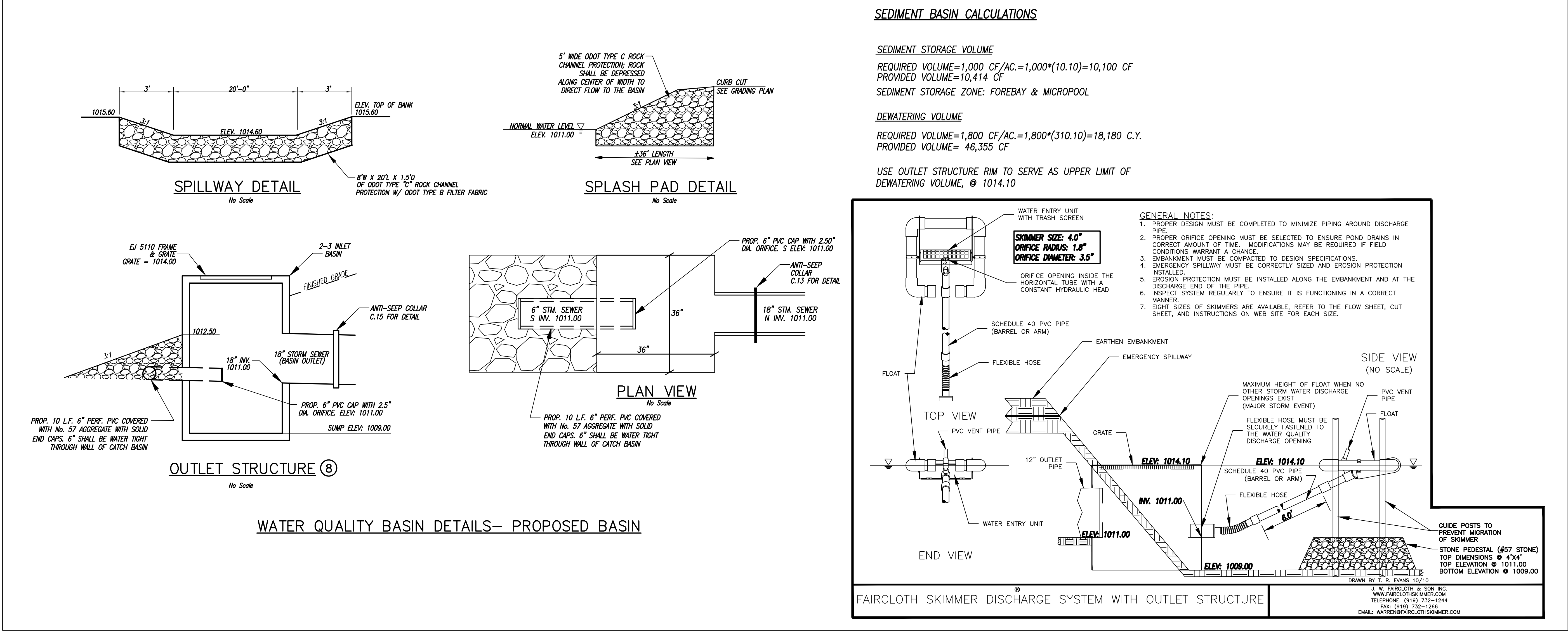


EXHIBIT A
GENERAL CONSTRUCTION NOTES

- CONSTRUCTION OF THE SITE WORK AND UTILITIES SHALL BE GOVERNED BY THE CITY OF HUDSON'S "ENGINEERING STANDARDS FOR INFRASTRUCTURE CONSTRUCTION", LATEST EDITION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS REQUIRED FOR THE PROJECT.
- THE CONTRACTOR MUST ALERT THE OHIO UTILITY PROTECTION SERVICES AT 1-800-362-2764 AT LEAST 48 HOURS BEFORE ANY EXCAVATION IS TO BEGIN.
- ALL EXISTING APPURTENANCES (UTILITY POLES, VALVES, HYDRANTS, MANHOLES, ETC.) ARE TO BE MAINTAINED BY THE CONTRACTOR UNLESS OTHERWISE SHOWN ON THE PLANS.
- THE DESIGN ENGINEER CERTIFIES THAT ALL UTILITIES ARE SHOWN AS THEY APPEAR ON EXISTING RECORDS OR FIELD LOCATED.
- ALL KNOWN ABOVE AND UNDERGROUND SERVICES HAVE BEEN NOTED ON THE DRAWINGS. THE CONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR ANY SERVICES DAMAGED DURING THE CONSTRUCTION OF THE PROJECT WHETHER SHOWN OR NOT ON THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING THE SERVICE AS SOON AS POSSIBLE AT THE CONTRACTOR'S OWN EXPENSE.
- VIDEO TAPING OF PROJECT SHALL BE DELIVERED AND ACCEPTED BY THE CITY OF HUDSON ENGINEERING DEPARTMENT A MINIMUM OF 14 CALENDAR DAYS PRIOR TO START OF CONSTRUCTION ACTIVITIES.
- NOTIFY THE CITY OF HUDSON ENGINEERING DEPARTMENT A MINIMUM OF FORTY-EIGHT HOURS (2 WORKING DAYS) PRIOR TO THE START OF CONSTRUCTION.
- A PRECONSTRUCTION MEETING SHALL BE SCHEDULED A MINIMUM OF 48 HOURS (2 WORKING DAYS) AFTER SUBMISSION OF A MINIMUM OF 6 APPROVED SETS OF PLANS AND ALL SHOP DRAWINGS APPLICABLE TO THE PROPOSED IMPROVEMENTS. A PRECONSTRUCTION MEETING MUST BE HELD PRIOR TO START OF ANY CONSTRUCTION.
- THE LIMITS OF CLEARING AND GRADING SHALL BE FIELD STAKED AND LINED WITH ORANGE CONSTRUCTION FENCING 48 HOURS (2 WORKING DAYS) PRIOR TO THE PRECONSTRUCTION MEETING. AREAS BEYOND THE LIMITS OF CLEARING AND GRADING SHALL NOT BE DISTURBED INCLUDING THE STOCKPILE OF ANY MATERIALS OR CONSTRUCTION TRAFFIC.
- ALL ROAD SURFACES, EASEMENTS, OR RIGHT-OF-WAY DISTURBED BY THE CONSTRUCTION OF ANY PART OF THESE IMPROVEMENTS ARE TO BE RESTORED ACCORDING TO THE CITY OF HUDSON "ENGINEERING STANDARDS FOR INFRASTRUCTURE CONSTRUCTION" AS DIRECTED BY THE CITY OF HUDSON AND/OR ITS ENGINEER.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE CITY OF HUDSON OR ITS REPRESENTATIVE IF SUSPECTED HAZARDOUS MATERIAL OR ANY OTHER MATERIAL THAT MAY CREATE A HEALTH RISK IS DISCOVERED ON SITE.

