

201 N Main Street Retail

Project Narrative

The historic building at 201 North Main Street in Hudson, Ohio was built in 1840 and has served many functions over the years ranging from a family dwelling to most recently a dental office. With each use, the building was augmented to serve the needs of the previous owners. We are proposing to renovate and restore the building to existing historic footprint and create a new retail space with ADA accessibility.

A historic analysis was performed by Dr. Elwin Robison and he determined that the original building only consisted of the two-story portion. Everything else surrounding the structure was added at later points in time. A structural analysis of the building determined that the foundation walls are unstable and termites have left first floor framing in unusable condition.

We are proposing to remove all non-historic portions of the building including the single-story "ell" and later additions on the rear. The historic two-story building will be stabilized and lifted off the foundations to allow for new foundation and first floor deck. Upon completion, the historic two-story building will be lifted and reinstalled on the new foundation. Prior to lifting the building, the exact location of the building foundation will be field measured for reinstallation accuracy.

After the building is reinstalled in its original location, the single-story "ell" located on the North of the building will be rebuilt to match the existing conditions on the west facade. Although this addition was added later to the historic building, we feel that this part of the facade is integral to the historic fabric of North Main Street.

The existing exterior siding will be removed on the entirety of the building and be replaced with new wood (western red cedar) siding, trim, and corner boards that match the historic siding exposure and dimensions. The existing windows and shutters are also to be replaced with wood frames with 8 over 8, double hung windows that match the existing openings and restore the original style of window. The existing slate roof on the two-story portion of the building is to remain and a new metal standing seam roof over the west porch will be installed. New gutters and downspouts will be half round copper to match the existing.

A new accessible entry and sitting area will be installed on the east side. The first floor will be renovated into a new retail space with an accessible restroom. The second floor will provide an office space. A small patio will be created on the east side of the building and the existing parking lot will be repaved and restriped.

UNA-CLAD™ Metal Roofing Systems

VERSATILE • SUSTAINABLE • BEAUTIFUL

UNA-CLAD™ METAL ROOFING SYSTEMS

Since the introduction of UNA-CLAD Metal Roofing Systems more than 30 years ago, they have become one of the leading architectural metal roofing products in the construction industry. Firestone Building Products systems are recognized the world over for their outstanding construction and innovative design.

UNA-CLAD offers a variety of sustainable, reliable and environmentally-friendly roofing system options. UNA-CLAD allows for maximum design freedom with a wide range of materials, widths and finishes.

To further protect your investment, install the roofing system over our innovative new CLAD-GARD® roofing underlayment. This easy-to-handle slick-resistant material is the ideal moisture barrier to protect your roofing investment from corrosion and other environmental concerns.

And once your roof is installed, the unparalleled Red Shield® Warranty assures that your roof will provide outstanding performance for decades to come.

Thank you for your interest in Firestone Building Products UNA-CLAD roofing systems. For detailed information about anything covered in this brochure, please contact your local Firestone Representative or visit www.firestonegpc.com.

UNA-CLAD™ METAL ROOFING SYSTEMS OVERVIEW

RED SHIELD® WARRANTY SYSTEMS

Durable metal roofing systems that allow maximum versatility with the extra assurance of the Firestone Red Shield Warranty—the strongest protection available today.

- UC-3 • UC-4 • UC-6 • UC-14

ARCHITECTURAL SERIES

Allow maximum design freedom to create roofs with distinct lines, eave features while providing outstanding wind-lift performance and aesthetics.

- UC-7

SOFFIT SYSTEMS

Superior warranty, security and weatherability in systems that allow great installation flexibility, including either vertical or horizontal applications.

- UC-580 • UC-551 • UC-750

PROFILED PANEL SYSTEMS

Strong, economical and low profile panels designed for a variety of Profiled Panel Systems, environments and applications.

- UR-PRO OMEGA • SV-CRIMP
- HR-ULTRA OMEGA • UC-600
- VR-CLASSIC OMEGA • UC-601

RED SHIELD™ WARRANTY SYSTEMS

RED SHIELD STANDING SEAM ROOFING SYSTEMS COMPRISE A SYSTEM OF INTERLOCKING METAL PANELS THAT GENERALLY RUN VERTICALLY FROM THE ROOF RIDGE TO THE EAVES. THE SEAM WHERE THE TWO PANELS JOIN TOGETHER IS RAISED ABOVE THE SURFACE OF THE PANEL, THEREBY GIVING THE PRODUCT ITS NAME.

THESE METAL ROOFS FREELY EXPAND AND CONTRACT WITH THE WEATHER WITHOUT DAMAGE TO THE SUBSTRATE. PROVIDE EXCEPTIONAL RAIN AND SNOW RUNOFF. PERFORM WELL IN HIGH-WIND ENVIRONMENTS, MINIMIZE OIL-CANNING AND PROVIDE GREAT DESIGN VERSATILITY.

FIRESTONE UNA-CLAD™ RED SHIELD SERIES

Building on proven standing seam technology, Firestone developed the UNA-CLAD Red Shield Series to provide designers, architects and building owners with a wide selection of beautiful, durable and functional metal roofs. The Red Shield Series is available in a variety of colors, materials, widths, textures, profiles and seam designs.

This double-lock standing seam system utilizes power Pributyl Locking in conjunction with a floating concealed-clip assembly. This design allows for free expansion and contraction, and outstanding wind uplift resistance.

Standard UC-3 materials are painted steel, painted and anodized aluminum, architectural grade sheet copper and zinc. Available with embossing, striations and ribs (flat and panel) to minimize oil-canning.

The patented snap design snap locks securely and fastens to a solid substrate without the use of clips. This provides superior leak resistance and can reduce labor by up to 30%.

Standard UC-4 materials are painted steel, painted and anodized aluminum and architectural grade sheet copper. Available with embossing, striations and ribs (flat and panel) to minimize oil-canning.

PROTECT YOUR INVESTMENT

UNA-CLAD UC-4

The concealed clip snap-on lock seam system utilizes power Pributyl Locking in conjunction with a floating concealed-clip assembly. This design allows for free expansion and contraction, and outstanding wind uplift resistance.

Standard UC-4 materials are painted steel, painted and anodized aluminum, architectural grade sheet copper and zinc. Available with embossing, striations and ribs (flat and panel) to minimize oil-canning.

UNA-CLAD UC-14

The concealed clip snap-on lock seam system eliminates the need for mechanical seaming or separate battens, accommodating very long panels while maintaining free expansion and contraction capability. Standard UC-14 materials are painted steel, painted and anodized aluminum and architectural grade sheet copper. Available with embossing, striations and ribs (flat and panel) to minimize oil-canning.

ARCHITECTURAL METAL ROOFING

BATTENS ARE DISTINCTIVE ARCHITECTURAL FEATURES. PANEL SYSTEMS WITH BATTENS OR CAPS ALLOW FOR THE PANELS TO BE INSTALLED IN NON-SEQUENTIAL ORDER, THIS ACCOMMODATING COMPLEX ROOF DESIGNS. THESE PANELS CAN BE COUNTED ON TO ALLOW FREE EXPANSION AND CONTRACTION IN CHANGING WEATHER CONDITIONS, AS WELL AS PROVIDE EXCEPTIONAL RAIN AND SNOW RUNOFF AND GOOD WIND UPLIFT PERFORMANCE.

THESE PANELS AND BATTENS ARE ROLL-FORMED AND PROCESSED WITH STATE-OF-THE-ART TECHNOLOGY TO ENSURE UNPARALLELED QUALITY AND SERVICE FROM COIL TO FINISHED PRODUCT.

METAL SOFFIT SYSTEMS

SOFFITS SERVE MANY PURPOSES IN COMMERCIAL ARCHITECTURE, INCLUDING WEATHER-SHIELDING OVERHANDS, BUILDING VENTILATION PORTS, CONVENIENT CONCEALMENT SECTIONS FOR HVAC OR ELECTRICAL SYSTEMS AND OTHER APPLICATIONS. THE RIGHT SOFFIT AND FACIA TREATMENT CAN PROVIDE A FINISHED LOOK TO THE STRUCTURE, AS WELL AS AID WATER RUNOFF, BUILDING VENTILATION AND COOLING.

METAL SOFFIT SYSTEMS PROVIDE A STRONG, DURABLE AND RELIABLE MATERIAL THAT ENHANCES THE LONGEVITY OF THE SOFFIT AND CREATES AN AESTHETICALLY-PLEASING APPEARANCE.

PROFILED METAL ROOFING

FOR CENTURIES, LARGE STRUCTURES SUCH AS CATHEDRALES HAVE RELIED ON THE INHERENT DURABILITY OF METAL ROOFING. IN MODERN USAGE, CORRUGATED METAL ROOFING PANELS HAVE TAKEN THE AVERAGE LIFESPAN OF ASPHALT ROOFINGS, AND PROVIDE EXCEPTIONAL RAIN AND SNOW SHEDDING ABILITIES.

DESIRABLE BECAUSE OF THEIR DESIGN VERSATILITY, LOW MAINTENANCE REQUIREMENTS AND HIGH STRENGTH-TO-WEIGHT RATIO, ARCHITECTS, DESIGNERS AND BUILDING OWNERS ARE TURNING TO METAL ROOFS FOR NEW CONSTRUCTION AND RENOVATION.

FIRESTONE UNA-CLAD™ ARCHITECTURAL SERIES

Firestone developed the UNA-CLAD Architectural Series to allow designers, architects and building owners to utilize the unique profile a batten roof delivers. In addition to their beautiful appearance, these metal roofing systems are reliable and durable. The Architectural Series is available in a variety of colors, batten widths, materials and panel widths.

UC-7 SNAP-ON ARCHITECTURAL SERIES

This concealed clip fastening system is coupled with a narrow, low-profile snap-on batten that provides a flat-like appearance while providing the designer freedom to specify various high profile features. UC-7 delivers good thermal movement.

Standard UC-7 materials are painted steel, painted and anodized aluminum, architectural grade sheet copper and zinc. Available in heavier gauges, narrower widths, embossing and ribs (flat and panel) to minimize oil-canning.

UC-400 FLUSH PANEL

This sleek, monolithic fastening metal panel system is engineered for both soffit and fascia applications. UC-400 delivers a flat or flush look that provides a neat finished appearance.

Standard UC-400 materials are painted steel, painted and anodized aluminum, architectural grade sheet copper and zinc. Available in heavier gauges, narrower widths, embossing and panel ribs to minimize oil-canning. Venting available for soffit applications.

UC-601 REVEAL FLUSH PANEL

Similar in characteristics to UC-400, the Reveal Flush Panel system creates a flat appearance with a bold channel flange that provides visual interest to the soffit.

