

Meeting Date:
October 12, 2020

Location:
25 Milford Drive

Parcel Number
3204164

Request:
Site Plan Application

Applicant:
Xin Wan, Wanix Architects

Property Owner:
Fantec Scientific LLC

Zoning:
D5-Village Core District

Case Manager:
Nick Sugar, City Planner

Staff Recommendation
Approval subject to conditions
on page four.

Contents

- Improvement Plans, 9-9-20
- Landscape Plan, 9-14-20
- Elevations, 9-8-20
- Asst. City Manager letter dated 10-2-20
- Fire Marshall Letter dated 9-24-20
- Site Photos, 9-29-20



Existing Conditions, Summit County GIS

Project Background:

The existing property is 1.16 acres in area and contains two existing commercial/office buildings. The proposed development includes a 4,800 sq. ft. commercial/office building serving three tenants. The building would be located at the northwest corner of the property, directly adjacent to Milford Drive. Other improvements include the consolidation of existing drive aprons and the realignment of the parking lot, which would serve all three buildings on the property.

Adjacent Development:

The site is adjacent to commercial development to the north, south and west. The site is adjacent to the Norfolk Southern rail line to the east.

District Standards (Section 1205)

Impervious Surface Acceptable: Property may not exceed 80% impervious coverage. The proposed development would result in 82.6% impervious coverage; however, staff notes this would be an overall reduction, as the site currently has 83.5% impervious coverage.

Sidewalks The LDC requires sidewalks/walkways along any building façade abutting a parking area. Staff notes eastern building façade would not be served by a walkway. Though there are no entrances along this façade, suggest an additional ramp/connection at the landscape island at the southeast corner of the proposed building to provide access for patrons who park in this area, directly behind the building.

Staff notes the proposed sidewalk along Milford Drive varies in setback from the street curb. Recommend repositioning the sidewalk closer to the building to provide a buffer from the street. This setback should be consistently applied for the entire span of rebuilt sidewalk.



Example Sidewalk/Tree Lawn Design

Use Standards (Section 1206)

Use The proposed office use is a permitted use by right in District 5.

Site Plan Standards (Section 1207)

Landscaping The LDC requires parking lots to have perimeter landscaping of a minimum width of 5 feet. Staff notes the proposed turnaround at the northernmost portion of the parking lot would have a setback of 1 foot.

Furthermore, the perimeter landscaped area must contain sufficient plant material that will achieve an effective, opaque screen of a height of at least three feet within two years of installation. Additional landscaping should be added along the northern property line to meet this requirement.

Staff recommends reducing the overall parking count to provide space for landscaping along this northern boundary.

Parking The three buildings located on the parcel would share parking. Staff notes the following parking spaces are proposed for the development.

25 and 35 Milford Road			
	Square Footage	Regulation (Office/Shopping Center)	Spaces Required
25 Milford Rd (Existing Bldg)	3589	One spaces per 250-400 sq. ft	9-15
25 Milford Rd (Proposed Bldg)	4800	One space per 250-400 sq. ft	12-19
33 Milford Rd (Existing Bldg)	4789	One spaces per 250-400 sq. ft	12-20
TOTAL Required		12,826	33-54
Total Proposed (on-site, no surrounding on-street)			59

- Exterior Lighting** An exterior lighting plan is required to verify compliance with the applicable standards of Section 1207.18(g).
- Architectural Design** The architectural design will be reviewed for compliance with the Architectural and Historic Board of Review. Staff notes the project received informal review on 9-23-20.

City Departments:

- Engineering** Assistant City Manager Thom Sheridan has submitted a review dated October 2, 2020. Mr. Sheridan is requesting a trip generation report to determine if a full traffic study is necessary.
- Fire Department** Fire Marshal Shawn Kasson has submitted a review dated September 24, 2020 and is acceptable with the proposal with the condition a Knox Box be furnished and installed in an approved location.

Findings:

The staff finds that the application is in substantial compliance with the use, zoning development site plan, and other governmental regulations, and land disturbance and grading review contained in Section 1204.04.

Required PC Action

The PC shall consider the development application, the staff report, and then take final action. PC shall approve, approve with conditions, or deny the application based on its compliance with the appropriate review standards. All decisions of the Commission shall be based on findings of fact related to the relevant standards of the Code.

Hudson Planning Commission	SITE PLAN REVIEW
Case No. 2020-817	October 12, 2020

Recommendation

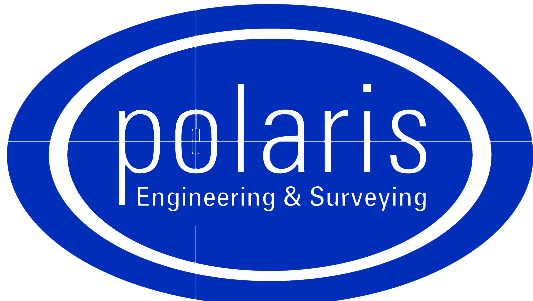
Approve the application for the proposed commercial/office building of 4,800 sq ft and associated site improvements at 25 Milford Drive per Case 2020-817, according to plans received September 9, 2020 subject to the following conditions:

1. Incorporate an additional pedestrian access point be incorporated to serve the rear parking area, within the landscape island at the southeast corner of the proposed building.
2. Revise the sidewalk design along Milford Drive to be located closer to the proposed building and provide separation from the street.
3. Revise the site and landscape plan to provide a five-foot setback to the north property line and incorporation of perimeter landscaping.
4. Submit an exterior lighting plan with photometrics and cut sheets within compliance of the applicable standards of Section 1207.14.
5. The comments of Fire Marshal Shawn Kasson shall be addressed per the September 24, 2020 correspondence.
6. The comments of the Engineering Department review must be addressed per the October 2, 2020 correspondence.

IMPROVEMENT PLANS FOR 25-33 MILFORD DRIVE

CITY OF HUDSON - SUMMIT COUNTY - OHIO
SEPTEMBER, 2020

DESIGNED BY:

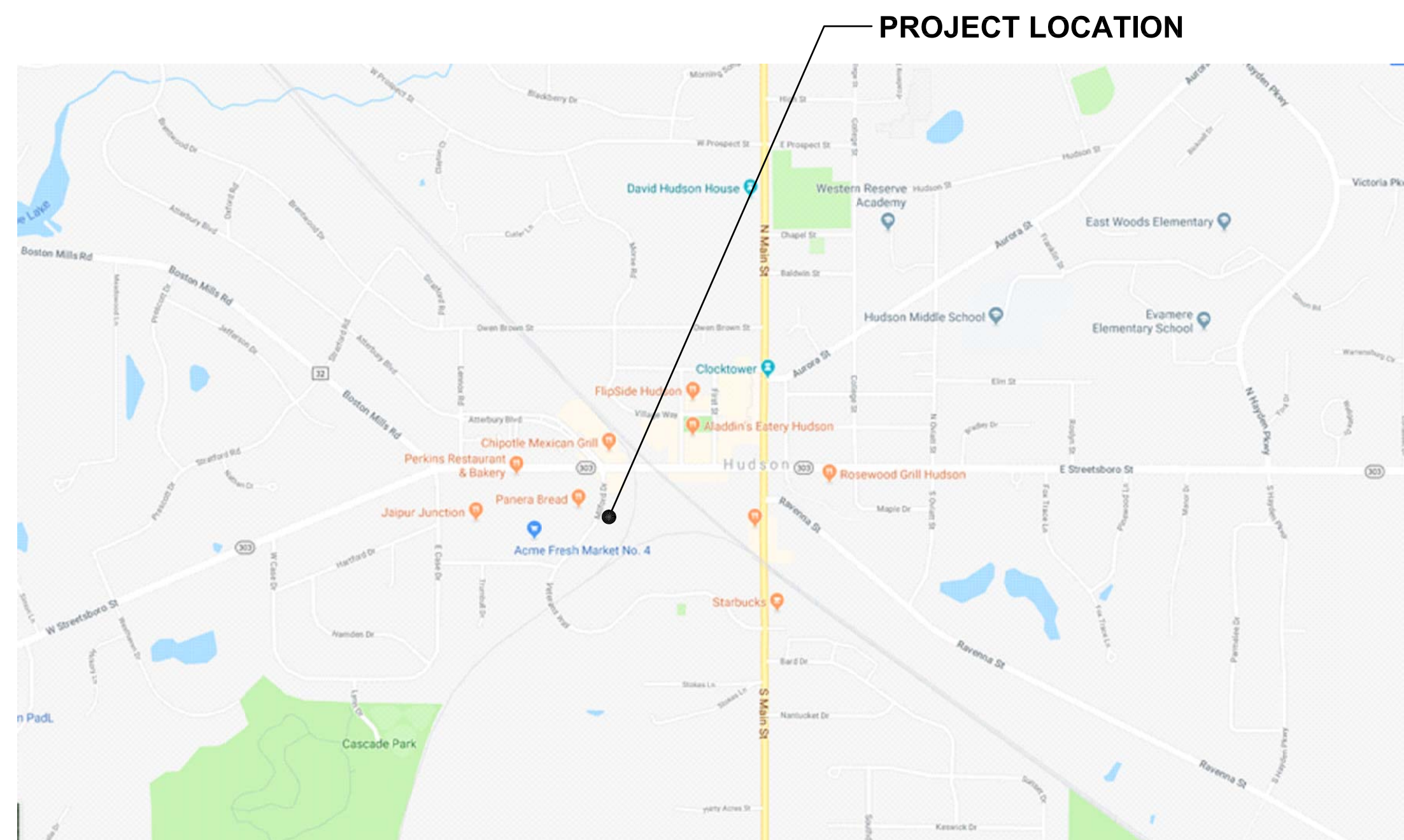
	<p>POLARIS ENGINEERING & SURVEYING, INC. 34600 CHARDON ROAD - SUITE D WILLOUGHBY HILLS, OHIO 44094 (440) 944-4433 (440) 944-3722 (Fax) www.polaris-es.com</p>
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DEVELOPED BY:

WANIX ARCHITECTS
4208 PROSPECT AVENUE
CLEVELAND, OHIO 44103
PHONE: (440) 570-9829
CONTACT: XIN WAN

DRAWING INDEX

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VICINITY MAP
N.T.S.

TITLE SHEET

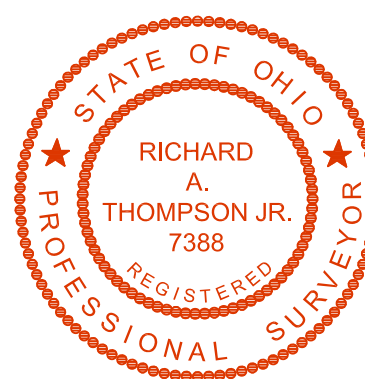
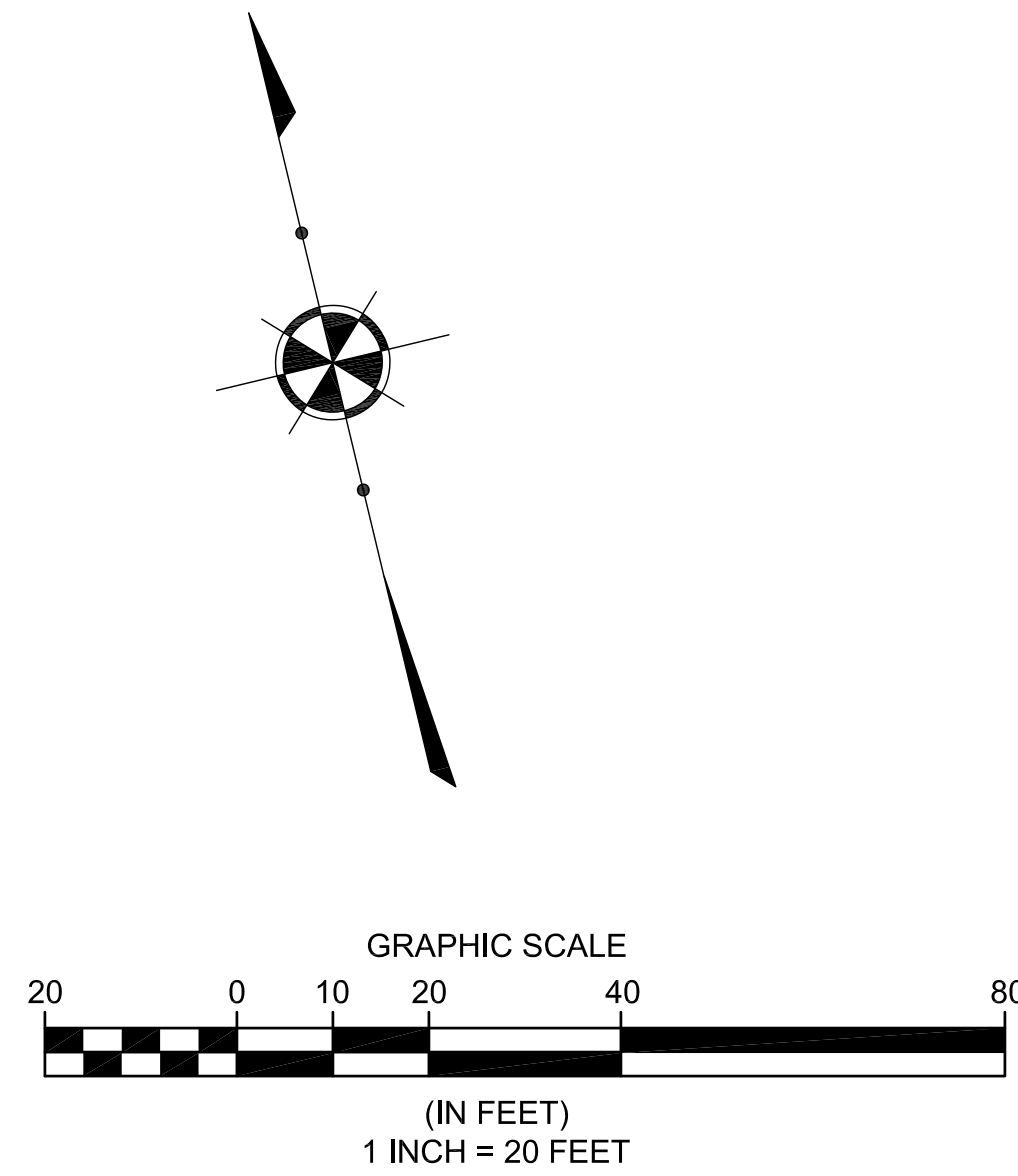
CONTRACT No.

18290

SHEET	OF
01	08

DUSTIN R. KEENEY P.E. # 65515

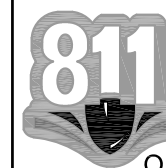
SYMBOL LEGEND			
⊙	Ex. Clean Out	—	Guy Wire
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■	Prop. Catch Basin	—	Light Power Pole
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⊗	Water Meter	—	Power Transformer
⊗	Ex. Fire Hydrant	—	Sprinkler Control Box
⊗	Prop. Hydrant	—	Sprinkler Head
⊗	Well	—	Sign
⊗	Gas Valve	—	Test Bore
⊗	Gas Meter	—	Guard Post
		—	Stump
		—	Mailbox



TOPOGRAPHIC CERTIFICATION:

I, THE UNDERSIGNED, HEREBY CERTIFY THAT THIS TOPOGRAPHY, INDICATED BY 1' CONTOURS, AND ELEVATIONS SHOWN HEREON, REPRESENT AN ACTUAL FIELD SURVEY MADE UNDER MY SUPERVISION ON THE 28TH DAY OF DECEMBER, 2018, AND THAT THE ELEVATIONS WERE TAKEN AT APPROPRIATE INTERVALS AND THAT AS OF THAT DATE THEY EXISTED AS INDICATED HEREON. VERTICAL DATUM IS BASED ON NAVD88.