See Disclaimer Statement on the title page of these Engineering Standards.

A-1

- ALL DISTURBED STORM SEWERS AND/OR APPURTENANCES, SIGNS, GUARD RAILING, MAIL AND/OR PAPER BOXES, DRIVE CULVERTS, FENCES, TREES, LANDSCAPING, OR OTHER ITEMS DISTURBED BY THE CONSTRUCTION SHALL BE RESTORED OR REPAIRED TO AT LEAST THE BEFORE-CONSTRUCTION CONDITION.
- ANY DEFECTS DISCOVERED IN NEW CONSTRUCTION, WORKMANSHIP, EQUIPMENT OR MATERIALS SHALL BE REPAIRED, OR CORRECTED BY APPROVED METHODS AS DIRECTED BY THE CITY OF HUDSON.
- NUCLEAR COMPACTION TESTING SHALL BE REQUIRED FOR ALL FILL AREAS OVER TWO FEET (2') IN DEPTH, AT 6" LIFTS PER ASTM A-1557, 95% MODIFIED.
- APPROVAL BY THE CITY OF HUDSON ENGINEER CONSTITUTES NEITHER EXPRESSED NOR IMPLIED WARRANTIES AS TO THE FITNESS, ACCURACY, OR SUFFICIENCY OF PLANS, DESIGNS OR SPECIFICATIONS.
- DURING TAPPING OF EXISTING UTILITIES, ANY TRAFFIC CONTROL REQUESTED OR REQUIRED BY THE CITY OF HUDSON WILL BE PROVIDED BY THE CONTRACTOR AT NO COST TO THE CITY.
- COMPLIANCE WITH THE OCCUPATIONAL AND SAFETY ACT OF 1970 IS REQUIRED BY ALL CONTRACTORS ON THIS PROJECT.
- ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED.
- ALL DISTURBED AREAS SHALL RECEIVE 4" OF TOPSOIL AND BE SEEDED AND MULCHED AS PER SECTION 9 – LANDSCAPING AND STREET TREES OF THE CITY'S "ENGINEERING STANDARDS FOR INFRASTRUCTURE CONSTRUCTION", LATEST EDITION.
- IF MUD, SOIL, OR OTHER DEBRIS IS DEPOSITED ON ADJACENT STREETS, ROADS, OR OTHER PROPERTY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF SUCH AS DIRECTED BY THE CITY OF HUDSON OR ITS ENGINEER AT THE END OF EACH WORK DAY, OR AS REQUIRED DURING THE WORK DAY.
- ALL PROPOSED SLOPES 3:1 OR STEEPER AND ALL EARTHEN DRAINAGE WAYS SHALL RECEIVE JUTE OR EXCELSIOR MATTING AS PER ODOT 667 OR 668.
- ALL STORM SEWERS WITHIN PUBLIC RIGHTS-OF-WAY AND CITY OF HUDSON EASEMENTS SHALL BE PER SECTION 4 – STORM COLLECTION OF THE CITY'S "ENGINEERING STANDARDS FOR INFRASTRUCTURE CONSTRUCTION", LATEST EDITION.
- ALL PIPES SHALL BE PLACED OVER 4" OF BEDDING. BEDDING MATERIAL SHALL BE AS SPECIFIED IN CITY'S "ENGINEERING STANDARDS FOR INFRASTRUCTURE CONSTRUCTION", LATEST EDITION, FOR THE TYPE OF PIPE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND PROTECTING THE FLOW OF VEHICULAR AND PEDESTRIAN TRAFFIC AROUND THE JOB SITE. TRAFFIC CONTROL SHALL BE COORDINATED WITH THE CITY OF HUDSON POLICE DEPARTMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING PLANT TICKETS FOR ALL MATERIALS DELIVERED TO THE SITE. PLANT TICKETS MUST SHOW NET QUANTITY OF DELIVERED MATERIAL. MATERIAL DELIVERED OR PLACED WITHOUT PLANT TICKETS

See Disclaimer Statement on the title page of these Engineering Standards.