Standard UC-601 materials are painted steel, painted and anodized aluminum, architectural grade sheet copper and zinc. Available in heavier gauges, narrower widths, embossing and panel ribs to minimize oil-canning. Venting available for soffit applications.

UC-768 V-GROOVE SOFFIT PANEL

This monolithic architectural aluminum panel is engineered specifically for soffit applications. UC-768 utilized a concealed fastening system with interlocking lip. Subtle V-grooves run the length of the panel providing a clean, traditional appearance.

Standard UC-768 material is painted and anodized aluminum. Full or half-vent options available.

FIRESTONE UNA-CLAD™ PROFILED PANEL SERIES

To answer the need for a durable and economical metal roofing solution, Firestone created the UNA-CLAD Profiled Panel Series. Commercial grade metal roof and wall panels provide a traditional metal panel appearance with bold recurring or successive ribs. Architects, designers and building owners can choose from a variety of materials and rib patterns to best accentuate their structure.

UR-Pro	HR-Ultra	VR-Classical	S-V-Crimp	UC-600	UC-601
--------	----------	--------------	-----------	--------	--------

TAL ROOFING

CLAD-GARD™ ROOFING UNDERLAYMENT

CLAD-GARD Roofing Underlayment is easy to install and provides the ideal moisture barrier between the roof deck and the adjacent metal roofing system. It features a slick-resistant surface; is waterlight around fasteners such as nails or other anchors; offers great high-temperature resistance; and is unaffected by water so it can be left exposed for up to 3 months before applying the metal roofing system.

CLAD-GARD SA Underlayment

Self-adhered underlayment for quick, simple installation.

- Premium non-reinforced product that minimizes wrinkling
- Available in a convenient 2-square roll (3' x 67' / 0.9 m x 20 m)
- Heavy-duty adhesive is protected by a split-release plastic liner, which is easily removed for quick installation and placement of the underlayment.
- Two available formulations: CLAD-GARD SA-S (heat resistant up to 250°F [121°C]) and CLAD-GARD SA-N (heat resistant up to 230°F [110°C])

CLAD-GARD R Underlayment

Self-adhered underlayment at an economical price.

- Split-release backing for easy installation
- Covers unboarded which means less waste on the jobsite
- Available in a 2-square roll (3' x 66.7') (0.9 m x 20 m)
- Can be applied directly to Firestone HalfGard® Composite, OSB and plywood substrates
- Eligible for up to a 20-year Red Shield® Warranty

CLAD-GARD MA Underlayment

Mechanically attached choice for reliable results.

- Available in 10-square rolls that are 4' (1.2 m) wide for more square feet per roll and fewer seams
- Lighter than roofing felt at only 21 to 24 kg per roll
- Lays flat and stays wrinkle-free, meaning fewer nails are needed to fasten compared to felt underlayment
- Heat resistant up to 230°F (110°C) without degradation of the material
- Heat resistant up to 230°F (110°C) without degradation of the material

A VALUABLE ADDITION TO A SUSTAINABLE BUILDING PROJECT.

COLOR SELECTION GUIDE

STONE WHITE	BONE WHITE	ALMOND	SANDSTONE
SLATE GRAY	CITYSCAPE	CHARCOAL GRAY	SIERRA TAN
MEDIUM BRONZE	DARK BRONZE	EXTRA DARK BRONZE	MATTE BLACK
BRANDYWINE	COLONIAL RED	TERRA COTTA	MASSARD BROWN
REGAL RED	AWARD BLUE	SKY BLUE	ELECTRIC BLUE
REGAL BLUE	TEAL	PATINA GREEN	DARK IVY
SHERWOOD GREEN	HARTFORD GREEN	HEMLOCK GREEN	TROPICAL PATNA
SILVER METALLIC	CLASSIC COPPER	CHAMPAGNE METALLIC	

Colors shown are as close to actual colors as allowed by the printing process. Your local sales rep can provide actual metal samples and answer questions about custom colors and other special requests.

Firestone
NOBODY COVERS YOU BETTER.™

Firestone Building Products
280 West 98th St., Indianapolis, IN 46280
Corporate Office: 1-800-424-4442 • 317-575-7000

International Offices:

Firestone Building Products Canada
6255 Agincourt Rd., Unit #2
Mississauga, ON L4N 6Z6
1-8