Richard A. Thompson, Jr.
RICHARD A. THOMPSON, JR., P.S. #7388

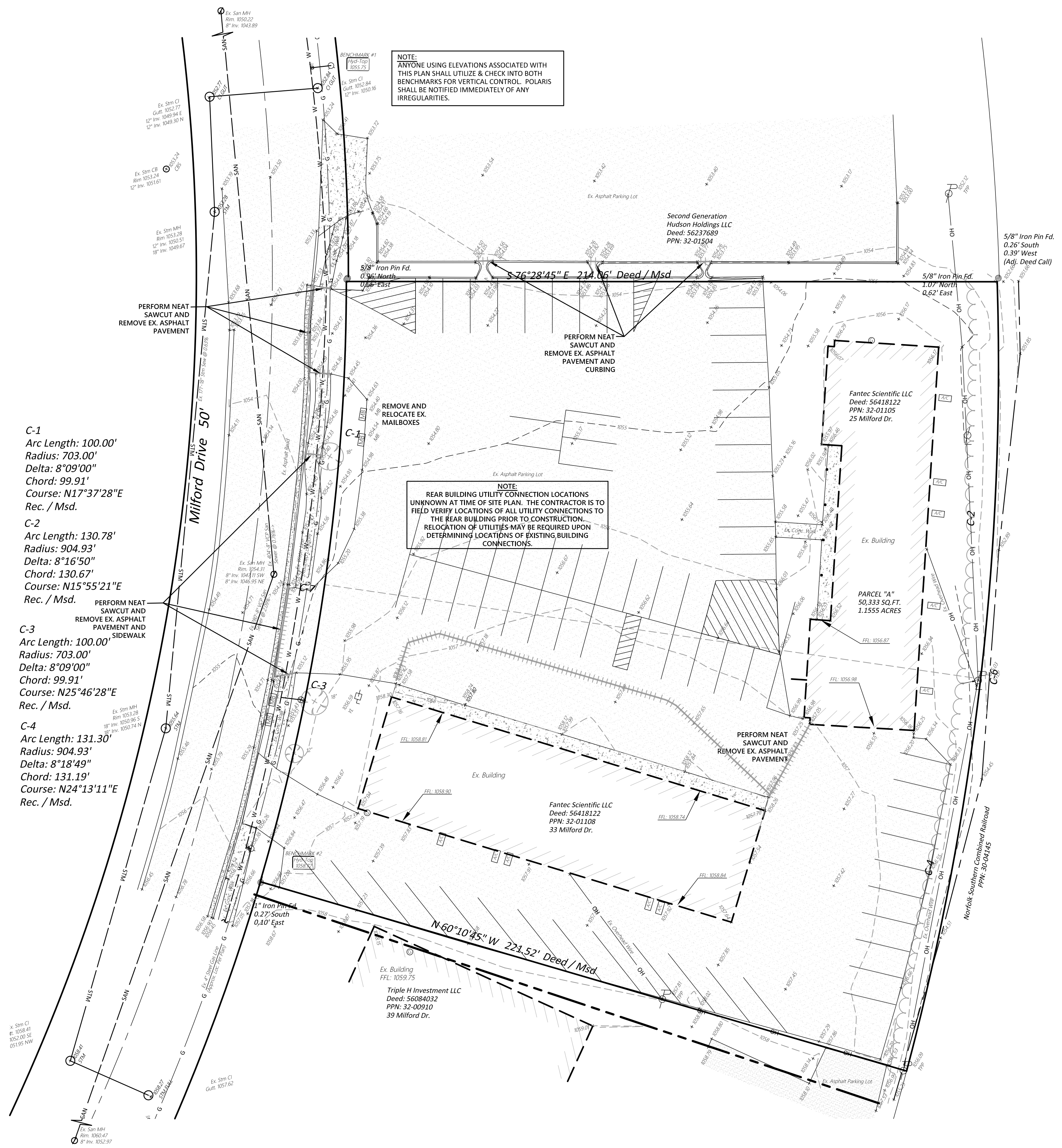


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A-835-102-413

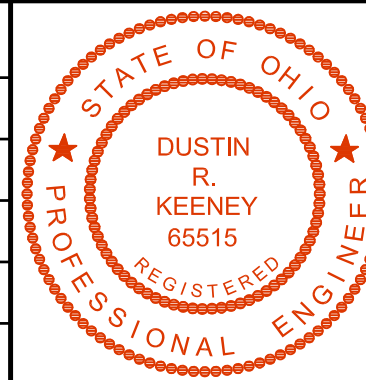
2 WORKING DAYS BEFORE YOU DIG CALL 8-1-1
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EXISTING UNDERGROUND UTILITIES NOTE:
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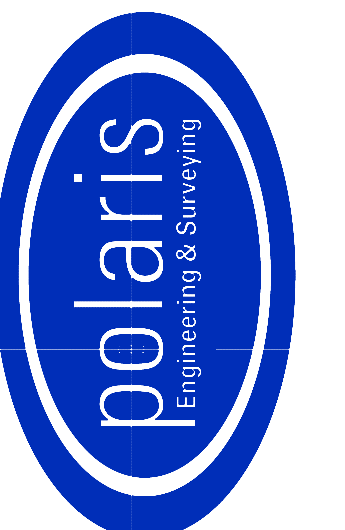
REV. No.	DATE	BY



DATE: 9/9/20
SCALE: HOR. 1"=20'
VERT. N/A
FOLDER: DWG/Site Plan
FILENAME: Site Plan
TAB: 01-Ex Conditions
DRAWN: JCK

25-33 MILFORD DRIVE
CITY OF HUDSON - SUMMIT COUNTY - OHIO

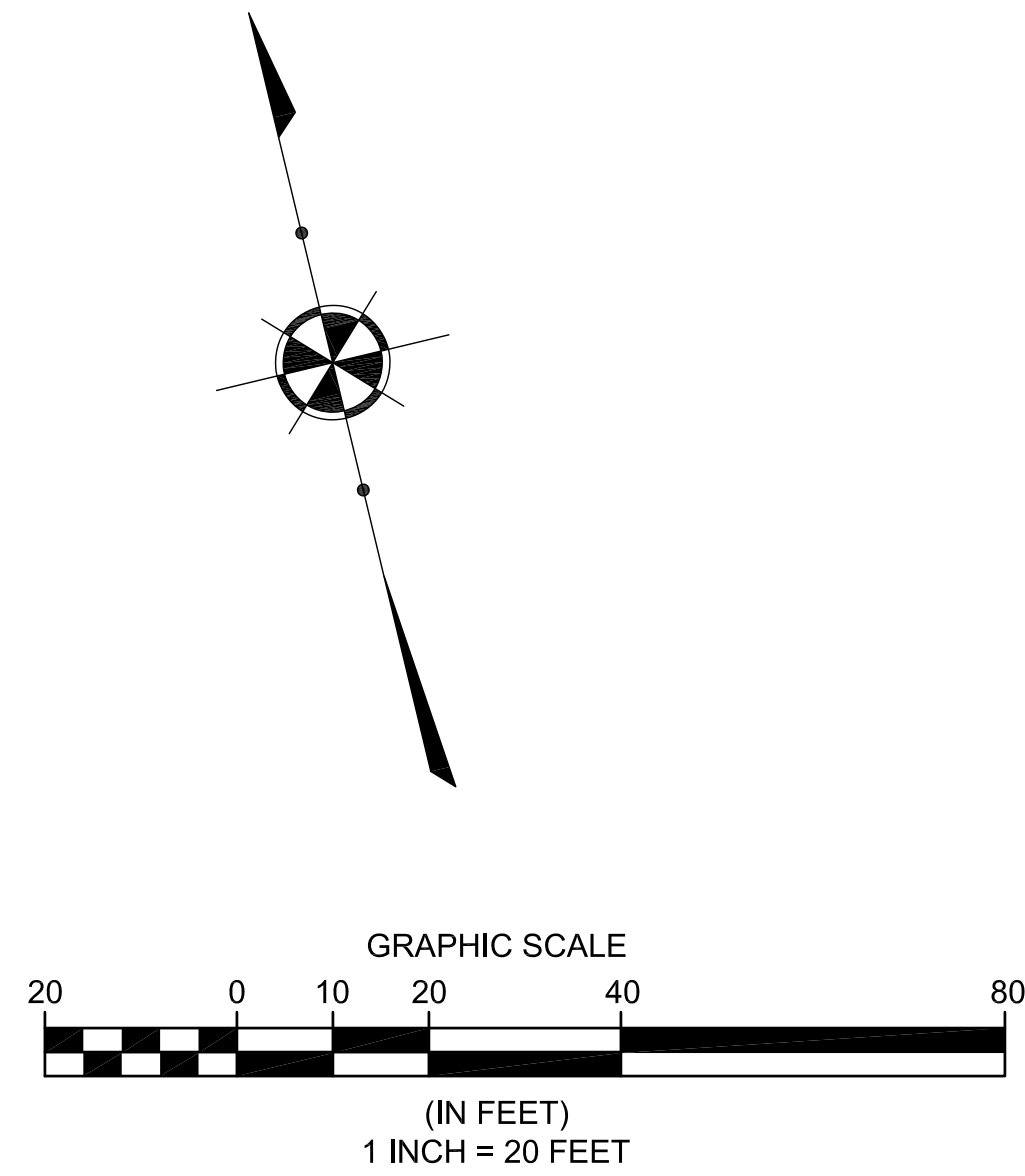
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EXISTING CONDITIONS

CONTRACT No.	
18290	
SHEET	OF
02	08

SYMBOL LEGEND			
⊙	Ex. Clean Out	—	Guy Wire
■	Ex. Catch Basin	—	Power Pole
■	Prop. Catch Basin	—	Light Power Pole
■	Ex. Curb Inlet	—	Light Pole
■	Prop. Curb Inlet	—	Traffic Signal Pole
○	Ex. Yard Drain	—	Traffic Signal Box
○	Ex. Manhole	—	Cable TV Box
○	Ex. Sanitary Manhole	—	Electrical Box
○	Prop. Sanitary Manhole	—	Telephone (SAC) Box
○	Ex. Storm Manhole	—	Tree
○	Prop. Storm Manhole	—	Pine Tree
○	Storm Inlet MH	—	Bush
⊗	Ex. Water Valve	—	Yard Light
⊗	Prop. WL Valve	—	Gasline Marker
⊗	Water Meter	—	Power Transformer
⊗	Ex. Fire Hydrant	—	Sprinkler Control Box
⊗	Prop. Hydrant	—	Sprinkler Head
⊗	Well	—	Sign
⊗	Gas Valve	—	Test Bore
⊗	Gas Meter	—	Guard Post
		—	Stump
		—	Mallbox



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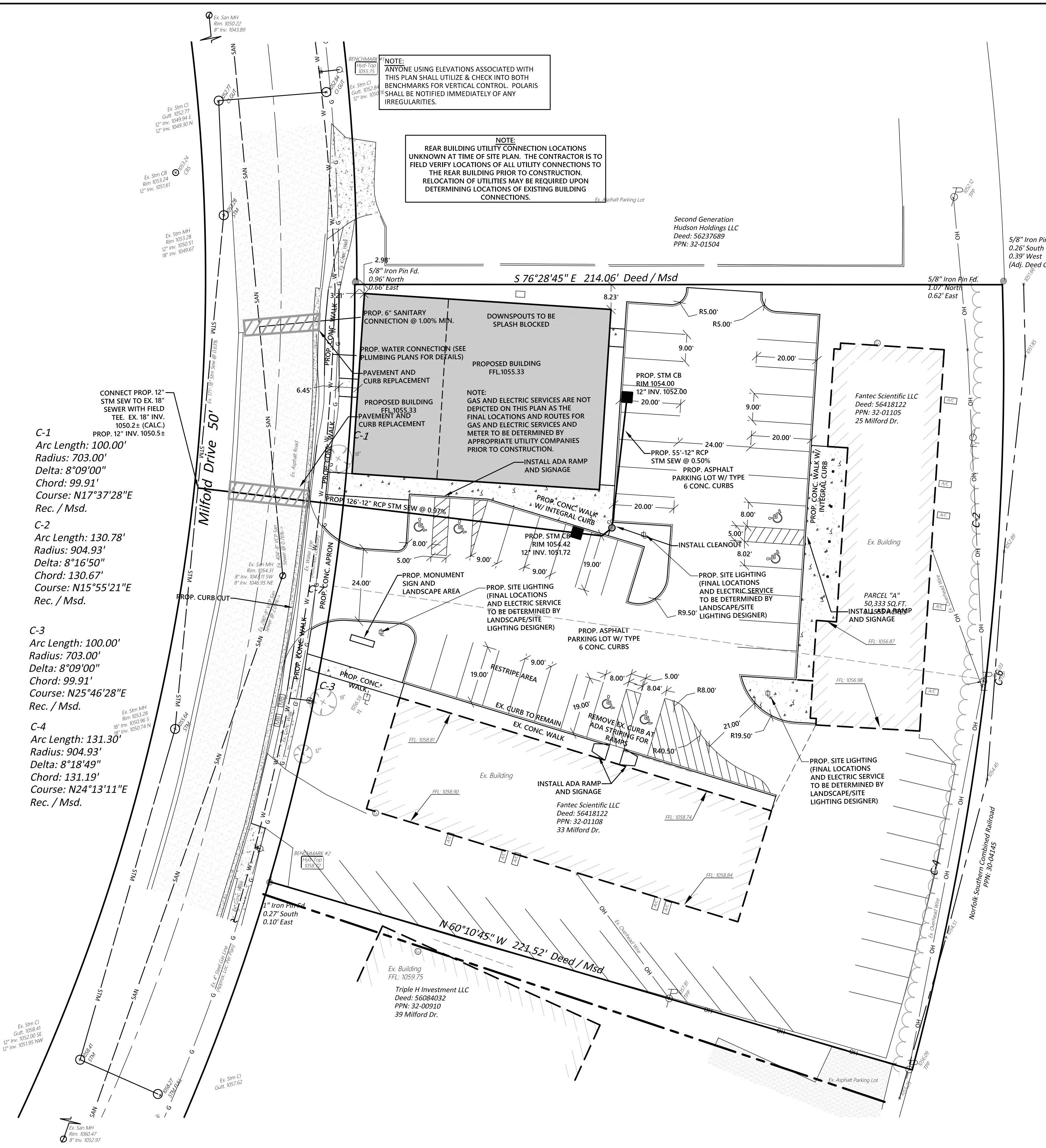
CONNECT PROP. 12" STM SEW TO EX. 18" SEWER WITH FIELD TEE. EX. 18" INV. 1050.2± (CALC.)
PROP. 12" INV. 1050.5±

C-1
Arc Length: 100.00'
Radius: 703.00'
Delta: 8°09'00"
Chord: 99.91'
Course: N17°37'28"E
Rec. / Msd.

C-2
Arc Length: 130.78'
Radius: 904.93'
Delta: 8°16'50"
Chord: 130.67'
Course: N15°55'21"E
Rec. / Msd.

C-3
Arc Length: 100.00'
Radius: 703.00'
Delta: 8°09'00"
Chord: 99.91'
Course: N25°46'28"E
Rec. / Msd.

C-4
Arc Length: 131.30'
Radius: 904.93'
Delta: 8°18'49"
Chord: 131.19'
Course: N24°13'11"E
Rec. / Msd.



NOTE:
ANYONE USING ELEVATIONS ASSOCIATED WITH THIS PLAN SHALL UTILIZE & CHECK INTO BOTH BENCHMARKS FOR VERTICAL CONTROL. POLARIS SHALL BE NOTIFIED IMMEDIATELY OF ANY IRREGULARITIES.

NOTE:
REAR BUILDING UTILITY CONNECTION LOCATIONS UNKNOWN AT TIME OF SITE PLAN. THE CONTRACTOR IS TO FIELD VERIFY LOCATIONS OF ALL UTILITY CONNECTIONS TO THE REAR BUILDING PRIOR TO CONSTRUCTION. RELOCATION OF UTILITIES MAY BE REQUIRED UPON DETERMINING LOCATIONS OF EXISTING BUILDING CONNECTIONS.

