

Project Schedule

[illegible]

May 15, 2025

Community Development
ATTN: Nick Sugar
1140 Terex Road
Hudson, OH 44236

RE: Christ Community Chapel – Hudson, OH – Field Addition

To Whom it May Concern:

Christ Community Chapel (CCC) is proposing to construct an Outdoor Turf Field, Restroom Building, Legacy Park, and Office Addition at their existing Campus located at 750 W Streetsboro St, Hudson, OH 44236. In coordination with the City's Planning Department, CCC will be submitting two separate submissions for the Planning Commission's consideration: one submission for the Field Addition (Turf Field, Legacy Park and Restroom Building) and one submission for the Office Addition. CESO and SoL Harris Day, on behalf of Christ Community Chapel, would like to provide the City with this Permit Letter of Intent to outline CCC's intentions of submitting permit applications for the proposed Office Addition and Field Addition. At the time of this application, it is CCC and its consultants' intent to submit the Field Addition submission for the Planning Commission's review in May of 2025 and to submit the Office Addition submission in June of 2025.

Upon submission of the Office Addition to the Planning Commission for review, evidence of the following applications will be provided:

- Summit County Soil & Water Conservation District (SCSWCD)
Submitted: TBD – Pending City Manager's signature
 - Storm Water Pollution Prevention Plan (SWPPP) Application
 - One full set of construction plans (24 x 36)
 - One 11x17 electronic PDF copy (emailed to staff@summitoh.net)
 - One copy of a Long-Term Maintenance Agreement
 - \$1,000 fee – mailed to SCSWCD
- Ohio EPA – Division of Surface Water – Construction Stormwater Permit
Submitted May 16, 2025
- Summit County Department of Sanitary Services (DSSS)
Submitted: CESO is in coordination with Joe Bishop at the DSSS to determine if a joint or separate application should be submitted.
 - Fee TBD – based on construction cost
 - Submitted through the DSSS web portal
 - Once approved, a PTI will be submitted to the Ohio EPA
- Ohio EPA – Permit-to-Install – Site Improvements & Restroom Seasonal Lift Station
Submitted: TBD – Pending DSSS Approval
 - Fee TBD – based on construction cost
 - Submitted through Ohio EPA's Plan Review portal online
 - PDF of Civil Plans
 - PTI Application - Form A required for Office Addition

- PTI Application - Form B required for Field Addition (seasonal lift station at restrooms)

It is CESO's understanding that the above permits are directly correlated to both the Field Addition and the Office Addition scope of work. If you have any additional questions or concerns, please do not hesitate to contact me at (234) 349-2514 or hannah.okes@cesoinc.com.

Respectfully,

A handwritten signature in cursive script that reads "Hannah Okes".

Hannah Okes, P.E.
Project Manager



ENGINEER'S OPINION OF PROBABLE COST

Project: Christ Community Chapel - Field
Client: Sol Harris Day Architecture
Location: Hudson, OH

Project 765295 **Date:** 5/13/2025
Phase: **Eng:** JTK

Division	Description	Quant.	Unit	Unit Price	Amount
2	Pipe Removed (24" and Under)	284	FT	\$16	\$4,453.12
2	Walk Removed	746	SF	\$4	\$3,342.08
2	Misc Demo Items	2	EA	\$300	\$600.00
31	Clearing and Grubbing	0.33	ACRE	\$5,600	\$1,848.00
31	Tree Removed	16	EA	\$560	\$8,960.00
31	Stump Removed	1	EA	\$280	\$280.00
31	Construction Fence	1749	FT	\$4	\$7,835.52
31	Topsoil Stockpile	2509	CY	\$4	\$9,835.28
31	Topsoil Furnished and Placed	1468	CY	\$25	\$36,171.52
31	Earthwork Cut	1943	CY	\$10	\$19,430.00
31	Earthwork Fill	4232	CY	\$10	\$42,320.00
31	Subgrade Compaction	15902	SY	\$1	\$22,262.80
31	Proof Rolling	8	HR	\$224	\$1,792.00
31	Material Haul Off	2289	CY	\$15	\$34,335.00
31	Granular Material for Basin	481	CY	\$40	\$19,240.00
31	Fine Grade	15902	SY	\$2	\$26,715.36
31	Temporary Sediment and Erosion Controls	1	LUMP	\$12,000	\$12,000.00
31	Storm Water Pollution Prevention Plan	1	LUMP	\$16,000	\$16,000.00
31	Silt Fence	1749	FT	\$2	\$3,917.76
31	Inlet Protection	12	EA	\$112	\$1,344.00
31	Rock Channel Protection	5	CY (L+M)	\$500	\$2,500.00
32	Fence 6' to 8' High	477	FT	\$25	\$11,753.28
32	Sign	4	EA	\$560	\$2,240.00
32	Concrete Slab (6")	123	SY	\$151	\$18,597.60
32	Concrete Walk (4")	14135	SF	\$14	\$197,890.00
32	Seeding and Mulching	4782	SY	\$2	\$8,033.76
32	Sodding	698	SY	\$11	\$7,817.60
32	Landscape	1	LUMP	\$25,000	\$25,000.00
33	12" Storm Sewer Pipe	142	FT	\$46	\$6,520.64
33	15" Storm Sewer Pipe	200	FT	\$53	\$10,528.00
33	18" Storm Sewer Pipe	59	FT	\$58	\$3,422.00
33	24" Storm Sewer Pipe	289	FT	\$75	\$21,675.00
33	4" Underdrain	78	FT	\$17	\$1,326.00
33	6" Underdrain	400	FT	\$21	\$8,512.00
33	Catch Basin	7	EA	\$2,500	\$17,500.00
33	Yard Inlet	3	EA	\$2,000	\$6,000.00
33	1.25" Sanitary Forcemain	546	FT	\$85	\$46,410.00
33	eOne Lift Station	1	LUMP	\$25,000	\$25,000.00
33	2" Water Service Directional Bored	279	FT	\$125	\$34,875.00
Special	Mobilization	1	LUMP	\$10,000	\$10,000.00
Special	Construction Layout Stakes	1	LUMP	\$4,000	\$4,000.00
Special	Artificial Turf Field & Underdrains	1	LUMP	\$700,000	\$700,000.00
Special	Limits of Legacy Park Improvements - MKSK estimate	1	LUMP	\$264,774	\$264,774.00

SUBTOTAL= \$1,707,057

Correction Factor: 100%
Design Contingency:

TOTAL= \$1,707,057





ENGINEER'S OPINION OF PROBABLE COST

Project: Christ Community Chapel - Field
Client: Sol Harris Day Architecture
Location: Hudson, OH

Project 765295 **Date:** 5/13/2025
Phase: **Eng:** JTK

Division	Description	Quant.	Unit	Unit Price	Amount
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NOTE: The above unit prices include overhead and profit.

OPINION OF PROBABLE COST or probable construction cost provided by Consultant are made on the basis of information available to Consultant. However, since Consultant has no control over the cost or availability of labor, materials, equipment or services furnished by others, or over the construction contractor(s)' methods of determining prices, or over competitive bidding or market conditions, Consultant does not guarantee that proposals, bids or actual project or construction cost will not vary from opinions of probable cost. Bids should be obtained by qualified contractor(s).



5/16/2025

Hannah Okes

From: Cityworks@summitoh.net
Sent: Monday, February 3, 2025 3:04 PM
Subject: Sanitary Permit: Application Acknowledgment

Caution: External Email

Hannah Okes

The application you submitted for Permit# **SS2500051** at **750 W STREETSBORO ST** has been accepted for review. Please allow 2 weeks to complete the review process. You will receive notification when your permit is ready and fees, if applicable, may be paid.

If you have any questions, please contact the Permits Department at 330.926.2414.

Thank you.
County of Summit | Ilene Shapiro, County Executive
Department of Sanitary Sewer Services
1180 S. Main St., Suite 201
Akron, OH 44301
330.926.2400

January 29, 2025

City of Hudson
1140 Terex Road
Hudson, OH 44236

Re: Fred Olivieri Construction, Co. /Bonding Capacity/ Preserve of Hudson

To Whom It May Concern:

Please note that that Fred Olivieri Construction, Co. is a valued client of The Ohio Farmers Insurance Company whose NAIC number is 24112. At this point, Fred Olivieri Construction, Co. has a single job limit in the range of \$100,000,000 to go along with an aggregate program of \$150,000,000. Please be assured that we are prepared to issue the performance/payment bonds if they are required for this project. Please note that Ohio Farmers Insurance Company with it's Home Office located in Medina Ohio is A rated. The contact person at Ohio Farmers is Jennifer Odom and her phone number is 330-571-2102. She is available for a reference check at any time.

We are extremely confident that Fred Olivieri Construction, Co. will do an outstanding job if given the opportunity. If anyone should have any further questions concerning this fine account, please do not hesitate to get in touch with me at 330-266-1924. I have represented Fred Olivieri Construction as their agent for the past ten years.

Sincerely,



Paul E. Cruciani
Attorney-In-Fact
The Ohio Farmers Insurance Company

INSURANCE

SURETY

EMPLOYEE BENEFITS

**Christ Community Chapel
Submittal Checklist
City of Hudson Planning Commission Application**

Core Submittal Requirements		Comments
1	A complete application form provided by the Community Development Department, copies of the plan or plat as required, and the required fee as established by City Council.	Conditional Use and Major Development Applications submitted.
2	Name of Development or Subdivision; names of adjacent subdivisions.	Included on Deibel's Survey
3	Name and address, including telephone number of legal owner or agent of property, and citation of last instrument conveying title to each parcel of property involved in the current proposal, giving grantor, grantee, date, and land records reference.	Warranty Deeds provided with associated Legal Descriptions
4	All existing subdivision plat notes, deed restrictions and/or restrictive covenants registered on the subject parcel.	Included on Deibel's Survey
5	Name and address, including telephone number, fax number and/or e-mail address of the professional person(s) responsible for site or subdivision design, for the design of public improvements, and for surveys.	Refer to Civil Plans, Architectural Plans, and Survey.
6	Name and address of adjoining property owners from the latest assessment rolls within five hundred (500) feet of any perimeter property line of the site or subdivision.	Refer to parcel area exhibit.
7	A vicinity map, locating the subject property and showing streets and other general development of the surrounding area.	Refer to Civil Plans.
8	A drawing of the subject property at the required scale, with north arrow and date. This will include the location of the property by municipality and parcel number according to County real estate records. All plans and plan revisions shall be dated: month, day, year.	Refer to Civil Plans.
9	The approximate location, dimensions, and areas of all proposed or existing lots. A statement of the proposed use of the building sites or lots. Include the existing land use of the site and adjacent land, and location of existing buildings within 200 feet of the property line of the site or subdivision. Where applicable, list of lots, blocks, parcels and applicable acreages.	Refer to parcel area exhibit.
10	The approximate location, dimensions, and area of all parcels of land proposed to be set aside for open space, park or other public use, or for the use of property owners in the proposed development.	Refer to Civil Plans.
11	Location of property lines, existing easements and other restrictions, railroad rights-of-way, watercourses, wetlands, other natural features such as steep slope, rock out croppings and existing wooded areas. Also indicate limits of 100 year flood boundaries as defined by the Flood Insurance Rate Maps (FIRM) of the U.S. Department of Housing and Urban Development. (Available for review at the Community Development Department).	Included on Deibel's Survey
12	Tree and Vegetation Plan and Landscaping/Bufferyard Plan. (see following submittal requirements list).	Refer to Landscape/Bufferyard Plans.
13	Location, width, and names of all existing streets within or immediately adjacent to the property.	Included on Deibel's Survey
14	The approximate location and widths of proposed streets, and easements.	N/A - No proposed streets or easements.
15	Location, sizes, elevations and slopes of existing sewers, water mains, storm drains, fire hydrants, culverts, gas, electric and telephone lines and other underground structures within the tract and immediately adjacent thereto; existing utility poles on or immediately adjacent to the site and utility rights-of-way.	Included on Deibel's Survey
16	Preliminary proposals for connection with existing water supply and sanitary sewage systems, preliminary provisions for storm water management; plans shall show the relationship with existing utility capacities.	Refer to Civil Plans.
17	Location of all existing oil and gas wells, easements, tank batteries, flow and sale lines, ingress and egress roads, and other activities usually associated with such oil and gas extraction within five hundred (500) feet of the site or subdivision boundaries.	N/A - None existing.
18	A map of existing topography.	Refer to parcel area exhibit.
19	Zoning classifications and district boundaries applicable to the site or subdivision and surrounding property.	Refer to parcel area exhibit.
20	Demonstration of compliance with the requirements of this Land Development Code on any plans or proposals submitted. Provide check list of all materials submitted with dates of submission.	Please refer to the submitted/revised Statement of Compliance.
21	Anticipated impact on traffic levels and off-site circulation system. Traffic impact study demonstrating peak hour level of service pre-development and post-development and any recommended mitigation. Traffic impact studies shall be in accordance with the Hudson Guideline Manual for the "Preparation of a Traffic Impact Study." See Section 1207.13 Transportation, Circulation and Pedestrian Linkage.	Refer to Trip Generation Letter.