A-2

- SHALL BE REMOVED AND PROPERLY DISPOSED AT THE EXPENSE OF THE CONTRACTOR.
- ALL DELIVERED MATERIALS SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF HUDSON OR OTHER APPLICABLE AGENCIES. THE CITY OF HUDSON, OR ITS REPRESENTATIVE, RESERVES THE RIGHT TO REJECT ANY DELIVERED MATERIAL WHICH DOES NOT CONFORM TO THE APPLICABLE STANDARDS AND SPECIFICATIONS.
 - THE CITY OF HUDSON OR ITS REPRESENTATIVE, RESERVES THE RIGHT TO HALT ALL CONSTRUCTION ACTIVITY FOR NONCONFORMANCE OF PLANS, SPECIFICATIONS AND OTHER APPLICABLE STANDARDS OR REGULATIONS.
 - ALL CHANGES TO APPROVED DRAWINGS AND/OR SPECIFICATIONS MUST BE REAPPROVED BY THE CITY OF HUDSON PRIOR TO CONSTRUCTION.
 - ALL PAVING MATERIAL MUST BE PROVIDED BY ODOT CERTIFIED SUPPLIER. WRITTEN PROOF SHALL BE REQUIRED UPON DELIVERY OF MATERIALS. THE CERTIFIED MIX DESIGN MUST BE SUBMITTED TO, AND APPROVED BY, THE CITY OF HUDSON PRIOR TO SCHEDULING A PRECONSTRUCTION MEETING.
 - CONTRACTOR/DEVELOPER SHALL PROVIDE ALL REQUIRED ROADWAY SIGNAGE AS PER ODOT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES INCLUDING STREET IDENTIFICATION SIGNAGE PER CITY STANDARDS FOR ALL ASPECTS OF THE IMPROVEMENT.
 - ALL BONDS AND OR LETTERS OF CREDIT SHALL NOT BE RELEASED OR REDUCED AND NO WATER OR SANITARY SEWER CUSTOMERS CAN BE CONNECTED UNTIL ALL RECORD DRAWINGS HAVE BEEN SUBMITTED, REVIEWED AND APPROVED BY THE CITY OF HUDSON.
 - ALL WORK, EXCEPT SIDEWALKS, STREET TREES AND STREET LIGHTS, AS PART OF THESE PLANS SHALL BE COMPLETED, INCLUDING PUNCH LIST ITEMS AND DEFICIENCY WORK WITHIN 1 YEAR OF THE DATE OF APPROVAL BY THE CITY ENGINEER. SIDEWALKS, STREET TREES AND STREET LIGHTS SHALL BE COMPLETED WITHIN TWO YEARS OF THE DATE OF APPROVAL BY THE CITY ENGINEER.
 - FAILURE TO COMPLETE THE PROJECT IN ITS ENTIRETY AS APPROVED BY THE PLANNING COMMISSION, INCLUDING PUNCH LIST ITEMS, WILL RESULT IN THE CITY OF HUDSON HOLDING ALL FUTURE ZONING CERTIFICATES UNTIL ALL WORK HAS BEEN COMPLETED AND APPROVED.
 - MANUFACTURERS OR SUPPLIERS AFFIDAVIT FOR ALL CONSTRUCTION MATERIALS SHALL BE PROVIDED AS PER THE CITY'S "ENGINEERING STANDARDS FOR INFRASTRUCTURE CONSTRUCTION", LATEST EDITION PRIOR TO THE START OF CONSTRUCTION.
 - THE CONSTRUCTION OF SANITARY SEWERS, WATER MAINS, LIFT STATIONS AND APPURTENANCES IS PROHIBITED UNTIL ALL PLANS HAVE BEEN APPROVED BY THE OHIO ENVIRONMENTAL PROTECTION AGENCY.
 - ALL SANITARY SEWERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF HUDSON "ENGINEERING STANDARDS FOR INFRASTRUCTURE CONSTRUCTION", LATEST EDITION.
 - ALL SANITARY SEWERS CONSTRUCTED IN SUMMIT COUNTY DEPARTMENT OF ENVIRONMENTAL SERVICES (SC-DOES) SERVICE DISTRICTS AND SERVED BY SC-DOES SHALL COMPLY WITH SC-DOES REQUIREMENTS.
 - SHOP DRAWINGS FOR THE PROPOSED LIGHT FIXTURES SHALL BE ATTACHED TO THE APPROVED LIGHTING PLAN AND SUBMITTED WITH THE SIX SETS OF PLANS AS REQUIRED IN NOTE 8. THE LIGHT FIXTURES SHALL HAVE A RECESSED LAMP, FLAT LENSES AND OPTIONAL HOUSE SHIELDING AVAILABLE. THE CITY MAY REQUIRE HOUSE SHIELDS TO BE ADDED AND OTHER MODIFICATIONS AFTER CONSTRUCTION AT THE EXPENSE OF THE CONTRACTOR.
 - THE OWNER SHALL SUBMIT A NOTICE OF INTENT (N.O.I.) APPLICATION TO THE OHIO ENVIRONMENTAL PROTECTION AGENCY (E.P.A.) AND OBTAIN AUTHORIZATION FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (N.P.D.E.S.) OR THE LATEST FEDERAL, STATE AND/OR LOCAL REGULATIONS. THE OWNER SHALL SUBMIT A COPY OF THE N.P.D.E.S. PERMIT TO THE CITY OF HUDSON 48 HOURS (2 WORKING DAYS) PRIOR TO SCHEDULING A PRECONSTRUCTION MEETING.