REV. No.	DATE	BY



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25-33 MILFORD DRIVE
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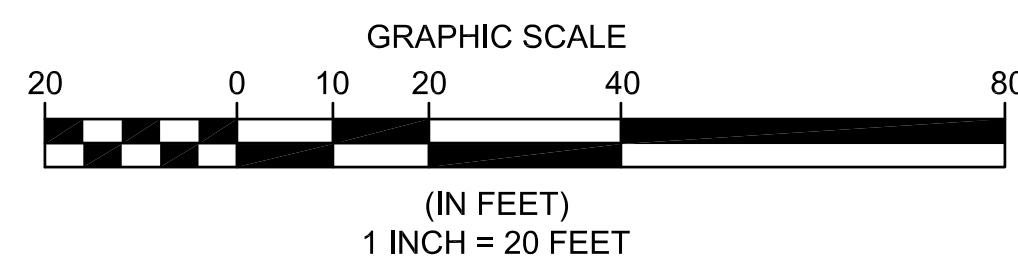
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Engineering & Surveying

LAYOUT & UTILITY PLAN

CONTRACT No. **18290**

SHEET **03** OF **08**

SYMBOL LEGEND			
⊙	Ex. Clean Out	—	Guy Wire
■	Ex. Catch Basin	—	Power Pole
■	Prop. Catch Basin	—	Light Power Pole
■	Ex. Curb Inlet	—	Light Pole
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⊗	Ex. Fire Hydrant	—	SCB Sprinkler Control Box
⊗	Prop. Hydrant	—	SH Sprinkler Head
⊗	Well	—	T Sign
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⊗	Gas Meter	—	Guard Post
		—	Stump
		—	M Mailbox

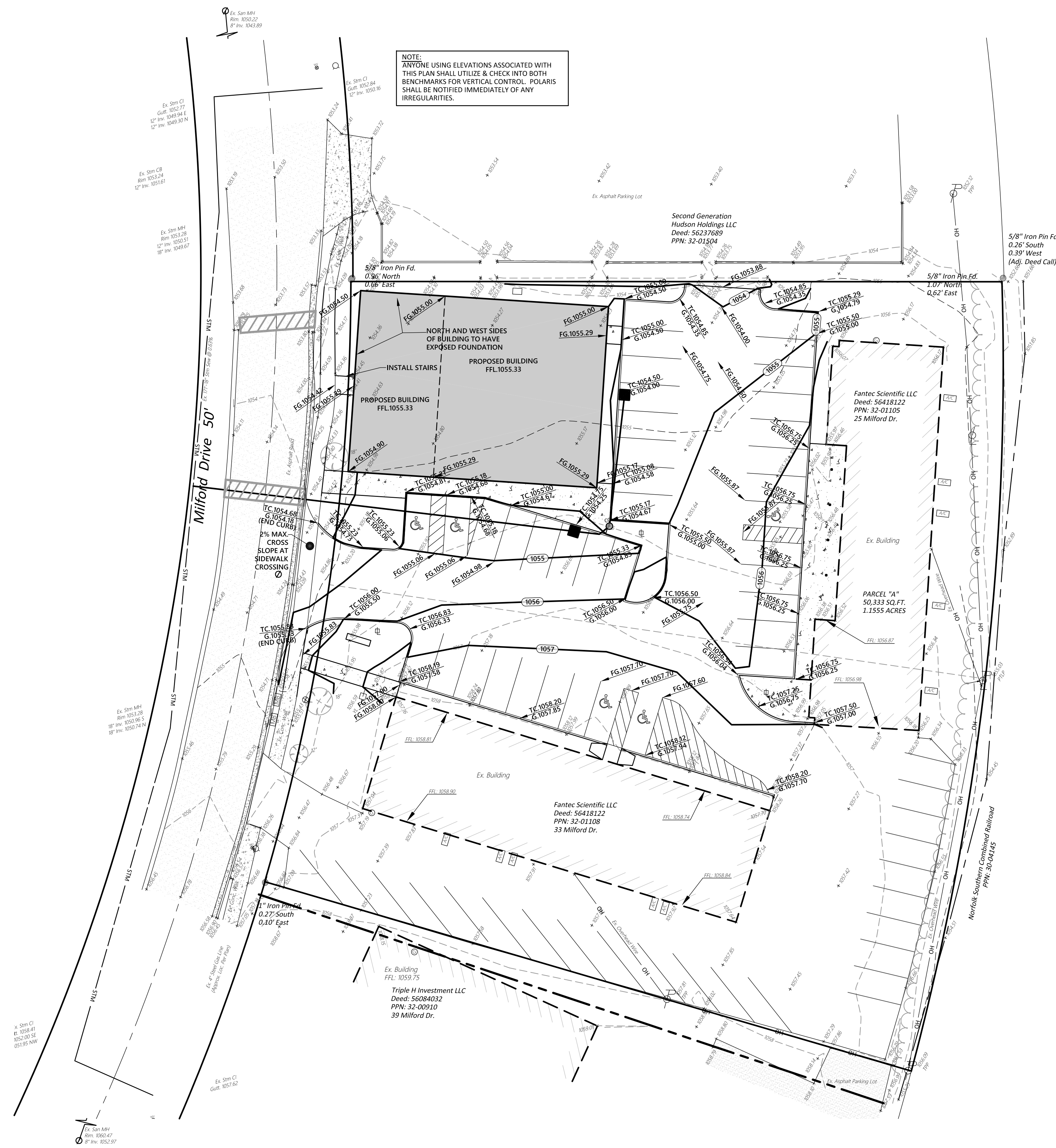


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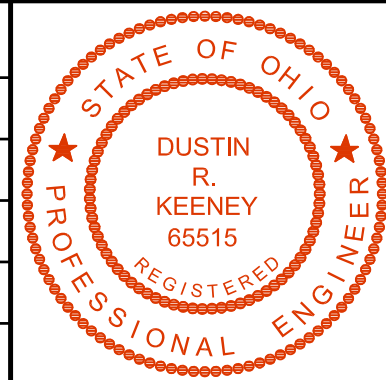
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DRAWN: JCK

25-33 MILFORD DRIVE
CITY OF HUDSON - SUMMIT COUNTY - OHIO

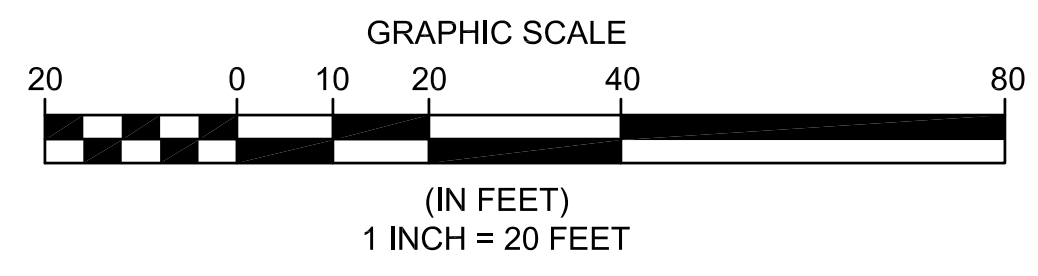
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GRADING PLAN

CONTRACT No.	
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SHEET	OF
04	08

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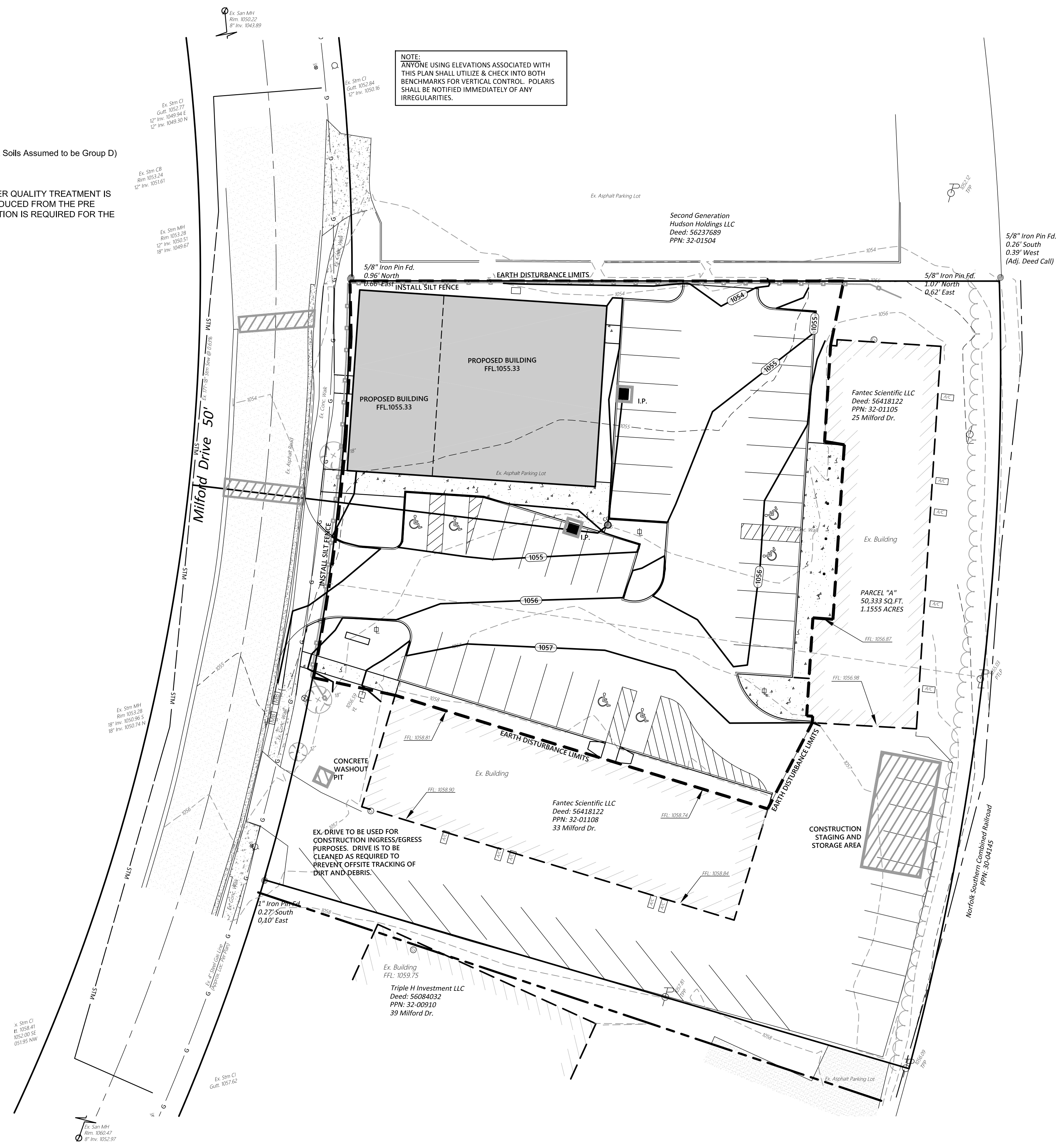


SWP3 Site Description

Previous Land Use: Commercial
 Development Type: Commercial
 Total Site Acreage: 1.15 Ac.
 Total Site Disturbance: 0.57 Ac.
 Pre-Developed Impervious Area: 0.96 Ac. (83.5%)
 Pre-Developed Pervious Area: 0.19 Ac. (16.5%)
 Pre-Developed Curve Number: 95.0
 Post Developed Impervious Area: 0.95 Ac. (82.6%)
 Post Developed Pervious Area: 0.20 Ac. (17.4%)
 Post Developed Curve Number: 94.9
 Predominant Soil(s) & Hydraulic Group(s): GROUP D (Redevelopment Soils Assumed to be Group D)
 First Receiving Water Body: City MS4

STORM WATER RATIONALE
 WITH THE SITE BEING UNDER 1 ACRE OF DISTURBANCE NO WATER QUALITY TREATMENT IS REQUIRED FOR THE SITE RUNOFF. THE IMPERVIOUS AREA IS REDUCED FROM THE PRE DEVELOPMENT CONDITION AND THUS NO STORM WATER DETENTION IS REQUIRED FOR THE PROJECT.

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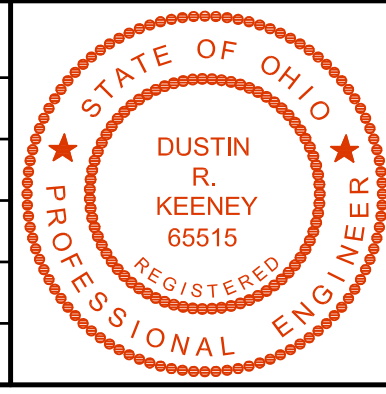


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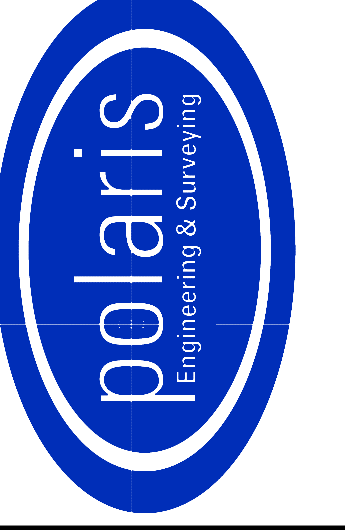
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SWP3 PLAN

CONTRACT No.	
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SHEET	OF
05	08