EXISTING FACADE PHOTOGRAPHS



EXISTING FACADE PHOTOGRAPHS



WINDOWS TO BE REPLACED WITH 6X6,
PELLA RESERVE TRADITIONAL WOOD
DOUBLE HUNG WINDOWS

SHUTTERS TO BE REPLACED WITH NEW
PAINTED PVC COMPOSITE SHUTTERS

EXISTING FACADE PHOTOGRAPHS



EXISTING FACADE PHOTOGRAPHS



SHUTTERS TO BE REPLACED WITH NEW
PAINTED PVC COMPOSITE SHUTTERS

WINDOWS TO BE REPLACED WITH 6X6,
PELLA RESERVE TRADITIONAL WOOD
DOUBLE HUNG WINDOWS

REMOVE EXTERIOR SIDING & TRIM
COMPLETELY, SLATE ROOF TO REMAIN

REMOVE REAR ADDITION COMPLETELY

EXISTING FACADE PHOTOGRAPHS



EXISTING FACADE PHOTOGRAPHS

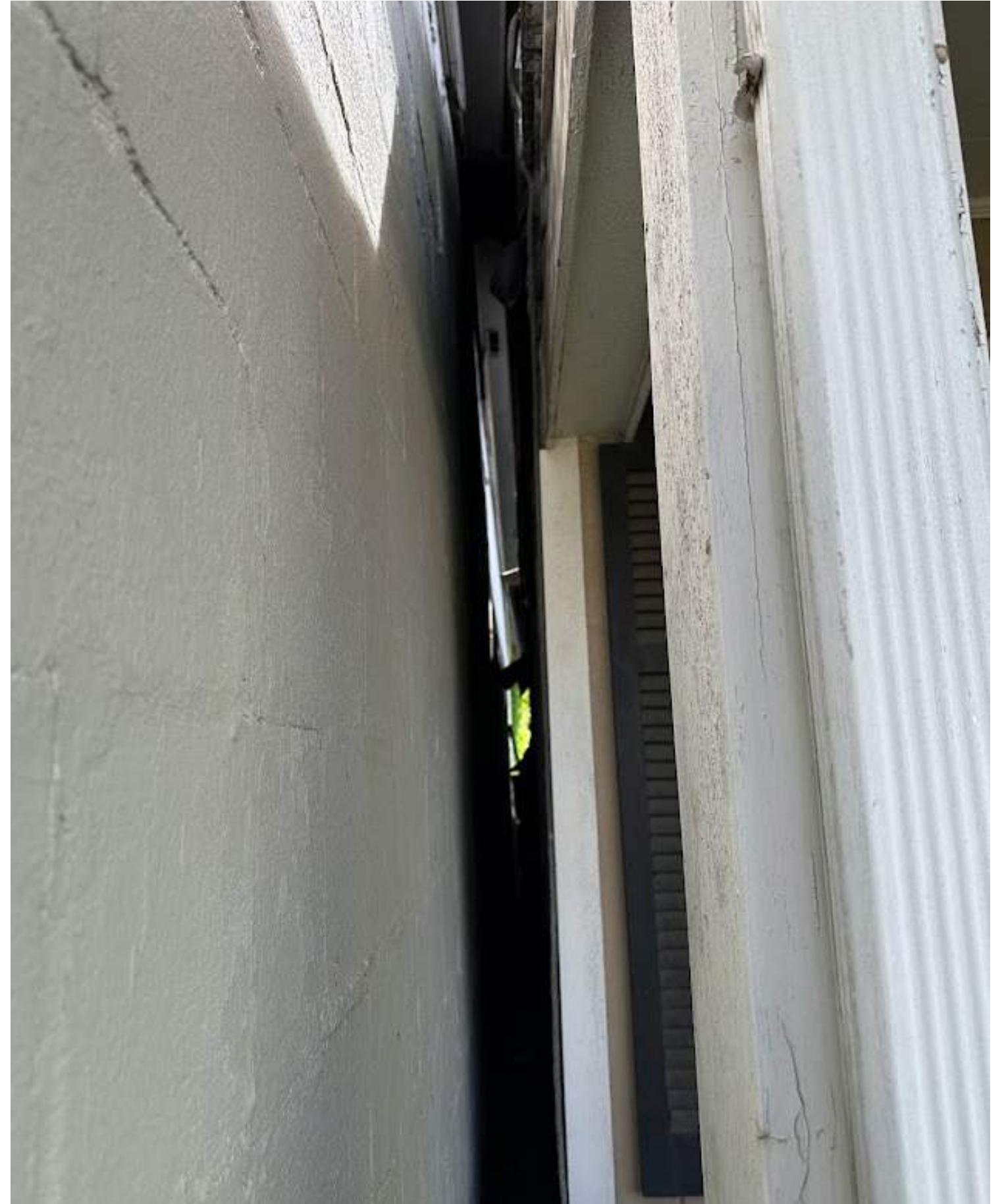


WINDOWS TO BE REPLACED WITH 6X6,
PELLA RESERVE TRADITIONAL WOOD
DOUBLE HUNG WINDOWS

TREE TO REMAIN

REMOVE REAR ADDITION COMPLETELY

EXISTING FACADE PHOTOGRAPHS



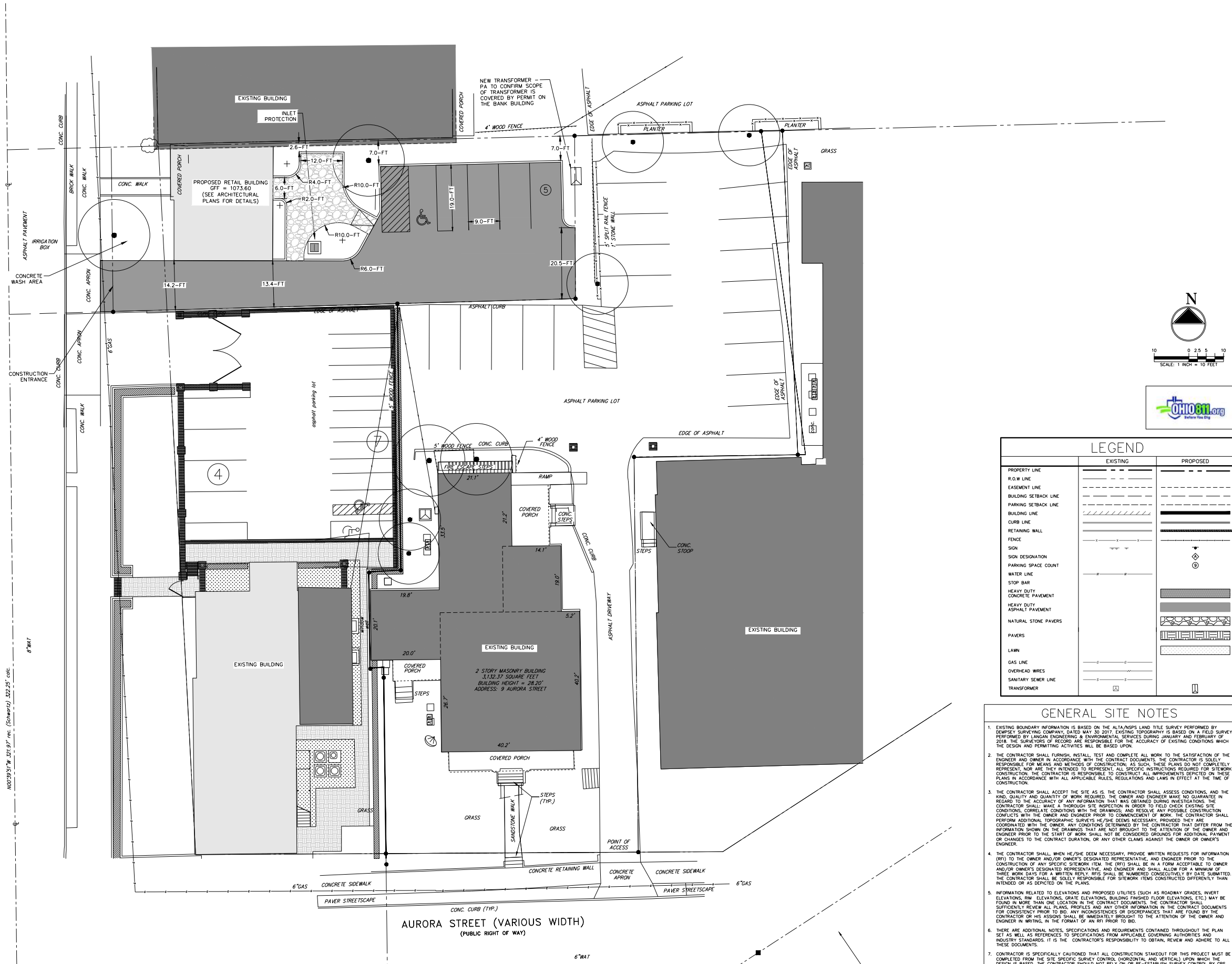
EXISTING FACADE PHOTOGRAPHS



EXISTING FACADE PHOTOGRAPHS



DRAWINGS

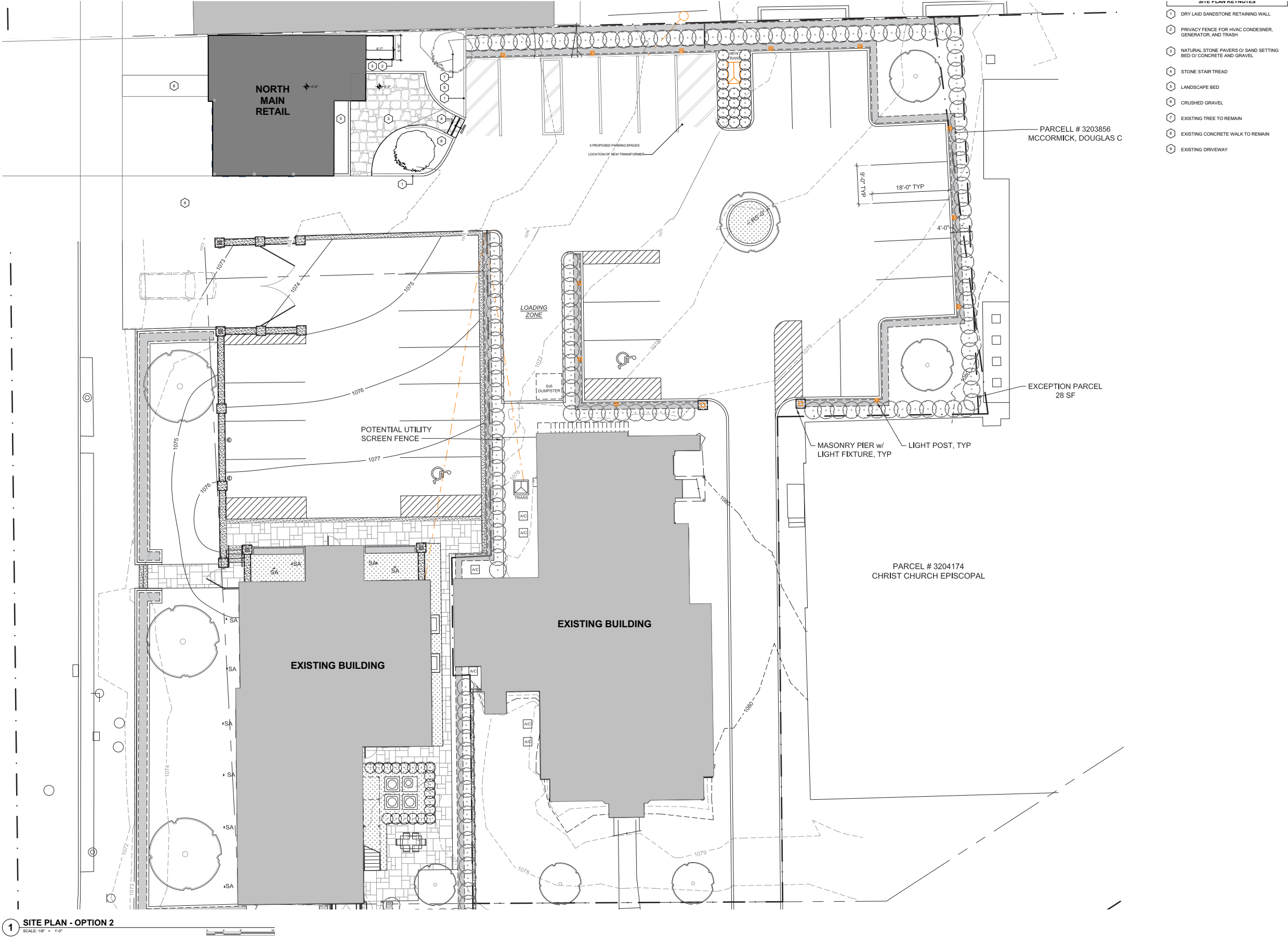


	EXISTING	PROPOSED
PROPERTY LINE		
R.O.W. LINE		
EASEMENT LINE		
BUILDING SETBACK LINE		
PARKING SETBACK LINE		
BUILDING LINE		
CURB LINE		
RETAINING WALL		
FENCE		
SIGN		
SIGN DESIGNATION		
PARKING SPACE COUNT		
WATER LINE		
STOP BAR		
HEAVY DUTY CONCRETE PAVEMENT		
HEAVY DUTY ASPHALT PAVEMENT		
NATURAL STONE PAVERS		
PAVERS		
LAWN		
GAS LINE		
OVERHEAD WIRES		
SANITARY SEWER LINE		
TRANSFORMER		

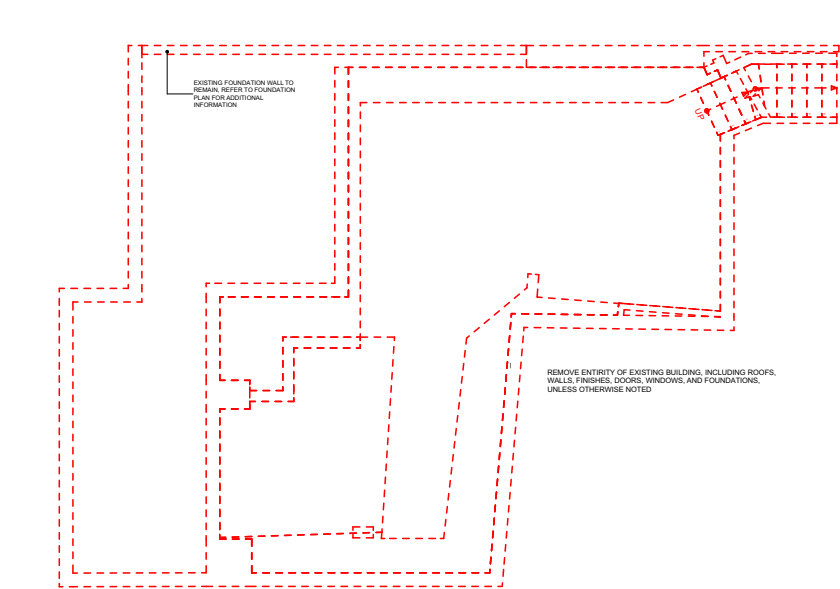
GENERAL SITE NOTES

- [illegible]