EXHIBIT B
WATERWORK NOTES
CITY OF HUDSON WATER SERVICE AREA

NOTE: THESE WATER WORK NOTES APPLY TO AREAS OF HUDSON THAT ARE TO BE SERVED WITH CITY OF HUDSON WATER.

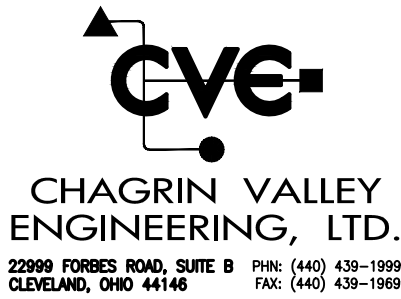
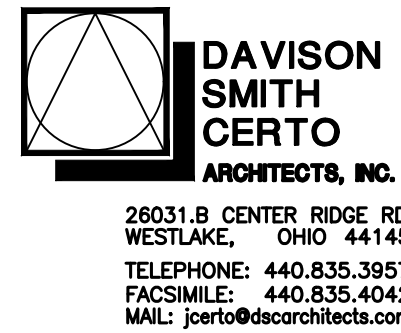
- ALL WATER MAINS AND APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF HUDSON "ENGINEERING STANDARDS FOR INFRASTRUCTURE CONSTRUCTION", LATEST EDITION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ANY AND ALL AREAS ALONG THE ROUTE OF THE WATER MAIN. THIS WILL INCLUDE LAWNS, DRIVES, DITCHES, CULVERTS, LANDSCAPING, ETC. AND ANY OTHER AREAS DISTURBED DURING THE CONSTRUCTION PROCESS.
- ALL TESTING SHALL BE IN ACCORDANCE WITH THE CITY OF HUDSON "ENGINEERING STANDARDS FOR INFRASTRUCTURE CONSTRUCTION" AND BE COORDINATED WITH THE CITY OF HUDSON. AWWA C-600 PRESSURE TESTING AND C-651 DISINFECTION BY CHLORINATION OF THE WATER MAIN WILL BE REQUIRED.
- ALL PROPOSED TRENCHES LOCATED UNDER EXISTING OR PROPOSED PAVEMENT SHALL BE FILLED WITH LOW STRENGTH MORTAR. THE METHOD OF BACKFILLING AS DIRECTED BY THE ENGINEER. SHALL CONFORM TO ODOT 613 TYPE 1. SLAG OR FLY ASH IS NOT PERMITTED IN MIX. PAVEMENT INCLUDES, BUT IS NOT LIMITED TO, ROADWAY SURFACES, SIDEWALKS, BIKE WAYS, DRIVEWAYS, SHOULDERS, ETC. THE LIMITS OF THE LOW STRENGTH MORTAR SHALL INCLUDE 45° ANGLE OF REPOSE FROM ALL EDGES OF PAVEMENT.
- FIELD STAKING AND RECORD DRAWINGS SHALL BE PROVIDED TO THE CITY BY THE CONTRACTOR, AS SUPERVISED AND STAMPED BY A LICENSED PROFESSIONAL SURVEYOR. RECORD DRAWINGS (AS-BUILTS) IN BOTH REPRODUCIBLE AND DIGITAL FORMAT COMPATIBLE WITH THE CITY OF HUDSON STANDARDS TO BE SUBMITTED TO AND APPROVED BY THE CITY OF HUDSON PRIOR TO UTILITY SERVICE CONNECTIONS BEING MADE.
- A 4' MINIMUM HORIZONTAL CLEARANCE AND A 12" MINIMUM VERTICAL CLEARANCE SHALL BE MAINTAINED FROM THE EDGE OF THE WATER MAIN PIPE TO THE EDGE OF THE STORM SEWER PIPE.
- A 10' MINIMUM HORIZONTAL CLEARANCE AND AN 18" MINIMUM VERTICAL CLEARANCE SHALL BE MAINTAINED FROM THE EDGE OF THE WATER MAIN PIPE TO THE EDGE OF ALL SANITARY SEWERS AND/OR FORCE MAIN PIPE.
- ALL VALVES, FITTINGS, BENDS, TEES, ETC. SHALL HAVE MEGALUG JOINT RESTRAINTS BY EBBA IRON, INC.
- ALL WATER MAINS WITHIN LOW STRENGTH MORTAR BACKFILL SHALL BE WRAPPED IN POLYETHYLENE AS PER AWWA C-105. OTHER AREAS TO BE WRAPPED IN POLYETHYLENE SHALL BE AS SHOWN ON THE DRAWINGS, AS DETERMINED FROM DIPRA REPORT OR AS REQUIRED BY THE CITY.
- WHERE WATER MAINS CROSS SEWER TRENCHES, THE TRENCH IS TO BE BACKFILLED WITH ODOT 304 CRUSHED LIMESTONE.