CITY OF HUDSON GENERAL CONSTRUCTION NOTES

- CONSTRUCTION OF THE SITE WORK AND UTILITIES SHALL BE GOVERNED BY THE CITY OF HUDSON'S "ENGINEERING STANDARDS FOR INFRASTRUCTURE CONSTRUCTION", LATEST EDITION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS REQUIRED FOR THE PROJECT.
- THE CONTRACTOR MUST ALERT THE OHIO UTILITY PROTECTION SERVICES AT 1-800-362-2764 AT LEAST 48 HOURS BEFORE ANY EXCAVATION IS TO BEGIN.
- ALL EXISTING APPURTENANCES (UTILITY POLES, VALVES, HYDRANTS, MANHOLES, ETC.) ARE TO BE MAINTAINED BY THE CONTRACTOR UNLESS OTHERWISE SHOWN ON THE PLANS.
- THE DESIGN ENGINEER CERTIFIES THAT ALL UTILITIES ARE SHOWN AS THEY APPEAR ON EXISTING RECORDS OR FIELD LOCATED.
- ALL KNOWN ABOVE AND UNDERGROUND SERVICES HAVE BEEN NOTED ON THE DRAWINGS. THE CONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR ANY SERVICES DAMAGED DURING THE CONSTRUCTION OF THE PROJECT WHETHER SHOWN OR NOT ON THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING THE SERVICE AS SOON AS POSSIBLE AT THE CONTRACTOR'S OWN EXPENSE.
- VIDEO TAPING OF PROJECT SHALL BE DELIVERED AND ACCEPTED BY THE CITY OF HUDSON ENGINEERING DEPARTMENT A MINIMUM OF 14 CALENDAR DAYS PRIOR TO START OF CONSTRUCTION ACTIVITIES.
- NOTIFY THE CITY OF HUDSON ENGINEERING DEPARTMENT A MINIMUM OF FORTYEIGHT HOURS (2 WORKING DAYS) PRIOR TO THE START OF CONSTRUCTION.
- A PRECONSTRUCTION MEETING SHALL BE SCHEDULED A MINIMUM OF 48 HOURS (2 WORKING DAYS) AFTER SUBMISSION OF A MINIMUM OF 6 APPROVED SETS OF PLANS AND ALL SHOP DRAWINGS APPLICABLE TO THE PROPOSED IMPROVEMENTS. A PRECONSTRUCTION MEETING MUST BE HELD PRIOR TO START OF ANY CONSTRUCTION.
- THE LIMITS OF CLEARING AND GRADING SHALL BE FIELD STAKED AND LINED WITH ORANGE CONSTRUCTION FENCING 48 HOURS (2 WORKING DAYS) PRIOR TO THE PRECONSTRUCTION MEETING. AREAS BEYOND THE LIMITS OF CLEARING AND GRADING SHALL NOT BE DISTURBED INCLUDING THE STOCKPILE OF ANY MATERIALS OR CONSTRUCTION TRAFFIC.
- ALL ROAD SURFACES, EASEMENTS, OR RIGHT-OF-WAY DISTURBED BY THE CONSTRUCTION OF ANY PART OF THESE IMPROVEMENTS ARE TO BE RESTORED ACCORDING TO THE CITY OF HUDSON "ENGINEERING STANDARDS FOR INFRASTRUCTURE CONSTRUCTION" AS DIRECTED BY THE CITY OF HUDSON AND/OR ITS ENGINEER.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE CITY OF HUDSON OR ITS REPRESENTATIVE IF SUSPECTED HAZARDOUS MATERIAL OR ANY OTHER MATERIAL THAT MAY CREATE A HEALTH RISK IS DISCOVERED ON SITE.
- ALL DISTURBED STORM SEWERS AND/OR APPURTENANCES, SIGNS, GUARD RAILING, MAIL AND/OR PAPER BOXES, DRIVE CULVERTS, FENCES, TREES, LANDSCAPING, OR OTHER ITEMS DISTURBED BY THE CONSTRUCTION SHALL BE RESTORED OR REPAIRED TO AT LEAST THE BEFORE-CONSTRUCTION CONDITION.
- ANY DEFECTS DISCOVERED IN NEW CONSTRUCTION, WORKMANSHIP, EQUIPMENT OR MATERIALS SHALL BE REPAIRED, OR CORRECTED BY APPROVED METHODS AS DIRECTED BY THE CITY OF HUDSON.
- NUCLEAR COMPACTION TESTING SHALL BE REQUIRED FOR ALL FILL AREAS OVER TWO FEET (2') IN DEPTH, AT 6" LIFTS PER ASTM A-1557, 95% MODIFIED.
- APPROVAL BY THE CITY OF HUDSON ENGINEER CONSTITUTES NEITHER EXPRESSED NOR IMPLIED WARRANTIES AS TO THE FITNESS, ACCURACY, OR SUFFICIENCY OF PLANS, DESIGNS OR SPECIFICATIONS.
- DURING TAPPING OF EXISTING UTILITIES, ANY TRAFFIC CONTROL REQUESTED OR REQUIRED BY THE CITY OF HUDSON WILL BE PROVIDED BY THE CONTRACTOR AT NO COST TO THE CITY.
- COMPLIANCE WITH THE OCCUPATIONAL AND SAFETY ACT OF 1970 IS REQUIRED BY ALL CONTRACTORS ON THIS PROJECT.
- ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED.
- ALL DISTURBED AREAS SHALL RECEIVE 4" OF TOPSOIL AND BE SEEDED AND MULCHED AS PER SECTION 9 - LANDSCAPING AND STREET TREES OF THE CITY'S "ENGINEERING STANDARDS FOR INFRASTRUCTURE CONSTRUCTION", LATEST EDITION.
- IF MUD, SOIL, OR OTHER DEBRIS IS DEPOSITED ON ADJACENT STREETS, ROADS, OR OTHER PROPERTY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF SUCH AS DIRECTED BY THE CITY OF HUDSON OR ITS ENGINEER AT THE END OF EACH WORK DAY, OR AS REQUIRED DURING THE WORK DAY.
- ALL PROPOSED SLOPES 3:1 OR STEEPER AND ALL EARTHEN DRAINAGE WAYS SHALL RECEIVE JUTE OR EXCELSIOR MATTING AS PER ODOT 667 OR 668.
- ALL STORM SEWERS WITHIN PUBLIC RIGHTS-OF-WAY AND CITY OF HUDSON EASEMENTS SHALL BE PER SECTION 4 - STORM COLLECTION OF THE CITY'S "ENGINEERING STANDARDS FOR INFRASTRUCTURE CONSTRUCTION", LATEST EDITION.
- ALL PIPES SHALL BE PLACED OVER 4" OF BEDDING. BEDDING MATERIAL SHALL BE AS SPECIFIED IN CITY'S "ENGINEERING STANDARDS FOR INFRASTRUCTURE CONSTRUCTION", LATEST EDITION, FOR THE TYPE OF PIPE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND PROTECTING THE FLOW OF VEHICULAR AND PEDESTRIAN TRAFFIC AROUND THE JOB SITE. TRAFFIC CONTROL SHALL BE COORDINATED WITH THE CITY OF HUDSON POLICE DEPARTMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING PLANT TICKETS FOR ALL MATERIALS DELIVERED TO THE SITE. PLANT TICKETS MUST SHOW NET QUANTITY OF DELIVERED MATERIAL. MATERIAL DELIVERED OR PLACED WITHOUT PLANT TICKETS SHALL BE REMOVED AND PROPERLY DISPOSED AT THE EXPENSE OF THE CONTRACTOR.
- ALL DELIVERED MATERIALS SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF HUDSON OR OTHER APPLICABLE AGENCIES, THE CITY OF HUDSON, OR ITS REPRESENTATIVE. RESERVES THE RIGHT TO REJECT ANY DELIVERED MATERIAL WHICH DOES NOT CONFORM TO THE APPLICABLE STANDARDS AND SPECIFICATIONS.

- THE CITY OF HUDSON OR ITS REPRESENTATIVE, RESERVES, THE RIGHT TO HALT ALL CONSTRUCTION ACTIVITY FOR NONCONFORMANCE OF PLANS, SPECIFICATIONS AND OTHER APPLICABLE STANDARDS OR REGULATIONS.
- ALL CHANGES TO APPROVED DRAWINGS AND/OR SPECIFICATIONS MUST BE REAPPROVED BY THE CITY OF HUDSON PRIOR TO CONSTRUCTION.
- ALL PAVING MATERIAL MUST BE PROVIDED BY ODOT CERTIFIED SUPPLIER. WRITTEN PROOF SHALL BE REQUIRED UPON DELIVERY OF MATERIALS. THE CERTIFIED MIX DESIGN MUST BE SUBMITTED TO, AND APPROVED BY, THE CITY OF HUDSON PRIOR TO SCHEDULING A PRECONSTRUCTION MEETING.
- CONTRACTOR/DEVELOPER SHALL PROVIDE ALL REQUIRED ROADWAY SIGNAGE AS PER ODOT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES INCLUDING STREET IDENTIFICATION SIGNAGE PER CITY STANDARDS FOR ALL ASPECTS OF THE IMPROVEMENT.
- ALL BONDS AND OR LETTERS OF CREDIT SHALL NOT BE RELEASED OR REDUCED AND NO WATER OR SANITARY SEWER CUSTOMERS CAN BE CONNECTED UNTIL ALL RECORD DRAWINGS HAVE BEEN SUBMITTED, REVIEWED AND APPROVED BY THE CITY OF HUDSON.
- ALL WORK, EXCEPT SIDEWALKS, STREET TREES AND STREET LIGHTS, AS PART OF THESE PLANS SHALL BE COMPLETED, INCLUDING PUNCH LIST ITEMS AND DEFICIENCY WORK WITHIN 1 YEAR OF THE DATE OF APPROVAL BY THE CITY ENGINEER. SIDEWALKS, STREET TREES AND STREET LIGHTS SHALL BE COMPLETED WITHIN TWO YEARS OF THE DATE OF APPROVAL BY THE CITY ENGINEER.
- FAILURE TO COMPLETE THE PROJECT IN ITS ENTIRETY AS APPROVED BY THE PLANNING COMMISSION, INCLUDING PUNCH LIST ITEMS, WILL RESULT IN THE CITY OF HUDSON HOLDING ALL FUTURE ZONING CERTIFICATES UNTIL ALL WORK HAS BEEN COMPLETED AND APPROVED.
- MANUFACTURERS OR SUPPLIERS AFFIDAVIT FOR ALL CONSTRUCTION MATERIALS SHALL BE PROVIDED AS PER THE CITY'S "ENGINEERING STANDARDS FOR INFRASTRUCTURE CONSTRUCTION", LATEST EDITION PRIOR TO THE START OF CONSTRUCTION.
- THE CONSTRUCTION OF SANITARY SEWERS, WATER MAINS, LIFT STATIONS AND APPURTENANCES IS PROHIBITED UNTIL ALL PLANS HAVE BEEN APPROVED BY THE OHIO ENVIRONMENTAL PROTECTION AGENCY.
- ALL SANITARY SEWERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF HUDSON "ENGINEERING STANDARDS FOR INFRASTRUCTURE CONSTRUCTION", LATEST EDITION.
- ALL SANITARY SEWERS CONSTRUCTED IN SUMMIT COUNTY DEPARTMENT OF ENVIRONMENTAL SERVICES (SC-DOES) SERVICE DISTRICTS AND SERVED BY SC-DOES SHALL COMPLY WITH SC-DOES REQUIREMENTS.
- SHOP DRAWINGS FOR THE PROPOSED LIGHT FIXTURES SHALL BE ATTACHED TO THE APPROVED LIGHTING PLAN AND SUBMITTED WITH THE SIX SETS OF PLANS AS REQUIRED IN NOTE 8. THE LIGHT FIXTURES SHALL HAVE A RECESSED LAMP, FLAT LENSES AND OPTIONAL HOUSE SHIELDING AVAILABLE. THE CITY MAY REQUIRE HOUSE SHIELDS TO BE ADDED AND OTHER MODIFICATIONS AFTER CONSTRUCTION AT THE EXPENSE OF THE CONTRACTOR.
- THE OWNER SHALL SUBMIT A NOTICE OF INTENT (N.O.I.) APPLICATION TO THE OHIO ENVIRONMENTAL PROTECTION AGENCY (E.P.A.) AND OBTAIN AUTHORIZATION FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (N.P.D.E.S.) OR THE LATEST FEDERAL, STATE AND/OR LOCAL REGULATIONS. THE OWNER SHALL SUBMIT A COPY OF THE N.P.D.E.S. PERMIT TO THE CITY OF HUDSON 48 HOURS (2 WORKING DAYS) PRIOR TO SCHEDULING A PRECONSTRUCTION MEETING.

SEEDING AND MULCHING NOTES

SEEDING AND MULCHING SHALL BE ACCOMPLISHED BY SEEDING AND MULCHING IMMEDIATELY UPON COMPLETION OF EXCAVATION OF FILL AND FINISHED GRADING IN ACCORDANCE W/ ITEM NO. 659 ODOT CONSTRUCTION AND MATERIAL SPECIFICATIONS OR AS DIRECTED BY THE ENGINEER.

THE FOLLOWING MIXTURE SHALL BE USED FOR SEEDING IN ACCORDANCE W/ ODOT ITEM 659.

KENTUCKY BLUE GRASS	40%	
CREeping RED FESCUE	40%	3#/ 1000 S.F.
PERENNIAL RYEGRASS	20%	
FERTILIZER	20#/ 1000 S.F.	(12-12-12)
MULCH-STRAW	3 TONS/ACRE	

EROSION CONTROL PLAN & SCHEDULE FOR INSTALLATION (COORDINATE WITH LANDSCAPING PLANS AND SPECIFICATIONS)

CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF EROSION CONTROLS DURING CONSTRUCTION.

SILT FENCE TO BE INSTALLED PRIOR TO ANY EARTHWORK ACTIVITY, IN LOCATION SHOWN ON PLANS, PER DETAIL.

FILTER BAGS SHALL BE USED FOR PURPOSE OF DEWATERING AS NEEDED. (SEE DETAIL)

FOLLOWING STORM OUTLET CONSTRUCTION, INSTALL SILT FENCE DROP INLET PROTECTION AT ALL PROPOSED INLET BASINS TO PREVENT SILT FROM LEAVING SITE PER DETAIL.

PERMANENT SEEDING TO BE INSTALLED AFTER ALL CONSTRUCTION ACTIVITY IS COMPLETE.

TEMPORARY STABILIZATION	
AREA REQUIRING TEMPORARY STABILIZATION	TIME FRAME TO APPLY EROSION CONTROL
ANY DISTURBED AREAS WITHIN 50 FT. OF A STREAM AND NOT AT FINAL GRADE	WITHIN TWO DAYS OF THE MOST RECENT DISTURBANCE IF THE AREA WILL REMAIN IDLE FOR MORE THAN 14 DAYS
FOR ALL CONSTRUCTION ACTIVITIES, ANY DISTURBED AREAS THAT WILL BE DORMANT FOR MORE THAN 14 DAYS BUT LESS THAN 30, ONE YEAR, AND NOT WITHIN 50 FT. OF STREAM	WITHIN SEVEN DAYS OF THE MOST RECENT DISTURBANCE WITHIN THE AREA FOR RESIDENTIAL SUBDIVISIONS. DISTURBED AREAS MUST BE STABILIZED AT LEAST SEVEN DAYS PRIOR TO TRANSFER OF PERMIT COVERAGE FOR THE INDIVIDUAL LOT(S)
DISTURBED AREAS THAT WILL BE IDLE OVER WINTER	PRIOR TO ONSET OF WINTER WEATHER (NOV.1) STRAW MULCH 2 TO 3 BALES PER 1000 SQ.FT. AND OR 2 TONS PER ACRE.

WATERWORK NOTES

CITY OF HUDSON WATER SERVICE AREA

NOTE: THESE WATER WORK NOTES APPLY TO AREAS OF HUDSON THAT ARE TO BE SERVED WITH CITY OF HUDSON WATER.

- ALL WATER MAINS AND APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF HUDSON "ENGINEERING STANDARDS FOR INFRASTRUCTURE CONSTRUCTION", LATEST EDITION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ANY AND ALL AREAS ALONG THE ROUTE OF THE WATER MAIN. THIS WILL INCLUDE LAWNS, DRIVES, DITCHES, CULVERTS, LANDSCAPING, ETC. AND ANY OTHER AREAS DISTURBED DURING THE CONSTRUCTION PROCESS.
- ALL TESTING SHALL BE IN ACCORDANCE WITH THE CITY OF HUDSON "ENGINEERING STANDARDS FOR INFRASTRUCTURE CONSTRUCTION" AND BE COORDINATED WITH THE CITY OF HUDSON. AWWA C-800 PRESSURE TESTING AND C-651 DISINFECTION BY CHLORINATION OF THE WATER MAIN WILL BE REQUIRED.
- ALL PROPOSED TRENCHES LOCATED UNDER EXISTING OR PROPOSED PAVEMENT SHALL BE FILLED WITH LOW STRENGTH MORTAR. THE METHOD OF BACKFILLING AS DIRECTED BY THE ENGINEER, SHALL CONFORM TO ODOT 613 TYPE 1. SLAG OR FLY ASH IS NOT PERMITTED IN MIX. PAVEMENT INCLUDES, BUT IS NOT LIMITED TO, ROADWAY SURFACES, SIDEWALKS, BIKE WAYS, DRIVEWAYS, SHOULDERS, ETC. THE LIMITS OF THE LOW STRENGTH MORTAR SHALL INCLUDE 450 ANGLE OF REPOSE FROM ALL EDGES OF PAVEMENT.
- FIELD STAKING AND RECORD DRAWINGS SHALL BE PROVIDED TO THE CITY BY THE CONTRACTOR, AS SUPERVISED AND STAMPED BY A LICENSED PROFESSIONAL SURVEYOR. RECORD DRAWINGS (AS-BUILTS) IN BOTH REPRODUCIBLE AND DIGITAL FORMAT COMPATIBLE WITH THE CITY OF HUDSON STANDARDS TO BE SUBMITTED TO AND APPROVED BY THE CITY OF HUDSON PRIOR TO UTILITY SERVICE CONNECTIONS BEING MADE.
- A 10' MINIMUM HORIZONTAL CLEARANCE AND A 18" MINIMUM VERTICAL CLEARANCE SHALL BE MAINTAINED FROM THE EDGE OF THE WATER MAIN PIPE TO THE EDGE OF THE STORM SEWER PIPE.
- A 10' MINIMUM HORIZONTAL CLEARANCE AND AN 18" MINIMUM VERTICAL CLEARANCE SHALL BE MAINTAINED FROM THE EDGE OF THE WATER MAIN PIPE TO THE EDGE OF ALL SANITARY SEWERS AND/OR FORCE MAIN PIPE.
- ALL VALVES, FITTINGS, BENDS, TEES, ETC. SHALL HAVE MEGALUG JOINT RESTRAINTS BY EBBA IRON, INC.
- ALL WATER MAINS WITHIN LOW STRENGTH MORTAR BACKFILL SHALL BE WRAPPED IN POLYETHYLENE AS PER AWWA C-105. OTHER AREAS TO BE WRAPPED IN POLYETHYLENE SHALL BE AS SHOWN ON THE DRAWINGS, AS DETERMINED FROM DIPRA REPORT OR AS REQUIRED BY THE CITY.
- WHERE WATER MAINS CROSS SEWER TRENCHES, THE TRENCH IS TO BE BACKFILLED WITH ODOT 304 CRUSHED LIMESTONE.
- TAPPING SLEEVES SHALL BE ROMAC TYPE, WRAP AROUND STAINLESS STEEL WITH #316 STAINLESS STEEL BOLTS AND NUTS.
- MANUFACTURER'S AFFIDAVIT: THE MANUFACTURER SHALL FURNISH AN AFFIDAVIT INDICATING THAT ALL PIPE, FITTINGS, VALVES, FIRE HYDRANTS, AND APPURTENANCES HAVE BEEN MANUFACTURED AND TESTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE APPLICABLE REFERENCED STANDARDS. A COPY OF EACH AFFIDAVIT, INDICATING THE PROJECT ON WHICH THE MATERIAL IS TO BE USED SHALL BE FORWARDED TO THE CITY OF HUDSON PRIOR TO THE PRECONSTRUCTION MEETING BEING SCHEDULED.
- BOOSTER PUMPS ARE NOT PERMITTED ON SERVICE CONNECTIONS. THE CITY MAY GRANT SPECIAL PERMISSION FOR BUILDINGS FOUR STORIES AND HIGHER WITH A FIRE SUPPRESSION SYSTEM.
- PROPOSED FACILITIES SHALL BE DESIGNED TO MAINTAIN A MINIMUM OF 35 PSI PRESSURE DELIVERED TO THE CURB STOP DURING NORMAL OPERATING CONDITIONS.
- ALL WATER MAINS GREATER THAN 12 INCH DIAMETER SHALL BE LAID TO GRADE WITH HIGH POINTS AND LOW POINTS HAVING ADEQUATE BLOW-OFFS VIA USE OF HYDRANTS.
- FOR ALL NON-RESIDENTIAL WATER SERVICE, A BACKFLOW PREVENTION DEVICE SHALL BE INSTALLED PER CITY OF HUDSON AND OEPA STANDARDS AND REQUIREMENTS. FOR RESIDENTIAL WATER SERVICE A BACKFLOW PREVENTION DEVICE MAY BE REQUIRED FOR SWIMMING POOLS, IRRIGATION SYSTEMS, ETC. CONTACT THE CITY SERVICE/WATER DISTRIBUTION DEPARTMENT FOR THE REQUIREMENTS AND STANDARDS FOR BACKFLOW PREVENTION, THERMAL EXPANSION CONTROL, ETC.
- FOR NEW WATER METER CONSTRUCTION THE DRAWINGS SHALL HAVE BEEN REVIEWED BY THE OHIO EPA AND WRITTEN APPROVAL RECEIVED PRIOR TO THE START OF CONSTRUCTION.