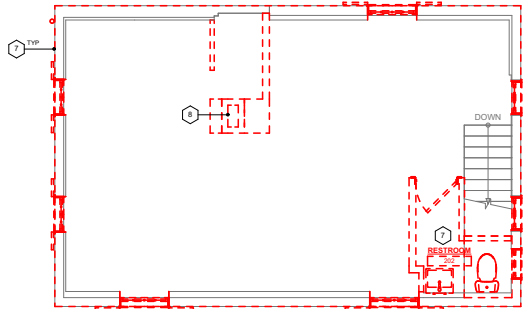
DRAWINGS



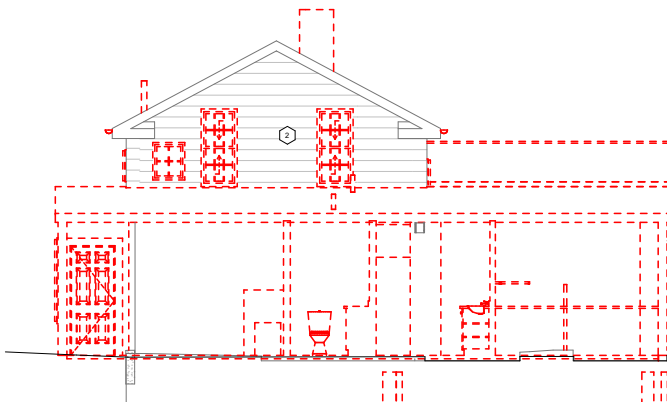
DRAWINGS



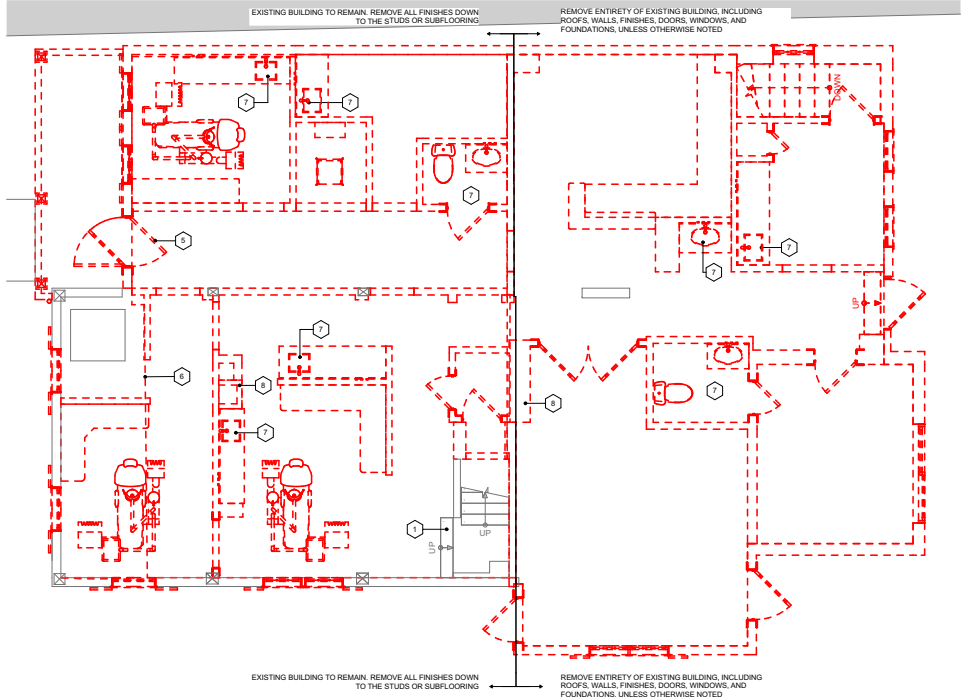
1 BASEMENT DEMOLITION FLOOR PLAN
SCALE: 1/4" = 1'-0"



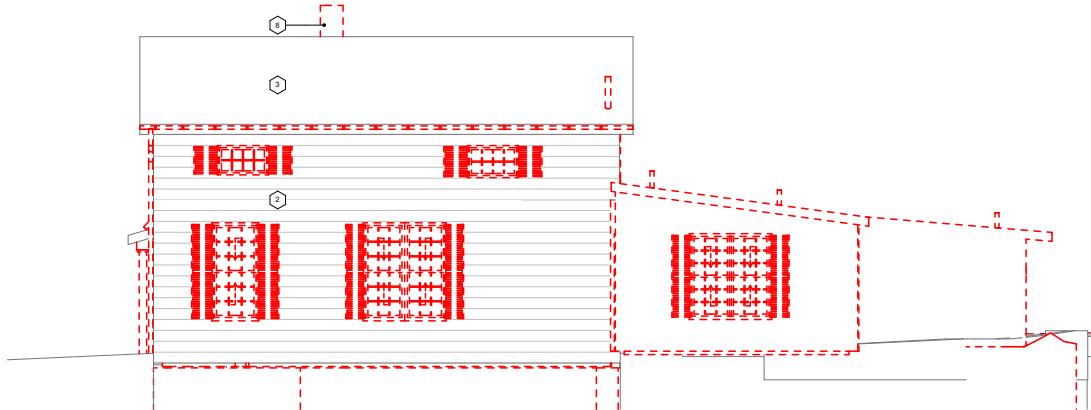
3 SECOND FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



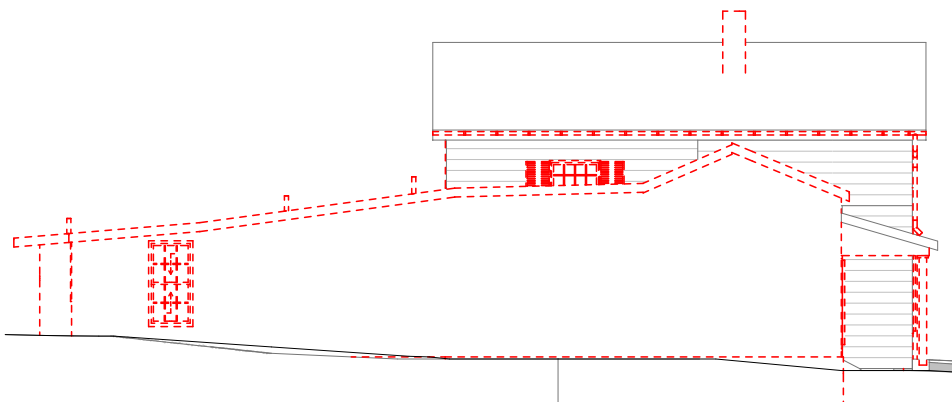
5 DEMOLITION - EXTERIOR ELEVATION - EAST (BACK OF THE BUILDING)
SCALE: 1/4" = 1'-0"



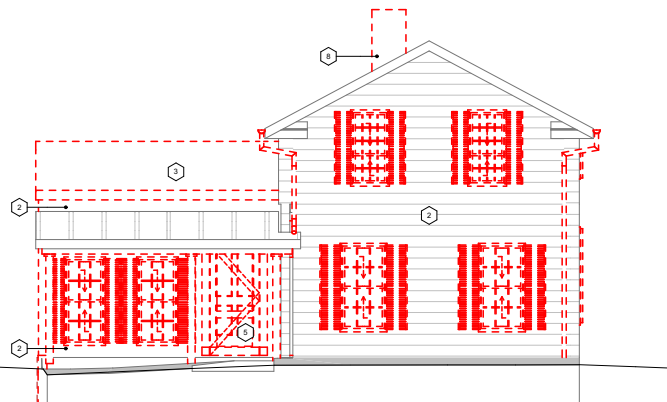
2 FIRST FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



4 DEMOLITION - EXTERIOR ELEVATION - SOUTH (SIDE OF THE BUILDING)
SCALE: 1/4" = 1'-0"



6 DEMOLITION - EXTERIOR ELEVATION - NORTH (SIDE OF THE BUILDING)
SCALE: 1/4" = 1'-0"



7 DEMOLITION - EXTERIOR ELEVATION - WEST (FRONT OF THE BUILDING)
SCALE: 1/4" = 1'-0"

DEMOLITION GENERAL NOTES

- REMOVE ENTIRE WALL TO UNDERSIDE OF DECK UNLESS OTHERWISE NOTED.
- IN DEMOLITION AREAS, REMOVE ALL MISCELLANEOUS ITEMS ON WALLS, UNLESS OTHERWISE NOTED.
- FILL AND LEVEL ALL HOLES IN FLOORS AND WALLS AFTER REMOVAL OR ADDITION OF PIPES, DUCTS, CONDUITS AND OTHER PENETRATING ITEMS. MAINTAIN REQUIRED FIRE RATING.
- REMOVE CEILING WHERE NEW CEILINGS ARE INDICATED AND NOTED.
- TAKE ALL NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO ADJACENT AREAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE INCURRED.
- ALL DEMOLITION ACTIVITIES SHALL BE COORDINATE WITH THE OWNER.
- PATCH AND REPAIR ALL EXISTING ADJACENT INTERIOR FINISHES TO REMAIN AS UNDISTURBED BY THE DEMOLITION TO MATCH ADJACENT SURFACES.
- ALL DEMOLITION ITEMS ARE TO REMAIN THE PROPERTY OF THE OWNER AT THEIR DISCRETION.
- ALL STRUCTURAL MEMBERS ARE TO REMAIN AND BE PROTECTED UNLESS OTHERWISE NOTED.
- NOTIFY ARCHITECT PRIOR TO DEMOLITION IF ITEM INDICATED TO BE REMOVED IS SUSPECT AS STRUCTURAL ELEMENT.
- MAINTAIN BUILDING IN WEATHERTIGHT CONDITIONS AT ALL TIMES.
- ITEMS TO BE REMOVED SHOWN DASHED, TYPICAL.
- WHERE WINDOWS AND DOORS ARE TO BE REMOVED, INFILL WALLS WITH FINISHES TO MATCH SURROUNDING AREAS.
- COORDINATE WITH FLOOR PLANS FOR NEW DOOR AND WINDOW OPENINGS.
- PROVIDE TEMPORARY SHORING FOR FLOOR AND ROOF FRAMING TO REMAIN.
- PERFORM PARTIAL WALL DEMOLITION IN ORDER TO ACCOMMODATE NEW HEADERS, BEAMS, AND POSTS/ COLUMNS.
- REMOVE ALL EXISTING RECEPTACLES AND RELATED CONDUITS AND WIRING THAT ARE AFFECTED BY THE WALL DEMOLITION BACK THE ELECTRICAL PANEL, MAINTAIN CIRCUIT CONTINUITY.