- TAPPING SLEEVES SHALL BE ROMAC TYPE, WRAP AROUND STAINLESS STEEL WITH # 316 STAINLESS STEEL BOLTS AND NUTS.
- MANUFACTURER'S AFFIDAVIT: THE MANUFACTURER SHALL FURNISH AN AFFIDAVIT INDICATING THAT ALL PIPE, FITTINGS, VALVES, FIRE HYDRANTS, AND APPURTENANCES HAVE BEEN MANUFACTURED AND TESTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE APPLICABLE REFERENCED STANDARDS. A COPY OF EACH AFFIDAVIT, INDICATING THE PROJECT ON WHICH THE MATERIAL IS TO BE USED SHALL BE FORWARDED TO THE CITY OF HUDSON PRIOR TO THE PRECONSTRUCTION MEETING BEING SCHEDULED.
- BOOSTER PUMPS ARE NOT PERMITTED ON SERVICE CONNECTIONS. THE CITY MAY GRANT SPECIAL PERMISSION FOR BUILDINGS FOUR STORIES AND HIGHER WITH A FIRE SUPPRESSION SYSTEM.
- PROPOSED FACILITIES SHALL BE DESIGNED TO MAINTAIN A MINIMUM OF 35 PSI PRESSURE DELIVERED TO THE CURB STOP DURING NORMAL OPERATING CONDITIONS.
- ALL WATER MAINS GREATER THAN 12 INCH DIAMETER SHALL BE LAID TO GRADE WITH HIGH POINTS AND LOW POINTS HAVING ADEQUATE BLOW-OFFS VIA USE OF HYDRANTS.
- FOR ALL NON-RESIDENTIAL WATER SERVICE, A BACKFLOW PREVENTION DEVICE SHALL BE INSTALLED PER CITY OF HUDSON AND OEPA STANDARDS AND REQUIREMENTS. FOR RESIDENTIAL WATER SERVICE A BACKFLOW PREVENTION DEVICE MAY BE REQUIRED FOR SWIMMING POOLS, IRRIGATION SYSTEMS, ETC. CONTACT THE CITY SERVICE/WATER DISTRIBUTION DEPARTMENT FOR THE REQUIREMENTS AND STANDARDS FOR BACKFLOW PREVENTION, THERMAL EXPANSION CONTROL, ETC.
- ALL WATER METER SETTINGS MUST BE APPROVED BY THE CITY OF HUDSON. METERS SHALL BE MAGNETIC DRIVE, WITH A SCANCODE REMOTE READ, MUST READ IN CUBIC FEET, SET WITH VALVES BEFORE AND AFTER THE METER. IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO PROVIDE AND RUN A REMOTE WATER METER WIRE FROM THE PROPOSED WATER METER LOCATION TO THE VICINITY OF THE PROPOSED ELECTRIC METER LOCATION. CONTACT THE CITY SERVICE/WATER DISTRIBUTION DEPARTMENT FOR THE COMPLETE STANDARDS AND REQUIREMENTS FOR WATER METERS, PRESSURE REGULATORS, ETC.
- FOR NEW WATER MAIN CONSTRUCTION THE DRAWINGS SHALL HAVE BEEN REVIEWED BY THE OHIO EPA AND WRITTEN APPROVAL RECEIVED PRIOR TO THE START OF CONSTRUCTION.



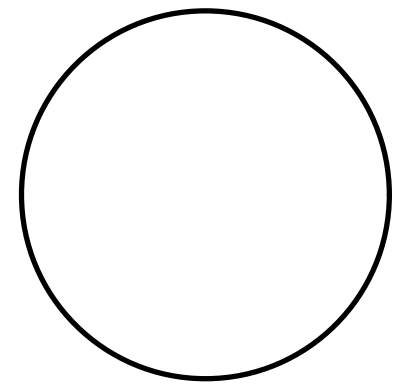
Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
Ca	Canadice silty clay loam	0.7	4.1%
CcB	Caneadea silt loam, 2 to 6 percent slopes	11.5	71.5%
GbB	Geeburg silt loam, 2 to 6 percent slopes	2.2	13.5%
GbC2	Geeburg silt loam, 6 to 12 percent slopes, moderately eroded	0.5	3.1%
Ln	Lorain silty clay loam	0.5	3.1%
Wt	Willette muck	0.8	4.8%
Totals for Area of Interest		16.1	100.0%