EROSION & SEDIMENT CONTROL NOTES

ALL SEDIMENT CONTROL PRACTICES MUST BE INSTALLED ACCORDING TO THE SPECIFICATIONS OF RAINWATER AND LAND DEVELOPMENT, 3rd EDITION (2006), A MANUAL BY THE OHIO DEPARTMENT OF NATURAL RESOURCES, DIVISION OF SOIL AND WATER CONSERVATION.

SEDIMENT/STORMWATER PONDS AND EROSION AND SEDIMENT CONTROLS SHALL BE IMPLEMENTED AS THE FIRST STEP OF THE GRADING AND WITHIN 7 DAYS FROM THE START OF GRUBBING. UPON COMPLETION OF CONSTRUCTION OF PONDS, SEEDING AND MULCHING SHALL IMMEDIATELY FOLLOW. ALL EROSION CONTROLS SHALL CONTINUE TO FUNCTION UNTIL CONTINUE TO FUNCTION UNTIL DISTURBED AREAS ARE RE-STABILIZED.

FOR ANY AREAS WITHIN 50 FEET OF ANY STREAM, RIVER OR WETLAND AREA, SEDIMENT CONTROLS SHALL BEGIN WITHIN TWO (2) DAYS ON ALL INACTIVE (UNDISTURBED) AREAS.

PERMANENT OR TEMPORARY SEEDING AND MULCHING SHALL BE APPLIED TO DISTURBED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE.

IF SEASONAL CONDITIONS PROHIBIT THE APPLICATION OF TEMPORARY OR PERMANENT SEEDING, NON-VEGETATIVE SOIL STABILIZATION PRACTICES SUCH AS MULCHING AND MATTING SHALL BE USED.

ALL SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED DURING THE LIFE OF THE PROJECT. ALL SEDIMENT BASINS SHALL BE INSPECTED BY THE CONTRACTOR AND REPAIRED AND CLEANED TO MAINTAIN THE WORKING ORDER OF SAID BASINS.


ALL DISTURBED AREAS ARE TO BE SEEDED AND MULCHED. UNDER NO CIRCUMSTANCES WILL ANY BARE EARTH AREAS BE ALLOWED TO REMAIN.

ALL EXISTING VEGETATION OUTSIDE THE ACTUAL WORK AREA IS TO BE LEFT COMPLETELY UNDISTURBED. ALL AREAS OUTSIDE THE ACTUAL WORK AREA THAT ARE DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

PERMANENT SEEDING SPECIFICATIONS		
Seed Mix	lb./ac. lb. / 1000sqft Notes:	
General Use		
Creeping Red Fescue	20-40	1/2-1
Domestic Ryegrass	10-20	1/4-1/2
Kentucky Bluegrass	10-20	1/4-1/2
Tall Fescue	40	
Dwarf Fescue	40	1
Steep Banks or Cut Slopes		
Tall Fescue	40	1
Crown Vetch	10	1/4
Tall Fescue	20	1/2
Flat Pea	20	1/2
Tall Fescue	20	1/2
Road Ditches and Swales		
Tall Fescue	40	1
Dwarf Fescue	30	2 1/4
Kentucky Bluegrass	5	
Lawns		
Kentucky Bluegrass	60	1 1/2
Perennial Ryegrass	60	1 1/2
Kentucky Bluegrass	60	1 1/2
Creeping Red Fescue	60	1 1/2
Note: other approved seed species may be substituted.		

REV. No.	DATE	BY

DATE: 9/9/20
 SCALE: HOR. 1"=20'
 VERT. N/A
 FOLDER: DWG/Site Plan
 FILENAME: Site Plan
 TAB: 01-Ex Conditions
 DRAWN: JCK



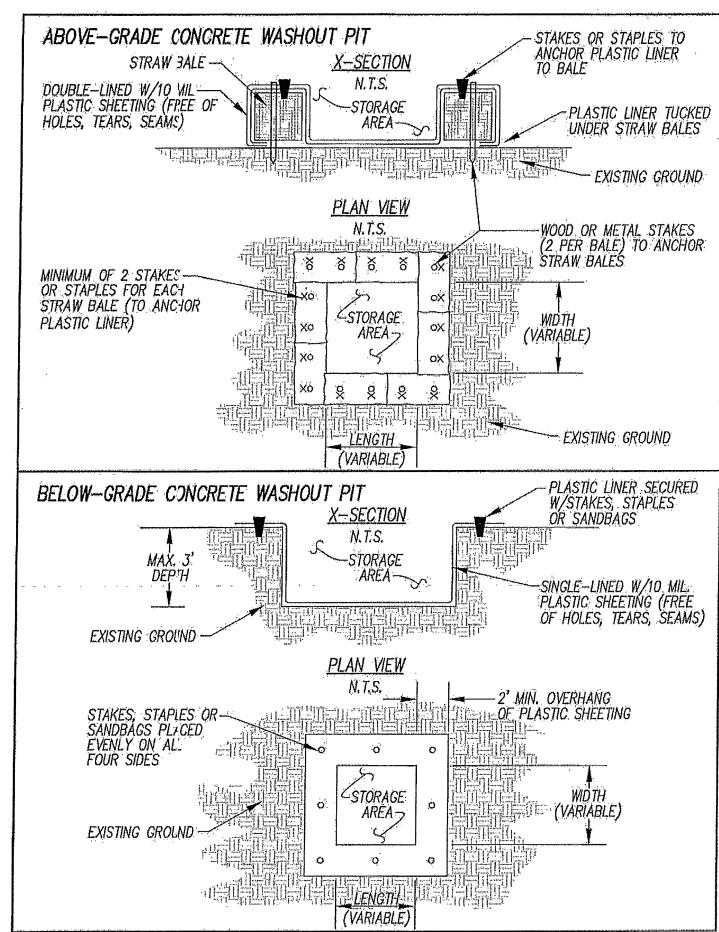
SHEET	OF
06	08

CONTRACT No. **18290**

POLARIS ENGINEERING & SURVEYING, INC.
 34600 CHARDON ROAD - SUITE D
 WILLOUGHBY HILLS, OHIO 44094
 (440) 944-4433 (440) 944-3722 (fax)
 www.polaris-es.com

GENERAL NOTES

25-33 MILFORD DRIVE
 CITY OF HUDSON - SUMMIT COUNTY - OHIO



Concrete Washout Areas

Installation:

- Concrete wash water shall not be allowed to flow to streams, ditches, storm drains, or any other water conveyances and washout pits shall be situated a minimum of fifty (50) feet from them.
- Flats for or other assortment drainage structures within 10 ft. of the pump shall be out and plugged.
- Ensure a stable path is provided for concrete trucks to reach the washout area.
- A highly visible sign that reads "Concrete Washout Area" shall be erected adjacent to the washout pit.
- Surface runoff generated from upslope areas shall be diverted away from below grade washout pits so as not to flow into them.
- A single centralized washout area may be utilized for multiple subsites.

Maintenance:

- The washout pit must be inspected frequently to ensure the liner is intact.
- Once 75% of the original volume of the washout pit is filled or if the liner is torn, the material must be removed and properly disposed of or the pit is completely hardened. Once the hardened concrete is removed, the liner must be replaced (if torn). A new liner must be constructed if the original structure is no longer suitable.

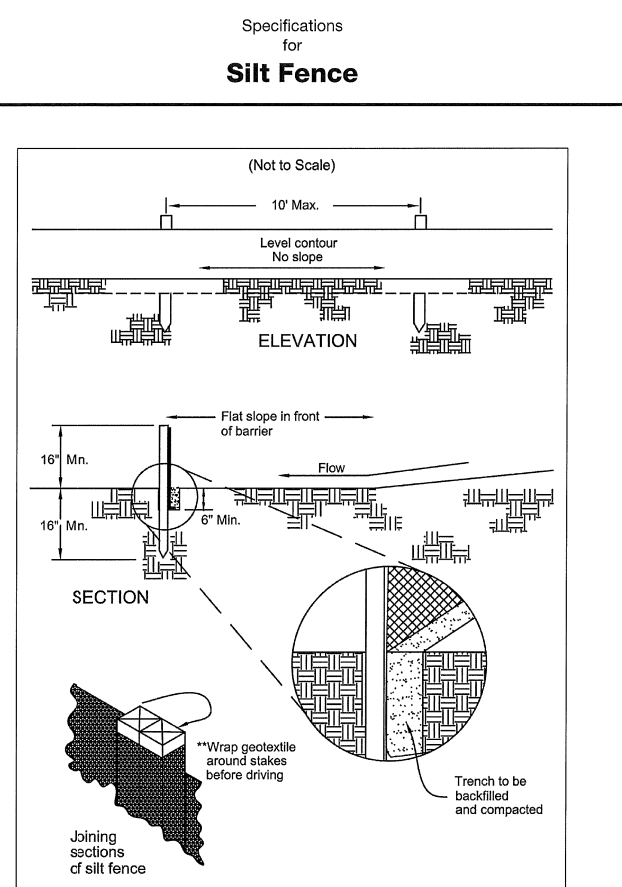
Removal:

- Once the washout pit is no longer needed, ensure all washout material has completely hardened, then remove and properly dispose of all materials. If reuse takes were used, they can be reused as much.
- Prehabilitated containers specifically designed for concrete washout collection may be used subject to prior approval by the Community Engineer. Follow the manufacturer's suggestions for installation, maintenance and removal procedures.

Sizing of Concrete Washout Pits

# of concrete trucks expected to be washed out on site*	Below-grade (2-ft depth)		Above-grade (2-ft depth)	
	Width (ft)	Length (ft)	Width (ft)	Length (ft)
2-3	3	3	2	3
4-5	4	4	3-4	4
6-7	5	5	5-6	5
8-10	6	6	7-8	6
11-14	7	7	9-11	7
			12-15	8

*For small projects using a maximum of only one truckload of concrete or utilizing on-site mixing, sizing of equipment may take place on the lot without a pit, provided it can be done a minimum of fifty (50) feet away from any water conveyances.



CHAPTER 6 Subsoil Controls 33

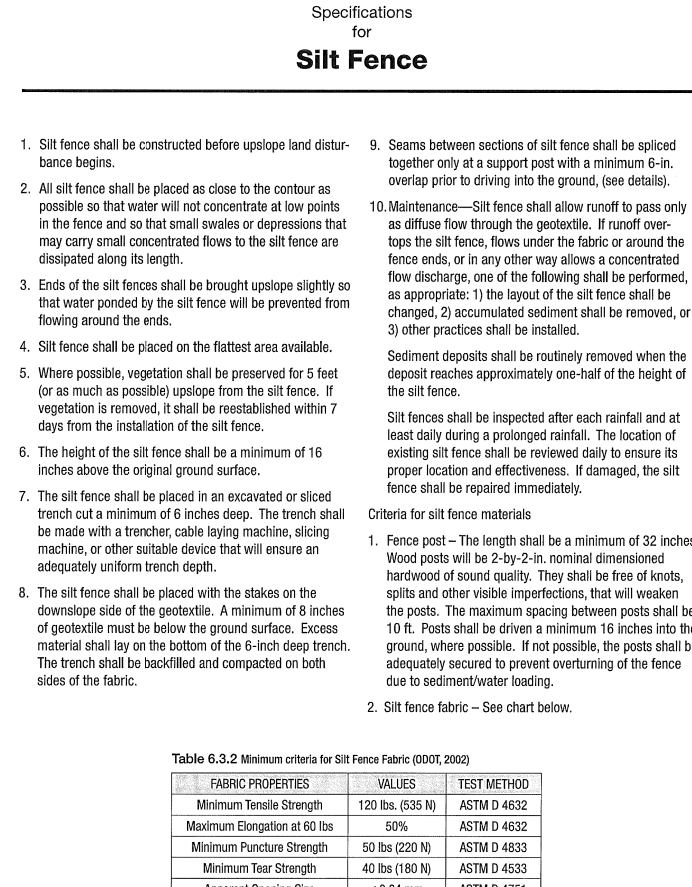
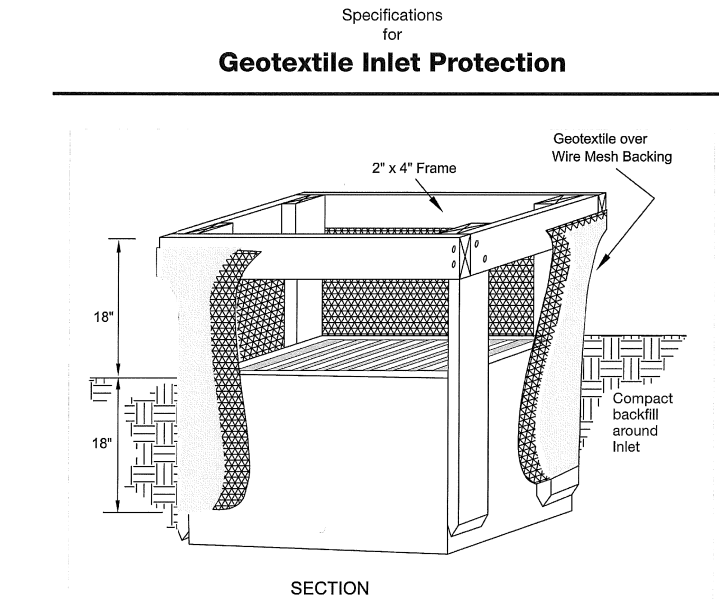


Table 63.2 Minimum criteria for Silt Fence Fabric (ASTM D 3000)

PROPERTY	VALUES	TEST METHOD
Minimum Tensile Strength	120 lbs./3.0 in.	ASTM D 4832
Minimum Elongation at Break	5%	ASTM D 4832
Minimum Tensile Strength	25 lbs./0.75 in.	ASTM D 4832
Minimum Tear Strength	40 lbs./0.75 in.	ASTM D 4832
Aperture Sizing Dia.	0.075 mm	ASTM D 4832
Minimum Permeability	1000 sec.	ASTM D 4832
UV Exposure Strength Retention	75%	ASTM D 4832

CHAPTER 7 Soil Stabilization 19



CHAPTER 6 Subsoil Controls 39

Specifications for Temporary Seeding

Matching Temporary Seeding

- Applications of temporary seeding shall include match seeding which shall be applied during or immediately after seeding. Seeding made solely for temporary seeding shall not be done, unless, very dry soil conditions may not need much to achieve adequate stabilization.
- Materials:
 - Straw—If straw is used, it shall be crushed small grain straw applied at a rate of 2 tons per acre or 50 lb./1,000 sq. ft. (2-3 bales).
 - Hydroseeds—If seed/cellulose fiber is used, it shall be used at 2000 lbs./ac. or 45 lb./1,000-sq.-ft.
 - Other—Other acceptable materials include match seedings applied according to manufacturer's recommendations or wood chips applied at a rate of 8 tons per acre.
- Straw Match shall be anchored immediately to minimize loss by wind or water. Anchoring methods:
 - Mechanical—A disk, cylinder, or similar type tool shall be set in grooves to punch or anchor the match material into the soil. Some mechanically anchored shall not be freely chopped but shall be a length of approximately 6 inches.
 - Mulch Netting—Netting shall be used according to the manufacturer's recommendations. Netting may be loosely laid over the match or placed in areas of concentrated soil loss or critical slopes.
 - Geotextile—Synthetic fibers such as Aramid, T-85 (Aqua-Tex, OCA-7), Polyester, Terra-Tack or equivalent may be used at rates recommended by the manufacturer.
 - Wood Cellulose Fiber—Wood-cellulose fiber binder shall be applied at a rate of 100 lb./ac. The wood-cellulose fiber shall be mixed with water and the mixture shall contain a maximum of 50 lb./1,000 gal.