DEMOLITION CODED NOTES

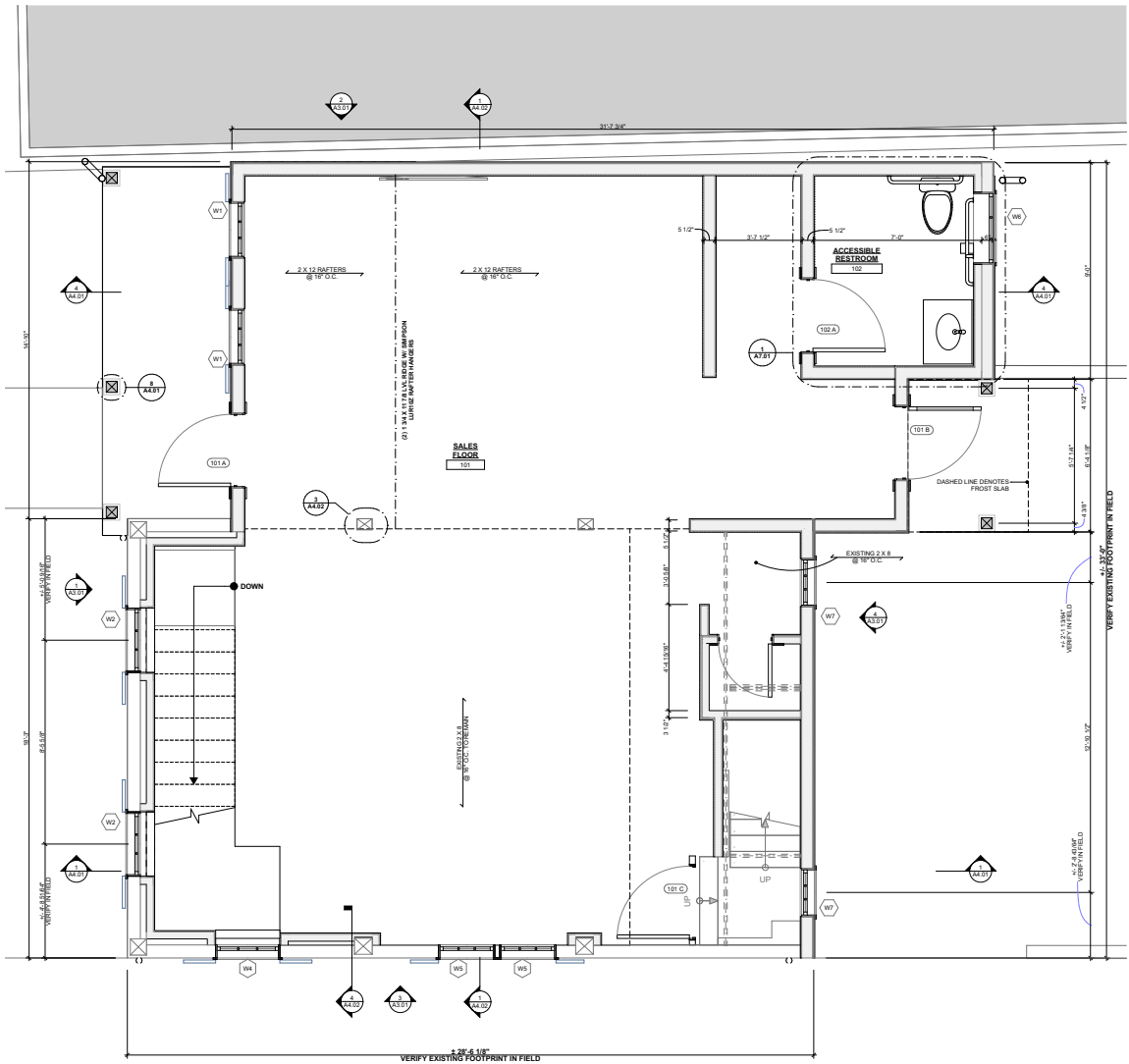
NOTE: ALL CODED NOTES MAY NOT OCCUR ON EVERY SHEET

- 1 EXISTING STAIR AND HANDRAIL TO REMAIN
- 2 EXISTING SIDING TO BE REMOVED
- 3 EXISTING ROOF TO BE REMOVED
- 4 EXISTING WINDOWS TO BE REMOVED
- 5 EXISTING DOOR TO BE REMOVED
- 6 REMOVE PORTION OF THE FLOOR FOR NEW INTERIOR STAIR
- 7 REMOVE EXISTING PLUMBING FIXTURES
- 8 REMOVE EXISTING CHIMNEY

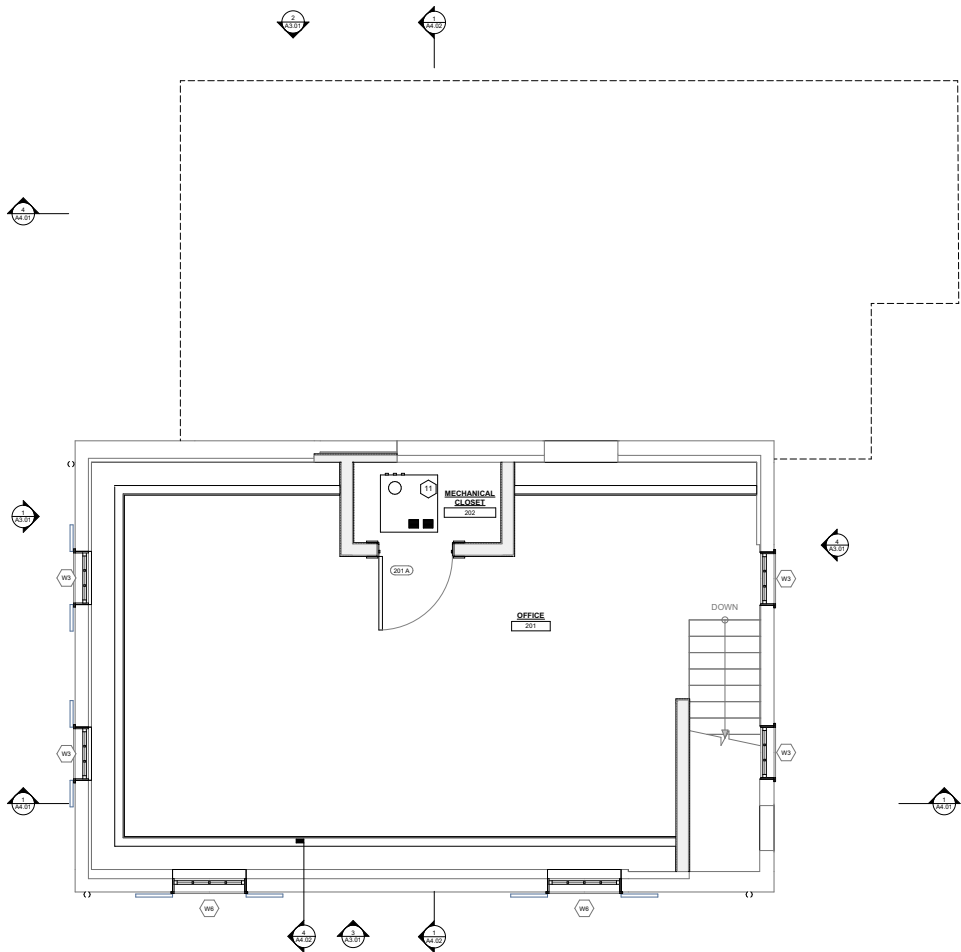
DEMOLITION LEGEND

- EXISTING ELEMENTS TO REMAIN
- ELEMENTS TO BE DEMOLISHED

DRAWINGS



1 FIRST FLOOR PLAN (SHELL)
SCALE: 3/8" = 1'-0"

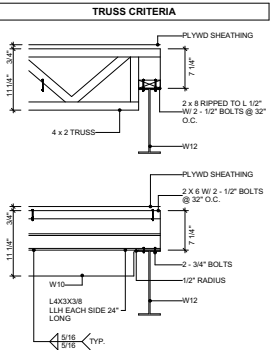


2 SCALE: 3/8" = 1'-0"

- FLOOR PLAN GENERAL NOTES
- ALL INTERIOR WALLS SHALL BE 2x6 WOOD STUDS WITH (1) LAYER 5/8" GYPSUM BOARD ON BOTH SIDES UNLESS NOTED OTHERWISE. REFER TO G1.01 FOR TERMINATION DETAILS AND FLOOR TO FLOOR HEIGHTS, TYPICAL.
 - CIVIL GROUND FLOOR FINISH ELEVATION = 1063.00'. ARCHITECTURAL GROUND FLOOR FINISH ELEVATION = 0'-0".
 - VERIFY DIMENSIONS AND CONDITIONS IN FIELD. WHEN DIMENSIONS AND/OR CONDITIONS AS INDICATED ON DRAWINGS CONFLICT WITH ACTUAL, CONTACT ARCHITECT FOR CLARIFICATION.
 - TYPICAL MOUNTING HEIGHTS & LOCATIONS OF FIXTURES, ACCESSORIES AND SELECT EQUIPMENT ARE SHOWN ON SHEET G1.01.
 - FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BIDDING, DEMOLITION, AND NEW CONSTRUCTION.
 - ALL WOOD BLOCKING AND BACKER BOARDS ARE TO BE FIRE RETARDANT TREATED TYPE.
 - PROVIDE DOUBLE TOP TRACK DEFLECTION JOINT AT ALL WALLS WHICH EXTEND TO UNDERSIDE OF ROOF DECK ABOVE.
 - COORDINATE LOCATION OF EQUIPMENT AND PENETRATIONS WITH MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS.
 - SEE EXTERIOR ELEVATIONS FOR IDENTIFICATION OF WINDOW TYPES AND SIZES.
 - HINGE SIDE OF DOOR JAMB LOCATED IN METAL STUD WALLS TO BE 4" FROM ADJACENT PERPENDICULAR WALLS, UNO.
 - ALL DOORS ARE DIMENSIONED TO THE CENTER LINE OF THE ROUGH OPENING.
 - VERIFY LOCATIONS OF FIRE EXTINGUISHERS WITH LOCAL FIRE DEPARTMENT OFFICIAL AND ARCHITECT PRIOR TO PLACEMENT. ALL EXTINGUISHERS TO BE RECESSED CABINET MOUNTED TYPE, UNO.
 - PROVIDE BLOCKING BEHIND ALL AV EQUIPMENT, WALL SPEAKERS, CEILING MOUNTED PROJECTORS, HANDRAILS, ACCESSORIES, ETC. CONTRACTOR RESPONSIBLE FOR MSG STEEL, UNISTRUT, PLY WOOD BLOCKING, STRAPPING ETC AS REQUIRED TO FULLY SUPPORT EQUIPMENT AND ACCESSORIES AS INDICATED IN DOCUMENTS.
 - VERIFY RATED ASSEMBLIES WITH LIFE SAFETY SHEETS.
 - MOISTURE RESISTANT GYP BD TO BE USED ON WALLS AND CEILINGS OF ALL RESTROOMS AND KITCHENS.
 - PROVIDE LEVEL SURFACES AND PREP FLOOR TO RECEIVE SCHEDULED FINISH