Date: 6/21/2019
PERMIT

CEIA USA
HUDSON CROSSING PARKWAY
HUDSON CROSSING BUSINESS PARK
HUDSON, OHIO
STANDARD DETAILS



Developer Job Number:

Consultant Job Number:

Drawing Number:

C-17
17 Of 17 Sheets

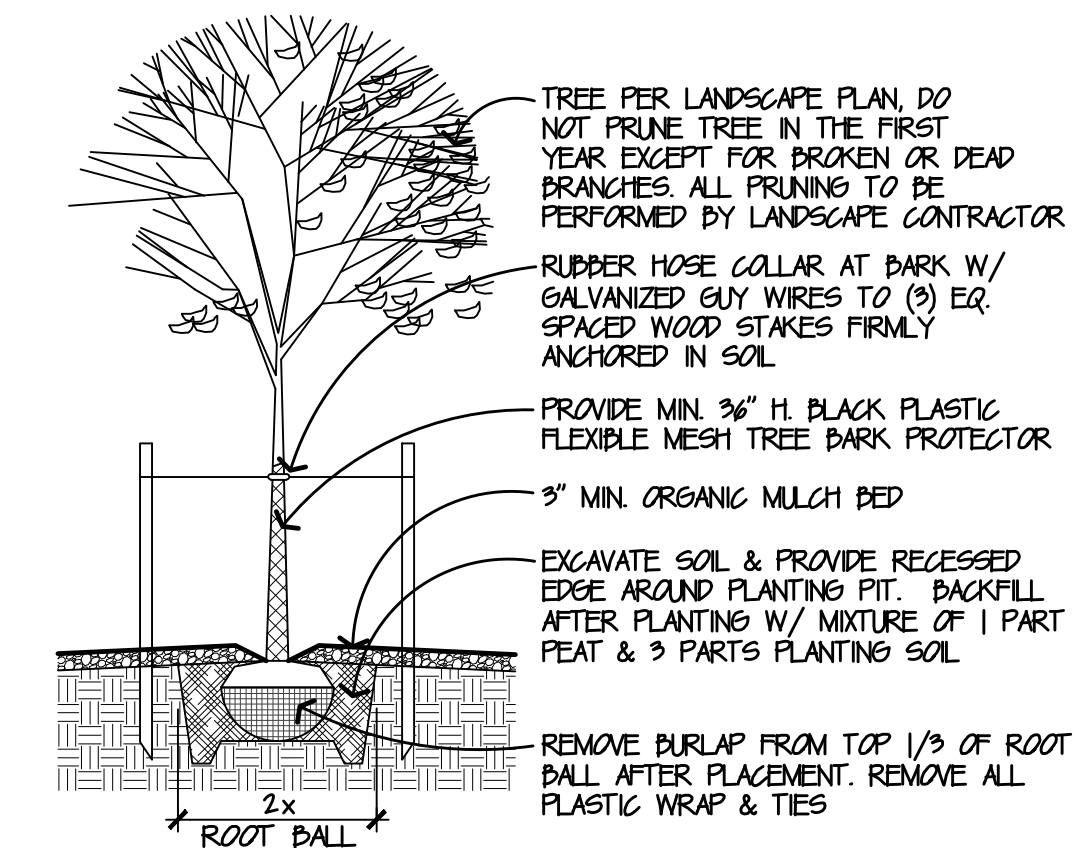
SCALE: 1" = 40' 