CHAPTER 7 Soil Stabilization 36

Specifications for Temporary Seeding

Table 7.1.1 Temporary Seeding Species Selection

Seeding Date	Species	12-17000 SE	12600
March 1 to August 15	Timothy	1	120 (bush)
	Red Fescue	1	40
	Annual Ryegrass	1	40
	Perennial Ryegrass	1	40
	Annual Ryegrass	1	40
August 15 to November	Timothy	2	120 (bush)
	Red Fescue	1	40
	Annual Ryegrass	1	40
	Perennial Ryegrass	1	40
	Annual Ryegrass	1	40
November 1 to Feb. 29	Timothy	3	120 (bush)
	Red Fescue	1	40
	Annual Ryegrass	1	40
	Perennial Ryegrass	1	40
	Annual Ryegrass	1	40

Note: Other species may be substituted.

CHAPTER 7 Soil Stabilization 35

REV. No.	DATE	BY	DATE

STATE OF OHIO

DUSTIN R. KEENEY

65515

REGISTERED PROFESSIONAL ENGINEER

DATE: 9/9/20

SCALE: HOR. 1"=20'

VERT. N/A

FOLDER: DWG/Site Plan

FILENAME: Site Plan

TAB: 01-Ex Conditions

DRAWN: JCK

25-33 MILFORD DRIVE

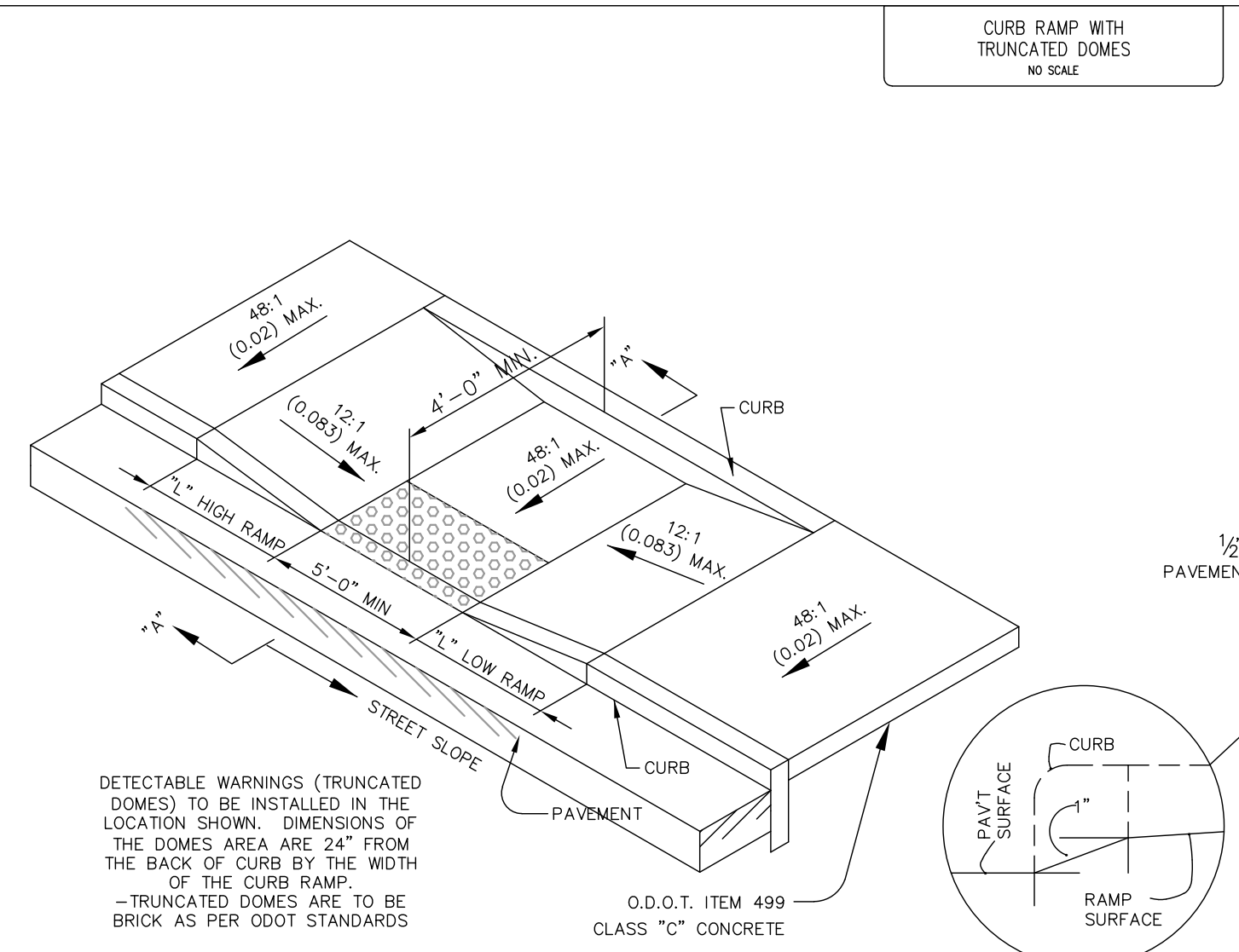
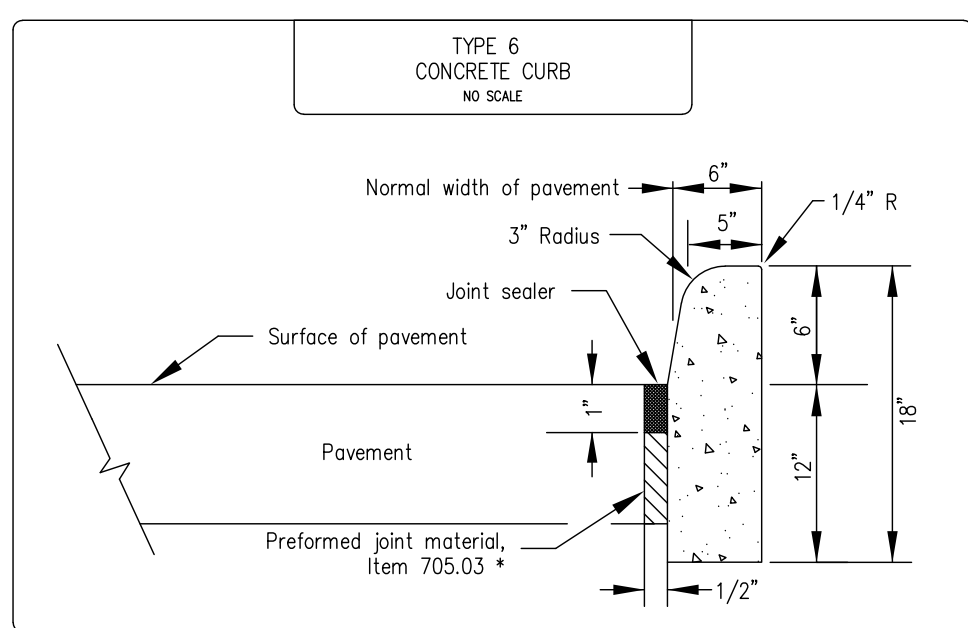
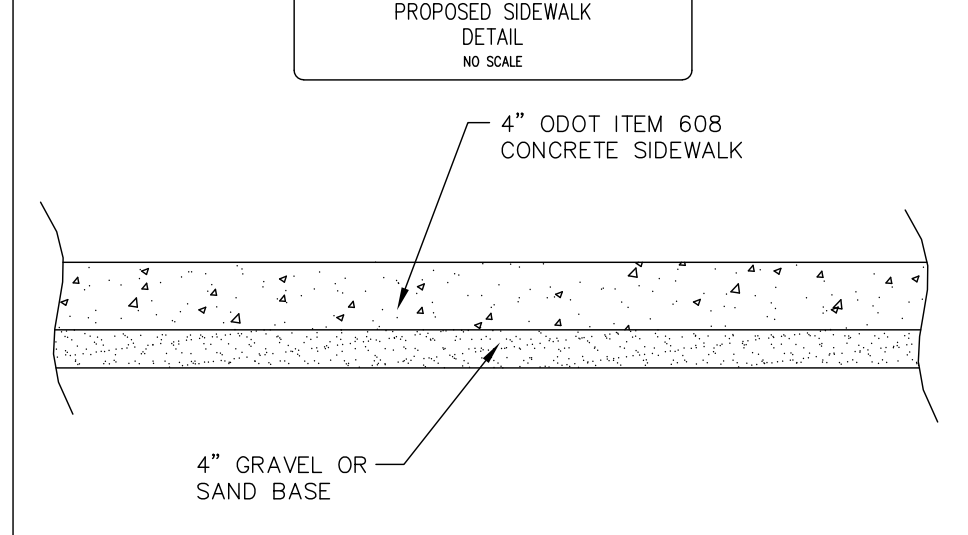
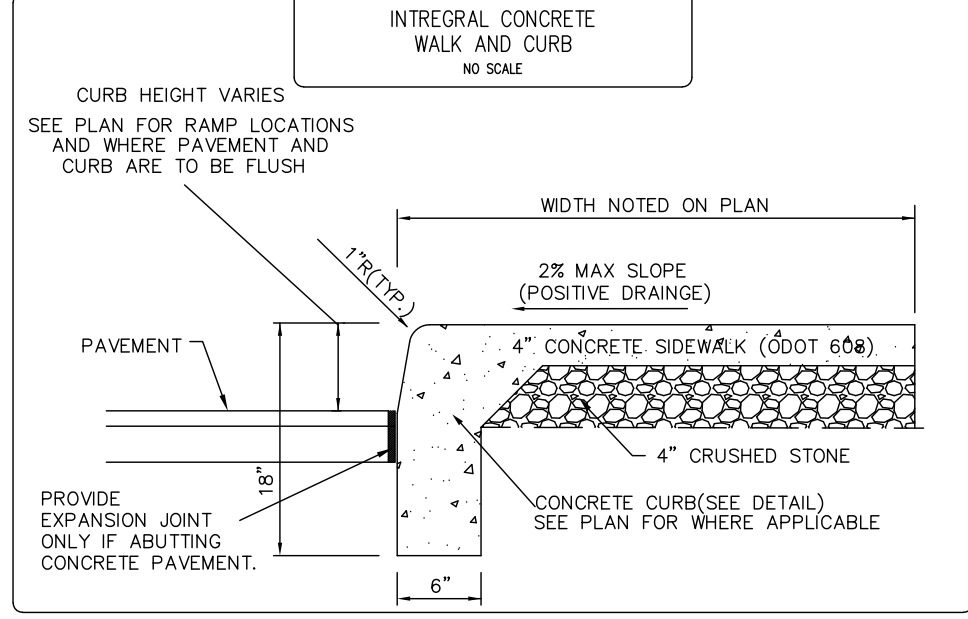
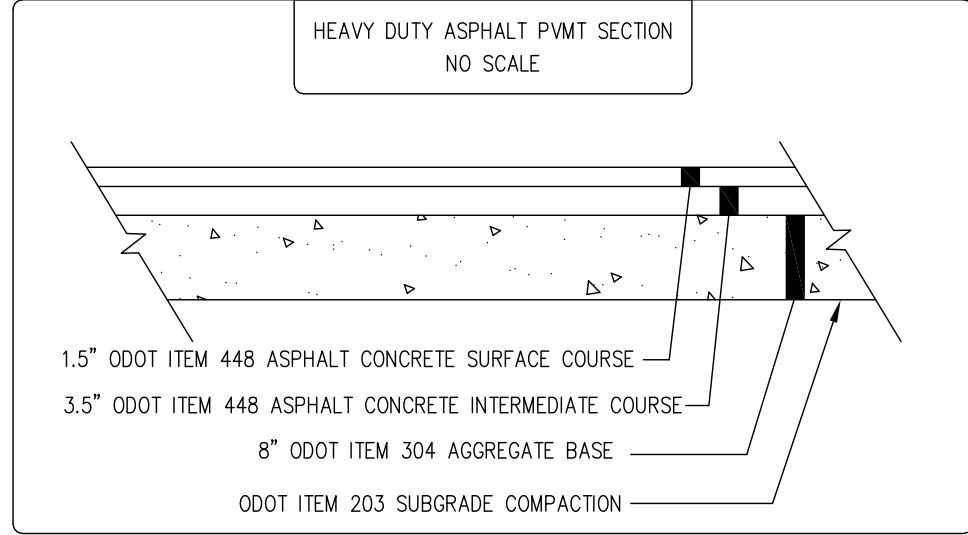
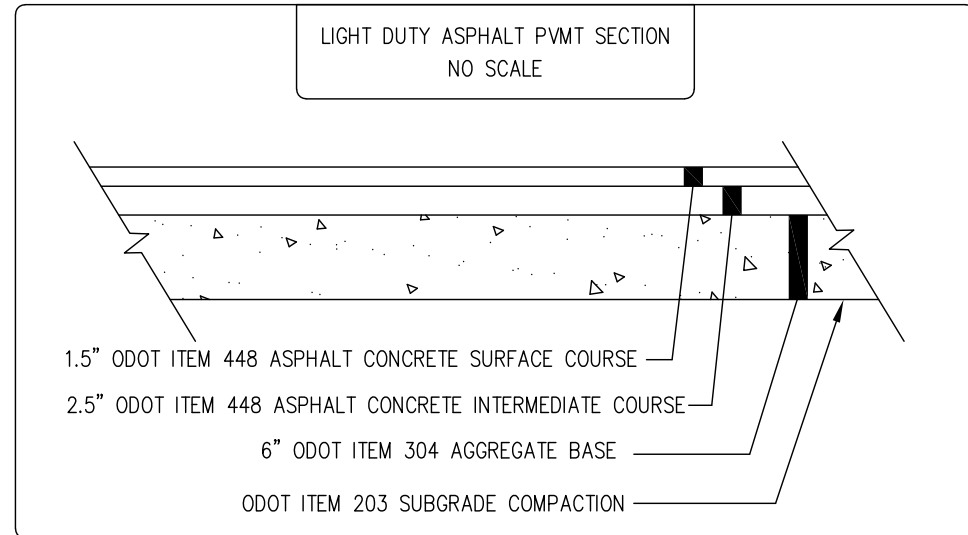
CITY OF HUDSON - SUMMIT COUNTY - OHIO

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SWP3 DETAILS

CONTRACT No.	
18290	
SHEET	OF
07	08



CURB RAMP WITH TRUNCATED DOMES
NO SCALE

CURB RAMP NOTES:

- CURB RAMP MUST HAVE CONFORMING SIDE SLOPES AND NON-SLIP SURFACES. CURB RAMP ARE TO SLOPE FROM THE PARKING LOT SIDEWALK TO THE MANUEVERING AREA AND ARE TO BE NO STEEPER THAN 12:1.
- SURFACE TEXTURE: TEXTURE SHALL BE OBTAINED BY COARSE BROOMING TRANSVERSE TO THE RAMP SLOPES AND SHALL BE ROUGHER THAN ADJACENT WALK.
- JOINTS: SHALL BE PROVIDED IN THE CURB RAMP AS EXTENSIONS OF WALK JOINTS AND CONSISTENT WITH ITEM 608.03 FOR NEW CONCRETE WALKS. A 1/2" ITEM 705.03 EXPANSION JOINT FILLER SHALL BE PROVIDED ALONG THE EDGES OF RAMP BUILT IN EXISTING CONCRETE WALKS.
- A FLAT, 48 INCH LONG LANDING AREA IS TO BE CONSTRUCTED BETWEEN THE CURB RAMP AND THE ENTRANCE.
- A MINIMUM 3 FOOT WIDE ACCESSIBLE ROUTE IS TO BE CONSTRUCTED FROM THE PARKING LOT ACCESS AISLE TO THE CURB RAMP.