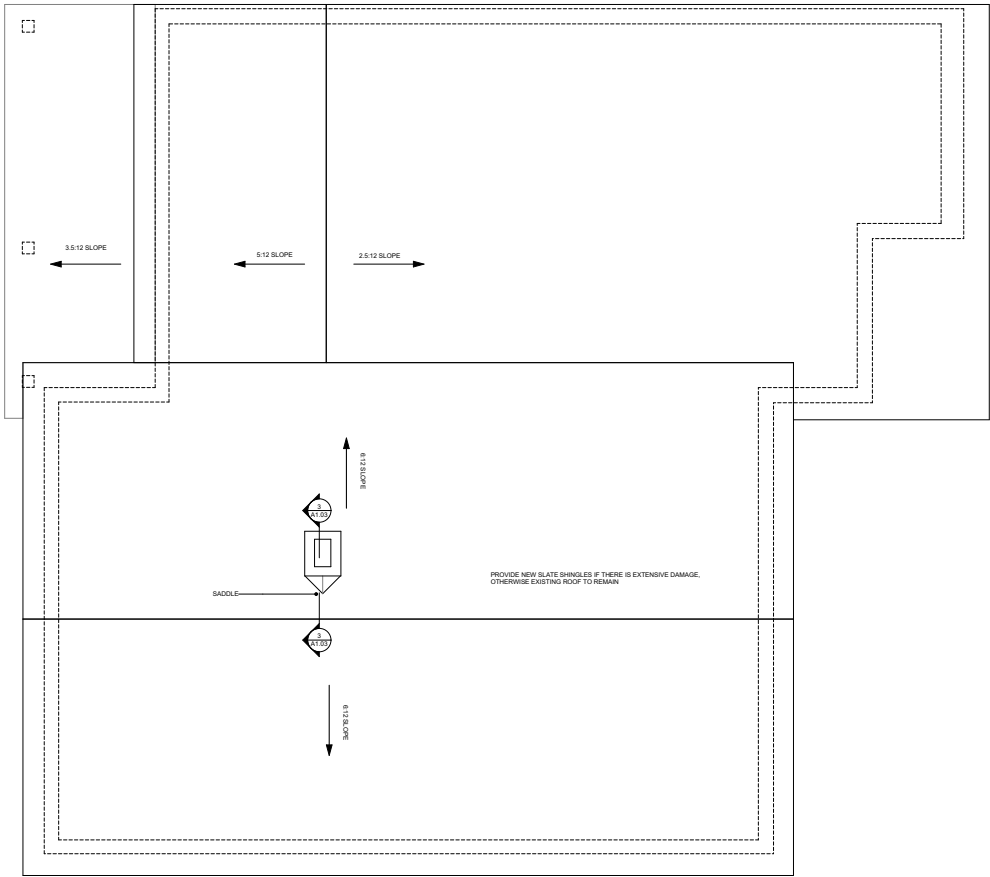
- FLOOR PLAN CODED NOTES
- NOTE: ALL CODED NOTES MAY NOT OCCUR ON EVERY SHEET
- 1 4'-0" x 8'-0" OPEN TABLE FOR SAMPLING & SALES
 - 2 WALL MOUNTED TV
 - 3 LF DISPLAY CABINET
 - 4 TALL CABINETS
 - 5 DUMBWATER, BASIS OF DESIGN: INTELL-LIFT PRO 250 28x28x28 SAME SIDE WITH BL-PARTING GATE & SWING DOORS
 - 6 NEW STAIR TO BASEMENT WITH CUSTOM DISPLAY MILLWORK
 - 7 CONCEALED DOOR
 - 8 EXISTING PILASTER TO BE FURRED OUT
 - 9 DISHWASHER
 - 10 LF DISPLAY CABINET SUSPENDED

- INTERIOR STUD WALL SYMBOL KEY
- 1 GYP. BOARD CONFIGURATION
- 1 - GYP. BOARD FULL HEIGHT, BOTH SIDES
 - 2 - GYP. BOARD FULL HEIGHT, ONE SIDE
 - 3 - GYP. BOARD TO 6" ABOVE FINISH CEILING, BOTH SIDES, NON-RATED
 - 4 - 1 HR FIRE BARRIER
 - 5 - 2 HR FIRE BARRIER
 - 6 - 1 HR FIRE PARTITION
- STUD WIDTH / TYPE DESIGNATION
- | | |
|-----------------|------------------|
| A = 5 1/2" / WD | E = 9 1/4" / WD |
| B = 3 1/2" / WD | F = 11 1/4" / WD |
| C = 1 1/2" / WD | G = RESERVED |
| D = 7 1/4" / WD | H = RESERVED |
- TYPES:
- | | |
|-----|--------------------|
| WD | DIMENSIONAL LUMBER |
| MTL | METAL STUDS |
| ST | STRUCTURAL STUDS |

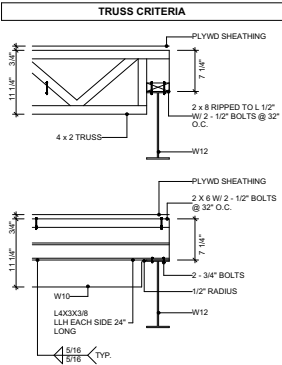
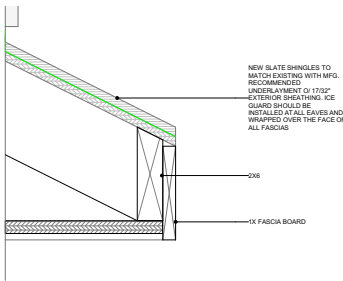
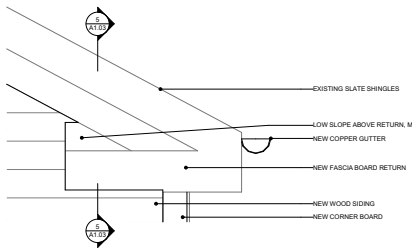
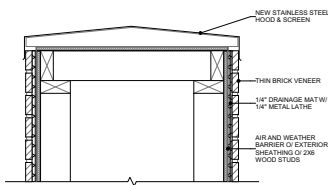
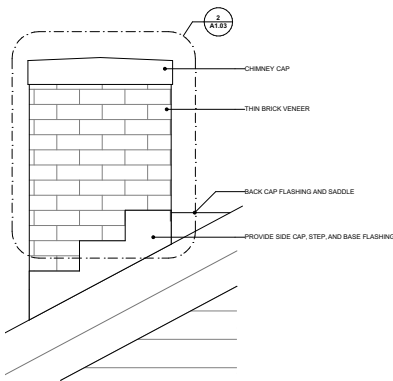