LANDSCAPE NOTES

1. LANDSCAPE INDICATED REPRESENTS GENERAL CONCEPT OF LANDSCAPING TO BE PROVIDED. LANDSCAPE CONTRACTOR MAY ALTER SELECTED PLANTINGS, QUANTITIES AND PLACEMENT AS REQUIRED DUE TO AVAILABILITY & SOLVED/EXPOSURE CONDITIONS. LANDSCAPE CONTRACTOR IS TO PROVIDE LEAKING IN CONFORMANCE WITH APPLICABLE REQUIREMENTS OF ANSI Z601 AMERICAN STANDARD FOR LANDSCAPE AND OTHER AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS. ALL PLANTING OPERATIONS SHALL ADHERE TO AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
2. CALIPER MEASUREMENTS ARE TO BE TAKEN 6" ABOVE NORMAL GRADE FOR TREES LESS THAN 6" IN CALIPER.
3. DELIVER ALL PLANT MATERIALS AFTER PREPARATIONS HAVE BEEN COMPLETED, AND INSTALL IMMEDIATELY. IF PLANTING IS DELAYED MORE THAN 4 HOURS, KEEP ROOTS MOIST, AND STORE OUT OF SUN AND WIND. DO NOT PRUNE BEFORE DELIVERY. PROTECT PLANTS FROM SUNSCALD, DRYING, WHIPPING, AND OTHER HANDLING DAMAGE. DO NOT DESTROY NATURAL SHAPES THROUGH BENDING OR PINNING. DO NOT DROP PLANTS DURING DELIVERY.
4. INSTALLATIONS OF PLANTINGS, LAWN, AND MULCHES TO BE PER STANDARD INDUSTRY PRACTICE. PROVIDE FREE-FORM SHAPED ORGANIC MULCH PED AT ALL PLANTING AREAS. AT ISOLATED TREES PROVIDE MIN. 5 DIAMETER ORGANIC MULCH PED SURROUNDING TRUNKS OF TREES IN LAWN AREAS.
5. MULCH TO BE DOUBLE SHREDDED HARDWOOD MULCH, 3" DEPTH AT PEDS. MULCH MUST BE 1-2 YEAR AGED AND MAY NOT COME FROM SHREDDING TREE MATERIAL TAKEN FROM SITE. PROVIDE PERMANENT WOOD BARRIER (TYPARK OR EQUIV.) AT UNPLANTED AREAS.
6. LOCATIONS ON PLAN TO SERVE AS A GUIDE. SLIGHT RELOCATION MAY OCCUR DUE TO FIELD CONDITIONS & TO PROVIDE THE MOST AESTHETIC ARRANGEMENT.
7. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR CLEANUP ASSOCIATED WITH LANDSCAPE CONSTRUCTION. LEGALLY DISPOSE OF ALL SURPLUS AND WASTE MATERIALS OFF OF THE OWNER'S PROPERTY.
8. CONTRACTOR SHALL WARRANTY ALL PLANT MATERIALS INSTALLED FOR A PERIOD OF ONE YEAR FROM INSTALLATION. CONTRACTOR IS RESPONSIBLE FOR REGULAR WATERING OF PLANTINGS FOR A PERIOD OF ONE GROWING SEASON TO ALLOW FOR ROOT ESTABLISHMENT. PLANTS THAT ARE UNHEALTHY OR MORE THAN 25% DEAD SHALL BE REPLACED BY CONTRACTOR AT NO ADDITIONAL CHARGE TO OWNER.
9. CONFIRM LOCATIONS OF ALL UTILITIES & SUBSURFACE DRAIN LINES PRIOR TO PLANT INSTALLATION.
10. TOPSOIL MUST BE BACK FILLED TO PROVIDE POSITIVE DRAINAGE OF THE LANDSCAPE AREA.
11. ALL PLANTINGS PEDS TO BE FERTILIZED WITH 10-10-10 OR EQUIV.
12. ALL NON-LANDSCAPED AREAS TO BE SEEDDED WITH THE FOLLOWING AS INDICATED ON LANDSCAPE PLAN:
 - MAINTAINED LAWN: PREMIXED "PARK MIX" BY OHIO PRAIRIE NURSERY OR EQUIV.
 - LOW MAINTENANCE LAWN: PREMIXED "NO MOW" MIX BY OHIO PRAIRIE NURSERY OR EQUIV.
13. PROVIDE COMPLETE COMMERCIAL IRRIGATION SYSTEM INCLUDING CONTROLLER, HARDWARE, SODDING, ETC. TO ALL LANDSCAPED AND MAINTAINED LAWN AREAS. SYSTEM TO BE DESIGNED BY IRRIGATION SYSTEM MANUFACTURER FOR SITE CONDITIONS.

PLANTING LIST

ITEM NAME	COMMON NAME	BOTANIC NAME	QTY.	SIZE	COND.	SFC.	HGT.
AF	CELEBRATION WAXLE	ACER X FREEMANII CEZALA	11	2"	B&D	25'	50'
BK	KOREAN DOWNWOOD	PIRUS M. KOREANA	58	18"	B&D	4'	4'
BT	PYRAMID RUBY JAP. BARBERY	BERBERIS THUNDERB. PYRAMID PYRAMID RUBY	59	-	N.O. 3'	3'	2'
CB	FRANS FONTAINE HORNLEAF	CARPINUS PETILLUS FRANS FONTAINE	7	2"	B&D	15'	35'
EA	DWARF PURRING BUSH	ELONNULUS ALATUS COMPACTUS	24	24"	B&D	8'	8'
H1	NIKKO BLUE HYDRANGEA	HYDRANGEA MACROPHYLLA NIKKO BLUE	58	9"	N.O. 2'	5'	4'
H8	DAYLILY	HEMEROCALLIS STELLA DORO	42	CLUMP	N.O. 2'	2'	2'
M8L	MORNING LIGHT MAIDEN GRASS	MISCANTHUS SINENSIS MORNING LIGHT	33	-	N.O. 2'	4'	5'
M8S	SPRING SNOW GRABAPPLE	MALUS SPRING SNOW	5	2"	B&D	15'	20'
FG	WEeping WHITE SPRUCE	PICEA GAIUCA PENULA	19	-	N.O. 7'	8'	50'
F8A	GREERING PINK	PIRUS SUBULATA PIRUS ATRAUFLUREA	19	CLUMP	N.O. 2'	18"	6"
F8P	EASTERN WHITE PINE	PIRUS STROBUS PENULA	17	-	N.O. 7'	20'	15'
RP	PINK DAWN RHODODENDRON	RHODODENDRON PINK DAWN	27	-	N.O. 3'	4'	4'
RR	SNOW PAVEMENT ROSEA ROSE	ROSA RUBOSA SNOW PAVEMENT	17	-	N.O. 3'	4'	3'
SM	PALMID DWARF MEYER LLAC	SYRINGA MEYERI PALMID	10	CLUMP	N.O. 3'	7'	5'
TB	REPANDENS ENGLISH YEW	TAXUS BACCATA REPANDENS	12	-	N.O. 5'	15'	6'
TO	HOLMSTRUP ARBORVITAE	THUJA OCCIDENTALIS HOLMSTRUP	66	-	N.O. 7'	4'	10'



TREE PLANTING DETAIL

SCALE: N.T.S.