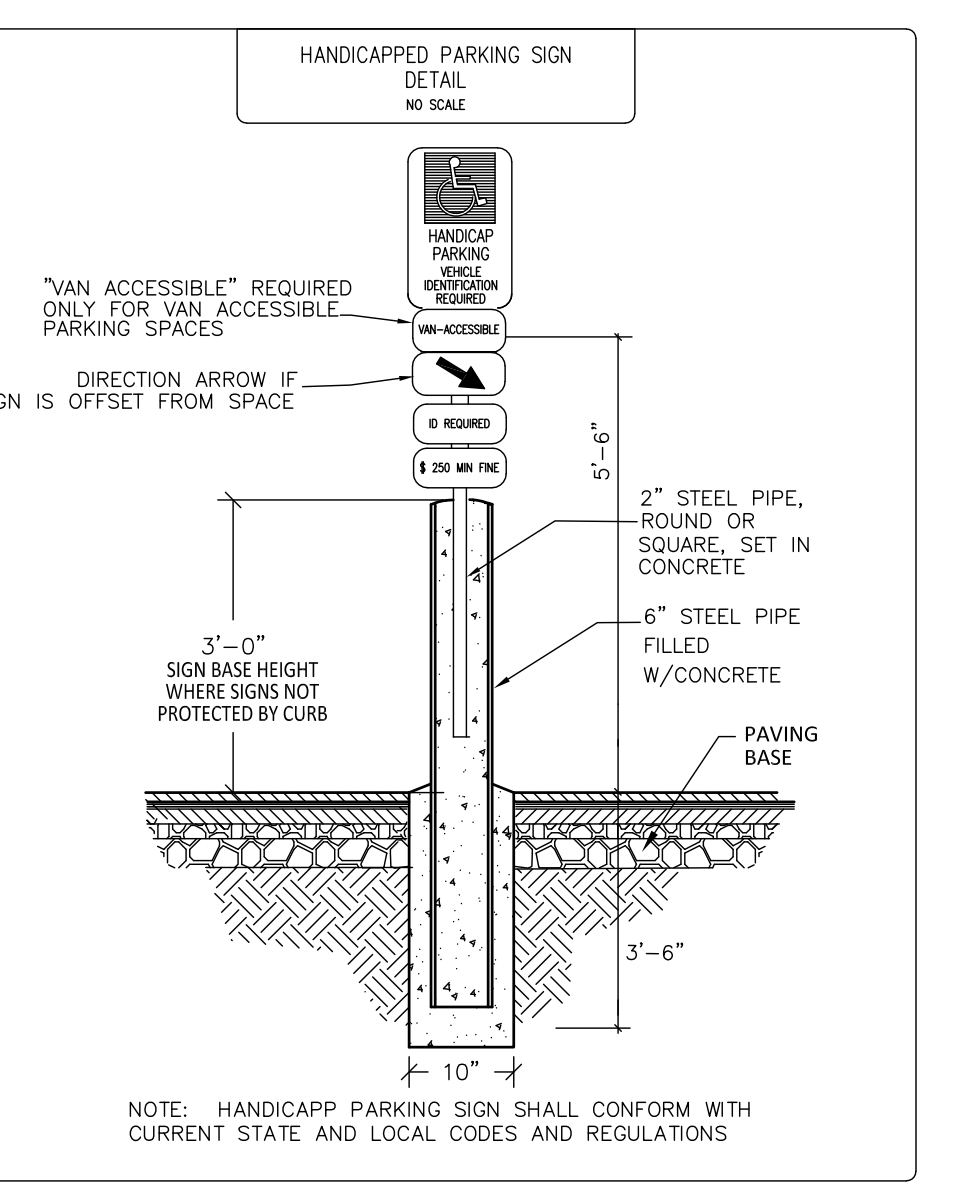
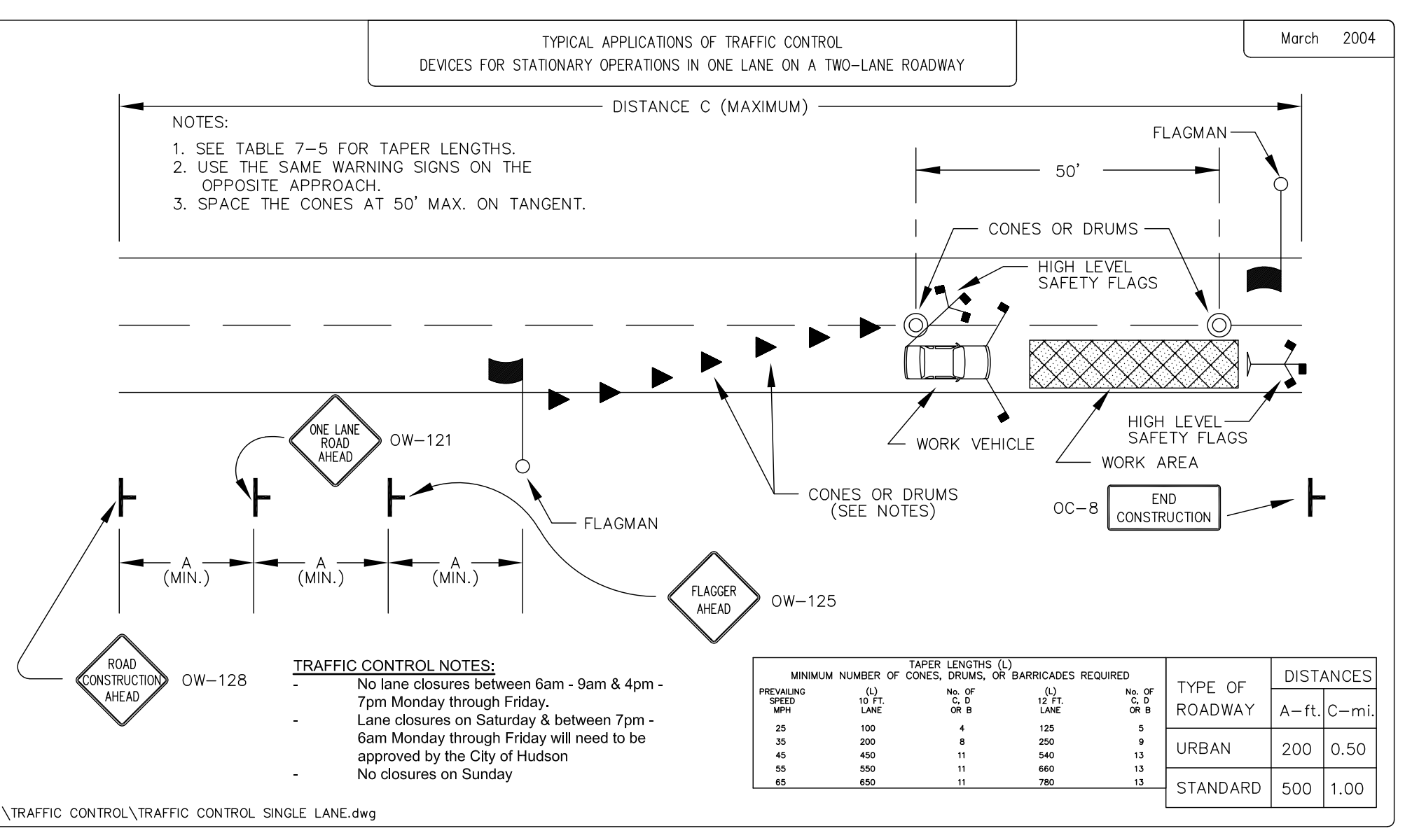
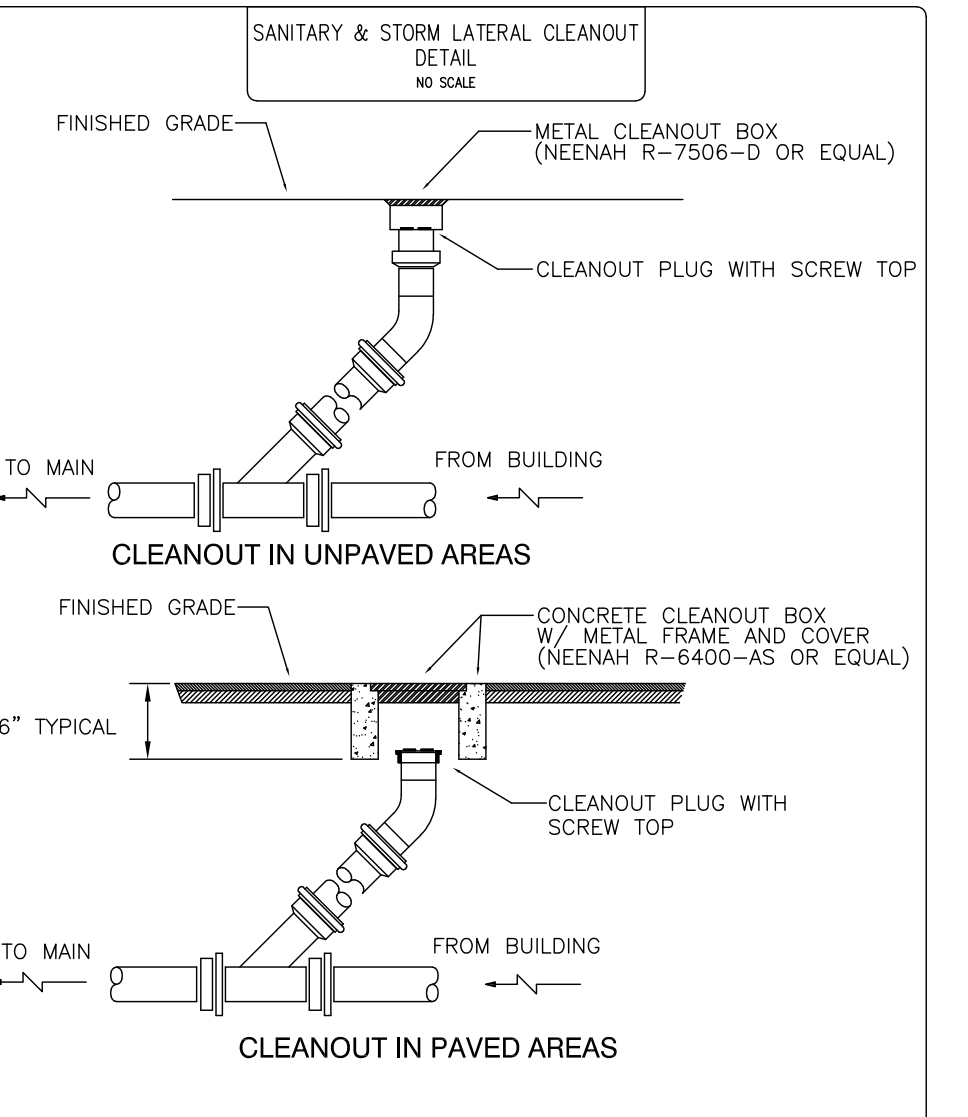
DETECTABLE WARNINGS (TRUNCATED DOMES) TO BE INSTALLED IN THE LOCATION SHOWN. DIMENSIONS OF THE DOMES AREA ARE 24" FROM THE BACK OF CURB BY THE WIDTH OF THE CURB RAMP - TRUNCATED DOMES ARE TO BE BRICK AS PER ODOT STANDARDS

ODOT ITEM 499 CLASS "C" CONCRETE

SECTION "A-A"

STREET SLOPE	RAMP LENGTH @ 1" / FT.	"L" LOW RAMP	"L" HIGH RAMP
0.01	5'-5"	6'-10"	6'-10"
0.02	4'-10"	7'-11"	7'-11"
0.03	4'-5"	9'-5"	9'-5"
0.04	4'-1"	11'-8"	11'-8"
0.05	3'-9"	15'-2"	15'-2"

*MEASURED ALONG THE BACK OF A 6" HIGH CURB



REV. No.	DATE	BY

DATE: 9/9/20

SCALE: HOR. 1"=20'

VERT. N/A

FOLDER: DWG/Site Plan

FILENAME: Site Plan

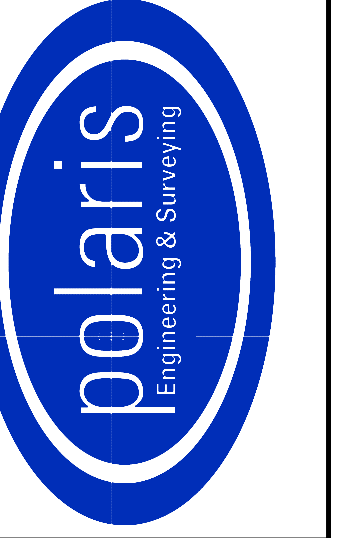
TAB: 01-Ex Conditions

DRAWN: JCK

STATE OF OHIO
DUSTIN R. KEENEY
65515
REGISTERED PROFESSIONAL ENGINEER

25-33 MILFORD DRIVE
CITY OF HUDSON - SUMMIT COUNTY - OHIO

POLARIS ENGINEERING & SURVEYING, INC.
34600 GARDON ROAD - SUITE D
WILLOUGHBY HILLS, OHIO 44094
(440) 944-4433 (440) 944-3722 (fax)
www.polaris-es.com