22	Anticipated phases of development and timing. A development schedule shall indicate the approximate date when construction of the project or stages of the same can be expected to be completed, including the proposed phasing of construction of public improvements and recreational and common space areas.	Preliminary construction schedule provided
23	Sketch Plan or Site Specific Development Plan shall include the following information:	Refer to Civil Plans.
	a. Uses proposed;	Refer to Civil Plans.
	b. Intensity or density of uses proposed;	Refer to Civil Plans.
	c. Location of public and private open space;	Refer to Civil Plans.
	d. Location of existing and proposed buildings on the site;	Refer to Civil Plans.
	e. Road, street, and pedestrian networks proposed.	Refer to Civil Plans.
24	Anything that is digitally produced submitted in a format acceptable to the City.	Electronic submittal
25	Storm Water Pollution Prevention Plan.	Refer to Civil Plans and SWPPP Booklet.
26	Current deed.	Warranty Deeds provided with associated Legal Descriptions
27	Written authorization of all owners on deed.	Warranty Deeds provided with associated Legal Descriptions
28	Any special natural area or environmental study or report as requested by the Planning Director.	Natural Resources Report provided.
29	All existing subdivision plat notes, deed restrictions and/or restrictive covenants registered on the subject parcel.	Refer to Survey by Deibel.
30	Subject property is staked at time of application (property boundaries, building envelope, limits of disturbance, parking areas).	Staking completed. Refer to LOD staking exhibit.
31	Record and application for an approval status of all necessary permits from state and county officials.	CESO and CCC have submitted to the Ohio EPA for a Notice of Intent under the NPDES General Permit at the time of this application. Upon submission to the Planning Commission for the Office Addition, CESO will apply to the County's Department of Sanitary Sewer Services, Summit County Soil and Water Conservation District, and the Ohio EPA for a PTI for the lift station addition for the restrooms and a PTI for the Office Addition. Please refer to CESO's Permit Letter of Intent. Please also see documentation indicating SoL Harris/Day's submission for the project to the Summit County Building Department.

Conditional Use Application

6	A development plan of the entire property being considered, drawn to a scale of not more than one (1) inch equals one hundred (100) feet, and showing the proposed site/building/sign plans.	Refer to Civil Plans.
7	Statement of compliance with all required conditions as set forth in Section 1203.05 of Land Development Code.	Please refer to the submitted/revised Statement of Compliance.
8	Affidavit of applicant, which establishes ownership and that the information being provided is correct.	Affidavit of Applicant provided
9	Any other information deemed necessary by the City to make a fully informed and deliberate decision on the conditional use application.	Per Planning Commission comments, a Safety Review, a Safety Diagram, sound information, and additional diagrams have been provided.
10	8½ x 11 reduction of the site plans to be submitted prior to scheduled Board or Commission Meeting.	Reduced PDF documents provided.

Site Plan Review (Other than Minor Development)

32	A drawing of the subject property at a scale not less than one (1) inch equals one hundred (100) feet, on sheets no larger than thirty (30) inches by forty-two (42) inches.	Refer to Civil Plans.
33	Legal description of the property.	Warranty Deeds provided with associated Legal Descriptions and also indicated on survey
34	Indication of building envelopes and proposed limits of clearing.	Refer to Civil Plans.
35	Approximate square footage and approximate dimensions of each lot and the total acreage of the subject property.	Refer to Survey by Deibel.
36	Site/building plan(s) shall include the following:	See below.
	a. Location of every existing and proposed building with the number of floors and gross floor area.	Refer to Civil Plans.
	b. For multi-family residential developments, a statement of the average project density as well as the maximum density per acre in the project must be provided.	N/A
	c. All modifications, changes, or additions to existing building(s) and structure(s) including floor area, heights, and setbacks.	Refer to Civil Plans for setbacks. Refer to Architectural Plans for floor area and building heights.
	d. Location and type of all proposed uses including approximate number of acres, gross floor area, and height as well as the approximate area of any proposed open space including the location of any proposed recreational amenities.	Refer to Civil Plans for acreage and open space. Refer to Architectural Plans for floor area, height, and uses.
	e. Location of all proposed pedestrian walkways.	Refer to Civil Plans.
	f. Location and type of buffering proposed between single family residential, multi-family residential, and non-residential uses.	Refer to proposed Landscape Plans.

	g. A description of the location and screening of waste facilities, loading facilities and other service structures.	No loading facilities or waste facilities are included with Field Addition project.
37	A map of existing topography plotted in at least two (2) foot intervals. Identification of the environmental features of the site including soil types, wetland areas, and wetland related vegetation; surficial and subsurficial geologic formations; and any other significant natural features. The City has a copy of the report containing the Index of Ecological Integrity Scores and applicant shall confer with Community Development staff prior to submitting application, to see which IEI elements should be included in the application.	Refer to Civil Plans.
38	The location and size of existing wells, and septic tanks.	N/A - Refer to ALTA survey.
39	Sign plan.	Refer to the submitted Sign Plan.
40	Either a copy of the notice of intent (NOI) application, or a statement that a notice of intent to file for a permit demonstrating compliance with National Pollution Discharge Elimination System (NPDES) will be sought.	Notice of Intent to submit for coverage under the NPDES General Permit to be submitted ahead of application. Proof of submission to be provided with application.
41	Demonstrated compliance with the U.S. Army Corps of Engineer and Ohio EPA approvals for any activities disturbing wetland areas, including copies of permits.	N/A - No Wetlands to be Disturbed
42	Submittal of Improvement Plan(s) (See submittal requirements above).	Refer to Civil Plans and Architectural Plans.
43	Performance bond(s) for required improvements.	Bonding Letter Provided
	In tabular form, indicate the following information concerning the site: total area of site, total impervious cover, percentage of site covered by impervious cover, total building coverage, floor area to lot area ratio, gross flow area, % total area of undisturbed land with a breakdown by use.	Refer to provided Site Information spreadsheet and Civil and Architectural plans.
	In tabular form indicate the following information for each building: proposed use and square footage for each use within each structure on the site, number of stories, actual height, finished floor elevation, foundation type, and total square footage for building and for each floor.	Refer to provided Site Information spreadsheet and Civil and Architectural plans.
	Bonding Letter Provided by the Contractor	Bonding Letter Provided
	Stamped Engineer Cost Estimate	Refer to Opinion of Probable Cost.
44	Distances between buildings.	Refer to Overall Site Plan.
45	8½ x 11 reduction of the site plans to be submitted prior to scheduled Board or Commission Meeting.	Refer to reduced PDFs.
46	Location of external transformers or other equipment and detail of proposed screening.	No transformers as part of Field Addition
47	Finished floor elevation of the ground floor and entrances to all buildings.	Refer to Civil Plans and Architectural Plans.

Landscaping/Bufferyard Plan

	Plans must be at a reasonable scale to indicate all types of proposed landscaping improvements at a minimum of 1 inch = 20 feet and shall include the following information:	Refer to Landscape Plans.
1	North arrow and scale.	Refer to Landscape Plans.
2	The name of applicant/owner.	Refer to Landscape Plans.
3	The dates the plans are submitted or revised.	Refer to Landscape Plans.
4	All existing and proposed buildings and other structures, paved areas, planted areas, utility poles, fire hydrants, light standards, signs, retaining walls, screens, fences, and other permanent features to be added and/or retained on site, including materials and techniques used.	Refer to Landscape Plans.
5	All existing plant material to be removed or retained.	Refer to Landscape Plans.
6	All existing and proposed streets, sidewalks, curbs and gutters, railroad tracks, drainage ditches and other public or semi-public improvements within and immediately adjacent to the site.	Refer to Landscape Plans.
7	Contour lines shall be shown if the grades are in excess of six percent (6%) slope.	Refer to Landscape Plans.
8	Proposed elevation at sufficient locations and existing elevations of the site to clearly show the drainage patterns.	Refer to Landscape Plans.
9	All property lines and easements.	Refer to Landscape Plans.
10	Proposed limits of disturbance.	Refer to Landscape Plans.
11	Included on all plans shall be a table listing the existing plant material to be retained and all proposed new plant material. This shall include the common and botanical names, sizes and other remarks as appropriate to describe the material selection.	Refer to Landscape Plans.
12	Details shall be shown for the planting of trees, shrubs and ground cover within the bufferyard or landscaped area. Indicate placement of vegetation to mitigate any trees removed.	Refer to Landscape Plans.
13	Cost estimate of Landscaping Improvements by a Registered Landscape Architect or qualified professional. This estimate will be used to determine the amount of security required for the development. The applicant will be required to submit a Letter of Credit for 125% of the value of the landscape estimate prior to issuance of a Zoning Certificate.	Refer to Opinion of Probable Cost.
14	Proposed treatment of all ground surfaces.	Refer to Landscape Plans.
15	Proposed landscape areas and general treatment such as berming, planting, sodding and walkways.	Refer to Landscape Plans.
16	Plant list stating common name, caliper and quantity of proposed planting.	Refer to Landscape Plans.

17	Typical planting specifications.	Refer to Landscape Plans.
18	Location, proposed use, height and specifications (where applicable) of buildings and other structures, such as retaining walls, fences, outdoor storage tanks, air conditioning units and waste disposal units.	Refer to Landscape Plans.
19	Detail of any proposed tree protection measures (i.e. tree guards).	Refer to Landscape Plans.
20	Location of proposed roof-top mechanical equipment and detail of proposed screening.	N/A - No rooftop units in this scope.
21	Location of external transformers and detail of proposed screening.	No proposed transformers.