SQUARE FOOTAGE	
FLOOR	AREA
FOUNDATION	754
FIRST FLOOR	849
SECOND FLOOR	520
2,123 SF	

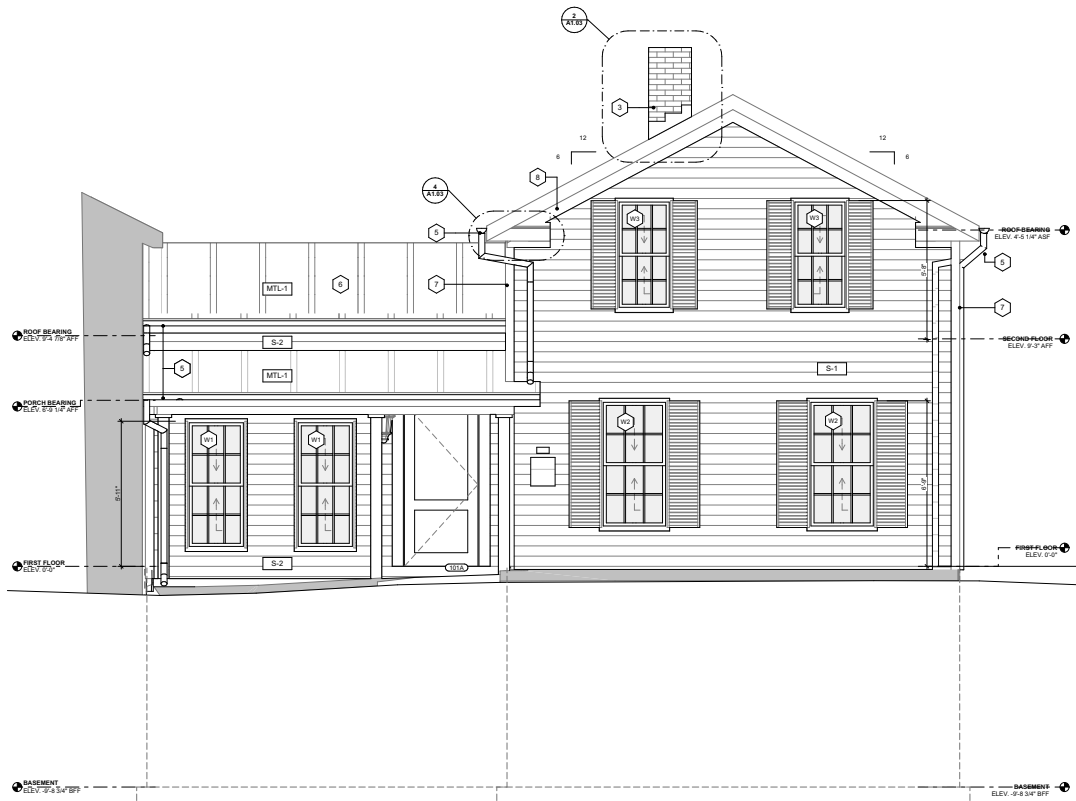
DRAWINGS



1 ROOF PLAN
SCALE: 3/8" = 1'-0"

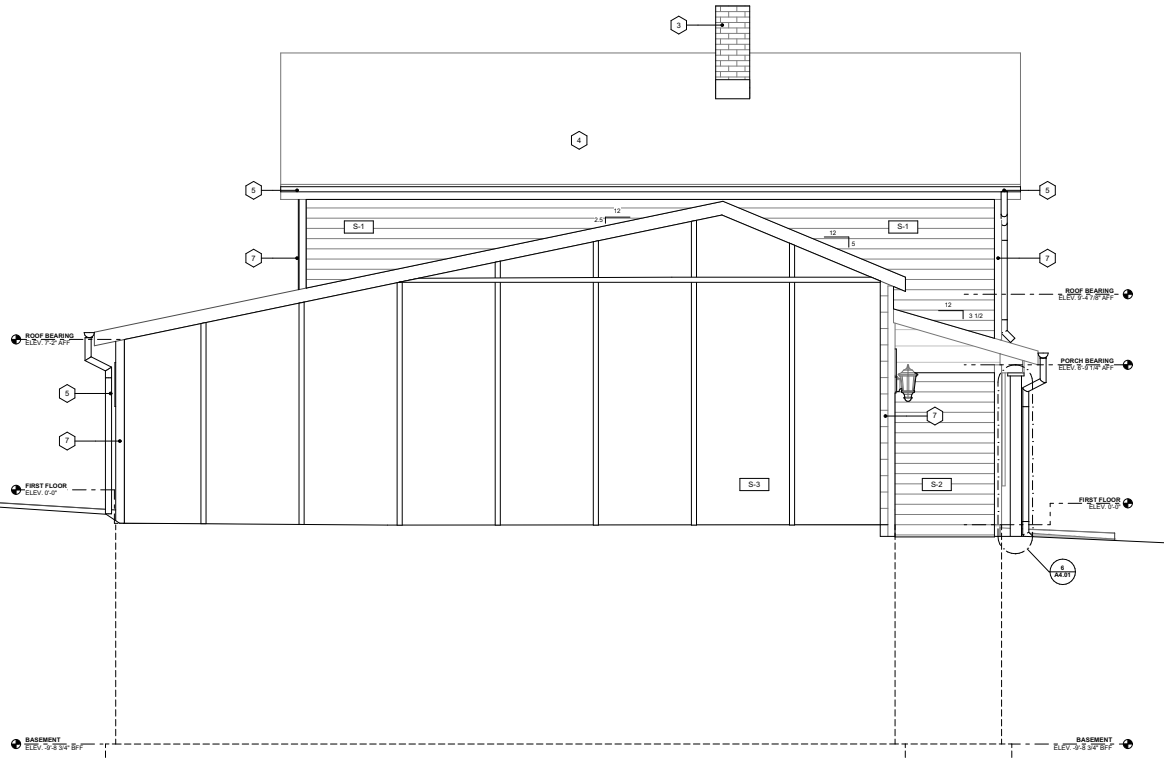


DRAWINGS



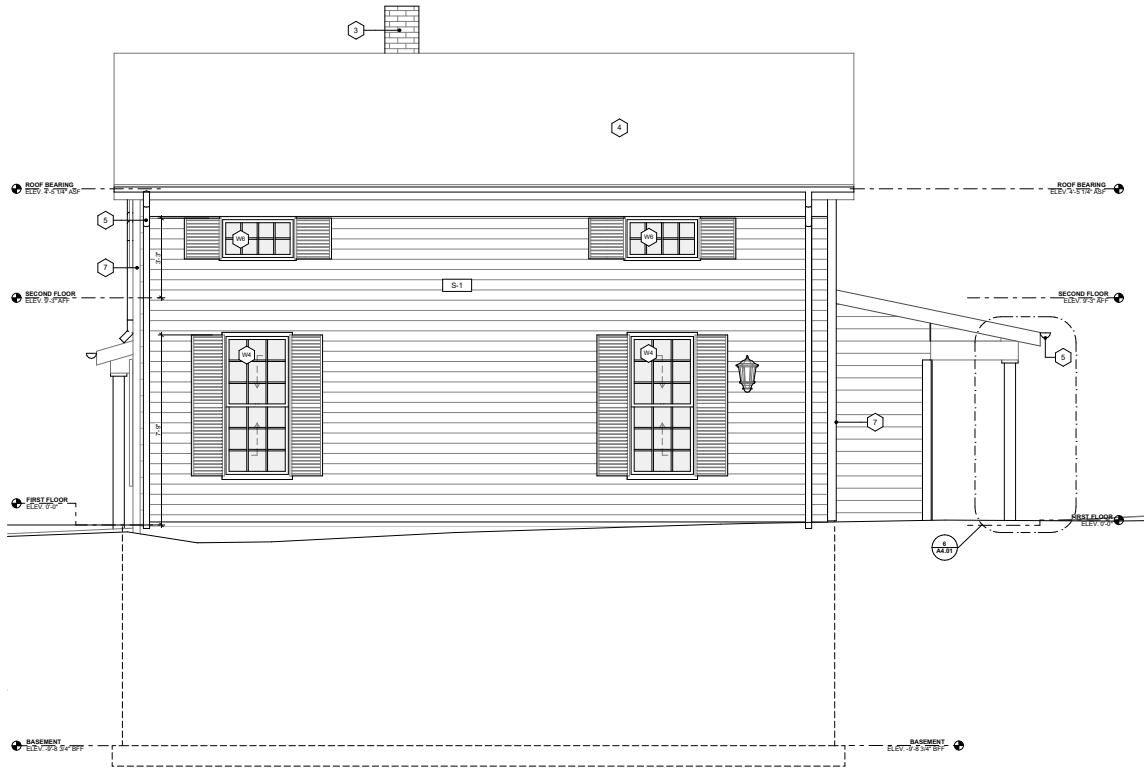
1 EXTERIOR ELEVATION - WEST (FRONT OF THE BUILDING)

SCALE: 3/8" = 1'-0"



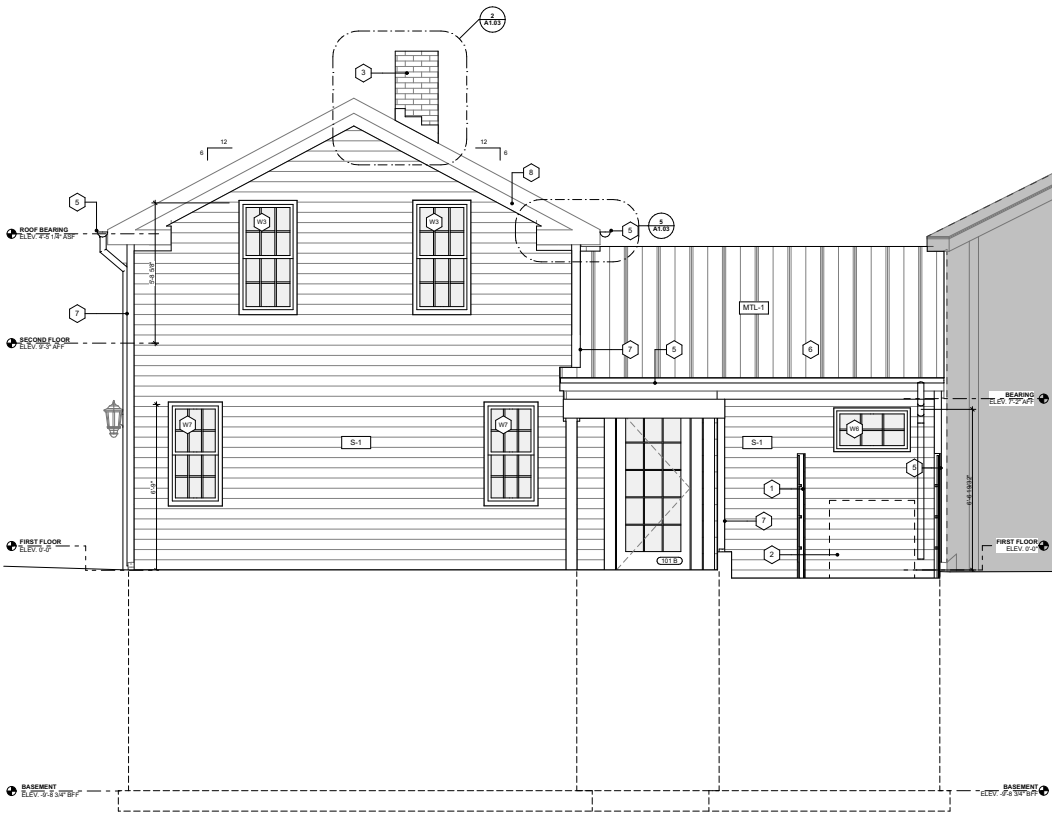
2 EXTERIOR ELEVATION - NORTH (SIDE OF THE BUILDING)

SCALE: 3/8" = 1'-0"



3 EXTERIOR ELEVATION - SOUTH (SIDE OF THE BUILDING)

SCALE: 3/8" = 1'-0"



4 EXTERIOR ELEVATION - EAST (BACK OF THE BUILDING)

SCALE: 3/8" = 1'-0"

GENERAL ELEVATION NOTES

REFER TO EXTERIOR WALL TYPES LEGEND BELOW FOR TYPICAL WALL CONSTRUCTION INFORMATION. HORIZONTAL EXTENTS OF EXTERIOR WALL CONSTRUCTION ARE INDICATED ON THE FLOOR PLAN.

ROOF SOFFITS TO BE AC PLYWOOD WITH A CONTINUOUS LINEAR VENT UNLESS NOTED OTHERWISE.

ALL WOOD EXTERIOR TRIM TO BE PAINTED.

ALL ROOF PENETRATIONS TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION TO ENSURE AESTHETIC EXPECTATIONS ARE MAINTAINED.

ALL FOUNDATIONS TO BE PARGED ABOVE GRADE.

GUTTER PROFILES SHALL BE SUBMITTED FOR APPROVAL PRIOR TO ORDERING.

ELEVATION KEYNOTES

- 1 NEW WOOD PRIVACY FENCE, PAINTED OR STAINED
- 2 NEW HVAC AND GENERATOR
- 3 NEW BRICK CHIMNEY TO MATCH HISTORIC
- 4 EXISTING SLATE SHINGLE ROOF TO REMAIN
- 5 NEW COPPER GUTTERS AND DOWNSPOUTS
- 6 NEW METAL STANDING SEAM ROOF TO MATCH EXISTING
- 7 1X4 WOOD CORNER BOARDS
- 8 1X6 WOOD RAKE TRIM, PNT TO MATCH TRIM

MATERIAL SCHEDULE

ALL MATERIAL ASSEMBLIES LISTED BELOW TO OCCUR OVER THE FOLLOWING UNLESS NOTED OTHERWISE:

- O WEATHER BARRIER
- O APARATED EXTERIOR GRADE OSB SHEATHING
- O 2x6 STUDS W/ R-19 BATT INSULATION

(S-1) - WOOD SIDING

ALL LAP SIDING IS TO BE PRIMED ON ALL FOUR SIDES. PAINTED. COORDINATE FINAL COLOR WITH ARCHITECT AND OWNER.

(S-2) - WOOD SIDING

FLUSH BOARD SIDING IS TO BE PRIMED ON ALL FOUR SIDES. PAINTED. COORDINATE FINAL COLOR WITH ARCHITECT AND OWNER.

(S-3) - FIBER CEMENT SIDING

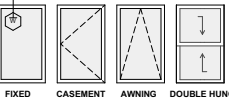
HARDIE FIBER CEMENT SIDING. COORDINATE FINAL COLOR WITH ARCHITECT AND OWNER.

(MTL-1) - STANDING SEAM METAL ROOF

METAL STANDING SEAM ROOF. NO STRUTS OR RISERS. TO MATCH EXISTING PROPORTIONS OF MANUFACTURER'S RECOMMENDED UNDERLAYMENT. O 19/32" APARATED EXTERIOR GRADE SHEATHING. ICE GUARD SHOULD BE INSTALLED AT ALL EAVES AND VALLEYS, UP 12" AND WRAPPED OVER THE FACE OF ALL FASCIAS.

WINDOW LEGEND

FRAME / WINDOW TYPE DESIGNATION - REFER TO FRAME / WINDOW TYPE ELEVATIONS



BASIS OF DESIGN:

ALL WINDOWS ARE TO BE PELLA RESERVE - TRADITIONAL DOUBLE HUNG - OR APPROVED EQUAL. PROVIDE NEW PAINTED PVC COMPOSITE SHUTTERS.

WINDOW HEAD GIVEN ABOVE FIRST AND SECOND FLOOR. CONFIRM WINDOW QUANTITIES WITH ELEVATIONS.

** WINDOW COUNT PROVIDED FOR GENERAL REFERENCE AND VERIFICATION ONLY. CONTRACTOR TO VERIFY TOTAL NUMBER OF WINDOWS WITH DOCUMENTS.

WINDOW SCHEDULE REMARKS

- WINDOWS INDICATED WITH ZERO SEPARATION HAVE MULLED FRAMES. REFER TO EXTERIOR ELEVATIONS FOR CONFIGURATIONS AND QUANTITY.
- PROVIDE PRIVACY WINDOW FILM AT ACCESSIBLE RESTROOM ON FIRST FLOOR.