DETAILS

CONTRACT No.	
18290	
SHEET	OF
08	08



VIEW FROM NORTH WEST

THE MILFORD KING
25 MILFORD DR HUDSON OH

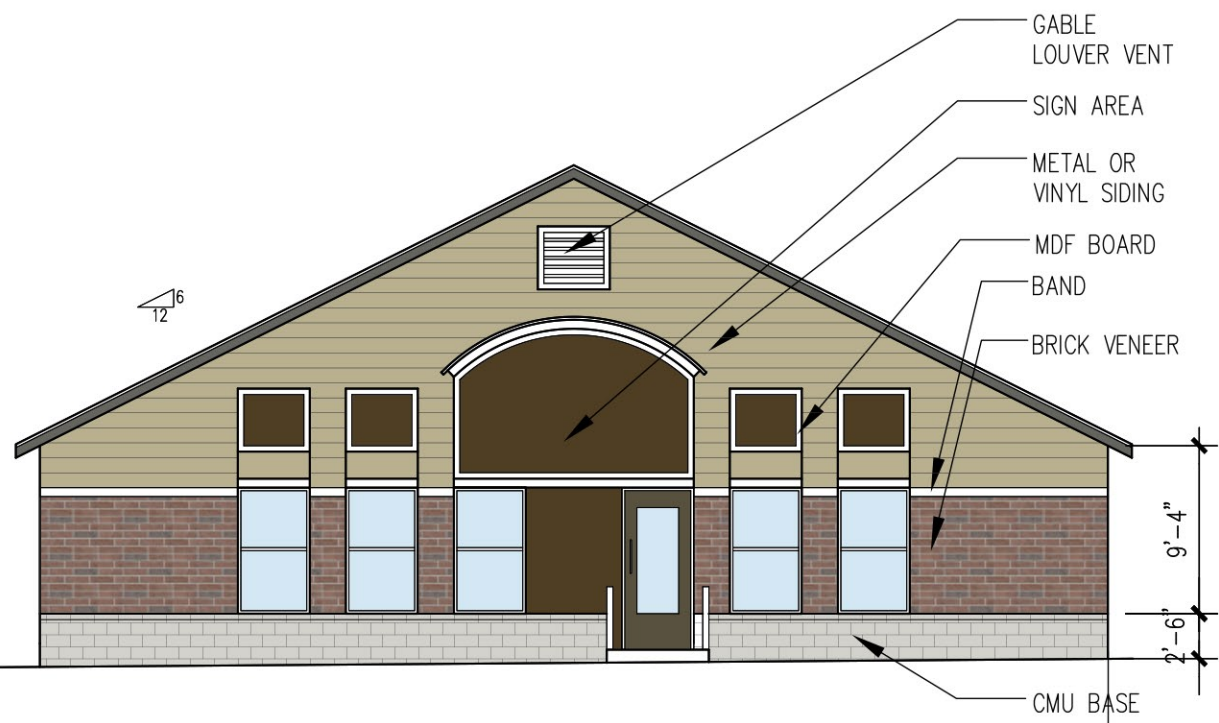
PROPOSED VIEW

Date:
Scale:
Project No.:

12/04/2018
3/32"=1'-0"
1800



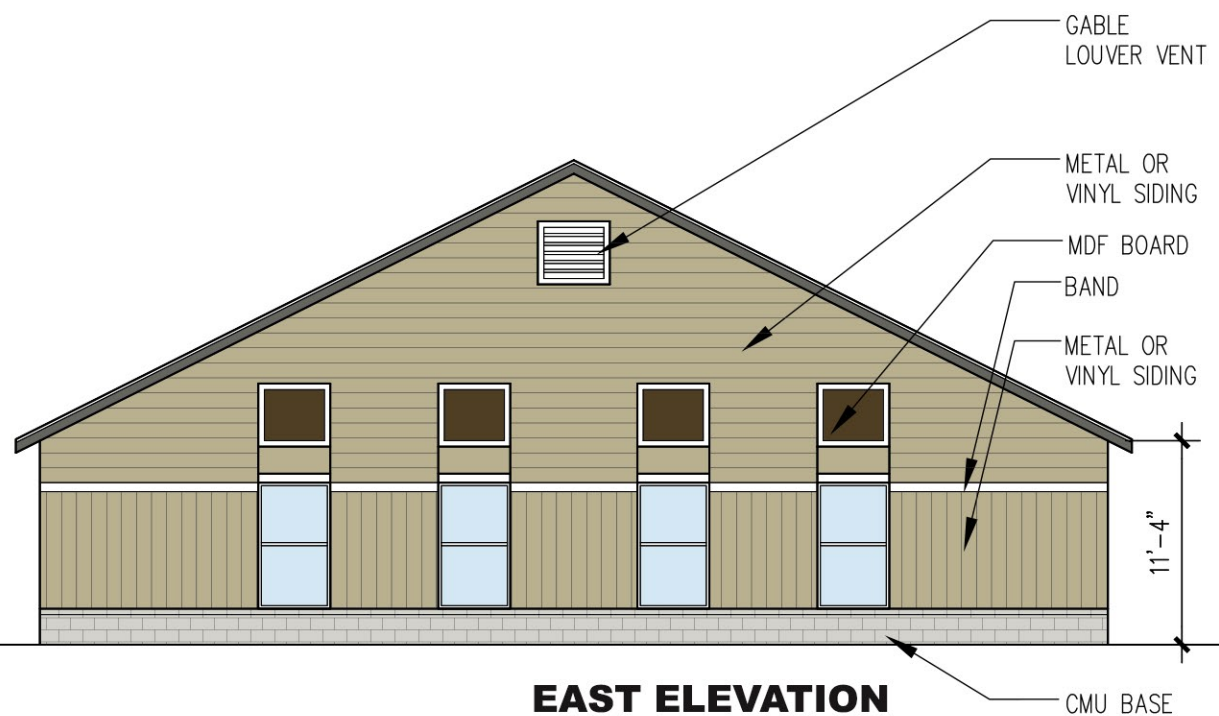
4208 Prospect Ave
Cleveland, OH
PH: 4405709829
info@wanixarchitects.com



WEST ELEVATION



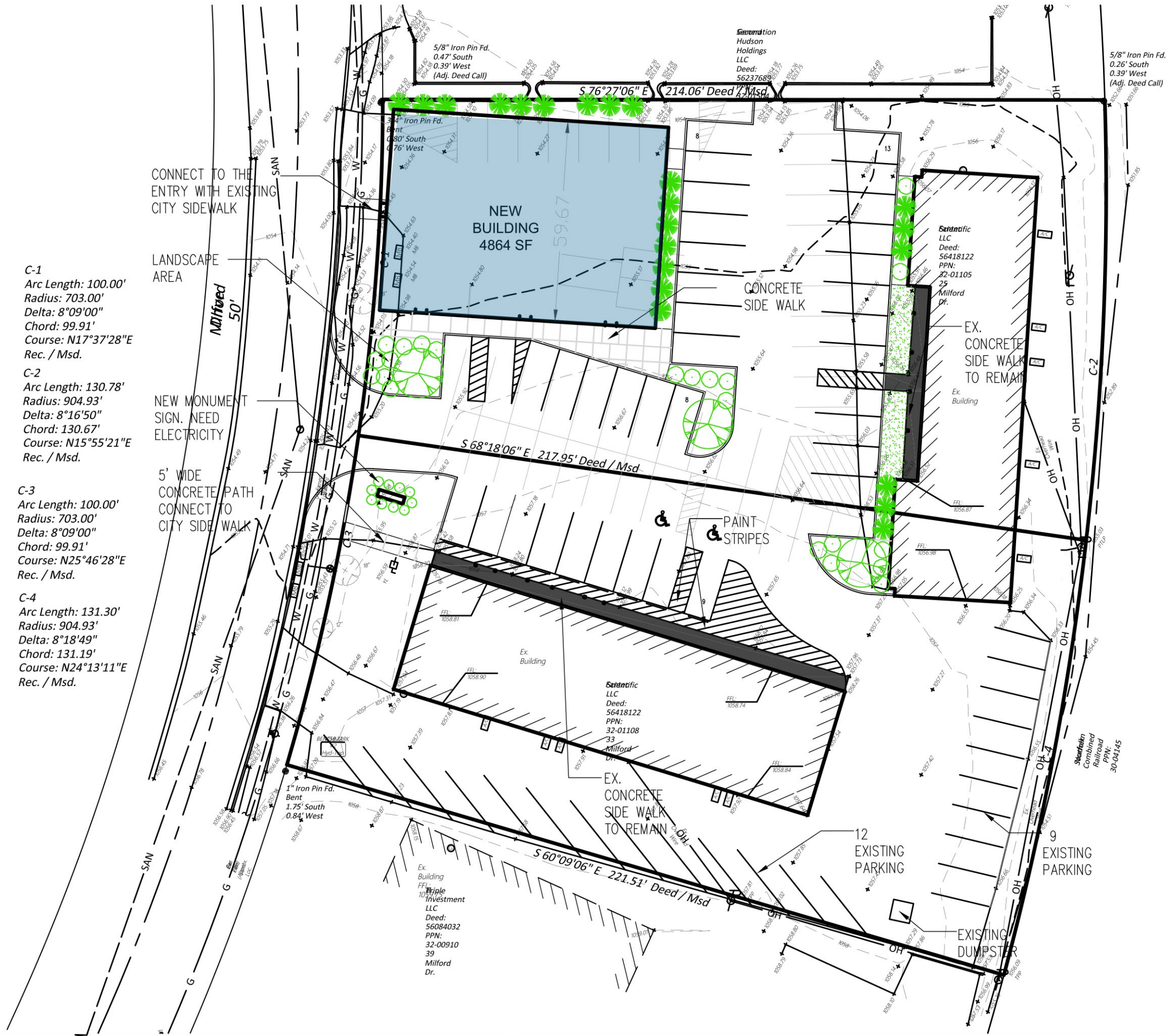
SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION



- C-1
Arc Length: 100.00'
Radius: 703.00'
Delta: 8°09'00"
Chord: 99.91'
Course: N17°37'28"E
Rec. / Msd.
- C-2
Arc Length: 130.78'
Radius: 904.93'
Delta: 8°16'50"
Chord: 130.67'
Course: N15°55'21"E
Rec. / Msd.
- C-3
Arc Length: 100.00'
Radius: 703.00'
Delta: 8°09'00"
Chord: 99.91'
Course: N25°46'28"E
Rec. / Msd.
- C-4
Arc Length: 131.30'
Radius: 904.93'
Delta: 8°18'49"
Chord: 131.19'
Course: N24°13'11"E
Rec. / Msd.

PROJECT DATA

ADDED BUILDING AREA: 4,864SF

EXISTING BUILDING AREA:
4789+ 3589 = 8378 SF

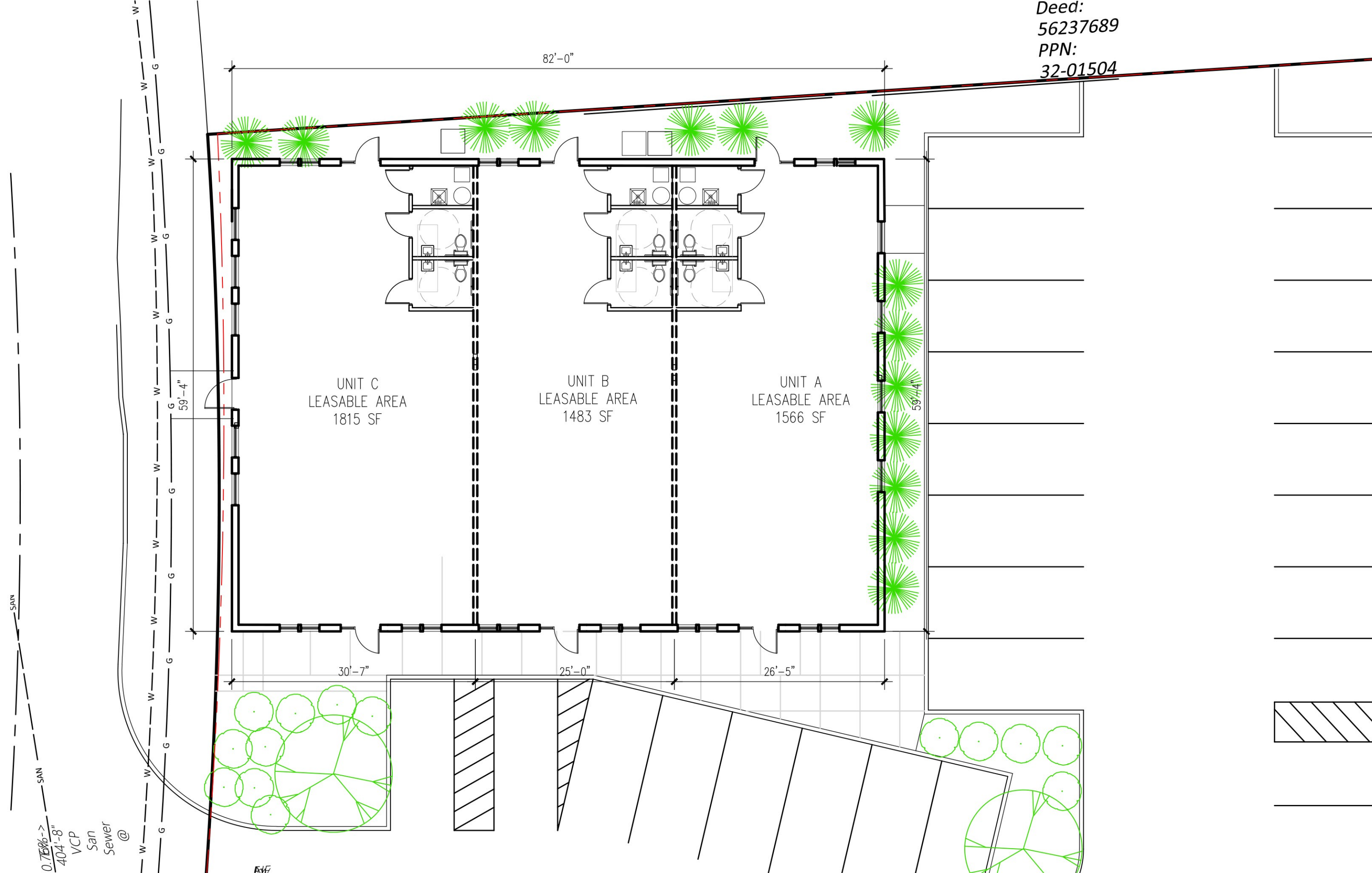
TOTAL BUILDING AREA: 13,242 SF

REQUIRED PARKINGS:
13242 / 1000 X 4 = 53 PARKINGS

PROVIDED PARKINGS:
21+38 = 59

PREVIOUS PARKING:
21 + 43 = 64

Deed:
56237689
PPN:
32-01504



— O H I O —

HUDSON

Asst. City Manager's Office – 1140 Terex Road • Hudson, Ohio 44236 • (330) 342-1775

Date: October 2, 2020

To: Nick Sugar, City Planner

From: Thomas J. Sheridan, Asst. City Manager – Professional Services

Re: 25 Milford Road – Engineering Review Comments – File No: 20-817
Engineering - Preliminary Review Comments

Overall Engineering Review Comments:

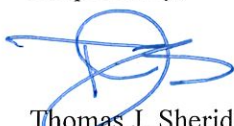
1. The City of Hudson Engineering Standards and Land Development Code are available online at the City of Hudson Website WWW.HUDSON.OH.US under the City Departments. The standards are also available in printed format for a fee. Contact 330-342-1770 for more information.
2. Other agency approvals required for this project include:
 - a. Summit County Building Standards.
 - b. Summit County Dept. of Sanitary Sewer Services. Sewer lateral review, approval, and inspection.
 - c. Ohio EPA may need to review the sanitary or water, if applicable. The City of Hudson Electric and Water Department will require a City permits. Please contact the Hudson Utility Bureau for more information.

Preliminary Plan Review Comments:

3. See the plan review comments and Hudson Engineering questions dated 9/29-10/2/2020 to the applicant in the Permit Review Program (Viewpoint Software). All comments and questions in the review shall be addressed by the applicant and the corrected plans resubmitted to the Hudson Viewpoint Program to continue our review of this project.
4. A Trip Generation Report shall be submitted along with the review comments to determine the number of additional trips this site will generate. Following the City's review of the trip generation report, the City may decide to have the applicant perform a Traffic Study if the estimated volume of traffic warrants a more detailed study.
5. A road detour map and Right-of-Way permit will be required for the proposed work within the City Right-of-way on Milford Road.
6. The City will perform a final review of the plans and all applicable reports following the submittal by the applicant.
7. The City will determine the final bonds and fees at the final plan approval.

If you have any questions, please contact our office at 330-342-1770.

Respectfully,



Thomas J. Sheridan, PE, PS, CFM
Asst. City Manager – Professional Services

C: File



SHAWN KASSON
Fire Marshal

skasson@hudson.oh.us
(330) 342-1869

M E M O R A N D U M

DATE: September 24, 2020
TO: Nick Sugar, City Planner
FROM: Shawn Kasson, Fire Marshal SK
SUBJECT: 25 Milford Rd

I have completed a preliminary review of the site plan set dated 09/09/20 for the proposed building at 25 Milford Rd. Upon review, I find the concept plan in substantial compliance with the Ohio Fire Code requirements and have the following comment:

- A Knox Box must be furnished and installed in an approved location. (Add comment to plan)

Note: The scope of this review is preliminary. The applicant must submit detailed design plans for review and approval.

Please contact me with any questions.

Site Photos



Area of proposed buidling

Site Photos