Improvement Plans

Construction plans shall be prepared for all required improvements. Plans shall be drawn at a scale of no more than one (1) inch equals fifty (50) feet. The following shall be shown:

1	Sidewalks and street circulation plan, which shall include the following:	Refer to Civil Plans.
	The location, grade, centerline radius and arc length of curves, pavement right-of-way and name of all proposed streets. Radii of all curves, lengths of tangents, and central angles on all streets shall be shown. Typical sections of streets and sidewalks should be shown. Profiles showing existing and proposed elevations along center lines of all roads.	Refer to Civil Plans.
	The location and radius of all proposed curb returns and cul-de-sacs.	N/A - None specified.
	Location of all curb cuts and number and location of parking spaces.	Refer to Sheet C5.1 of the Civil Plans.
	Emergency ingress and egress plan.	No changes to emergency ingress/egress. Access Drive provided at SW corner of the proposed field for vehicular access. Ambulance access for the field is indicated on the submitted Safety Diagram.
2	Plans and profiles showing the locations and typical cross-section of street pavements including curbs and gutters, sidewalks, drainage easements, servitudes, rights-of-way, manholes, and catch basins; the location, size and invert elevations of existing and proposed sanitary sewers, stormwater drains, and fire hydrants, showing connection to any existing or proposed utility systems; and exact location and size of all water, gas, or other underground utilities or structures.	Pavement, sidewalk, and curb details to be found on Sheet C8.0 of Civil Plans. Location, size, and invert elevations of sanitary, storm sewer, water, gas and other utilities associated with the Field Addition can be found in the Civil Plans. Utilities for the proposed Office Addition will be included in a future submission.
3	Indication of building envelopes and limits of clearing, show where vegetation and trees are to be removed and where replaced.	Refer to Civil Plans.
4	Tree protection and mitigation plan. (See Tree and Vegetation Plan Submittal Requirements)	Refer to Tree and Vegetation Plan section of checklist.
5	Landscaping/Buffering Plan. (See Landscaping/Bufferyard Plan Submittal Requirements)	Refer to Landscaping/Bufferyard Plan section of checklist.
6	Grading Plan showing finished contours at one (1) foot intervals.	Refer to Sheets C5.0 and C5.1 of the Civil Plans.
7	Stormwater Pollution Prevention Plan.	Refer to C6 series of Civil Plans.
8	Exterior Lighting Plan (See Exterior Lighting Plan Submittal Requirements).	Refer to Exterior Lighting Plan section of checklist.
9	Drainage Plan including any proposed locations and sizes of stormwater runoff retention/ detention basins, sealed by a Professional Engineer.	Refer to Civil Plans and Stormwater Management Report.
10	Off-street Parking and Loading Plan.	No changes to parking/loading.
11	Estimates of construction costs for required improvements.	Refer to Opinion of Probable Costs.
12	Any other information deemed necessary by the City to make a fully informed and deliberate decision on the Improvement Plans.	Per fire department comments, a knox box is indicated on the exterior wall of the restroom building, per the submitted floor plan. Please also refer to the submitted 'PC Neighborhood Comment and Responses' document which addresses specific questions and comments that arised from the previous Planning Commision meeting.
13	Proposed stormwater management water quality techniques, and erosion and sedimentation control measures to be used during and after construction.	Refer to SWPPP Booklet, Stormwater Management Report, and Civil Plans.
14	Retaining walls (top and bottom of wall spot elevations).	N/A
15	Where applicable, localized high-point for all driveway entrances.	No driveway entrances to be modified.
16	Inverts and top of grate elevations for catch basins and manholes.	Refer to Sheet C5.1 of the Civil Plans.
17	8½ x 11 reduction of the site plans to be submitted prior to scheduled Board or Commission Meeting.	Refer to "Civil Plan Set_Reduced" pdf.

Exterior Lighting Plan

The following materials shall be submitted:

1	A layout of proposed all freestanding and wall-mounted lamp locations on site plan and landscaping plan.	Refer to Site Photometric Plan.
2	Footcandle data included on a template from the light manufacturer which shows the ISO footcandle contours for the given fixture.	Refer to Site Photometric Plan and lighting fixture cut sheets.
3	Description of the equipment (catalogue cuts).	Refer to lighting fixture cut sheets.
4	Glare control devices.	N/A - Refer to Site Photometric Plan.
5	Lamps.	N/A - None provided.
6	Mounting heights and means.	Refer to the Lighting Fixture Schedule on the Site Photometric Plan.
7	Data shall be provided showing the cutoff angle of proposed lamps and demonstrating that nuisance glare is being minimized.	Refer to Site Photometric Plan.

Tree and Vegetation Plan

The following materials shall be submitted:

1	A general site survey of all existing vegetation and tree cover on the site, by type, general location, density of vegetation, and percentage of site covered by tree canopy, including:	Refer to submitted Tree Survey.
	Deciduous trees;	Refer to submitted Tree Survey.
	Coniferous trees;	Refer to submitted Tree Survey.
	Woody shrubs;	Refer to submitted Tree Survey.
2	A field-based survey depicting the location and species of all individual trees measuring 6 inches DBH and larger located inside of and within 25 feet of the proposed limits of disturbance. All trees greater than 6 inches DBH that are proposed to be removed shall be noted on the survey.	Refer to submitted Tree Survey. Refer to L1.1 of the Civil Plans for trees to be removed.
3	Cost estimate of Tree and Vegetation Planting Improvements by a Registered Landscape Architect or qualified professional. This estimate will be used to determine the amount of security required for the development. The applicant will be required to submit a Letter of Credit for 125% of the value of the landscape estimate prior to issuance of a Zoning Certificate.	Refer to Opinion of Probable Cost.

Application

BS Commercial Plan Review

CPR251302

Address

750 West Streetsboro Street, Hudson, OH 44236

Pending

Actions...

Created:05/14/2025

Expires:11/14/2025

Addresses

Address	Location Type	Location Id
-	-	-

People

Title	Name	Address
Legal Property Owner	Christ Community Chapel	750 West Streetsboro Street, Hudson, OH, 44236
Applicant	SoL Harris/Day Architecture	6677 Frank Avenue NW, North Canton, OH, 44720
Design Professional	Matt Sutter	
Occupant	Christ Community Chapel	

Workflow

Description	Result	Target End	Completed	M	Comments
Application Approved?		05/24/2025 04:21:44 PM		1	
Fees Due		05/19/2025 04:21:44 PM		1	
Notify Fire Department?		05/14/2025 04:21:44 PM		1	
Review				2	

Payments

Payment Type	Received By	Payment
No payments to display.		\$0.00
		Total: \$0.00

Fees

Fee	Amount	Amount Paid	Amount Due
No fees to display.		\$0.00	\$0.00
		Total Fees: \$0.00	Total Paid: \$0.00
		Total Due: \$0.00	

Data

Comm Plan Review Project Info

Can issue permits for: (Completed by Building Standards Staff)

Comment

Type of approval requested

Select a value

Full Approval

Required Documents for Permit Issuance (Completed by Building Standards Staff)

Comment

Required Permits for Project(Completed by Building Standards Staff)

Comment

Select all Disciplines requested to be reviewed:

Comment

Existing Building Compliance Path used for design

Select a value

N/A not an existing building

Building/Structural

☒

Electrical

☐

WARRANTY DEED—No.



54079221

Page: 1 of 4

11/20/1997 11:17RAILS LAW PRINT COMPANY

James B. McCarthy

DE

22.00

Know all Men by these Presents

That, W C Development, LLC, an Ohio Limited Liability Company

, the Grantor ,
who claim title by or through instrument , recorded in Volume , Page , County
Recorder's Office, for the consideration of --Ten and other valuable consideration----- Dollars (\$10.00)
received to its full satisfaction of Hudson Community Chapel

, the Grantee ,
whose TAX MAILING ADDRESS will be 46 Ravenna St., Hudson, OH 44236
do

Grant, unto the said Grantee , its
heirs and assigns, the following described premises, situated in the Township of
Hudson , County of Summit and State of Ohio:
See Attached for Legal Description

part of:

30-07723

HU-00006-01-010.002

**BUCKEYE
RESERVE TITLE**

TRANSFERRED IN COMPLIANCE WITH
SEC. 319.202 REV. CODE

Consideration \$400,000.00 FEE \$16,000.00
JAMES B. MCCARTHY BY J.B. McCarthy
County Auditor Deputy Auditor

TRANSFERRED
97 NOV 20 AM 11:03
JAMES B. MCCARTHY
SUMMIT COUNTY AUDITOR

be the same more or less, but subject to all legal highways.

BUCKEYE RESERVE TITLE AGENCY
ORDER NO. 2K6814

40/6 11-20-97 047

Description Approved By
TAX MAP DEPARTMENT

To Have and to Hold the above granted and bargained premises, with the appurtenances thereof, unto the said Grantee its successors ~~heirs~~ and assigns forever.


And the said Grantor, W C Development, LLC and its successors ~~heirs~~, executors and administrators, covenant with the said Grantee its successors ~~heirs~~ and assigns, that at and until the enrolling of these presents, it is well seized of the above described premises, as a good and indefeasible estate in FEE SIMPLE, and have good right to bargain and sell the same in manner and form as above written, and that the same are free from all incumbrances whatsoever except for: (i) a certain Easement for Highway Purposes, dated August 7, 1962, granted by Hudson Estates, Inc., to State of Ohio, filed for record December 4, 1962, in Volume 4133, Page 465, Summit County Records, (ii) a certain Oil and Gas Lease, dated March 12, 1981, between Hudson Estates, Inc., and Schrimsher Oil & Gas Exploration, filed for record March 23, 1981, in Volume 6475, Page 166, Summit County Records, subject to a release of surface rights to be recorded prior to the Closing, and (iii) real estate taxes and assessments not yet due and payable. ~~And that it~~ **Warrant and Defend** said premises, with the appurtenances thereunto belonging, to the said Grantee its successors ~~heirs~~ and assigns, against all lawful claims and demands whatsoever except as above stated.

And for valuable consideration

do hereby remise, heirs and assigns, release and forever quit-claim unto the said Grantee **Power** in the above described premises, all right and expectancy of

In Witness Whereof we have hereunto set our hands, the 11 day of NOV, in the year of our Lord one thousand nine hundred and ninety-seven

Signed and acknowledged in presence of


Judy K. Haggard

W C Development, LLC

By Colony Square of Hudson Investment Group, Ltd.

By 
John J. Carse Member

State of Ohio

Summit County, ss

Before me, a notary public, in and for said County, personally

appeared the above named

W C Development, LLC by Colony Square of Hudson Investment Group, Ltd. by John J. Carse - Member

who acknowledged that he did sign the foregoing instrument, and that the same is his free act and deed.

In Testimony Whereof, I have hereunto set my hand and

official seal, at Fairlawn, OH this

day of A. D. 19 97

This instrument prepared by
Patrick J. Wack, Attorney at Law
41 Merz Blvd., Fairlawn, OH 44333


Notary Public

PATRICK J. WACK, Attorney-At-Law
Notary Public - State of Ohio
My commission has no expiration date.
\$2147.03 F.L.C.

Warranty Deed

W C Development, LLC

TO

Hudson Community Chapel

Transferred

19

COUNTY AUDITOR

State of Ohio

County of

Received for Record on the

day of 19

at o'clock M. 19

and Recorded

Deed Book

Page

COUNTY RECORDER

Recorder's Fee \$

W.C. DEVELOPMENT
REMAINDER PARCEL
LEGAL DESCRIPTION

Situated in the City of Hudson, County of Summit, State of Ohio, and known as being part of original Hudson Township Lot No. 31, further bonded and described as follows:

Beginning on the centerline of Streetsboro Road, S.R. 303, at the northwest corner of the West Bridge Crossing, Phase I subdivision, as recorded in Cabinet H, slides 845 thru 849 of Summit County Records;

Thence along the westerly line of said West Bridge Crossing, Phase I, the following 7 courses:

S 00°19'37" E, 346.75 feet to a 5/8" iron pin found and passing over a 5/8" iron pin found at 68.80 feet;

S 07°14'07" W, 369.22 feet to a 5/8" iron pin found;

S 17°18'23" W, 252.52 feet to a 5/8" iron pin found;

Northwesterly 18.05 feet along the arc of a curve deflecting to the right having a radius of 25.00 feet, delta of 41°22'03" and a chord of 17.66 feet that bears N 52°00'35" W to a 5/8" iron pin set;

Northwesterly 53.48 feet along the arc of a curve deflecting to the left having a radius of 330.00 feet, delta of 09°17'06" and a chord of 53.42 feet that bears N 35°58'07" W to a 5/8" iron pin set;

S 49°23'20" W, 239.44 feet to a 5/8" iron pin found;

S 28°39'10" E, 158.86 feet to a 5/8" iron pin found on the north line of West Bridge Crossing, Phase II as recorded in Cabinet N, Slides 396 thru 399 of Summit County Records;



54079221
Page: 3 of 4
11/28/1997 11:17A

APPROVED

Suzanne D. Helms 11/01/8/1997
Acting CITY MANAGER DATE
Suzanne D. Helms

David S. McElroy Nov. 18, 1997
CITY ENGINEER



54079221
Page: 4 of 4
11/28/1997 11:17A

Thence S 60°34'30" W along the north line of said West Bridge Crossing, Phase II, 302.70 feet to a 5/8" iron pin found;

Thence S 78°12'26" W along the north line of said West Bridge Crossing, Phase II, 104.11 feet to a 5/8" iron pin set;

Thence N 57°39'20" W, 67.99 feet to a 5/8" iron pin set on the west line of Sublot 51 in the said West Bridge Crossing, Phase II;

Thence N 24°00'50" W along the west line of said Sublot No. 51, 29.09 feet to a 5/8" iron pin found at the northeast corner thereof;

Thence S 81°43'45" W along the north line of said Sublot No. 51, 1.50 feet;

Thence N 26°25'05" W, 65.94 feet to a 5/8" iron pin found;

Thence N 00°55'00" W, 267.64 feet to a 5/8" iron pin found;

Thence N 15°10'22" W, 142.22 feet to a 5/8" iron pin found;

Thence N 45°43'20" E, 447.74 feet to a 5/8" iron pin found;

Thence N 00°19'37" W, 473.39 feet to the centerline of Streetsboro Road and passing over a 5/8" iron pin found at 400.00 feet;

Thence northeasterly 90.05 feet along the arc of a curve deflecting to the right, having a radius of 12171.88 feet, delta of 0°25'26" and a chord of 90.05 feet that bears N 83°18'01" E to a monument found;

Thence N 83°30'43" E, along the centerline of Streetsboro Road, 372.79 feet to the Place of beginning, and containing 14.568 acres of land but subject to all legal highways, easements, and restrictions of record as determined by Robert J. Warner, P.S., No. 6931 for Environmental Design Group in November, 1997.