26031.B CENTER RIDGE RD.
WESTLAKE, OHIO 44145
TELEPHONE: 440.835.3957
FACSIMILE: 440.835.4042
Mjorto@dscarchitects.com

Date:
PERMIT: 06.21.19

CEIA USA, LTD.

MANNESCHI & BENEDETTI PROPERTIES, LLC
HUDSON CROSSING PARKWAY
HUDSON, OHIO

Approved By: _____
Approval Date: _____

Scale:
AS NOTED

LANDSCAPE PLAN



Developer Job Number:

Consultant Job Number:

17056

Drawing Number:

11.1

Of Sheets



ENGINEERING • 115 Executive Parkway, Suite 400 • Hudson, Ohio 44236 • (330) 342-1770

Date: June 28, 2019

To: Kris McMaster City Planner, Community Development

From: Bradley Kosco, P.E., P.S., City Engineer

Re: **6336 Hudson Crossing Site Plan Review (Viewpoint File No. 19-550)**

The City of Hudson Engineering Department has reviewed the preliminary plan submitted June 25, 2019.

Note: The City of Hudson Engineering Standards (Engineering Standards) and Land Development Code (LDC) are available online at the City of Hudson Website www.hudson.oh.us under the Engineering Dept. and Community Development Department respectively. The standards are also available in print for a fee. Please contact our office (330-342-1770), if you would like a cost for the printed version.

The Preliminary Site Plan is APPROVED with the following comments that will need to be addressed prior to the final plan approval:

1. Provide the latest wetland delineation report for the site.
2. The Summit Soil and Water Division shall review and approve the SWPPP for this site.
3. Summit County Sanitary Sewer Services shall review and approve the sanitary utilities.
4. Summit County Building Standards shall review and approve the structural and any fire lines proposed for the building within the site.
5. As the site plan has changed since 2018, provide an updated Trip Generation Report. The existing traffic signal timing shall be re-reviewed, and a report submitted on any changes to the signal at Hudson Crossing and any adjacent signals at SR 303 and SR 8.
6. The storm water management calculations should include a summary chart identifying applicable pre- and post-developed flows, allowable flows, pond heights, etc. Include overall drainage map in calculations that includes time of concentration routing and calculations.
7. A long-term maintenance plan (LTMA) will be required for this site. The City has a template LTMA form available.
8. Are two separate drive entrances required? Can one entrance be utilized? The driveway locations with the adjacent properties shall be reviewed and any signage needed, shall be included in the final submittal.
9. Note that the City is currently designing for a new 8" water main installation within the existing 30' Utility City easement running from the cul-de-sac to the north property line on the west side of the property. Construction of the new water main is scheduled for late 2019 and will need coordinated with this site's construction.
10. The City will perform a full review of the final plans and provide comments under a separate cover.

C: File.



COMMUNITY DEVELOPMENT • 115 Executive Parkway, Suite 400 • Hudson, Ohio 44236 • (330) 342-1790

**PLANNING COMMISSION
CASE NO. 2018-3913**

SITE PLAN FOR 6336 HUDSON CROSSING PARKWAY

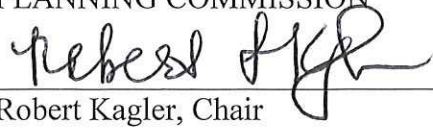
DECISION

Based on the evidence and representations to the Commission by the applicant, Premier Development Partners, LLC., and City staff at the Regular Meeting of the Planning Commission held at Town Hall, 27 East Main Street, Hudson, Ohio 44236 on June 11, 2018, the Planning Commission approved the application for the Site Plan for Case No. 2018-3913 for 6336 Hudson Crossing Parkway according to the plans received May 15, 2018 provided the following conditions are met:

1. The comments of Assistant City Manager, Thomas Sheridan, P.E., P.S. must be addressed per the June 4, 2018 correspondence.
2. The comments of Fire Marshal, Shawn Kasson must be addressed per the May 25, 2018 correspondence.
3. Planning Commission accepts the recommendation of the Design Subcommittee for Development in Districts 6 and 8 and approves the project design.
4. The applicant shall install silt fencing and/or polypropylene fencing to mark and protect the approved clearing limits, which shall be maintained by the applicant.
5. An exterior lighting plan including photometrics must be submitted in compliance with applicable standards of Section 1207.18(g).
6. A sidewalk shall be installed to connect the building entrance to the multipurpose path along Hudson Crossing Parkway.
7. Landscape plan shall be submitted prior to issuance of the zoning certificate.
8. Satisfaction of the above conditions prior to scheduling of a preconstruction meeting with City Officials and no clearing or construction of any kind shall commence prior to the issuance of a Zoning Certificate

Dated: June 11, 2018

CITY OF HUDSON
PLANNING COMMISSION


Robert Kagler, Chair