54079222

Page: 1 of 4

11/20/1997 11:17A LS LAW PRINT COMPANY

WARRANTY DEED--No. 06

James B. McCarthy

DE

22.00

Know all Men by these Presents

That, Colony Square of Hudson Investment Group, Ltd., an Ohio
Limited Liability Company

, the Grantor ,

who claim title by or through instrument , recorded in Volume , Page , County

Recorder's Office, for the consideration of --Ten and other valuable consideration--

----- Dollars (\$10.00)

received to its full satisfaction of Hudson Community Chapel

, the Grantee ,

whose TAX MAILING ADDRESS will be 46 Ravenna St., Hudson, OH 44236

do

Grant, unto the said Grantee , its
heirs and assigns, the following described premises, situated in the Township of
Hudson , County of Summit and State of Ohio:

See Attached for Legal Description

30-09095

HU-00006-95-002.000

TRANSFERRED IN COMPLIANCE WITH
SEC. 319.202 REV. CODE

\$ 550,000.00 \$ 2,000.00 FEE
Consideration
JAMES B. MCCARTHY
County Auditor By Deputy Auditor

TRANSFERRED
97 NOV 20 AM 11:05
JAMES B. MCCARTHY
SUMMIT COUNTY AUDITOR

**BUCKEYE
RESERVE TITLE**

BUCKEYE RESERVE TITLE AGENCY

ORDER NO. 086813

be the same more or less, but subject to all legal highways.

Description Approved By
TAX MAP DEPARTMENT

11-20-97 07

40/6

54079222
Page: 2 of 4
11/20/1997 11:17A
22.00
James B. McCarthy DE

To Have and to Hold the above granted and bargained premises, with the appurtenances thereof, unto the said Grantee, its successors ~~heirs~~ and assigns forever.

And the said Grantor, Colony Square of Hudson Investment Group, Ltd., do for itself and its successors ~~heirs~~, executors and administrators, covenant with the said Grantee its successors ~~heirs~~ and assigns, that at and until the ensembling of these presents, it is well seized of the above described premises, as a good and indefeasible estate in FEE SIMPLE, and have good right to bargain and sell the same in manner and form as above written, and that the same are free from all incumbrances whatsoever except for: (i) a certain Easement for Highway Purposes, dated August 7, 1962, granted by Hudson Estates, Inc., to State of Ohio, filed for record December 4, 1962, in Volume 4133, Page 465, Summit County Records, (ii) a certain Oil and Gas Lease, dated March 12, 1981, between Hudson Estates, Inc., and Schrimsher Oil & Gas Exploration, filed for record March 23, 1981, in Volume 6475, Page 166, Summit County Records, subject to a release of surface rights to be recorded prior to the Closing, and (iii) real estate taxes and assessments not yet due and payable on said premises, with the appurtenances thereunto belonging, to the said Grantee, its successors ~~heirs~~ and assigns, against all lawful claims and demands whatsoever except as above stated.

And for valuable consideration

do hereby remise, release and forever quit-claim unto the said Grantee, its successors ~~heirs~~ and assigns, all right and expectancy of **Dower** in the above described premises.

In Witness Whereof we have hereunto set our hands, the // day of July, in the year of our Lord one thousand nine hundred and ninety-seven

Signed and acknowledged in presence of

[Signature]
John J. Carse

Colony Square of Hudson Investment Group, Ltd.

By [Signature]
John J. Carse - Member

State of Ohio }
Summit County, ss } Before me, a notary public, in and for said County, personally appeared the above named Colony Square of Hudson Investment Group, Ltd. by John J. Carse its Member

who acknowledged that he did sign the foregoing instrument, and that the same is his free act and deed.

In Testimony Whereof, I have hereunto set my hand and official seal, at Fairlawn, OH this day of July A. D. 19 97

This instrument prepared by
Patrick J. Wack
Attorney at Law
41 Merz Blvd.
Fairlawn, OH 44333

PATRICK J. WACK, Notary Public
Notary Public - State of Ohio
My commission has no expiration date
Sec. 14703 R.C.

Warranty Deed

Colony Square of Hudson Investment Group, Ltd.

TO

Hudson Community Chapel

Transferred 19

COUNTY AUDITOR

State of Ohio

County of Received for Record on the

day of 19

at o'clock M.

and Recorded 19 in

Deed Book Page

COUNTY RECORDER

Recorder's Fee \$

WESTBRIDGE CROSSING

PARCEL A

JANUARY 23, 1991

Situated in the Township of Hudson, County of Summit and State of Ohio and known as being part of Original Lots 31 and 41 in said Hudson Township and more fully described as follows:

Beginning at the centerline intersection of Terex Road (C.H. 509) and Streetsboro Road (S.R. 303);

THENCE North 81 degrees 04 minutes 38 seconds East a distance of 189.403 feet along the centerline of said Streetsboro Road to a monument found and used;

THENCE North 80 degrees 38 minutes 07 seconds East a distance of 102.043 feet continuing along the centerline of said Streetsboro Road to a monument found and used. Said monument being a point of curvature;

THENCE along a curve to the right having a radius of 12171.883 feet, a central angle of 002 degrees 27 minutes 10 seconds, an arc length of 521.067 feet, and a chord which bears North 81 degrees 51 minutes 42 seconds East to a point; *chord length 521.022*

THENCE South 00 degrees 19 minutes 37 seconds East a distance of 473.399 feet to an iron pin set;

THENCE South 45 degrees 43 minutes 20 seconds West a distance of 447.748 feet to an iron pin set;

THENCE South 89 degrees 40 minutes 23 seconds West a distance of 400.000 feet to an iron pin set on the easterly right of way line of said Terex Road;

THENCE North 00 degrees 55 minutes 00 seconds West a distance of 42.310 feet along the said easterly right of way line of Terex Road to an iron pin set;

THENCE North 01 degrees 56 minutes 45 seconds East a distance of 100.120 feet along the said easterly right of way line of Terex Road to an iron pin set;

THENCE North 00 degrees 55 minutes 00 seconds West a distance of 433.230 feet along the said easterly right of way line of Terex Road to an iron pin set at a point of curvature;

THENCE along a curve to the right having a radius of 50.000 feet, a central angle of 081 degrees 33 minutes 20 seconds, an arc length of



71.171 feet, and a chord which bears North 39 degrees 51 minutes 40 seconds East to an iron pin set at the point of tangency;

THENCE North 80 degrees 13 minutes 08 seconds East a distance of 122.430 feet to an iron pin set;

THENCE North 09 degrees 46 minutes 52 seconds West a distance of 3.550 feet to a point on the southerly line of said Streetsboro Road;

THENCE South 83 degrees 57 minutes 41 seconds West a distance of 287.350 feet to a point;

THENCE North 85 degrees 20 minutes 32 seconds West a distance of 32.028 feet to a point;

THENCE North 00 degrees 55 minutes 00 seconds West a distance of 36.402 feet to a point on the centerline of said Streetsboro Road;

THENCE North 82 degrees 33 minutes 17 seconds East a distance of 75.490 feet to the POINT OF BEGINNING, and containing 485564 square feet or 11.1470 acres of land, more or less.

This description is based on a survey made by Nicholas A. Spagnuolo, Registered Surveyor No. 5304, in January, 1989.

cord length 65.312



54079222
Page: 4 of 4
11/26/1997 11:17A

PERMANENT RECORD

NOT TO BE DESTROYED

CITY OF HUDSON
BOARD OF ZONING
AND
BUILDING APPEALS

APPEALS DOCKET 98-05
CONDITIONALLY PERMITTED USE
HUDSON COMMUNITY CHAPEL
750 WEST STREETSBORO STREET
DISTRICT 1

DECISION

Based on the evidence and representation to the Board by the applicant, Jack Lieske, on behalf of HUDSON COMMUNITY CHAPEL, 46 Ravenna Street, Suite B-3, Hudson, Ohio and the applicant's architects, Bialosky & Partners, 2775 South Moreland, Cleveland, Ohio, City staff and other interested parties and witnesses, at a public hearing held in the Meeting Room of the Town Hall, 27 East Main Street, Hudson, Ohio 44236, at 7:30 p.m., on Thursday, January 15, 1998, the Board hereby approves:

A request for a conditionally permitted use to permit a church in a residentially zoned district with the following conditions:

- a) appropriate year-round landscape screening and buffering where possible;
- b) no entry to the property from Lauren Drive unless City Safety Departments make a determination that it is necessary;
- c) lighting to be structured to not cause problems to the adjacent neighbors;
- d) hours of illumination of parking lot and steeple until 11:00 p.m.;

for the property located at 750 West Streetsboro Street, Hudson, Ohio in District 1 (Suburban Residential Neighborhood) of the Comprehensive Plan Compatibility Overlay District and Regulations.

Date: January 15, 1998

THE CITY OF HUDSON

BOARD OF ZONING AND BUILDING APPEALS


Eugene W. Stanks, Chairman



CITY OF HUDSON, OHIO

Department of Community Development

46 Ravenna Street, Suite D-3

Hudson, Ohio 44236-3099

(216) 342-1790 • (216) 656-1753 • Fax (216) 342-1880

REPORT

TO: Board of Zoning and Building Appeals

FROM: Arlene Egan, Zoning Inspector

DATE: January 15, 1998

SUBJECT: **Appeals Docket 98-05**

Application

1. Conditionally permitted use

Site

Address: 750 W. Streetsboro St.

District: District 1

Applicant: Hudson Community Chapel

Owner: Bialosky & Partners

Adjacent

<u>Location</u>	<u>District</u>	<u>Use</u>
North	6	Office industrial; single family residential
South	1	Single family, suburban residential neighborhood
East	1	Single family, suburban residential neighborhood
West	6	Office industrial; single family residential

Comments

The subject of this application is a request for a conditionally permitted use for a church in a residential neighborhood. The location of this property is the southeast corner of Terex Road and West Streetsboro Street. The Comprehensive Plan Compatibility Overlay, Chapter 1286.11 (a) directs that single-family residential is the only permitted use by right. All other permitted and conditionally permitted uses specified in Township Zoning District R-1 are to be considered for conditionally permitted uses in this district. Prior to the adoption of the above mentioned Compatibility Overlay, religious uses were considered as principal permitted uses in this zoning district and would not have required Board of Zoning and Building Appeals action for approval of use.



January 15, 1998
Docket No. 98-05
Page 2

Section 720.4 of the Zoning Resolution addresses the authority of the Board of Zoning and Building Appeals when considering Conditional Uses. It specifies that the Board shall give due regard to the nature and condition of all adjacent uses and structures; and in authorizing a conditional use, the Board may impose such requirements and conditions with respect to location construction, maintenance and operation - in addition to those expressly stipulated in this Resolution for the particular conditional use - as the Board may deem necessary for the protection of adjacent properties and the public interest.

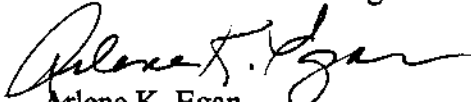
The applicant has demonstrated on the site plan that parking has been provided for 353 cars, which more than satisfies the requirements as specified in the Planning and Zoning Code, the Zoning Resolution and the standards of the Institute of Transportation Engineers, based on the seating capacity of between 700 and 900 seats.

Three points of access are planned for the site as shown on the site plan. The applicant has indicated that the Terex Road access will handle more than 60% of the traffic to the site. West Streetsboro Street will handle most of the remaining traffic. Lauren Drive will serve as an emergency access and serve the residents of the adjacent neighborhoods.

The applicant has indicated that the soccer and baseball fields which are shown on the site plan will be open to the surrounding neighbors.

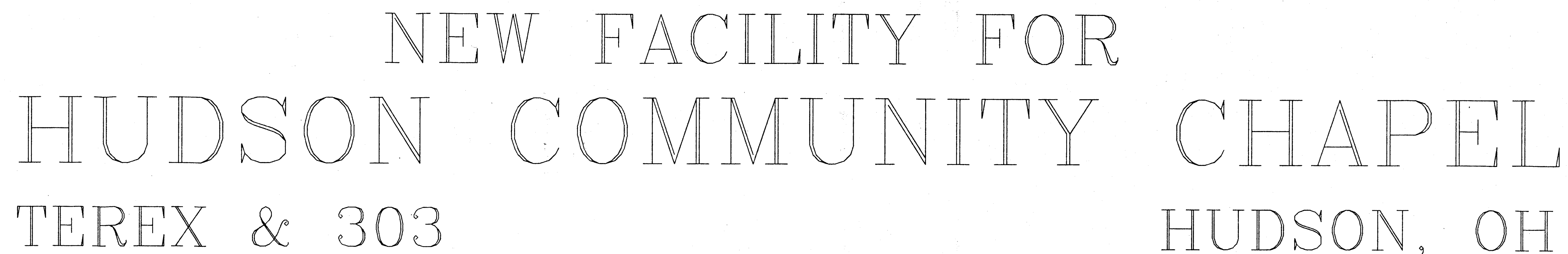
Should the Board grant the requested conditionally permitted use, all Site Plan Review documents as required by Chapter 1282, including traffic impact analysis, storm water management plan, landscape design plan will be submitted to the Office of Community Development prior to review by the Municipal Planning Commission.

Approval of the site plan will be required from the Municipal Planning Commission, and approval of the building design will be required from the Architectural and Historic Board of Review prior to the issuance of a zoning certificate.


Arlene K. Egan
Zoning Inspector

cc: BZBA 98-05
R. Todd Hunt, Assistant City Solicitor
Bialosky & Partners, 2775 So. Moreland, Cleveland, Ohio 44120
Jack Lieske, Hudson Community Chapel, 46 Ravenna St., Suite B-3, Hudson, Ohio 44236
William Currin, Council Liaison

Attachments



2775 South Moreland Blvd.
Shaker Square
Cleveland, Ohio 44120
Phone 216. 752. 8750
Fax 216. 752. 9437

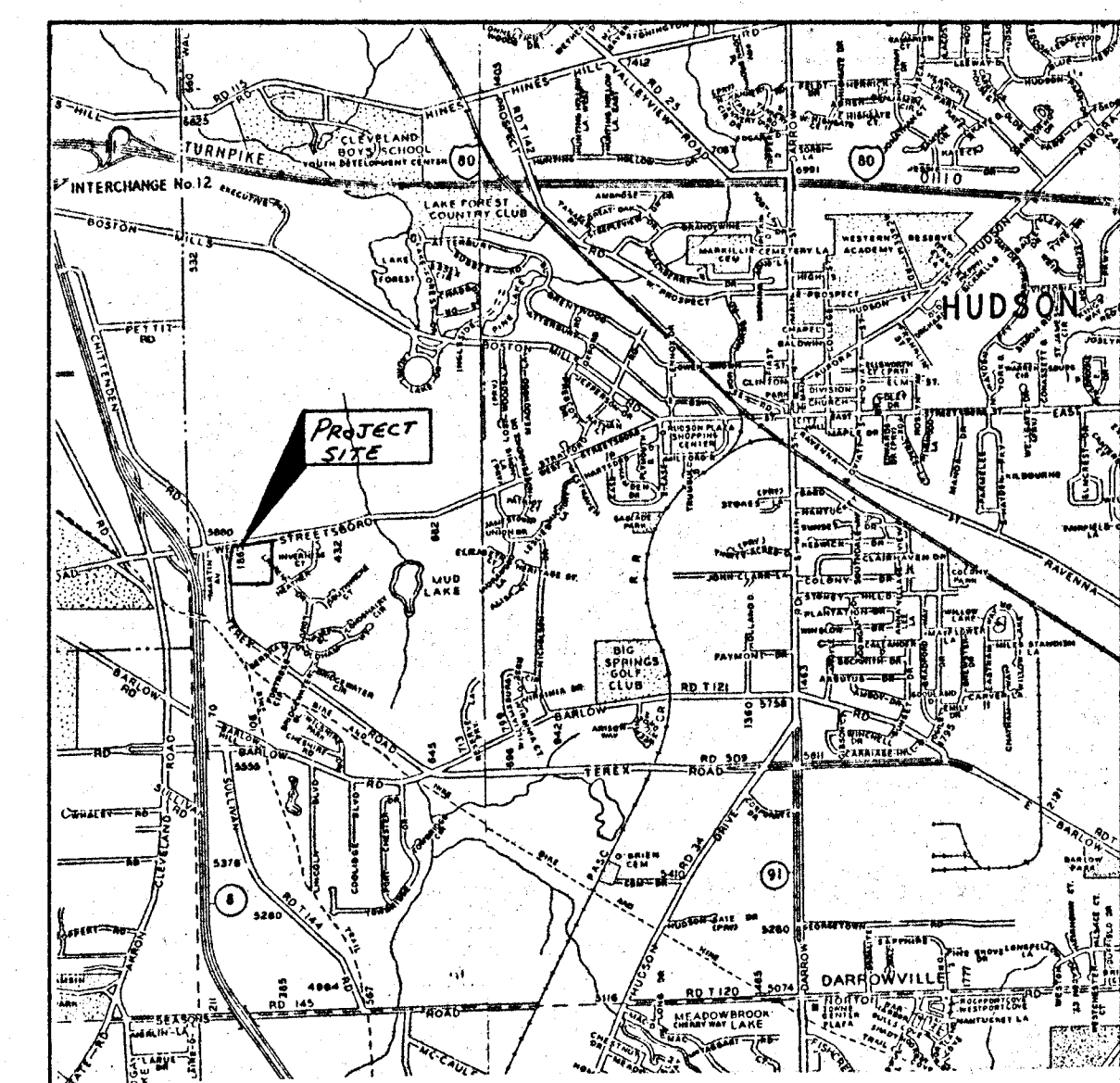
APPROVED:
D. G. McLaughlin
CITY ENGINEER
11/23/98

Square Footage	
Issue / Revisions	
Date Rev.	Item
01/06/98	DESIGN REVIEW
01/15/98	B.Z.B.A. APPROVAL
07/14/98	A.R.B. REVIEW
07/27/98	SITE PLAN REVISED
08/05/98	A.R.B. REVISIONS
08/27/98	PLANS REVISED
09/02/98	A.R.B. REVISIONS
09/16/98	ELEVS. REVISED
09/28/98	SHELL PACKAGE
09/29/98	REVISED
10/15/98	ISSUE FOR BIDDING
10/29/98	ADDENDUM #1
File Name	
F:\HUDSON\NOC_DOCS\ HD_TS1.DWG	
Drawn	Job No.
KAG	9740
Checked	Date
	12/4/97
Issued For	
<input type="checkbox"/> Design Development <input type="checkbox"/> Progress % <input checked="" type="checkbox"/> Bidding <input type="checkbox"/> Permit <input type="checkbox"/> Construction Documents <input type="checkbox"/>	

TEREX ROAD R/W VARIES
P.B.69, PG.29-30



APPROVED REVISIONS:
David W. Walker
CITY ENGINEER
1/23/99




LOCATION MAP

- NOTES:
1. ALTA SURVEY BY ENVIRONMENTAL DESIGN GROUP
 2. UTILITY LOCATIONS FROM RECORDS PROVIDED BY THE UTILITY COMPANIES.
 3. PAVEMENT LOCATIONS FROM SUMMIT COUNTY G.I.S. MAP.
 4. CONTOURS FROM SURVEY BY CHAGRIN VALLEY ENGINEERING, LTD.
 5. DATA FOR SOIL BORINGS PROVIDED IN SUBSURFACE EXPLORATION REPORT PREPARED BY EDP CONSULTANTS MARCH 11, 1998
 6. ALL WORK IN THE RIGHT-OF-WAY SHALL CONFORM TO THE OHIO UNIFORM TRAFFIC CONTROL DEVICE REQUIREMENTS FOR MAINTAINING TRAFFIC. THE CONTRACTOR SHALL CONTACT THE POLICE DEPARTMENT AND THE CITY ENGINEER PRIOR TO PROCEEDING WITH WORK.

GRAPHIC SCALE



City of Hudson Village IN FEET)
1 inch = 50 ft)
NOV 23 1999
RA-M-722352
ZONING INSPECTOR



2775 South Moreland Blvd.
Shaker Square
Cleveland, Ohio 44120
Phone 216. 752. 8750
Fax 216. 752. 9437

NEW FACILITY FOR
HUDSON COMMUNITY CHAPEL
TEREX & 303 HUDSON, OH

EXISTING CONDITIONS PLAN

**CHAGRIN VALLEY
ENGINEERING, LTD.**
24850 AURORA ROAD, UNIT A
CLEVELAND, OHIO 44146
PHN: (440) 439-1999
FAX: (440) 439-1969

Square Footage

Issue / Revisions

Date	Rev.	Item
03.04.98		REVISED
04.03.98		REVISED
07.16.98		REVISED
08.06.98		REVISED
08.12.98		REVISED
08.31.98		REVISED
09.28.98		REVISED
10.14.98		REVISED
10.21.98		REVISED
11.16.98		REVISED

File Name

Drawn	Jo
BCW	97
Checked	D
	03.

Issued For

- | | |
|--------------------------|------------------------|
| <input type="checkbox"/> | Design Development |
| <input type="checkbox"/> | Progress % |
| <input type="checkbox"/> | Bidding |
| <input type="checkbox"/> | Permit |
| <input type="checkbox"/> | Construction Documents |
| <input type="checkbox"/> | |
| <input type="checkbox"/> | |

Drawing Number

C1

TEREX ROAD R/W VARIES
P.B.69,PG.29-30

STREETSBORO ROAD
S.R. 303 R/W VARIES

SEE ROADWAY PLAN FOR
ROADWAY/INTERSECTION
DESIGN AND DETAIL

Existing Pond

IVERNESS CT.
60' R/W

Bialosky
Partners
Architects

2775 South Moreland Blvd.
Shaker Square
Cleveland, Ohio 44120
Phone 216. 752. 8750
Fax 216. 752. 9437

NEW FACILITY FOR
HUDSON COMMUNITY CHAPEL
TEREX & 303
HUDSON, OH

SITE PLAN

NOTES:

1. ALTA SURVEY BY ENVIRONMENTAL DESIGN GROUP
2. UTILITY LOCATIONS FROM RECORDS PROVIDED BY THE UTILITY COMPANIES.
3. PAVEMENT LOCATIONS FROM SUMMIT COUNTY G.I.S. MAP.
4. CONTOURS FROM SURVEY BY CHAGRIN VALLEY ENGINEERING, LTD.
5. DEVELOPED IMPERVIOUS AREA = 227,407 SQ. FT. PERVIOUS AREA = 810,028 SQ. FT. % AREA IMPERVIOUS APPROX. 22%
6. SEE SHEET C6 FOR DETENTION POND GRADING DETAIL, DRIVE APRON GRADING DETAILS, AND CONCRETE DRIVEWAY EXTENSION GRADING DETAIL.
7. SEE ARCHITECTURAL PLANS FOR FINAL SIDEWALK LAYOUT, AND JOINT LOCATION
8. ALL PAVEMENT MARKINGS ON TEREX ROAD AND ROUTE 303 SHALL BE THERMOPLASTIC ODOT 644
9. ALL CURVE DATA AND DIMENSIONS REFERENCE THE FACE OF CURB.

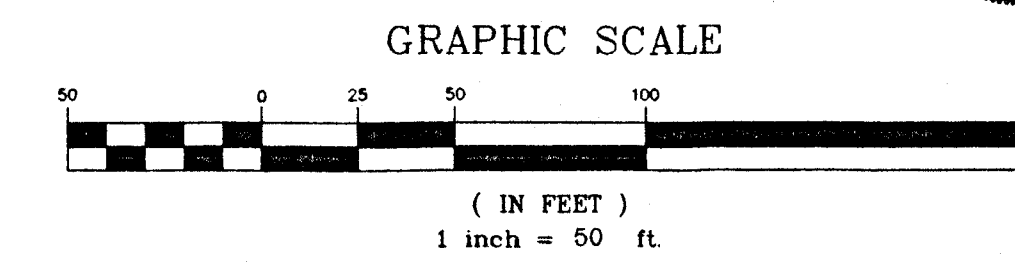
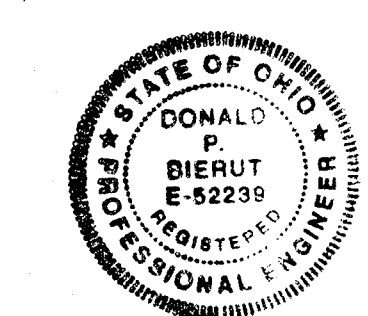
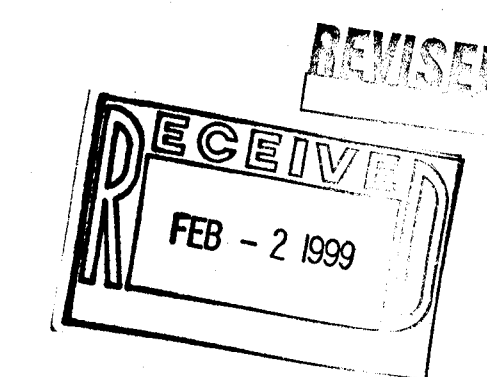
PARKING DATA

STANDARD PARKING SPACES
308 PROPOSED

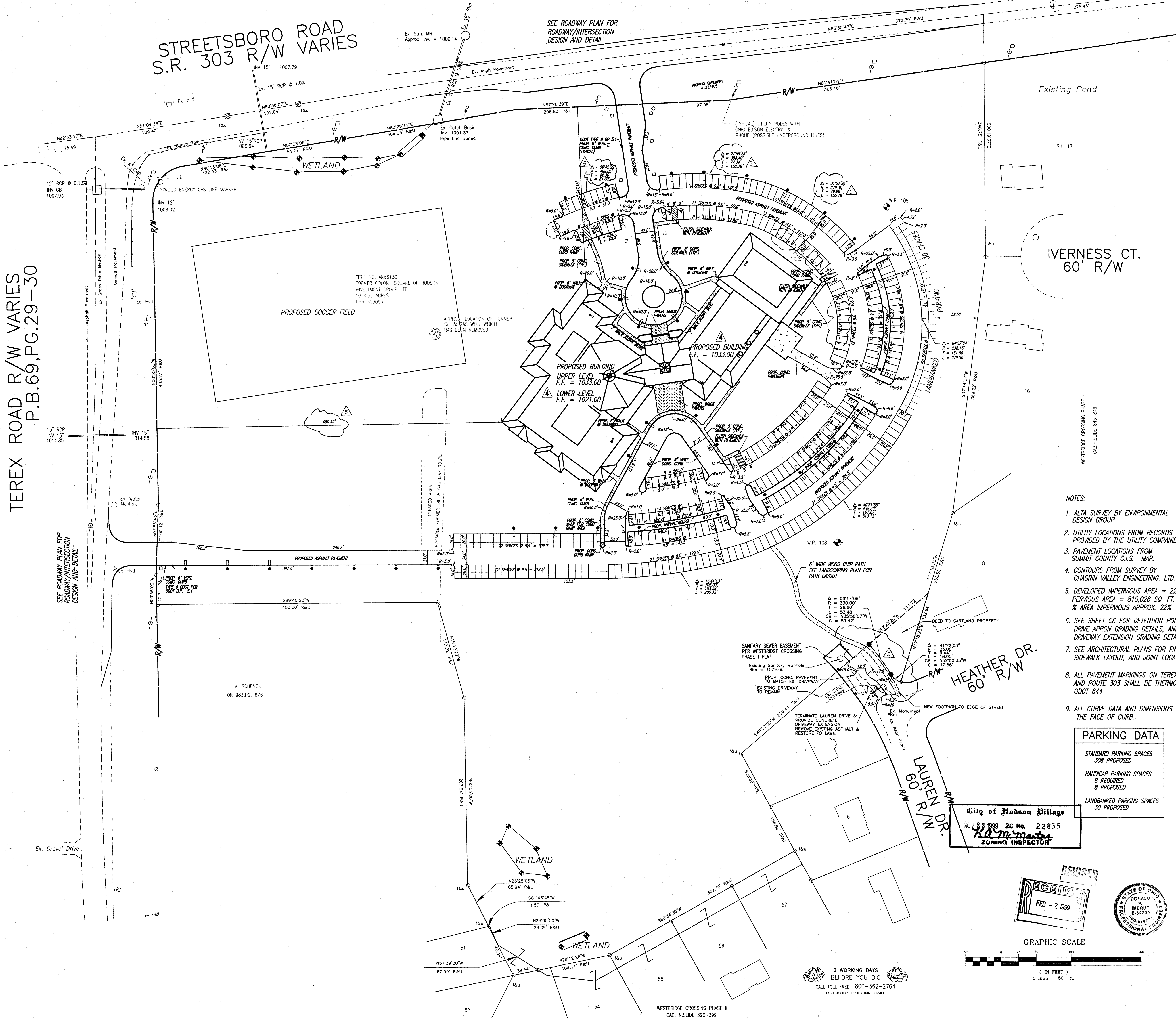
HANDICAP PARKING SPACES
8 REQUIRED
8 PROPOSED

LANDBANKED PARKING SPACES
30 PROPOSED

City of Hudson Village
NOV 23 1999 ZC NO. 22835
ZONING INSPECTOR



2 WORKING DAYS
BEFORE YOU DIG
CALL TOLL FREE 800-362-2764
OHIO UTILITIES PROTECTION SERVICE



CHAGRIN VALLEY
ENGINEERING, LTD.
24850 AURORA ROAD, UNIT A
CLEVELAND, OHIO 44146
PH: (440) 435-1559
FAX: (440) 435-1969

Square Footage

Issue / Revisions

Date	Rev.	Item
07.18.98	REVISED	
08.06.98	REVISED	
08.12.98	REVISED	
08.31.98	REVISED	
09.28.98	REVISED	
10.14.98	REVISED	
10.21.98	REVISED	
11.06.98		
11.18.98	REVISED	
11.18.98	REVISED	

File Name

Drawn

Job No.

BCW 97133

Checked

Date

03.04.98

Issued For

- ☐ Design Development
- ☐ Progress %
- ☐ Bidding
- ☐ Permit
- ☐ Construction Documents

Drawing Number

C2

TEREX ROAD R/W VARIES
P.B.69,PG.29-30

STREETSBORO ROAD
S.R. 303 R/W VARIES

SEE ROADWAY PLAN FOR
ROADWAY/INTERSECTION
DESIGN AND DETAIL

Existing Pond

IVERNESS CT.
60' R/W

HEATHER DR.
60' R/W

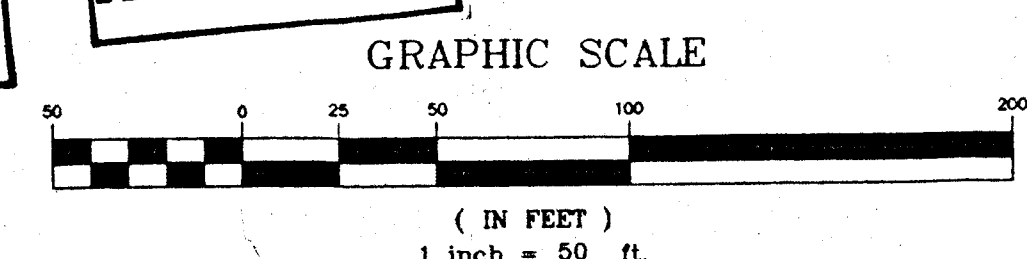
LAUREN DR.
60' R/W

- NOTES:
1. ALTA SURVEY BY ENVIRONMENTAL DESIGN GROUP
 2. UTILITY LOCATIONS FROM RECORDS PROVIDED BY THE UTILITY COMPANIES.
 3. PAVEMENT LOCATIONS FROM SUMMIT COUNTY G.I.S. MAP.
 4. CONTOURS FROM SURVEY BY CHAGRIN VALLEY ENGINEERING, LTD.
 5. DEVELOPED IMPERVIOUS AREA = 227,407 SQ. FT. PERVIOUS AREA = 810,028 SQ. FT. % AREA IMPERVIOUS APPROX. 22%
 6. SEE SHEET C6 FOR DETENTION POND GRADING DETAIL, DRIVE APRON GRADING DETAILS, AND CONCRETE DRIVEWAY EXTENSION GRADING DETAIL.
 7. CLEARING TO BE PERFORMED IN AREAS WHERE PROPOSED GRADING IS NECESSARY. GRADING SHALL HAVE MINIMAL NEGATIVE IMPACT ON AREAS OF EXISTING VEGETATION. REFER TO LANDSCAPING PLANS FOR EXACT LOCATION OF EXISTING VEGETATION TO REMAIN.
 8. PRE-DEVELOPED SITE ACREAGE APPROX. = 24.0 ACRES ACREAGE FOR CLEARING APPROX. = 16.5 ACRES
 9. SOLID, SANITARY, TOXIC WASTE OR OTHER HAZARDOUS MATERIAL MUST BE DISPOSED OF IN A PROPER MANNER IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE CITY OF HUDSON OR ITS REPRESENTATIVE IF ANY HAZARDOUS MATERIALS ARE FOUND ON SITE.
 10. GRADING SHALL NOT OCCUR UNTIL CITY ARBORIST HAS IDENTIFIED AREAS OF VEGETATION TO REMAIN. AFTER ROUGH GRADING OF BERMING ALONG RESIDENTIAL PROPERTIES IS COMPLETE, THE CITY ARBORIST AND AHR MUST GIVE WRITTEN APPROVAL TO PROCEED WITH FINISHED GRADING AND LANDSCAPING.

- CONSTRUCTION SCHEDULE
1. THE LIMITS OF CLEARING AND GRADING SHALL BE FIELD STAKED 48 HOURS (TWO WORKING DAYS) PRIOR TO ANY WORK. AREAS BEYOND THE LIMITS OF CLEARING AND GRADING SHALL NOT BE DISTURBED, INCLUDING THE STOCKPILING OF ANY MATERIALS OR CONSTRUCTION TRAFFIC.
 2. INSTALLATION OF INLET PROTECTION TO ALL EXISTING INLETS HAVING POTENTIAL FOR SEDIMENT DEPOSITION, AND INSTALLATION OF SILT FENCES.
 3. CLEARING AND GRUBBING.
 4. EXCAVATION
 5. UTILITY INSTALLATIONS, AND PROPOSED INLET INSTALLATIONS.
 6. INSTALLATION OF SEDIMENT CONTROL AROUND NEWLY INSTALLED INLET STRUCTURES.
 7. FINAL GRADING.
 8. PAVING OPERATIONS.
 9. LANDSCAPING AND PLANTING OF GRASS AND TREES ACCORDING TO THE LANDSCAPING PLAN.
 10. REMOVAL OF SEDIMENT CONTROL STRUCTURES AFTER PERMANENT COVER IS ESTABLISHED.

City of Hudson Village
NOV 23 1999
ZONING INSPECTOR

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Bialosky Partners
Architects

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Shaker Square
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Phone 216.752.8750
Fax 216.752.9437

NEW FACILITY FOR
HUDSON COMMUNITY CHAPEL
HUDSON, OH
TEREX & 303
GRADING PLAN

CHAGRIN VALLEY ENGINEERING, LTD.
24855 ALPINE ROAD, SUITE A
CLEVELAND, OHIO 44146
PH: (440) 432-1999
FAX: (440) 432-1999

Square Footage		
Issue / Revisions		
Date	Rev	Item
10.28.98	1	REVISED
10.28.98	2	REVISED
10.28.98	3	REVISED
10.28.98	4	REVISED
10.28.98	5	REVISED
10.28.98	6	REVISED
10.28.98	7	REVISED
10.28.98	8	REVISED
10.28.98	9	REVISED
10.28.98	10	REVISED

File Name	
Drawn	Job No.
BCW	97133
Checked	Date
	03.04.98
Issued For	
<input type="checkbox"/> Design Development	
<input type="checkbox"/> Progress	%
<input type="checkbox"/> Bidding	
<input type="checkbox"/> Permit	
<input type="checkbox"/> Construction Documents	
Drawing Number	

C3

TEREX ROAD R/W VARIES
P.B.69,PG.29-30

STREETSBORO ROAD
S.R. 303 R/W VARIES

FLUSH EXISTING
MANHOLE AND
18" STORM LINE

FIELD VERIFY EX. PIPE
LOCATIONS AND ELEVATIONS
SEE ROADWAY PLAN FOR
ROADWAY/INTERSECTION
DESIGN AND DETAIL

Existing Pond

S.L. 17

- NOTES:
1. UTILITY LOCATIONS FROM RECORDS PROVIDED BY THE UTILITY COMPANIES.
 2. FIELD VERIFY LOCATION AND ELEVATION OF ALL UTILITIES.
 3. FLUSH ALL EXISTING SILENT OR CLOGGED STORM STRUCTURES.
 4. ALL CATCH BASINS (2-2-B, 2-3) TO BE INSTALLED USING TYPE M3 BICYCLE SAFE GRATES.
 5. GENERAL CONSTRUCTION NOTES:
 - a. ALL EXISTING APPURTENANCES (UTILITY POLES, VALVES, HYDRANTS, MANHOLES, ETC.) ARE TO BE MAINTAINED BY THE CONTRACTOR UNLESS OTHERWISE SHOWN ON THE PLANS.
 - b. NOTIFY THE CITY OF HUDSON ENGINEER A MINIMUM OF FORTY-EIGHT HOURS PRIOR TO THE START OF CONSTRUCTION. A PRECONSTRUCTION MEETING MUST BE HELD PRIOR TO ANY CONSTRUCTION.
 - c. ALL ROAD SURFACES, EASEMENTS, OR RIGHTS-OF-WAY DISTURBED BY THE CONSTRUCTION OF ANY PART OF THESE IMPROVEMENTS ARE TO BE RESTORED COMPLETELY TO AT LEAST THE BEFORE CONSTRUCTION CONDITION AS DIRECTED BY THE CITY OF HUDSON AND/OR ITS ENGINEER.
 - d. ALL DISTURBED STORM SEWERS, AND/OR APPURTENANCES, SIGNS, GUARD RAILING, MAIL AND/OR PAPER BOXES, DRIVE CULVERTS, FENCES, TREES, OR OTHER ITEMS DISTURBED BY THE CONSTRUCTION SHALL BE RESTORED OR REPAIRED TO AT LEAST THE BEFORE CONSTRUCTION CONDITION.
 - e. ANY DEFECTS DISCOVERED IN NEW CONSTRUCTION, WORKMANSHIP, OR MATERIALS SHALL BE REPAIRED, OR CORRECTED BY APPROVED METHODS AS DIRECTED BY THE CITY OF HUDSON.
 - f. NUCLEAR COMPACTION TESTING SHALL BE REQUIRED FOR ALL FILL AREAS OVER TWO (2) IN DEPTH.
 - g. THE CONTRACTOR MUST ALERT THE OHIO UTILITY PROTECTION SERVICES AT 1-800-362-2764 AT LEAST 48 HOURS BEFORE ANY EXCAVATION HAS BEGUN.
 - h. APPROVAL BY THE CITY OF HUDSON ENGINEER CONSTITUTES NEITHER EXPRESSED NOR IMPLIED WARRANTIES AS TO THE FITNESS, ACCURACY, OR SUFFICIENCY OF PLANS, DESIGNS, OR SPECIFICATIONS.
 - i. THE DESIGN ENGINEER CERTIFIES THAT UTILITIES ARE SHOWN AS THEY APPEAR ON EXISTING RECORDS OR FIELD LOCATION.
 - j. CONSTRUCTION OF THE SITE WORK AND UTILITIES SHALL BE GOVERNED BY STATE OF OHIO DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS (LATEST EDITION) AND SUPPLEMENTED BY THE CITY OF HUDSON WHERE APPLICABLE.
 - k. DURING TAPPING OF EXISTING UTILITIES, ANY TRAFFIC CONTROL REQUESTED BY THE CITY OF HUDSON WILL BE PROVIDED BY THE CONTRACTOR.
 - l. COMPLIANCE WITH THE OCCUPATIONAL AND SAFETY ACT OF 1970 IS REQUIRED BY ALL CONTRACTORS ON THE PROJECT.
 - m. ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED.
 - n. ALL DISTURBED AREAS SHALL RECEIVE 4" TOPSOIL AND BE SEEDED AND MULCHED AS PER ODOT 653 AND ODOT 659.
 - o. IF MUD, SOIL, OR OTHER DEBRIS IS DEPOSITED ON ADJACENT STREETS, ROADS, OR OTHER PROPERTY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF SUCH AS DIRECTED BY THE CITY OF HUDSON OR ITS ENGINEER AT THE END OF EACH WORK DAY.
 - p. LOW STRENGTH MORTAR BACKFILL SHALL BE USED FOR ALL OPEN CUT TRENCHES LOCATED WITHIN PUBLIC RIGHT OF WAY. SPECIFICATION SHALL BE ODOT 613 TYPE 2. FLY ASH OR SLAG IS NOT PERMITTED IN MIX.
- q. FOR ALL PROPOSED TRENCHES LOCATED UNDER PROPOSED PAVEMENT WITHIN PUBLIC RIGHT OF WAY, AND WHEN THE NEAREST EDGE OF THE PROPOSED TRENCH IS WITHIN 3 FEET OR 1:1 SLOPE FROM PAVEMENT EDGE, THEY SHALL BE FILLED WITH COMPACTED ODOT ITEM 304 CRUSHED LIMESTONE. THE METHOD OF BACKFILLING AS DIRECTED BY THE CITY OF HUDSON ENGINEER SHALL CONFORM TO SECTION 603.08 BACKFILLING AS SPECIFIED IN THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS.
- r. ALL PROPOSED SLOPES 3:1 OR STEEPER SHALL RECEIVE JUTE OR EXCELOR MATING AS PER ODOT 667 OR 668, EXCEPT AS NOTED ON EROSION PROTECTION PLAN.
- s. ALL STORM SEWERS WITH PUBLIC RIGHT OF WAY AND CITY OF HUDSON EASEMENTS SHALL BE RCP CLASS IV OR PVC SDR26 WITH PREMIUM JOINTS ("O-RINGS").
- t. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND PROTECTING THE FLOW OF VEHICULAR AND PEDESTRIAN TRAFFIC AROUND THE JOB SITE. TRAFFIC CONTROL SHALL BE COORDINATED WITH THE CITY OF HUDSON.
- u. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING PLANT TICKETS FOR ALL MATERIALS DELIVERED TO THE SITE FOR THE IMPROVEMENTS WITHIN PUBLIC RIGHT-OF-WAY. PLANT TICKETS MUST SHOW NET QUANTITY OF DELIVERED MATERIAL.
- v. ALL DELIVERED MATERIALS SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF HUDSON OR OTHER APPLICABLE AGENCIES. THE CITY OF HUDSON, OR ITS REPRESENTATIVE, RESERVES THE RIGHT TO REJECT ANY DELIVERED MATERIAL WHICH DOES NOT CONFORM TO THE APPLICABLE STANDARDS AND SPECIFICATIONS.
- w. THE CITY OF HUDSON OR ITS REPRESENTATIVE, RESERVES THE RIGHT TO HALT ALL CONSTRUCTION ACTIVITY FOR NONCONFORMANCE OF PLANS, SPECIFICATIONS AND OTHER APPLICABLE STANDARDS OR REGULATIONS.
- x. ALL CHANGES TO APPROVED DRAWINGS MUST BE RE-APPROVED BY THE CITY OF HUDSON PRIOR TO CONSTRUCTION.
- y. ALL PAVING MATERIAL WITHIN PUBLIC RIGHT-OF-WAY MUST BE PROVIDED BY O.D.O.T. CERTIFIED SUPPLIER. WRITTEN PROOF SHALL BE REQUIRED UPON DELIVERY OF MATERIALS.
- z. CONTRACTOR/OWNER SHALL PROVIDE ALL REQUIRED ROADWAY SIGNAGE AS PER O.D.O.T. MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

6. WATERWORK NOTES
- a. WATERLINE SHALL BE THE SIZE AND TYPE SHOWN ON PLANS. PIPE SHALL BE DUCTILE IRON AND 421.50/AWMA C150, CLASS 53, CEMENT-PLASTERED WITH "FUSH-O" TYPE JOINTS, VALVES, FITTINGS, AND HYDRANTS SHALL BE MECHANICAL JOINTS. HYDRANTS SHALL BE OF MAKE AND TYPE APPROVED BY THE CITY OF HUDSON. (6" MUELLER CENTURION). AT ALL FIRE HYDRANTS AND BENDS, USE FIELD INSTALLED JOINT RESTRAINTS NAMED WEDGE ACTION MEGALUG BY E.B.A.A. IRON, INC. AND CONCRETE THRUST BLOCKS. WATERLINES ARE TO BE A TYPICAL FIVE FEET BELOW PROPOSED GRADE, UNLESS OTHERWISE NOTED, AND ALL WATERLINES ARE TO MAINTAIN A MINIMUM VERTICAL CLEARANCE OF EIGHTEEN INCHES ABOVE OR BELOW ANY OTHER UTILITY LINES.
- b. PERMITS: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYMENT OF ALL PERMITS REQUIRED FOR THIS PROJECT.
- c. RESTORATION: CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ANY AND ALL AREAS ALONG THE ROUTE OF THE WATERLINE. THIS WILL INCLUDE LAWNS, DRIVES, DITCHES, CULVERTS, ETC.
- d. TRAFFIC CONTROL: CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND PROTECTING THE FLOW OF TRAFFIC AROUND THE JOB SITE. TRAFFIC CONTROL WILL BE COORDINATED WITH THE CITY OF HUDSON POLICE DEPARTMENT.
- e. DISRUPTION OF SERVICE: ABOVE AND UNDERGROUND SERVICES HAVE BEEN NOTED ON THE DRAWINGS. THE CONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR ANY SERVICES CUT DURING THE CONSTRUCTION OF THE WATERLINE WHETHER SHOWN OR NOT ON THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING THE SERVICE AS SOON AS POSSIBLE AT THE CONTRACTORS OWN EXPENSE.
- f. TESTING: ALL TESTING SHALL BE COORDINATED WITH THE CITY OF HUDSON INSPECTOR. AWMA C-600 PRESSURE TESTING AND C-851 DISINFECTION BY CHLORINATION OF THE WATERLINE WILL BE REQUIRED AND SHALL BE INCLUDED IN THE LUMP SUM CONTRACT.
- g. BACKFILL: FOR ALL PROPOSED TRENCHES LOCATED UNDER PROPOSED PAVEMENT, AND WHEN THE NEAREST EDGE OF THE PROPOSED TRENCH IS WITHIN THREE FEET OF AN EXISTING PAVEMENT, THEY SHALL BE FILLED AND COMPACTED WITH ODOT 304 CRUSHED LIMESTONE. THE METHOD OF BACKFILLING, AS DIRECTED BY THE ENGINEER, SHALL CONFORM TO SECTION STATE ITEM 603.08. BACKFILLING FOR TYPE "A" OR "B" CONDUIT AS SPECIFIED IN THE ODOT MATERIAL SPECIFICATIONS.
- h. UTILITIES PROTECTION: THE CONTRACTOR MUST CONTACT THE OHIO UTILITIES PROTECTION SERVICES, 1-800-362-2764, 48 HOURS BEFORE ANY UNDERGROUND WORK IS BEGUN.
- i. INSPECTION: FIELD STAKING AND RECORD DRAWINGS SHALL BE DONE BY THE CONTRACTOR. AS BUILT MYLARS AND DIGITAL FORMAT COMPATIBLE W/ THE CITY OF HUDSON STANDARDS TO BE GIVEN TO THE CITY OF HUDSON SEWER DIRECTOR WHEN PROJECT IS COMPLETED.
- j. ALL VALVES SHALL BE RESILIENT SEALED GATE VALVES PER AWMA STANDARDS.
7. ALL VALVES, FITTINGS, BENDS, TEES ETC. SHALL HAVE MEGALUG JOINT RESTRAINTS BY E.B.A.A. IRON INC. AND CONCRETE THRUST BLOCKS.
8. CONTRACTOR RESPONSIBLE FOR INSTALLATION OF GAS LINE FROM GAS METER/REGULATOR TO PROPOSED BUILDING.

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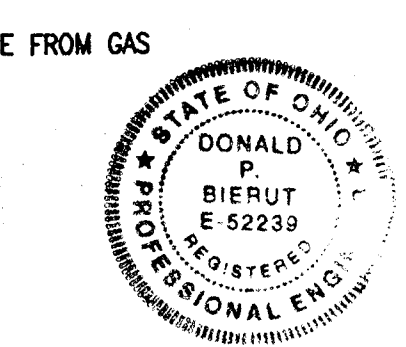
2775 South Moreland Blvd.
Shaker Square
Cleveland, Ohio 44120
Phone 216. 752. 8750
Fax 216. 752. 9437

NEW FACILITY FOR
HUDSON COMMUNITY CHAPEL
TEREX & 303
HUDSON, OH
UTILITY PLAN

CHAGRIN VALLEY ENGINEERING, LTD. 24550 AURORA ROAD, UNIT A CLEVELAND, OHIO 44146 PHONE (440) 432-1999 FAX (440) 432-1999		
Square Footage		
Issue / Revisions		
Date	Rev.	Item
07.16.98	REVISED	
08.06.98	REVISED	
08.12.98	REVISED	
08.31.98	REVISED	
09.28.98	REVISED	
10.14.98	REVISED	
10.21.98	ADD. NO. 3	
11.06.98		
11.18.98	REVISED	
11.18.98	REVISED	
File Name		
Drawn	Job No.	
BCW	97133	
Checked	Date	
	03.04.98	
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C4		

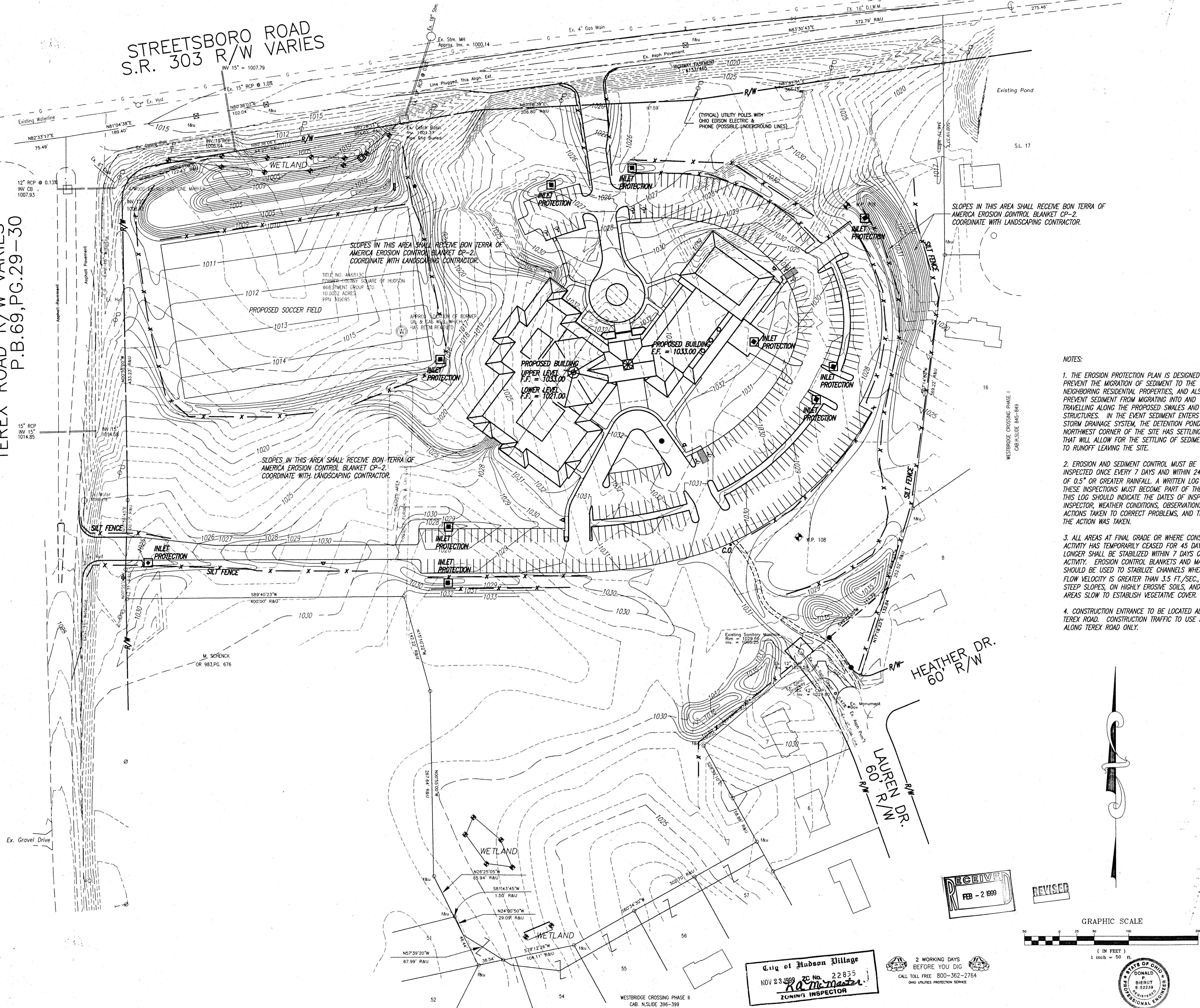
City of Hudson Ohio
NOV 23 1998
ZONING INSPECTOR

GRAPHIC SCALE
1 inch = 50 ft.



STREETSBORO ROAD
S.R. 303 R/W VARIES

TEREX ROAD R/W VARIES
P.B.69, PG.29-30





NOTES:

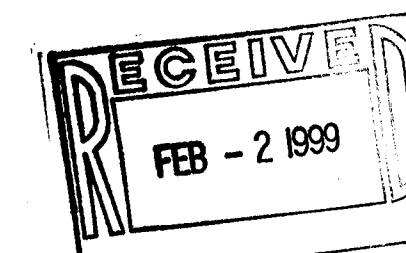
1. THE EROSION PROTECTION PLAN IS DESIGNED TO PREVENT THE MIGRATION OF SEDIMENT TO THE NEIGHBORING RESIDENTIAL PROPERTIES, AND ALSO TO PREVENT SEDIMENT FROM MIGRATING INTO AND TRAVELLING ALONG THE PROPOSED SWALES AND INLET STRUCTURES. IN THE EVENT SEDIMENT ENTERS THE STORM DRAINAGE SYSTEM, THE DETENTION POND AT THE NORTHWEST CORNER OF THE SITE HAS SETTLING POOLS THAT WILL ALLOW FOR THE SETTLING OF SEDIMENT PRIOR TO RUNOFF LEAVING THE SITE.
2. EROSION AND SEDIMENT CONTROL MUST BE INSPECTED ONCE EVERY 7 DAYS AND WITHIN 24 HOURS OF 0.5" OR GREATER RAINFALL. A WRITTEN LOG OF THESE INSPECTIONS MUST BECOME PART OF THE SWPPP. THIS LOG SHOULD INDICATE THE DATES OF INSPECTION, INSPECTOR, WEATHER CONDITIONS, OBSERVATIONS, ACTIONS TAKEN TO CORRECT PROBLEMS, AND THE DATE THE ACTION WAS TAKEN.
3. ALL AREAS AT FINAL GRADE OR WHERE CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED FOR 45 DAYS OR LONGER SHALL BE STABILIZED WITHIN 7 DAYS OF LAST ACTIVITY. EROSION CONTROL BLANKETS AND MATTING SHOULD BE USED TO STABILIZE CHANNELS WHERE THE FLOW VELOCITY IS GREATER THAN 3.5 FT./SEC., ON STEEP SLOPES, ON HIGHLY EROSION SOILS, AND ON AREAS SLOW TO ESTABLISH VEGETATIVE COVER.
4. CONSTRUCTION ENTRANCE TO BE LOCATED ALONG TEREX ROAD. CONSTRUCTION TRAFFIC TO USE ENTRANCE ALONG TEREX ROAD ONLY.

Bialosky Partners
Architects

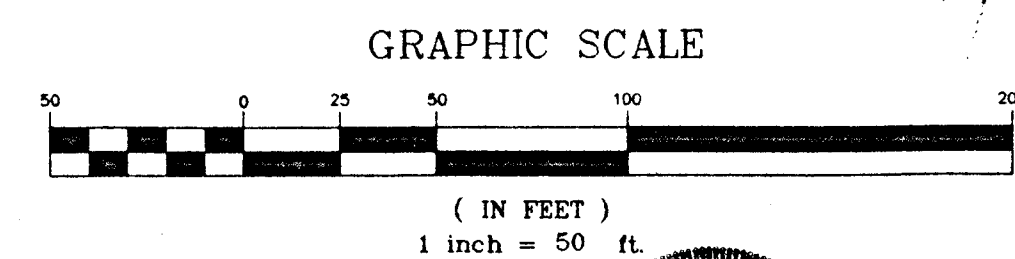
2775 South Moreland Blvd.
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Cleveland, Ohio 44120
Phone 216. 752. 8750
Fax 216. 752. 9437

NEW FACILITY FOR
HUDSON COMMUNITY CHAPEL
TEREX & 303
HUDSON, OH
EROSION PROTECTION PLAN

<div></div> <div>CHAGRIN VALLEY ENGINEERING, LTD. 24850 AURORA ROAD, UNIT A CLEVELAND, OHIO 44146 PH: (440) 439-1999 FAX: (440) 439-1999</div>		
Square Footage		
Issue / Revisions		
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08.31.98	REVISED	
09.28.98	REVISED	
10.14.98	REVISED	
10.21.98	REVISED	
	11.06.98	GRADING
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Drawn		Job No.
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<div><input type="checkbox"/> Design Development</div> <div><input type="checkbox"/> Progress %</div> <div><input type="checkbox"/> Bidding</div> <div><input type="checkbox"/> Permit</div> <div><input type="checkbox"/> Construction Documents</div> <div><input type="checkbox"/></div> <div><input type="checkbox"/></div>		
Drawing Number		
C5		



REVISED



City of Hudson Village
NOV 23 1999
Zoning Inspector

2 WORKING DAYS
BEFORE YOU DIG
CALL TOLL FREE 800-362-2764
OHIO UTILITIES PROTECTION SERVICE