WINDOW SCHEDULE				
ID	W x H	OPERATION	EGRESS	REMARKS
W1	2'-4" x 5'-2"	DOUBLE HUNG	-	
W2	2'-8" x 5'-2"	DOUBLE HUNG	-	
W3	2'-2" x 4'-0"	DOUBLE HUNG	-	
W4	2'-0" x 5'-2"	DOUBLE HUNG	-	
W5	2'-0" x 4'-0"	FIXED	-	
W7	2'-0" x 4'-0"	DOUBLE HUNG	-	

Peninsula
www.pa-architects.com
1775 Main Street
Peninsula, Ohio 44264
T 330.657.2800



PENINSULA ARCHITECTS
1775 MAIN STREET, PENINSULA, OHIO
P: 330.657.2800

CONTACT: NATE BAILEY

LEWIN AND ASSOCIATES
4110 MAYFIELD ROAD, SOUTH EUCLID, OHIO
P: 216.291.3131

CONTACT: ISAAC LEWIN

CIVIL DESIGN GROUP
36225 DETROIT ROAD, UNIT 475, AVON, OHIO
P:330.799.7291

CONTACT: JOSHUA OSTERHOUT

WRIGHT ENGINEERING
190 NORTH UNION STREET, SUITE 303 AKRON, OHIO
P: 330.606.2957

CONTACT: ERIC WRIGHT

VILLA CUSTOM BUILDERS
14885 ENSIGN RD, BURTON, OHIO 44020
P: 440.636.3494

CONTACT: JORDAN SNEDEKER

ABBREVIATIONS

ABC	ABOVE	HC	HOLLOW CORE
AV	AIR CONDITIONING	HDWR	HARDWARE
AFU	ABOVE FINISHED FLOOR	HVAC	HEATING, VENTILATION, AND
ALT	ALTERNATE	HT	HEATING
AHJ	AUTHORITY HAVING JURISDICTION	INSUL	INSULATION
ALUM	ALUMINUM	JST	JOIST
APPROX.	APPROXIMATELY		
ARCH	ARCHITECTURAL		
ASPH	ASPHALT		
BD	BOARD	LAM	LAMINATED
BLDG	BUILDING	LF	LINEAR FOOT
BRG	BEARING		
BTM	BOTTOM	MAS	MASONRY
BTW	BETWEEN	MATL	MATERIAL
		MECH	MECHANICAL
CF	CUBIC FEET	MFG	MANUFACTURER
CH	CASE IN PLACE	MIN	MINIMUM
CL	CEILING	MIS	MISCELLANEOUS
CMR	CLEAR	MOS	MASONRY OPENING
CLU	CONCRETE MASONRY UNIT	MTD	MOUNTED
CONC	CONCRETE	NLT	NET
CO	CLEAN OUT	NOM	NOMINAL
CONT	CONTINUOUS	NTS	NOT TO SCALE
DBL	DOUBLE		
DEPT	DEPARTMENT	O	OVER
DIA	DIAMETER	O.C.	ON CENTER
DNM	DIMENSION	OPN	OPENING
DN	DOWN		
DS	DOWNSPOUT	PREFAB	PREFABRICATED
DOOR	DOOR	PLYWD	PLYWOOD
DWG	DRAWING	PL LAM	PLASTIC LAMINATE
		PR	POUNDS PER SQUARE INCH
		PSI	
EA	EACH		
ELEC	ELECTRICAL	REF	REFERENCE
EQ	EQUAL	RM	ROOM
EXH	EXHAUST	RO	ROUGH OPENING
EXIST	EXISTING	REQ	REQUIRED
EXP	EXPOSED		
EXT	EXTERIOR	SC	SOLID CORE
		SECT	SECTION
FDN	FLOOR FOUNDATION	SIM	SIMILAR
FIN	FINISHED	STRUC	STRUCTURAL
FTR	FLOOR		
FT	FOOT	TPP	TYPICAL
FTG	FOOTING	UNO	UNLESS NOTED OTHERWISE
FUR	FURRING		
		W	WELDED WIRE FABRIC
GALV	GALVANIZED	WWF	
GA	GAUGE		
GC	GENERAL CONTRACTOR		
GVD	GRID SYSTEM BOARD		
GYP	GYPSON		

PROJECT INFORMATION	
PARTIAL DEMOLITION AND INTERIOR RENOVATION OF AN EXISTING TWO STORY COMMERCIAL BUILDING	
CITY:	HUDSON
COUNTY:	SUMMIT
SQUARE FOOTAGES	
BASEMENT	754 SF
FIRST FLOOR FINISHED	849 SF
EXTERIOR COVERED AREAS	79 SF
SECOND FLOOR FINISHED	520 SF
TOTAL FINISHED SQUARE FOOTAGE	2,123 SF

PROJECT GENERAL NOTES

CONTRACTOR SHALL PROVIDE ALL MATERIALS AND WORKMANSHIP FOR ALL CONSTRUCTION REQUIRED HEREUNDER AND SHALL BE IN ACCORDANCE WITH THE:

- BUILDING CODE
- RESIDENTIAL BUILDING CODE
- MECHANICAL CODE
- ENERGY CONSERVATION CODE
- MULTI-JURISDICTION INTERFACE
- NFPA-70 - NATIONAL ELECTRICAL CODE
- UNIFORM PLUMBING CODE

THE CONTRACTOR WILL FURNISH ALL LABOR, MATERIAL, EQUIPMENT, PERMITS, TAXES AND INSURANCE NECESSARY TO COMPLETE THE WORK INDICATED AND/OR IMPLIED IN THE CONSTRUCTION DOCUMENTS OF THIS PROJECT. THE CURRENT NATIONAL AND APPLICABLE CITY/COUNTY ORDINANCES, LOCAL LAWS, AND AUTHORITIES HAVING JURISDICTION; CODE STANDARDS AND PUBLICATIONS OF THE CONTRACTOR SHALL BE SUPPLIED, UNLESS OTHERWISE SPECIFIED. THE DRAWINGS, WHEN THEY ARE TO BE CONSIDERED TO BE THOSE IN FORCE AT THE TIME OF THE CONTRACT AWARD.

THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONTROLLED INSPECTIONS AND ANY TECHNICAL TESTING REQUIRED FOR CONTROLLED INSPECTIONS AS STIPULATED BY ALL APPLICABLE CODES.

ALL MANUFACTURED ARTICLES, MATERIALS, AND EQUIPMENT WILL BE NEW AND FREE OF DEFECTS AND WILL BE SUPPLIED INSTALLED AND GUARANTEED UNDER DEALER'S WARRANTY. THE CONTRACTOR IS DIRECTED BY THE RESPECTIVE MANUFACTURERS, UNLESS SPECIFIED OTHERWISE.

THE CONTRACTOR WILL NOTIFY THE ARCHITECT OF ANY ERRORS, OMISSIONS, CONFLICTS, OR AMBIGUITIES IN BETWEEN THE DRAWINGS AND THE SPECIFICATIONS PRIOR TO PROCEEDING WITH THE WORK. IF SUCH NOTICE IS NOT FURNISHED TO THE ARCHITECT, THE CONTRACTOR WILL BE DEEMED TO HAVE ACCEPTED THE DRAWINGS AND SPECIFICATIONS AND TO HAVE FOUND THEM IN PROPER FORM.

THE CONTRACTOR REPRESENTS THAT HE HAS HAD ADEQUATE ACCESS TO THE JOB SITE AND BUILDING AREA IN WHICH THE WORK IS TO BE PERFORMED, THAT HE HAS SATISFIED HIMSELF AT THE NATURE AND LOCATION OF ANY OBSTRUCTIONS, SCOPE OF WORK, ACTUAL LEVELS, ELEVATIONS, UTILITIES, EQUIPMENT AND FACILITIES NEEDED PRELIMINARY TO AND DURING THE EXECUTION OF THE WORK AND ALL OTHER MATTERS, WHICH CAN IN ANY WAY AFFECT THE WORK OR THE COST THEREOF UNDER THIS CONTRACT, AND THAT HE HAS REVIEWED THE CONTRACT DOCUMENTS AND ALL OTHER DOCUMENTS PERTAINING TO THE INSTALLATION OF OTHER TRADES WHICH MAY INFLUENCE HIS WORK.

THE CONTRACTOR WILL ASSUME FULL RESPONSIBILITY, INCLUDING RESPONSIBILITY FOR ALL RELATED PERMITS, TAXES AND INSURANCE, FOR THE WORK OF THE ARCHITECT. THE CONTRACTOR IS SUBJECT TO CONFLICT WITH THE CONTRACT, DRAWINGS, OR SPECIFICATIONS.

THE CONTRACTOR WILL BE RESPONSIBLE FOR THE SAFE WORKING CONDITIONS AT THE SITE. THE ARCHITECT AND OWNER WILL NOT BE DEEMED TO HAVE ANY RESPONSIBILITY OR LIABILITY IN CONNECTION WITH SAFETY.

CONSTRUCTION OPERATIONS SHALL NOT INVOLVE INTERRUPTION OF HEATING, WATER, ELECTRICAL, OR OTHER SERVICES TO ANY PORTION OF THE BUILDING OUTSIDE THE LIMITS OF THE CONSTRUCTION SITE.

THE CONTRACTOR WILL BE RESPONSIBLE FOR CORRECTING ANY DEFICIENCIES CAUSED BY DEFECTIVE OR ILL-TIMED WORK AT AN ADDITIONAL COST TO THE OWNER.

NO SUBSTITUTIONS ARE PERMITTED EXCEPT WHERE THE TERM "APPROVED EQUIP." APPEARS. ALL SUCH EQUIPMENT MUST BE APPROVED BY THE ARCHITECT. THE CONTRACTOR IS TO SUBMIT SAMPLES ON CATEGORY CLOTS OF ALL VISIBLE MATERIALS AND EQUIPMENT FOR THE ARCHITECT'S REVIEW AND APPROVAL BEFORE INSTALLATION.

CONTRACTOR TO MAINTAIN FOLLOW-UP PLANS AND INSULATION INSTRUCTIONS ON SITE, AND INSULATOR

PERFORM VISUAL INSPECTION OF ENVELOPE AND INSULATION TO MEET 2009 IECC, 402.4.2 AIR SEALING

CODE INFORMATION	
------------------	--



www.pa-architects.com

1775 Main Street
Peninsula, Ohio 44264
T 330.657.2890

**PROGRESS
NOT FOR
CONSTRUCTION**

9/19/2023

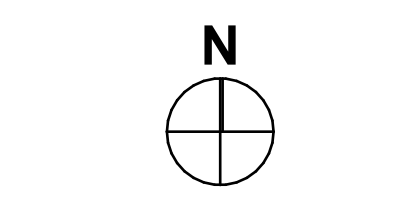
PROJECT TEAM:

CIVIL ENGINEER:
CIVIL DESIGN GROUP
P 440.799.7281

STRUCTURAL ENGINEER:
JA LEWIN & ASSOCIATES
P 216.291.3131

MEP ENGINEER:
WRIGHT ENGINEERING
P 330.606.2957

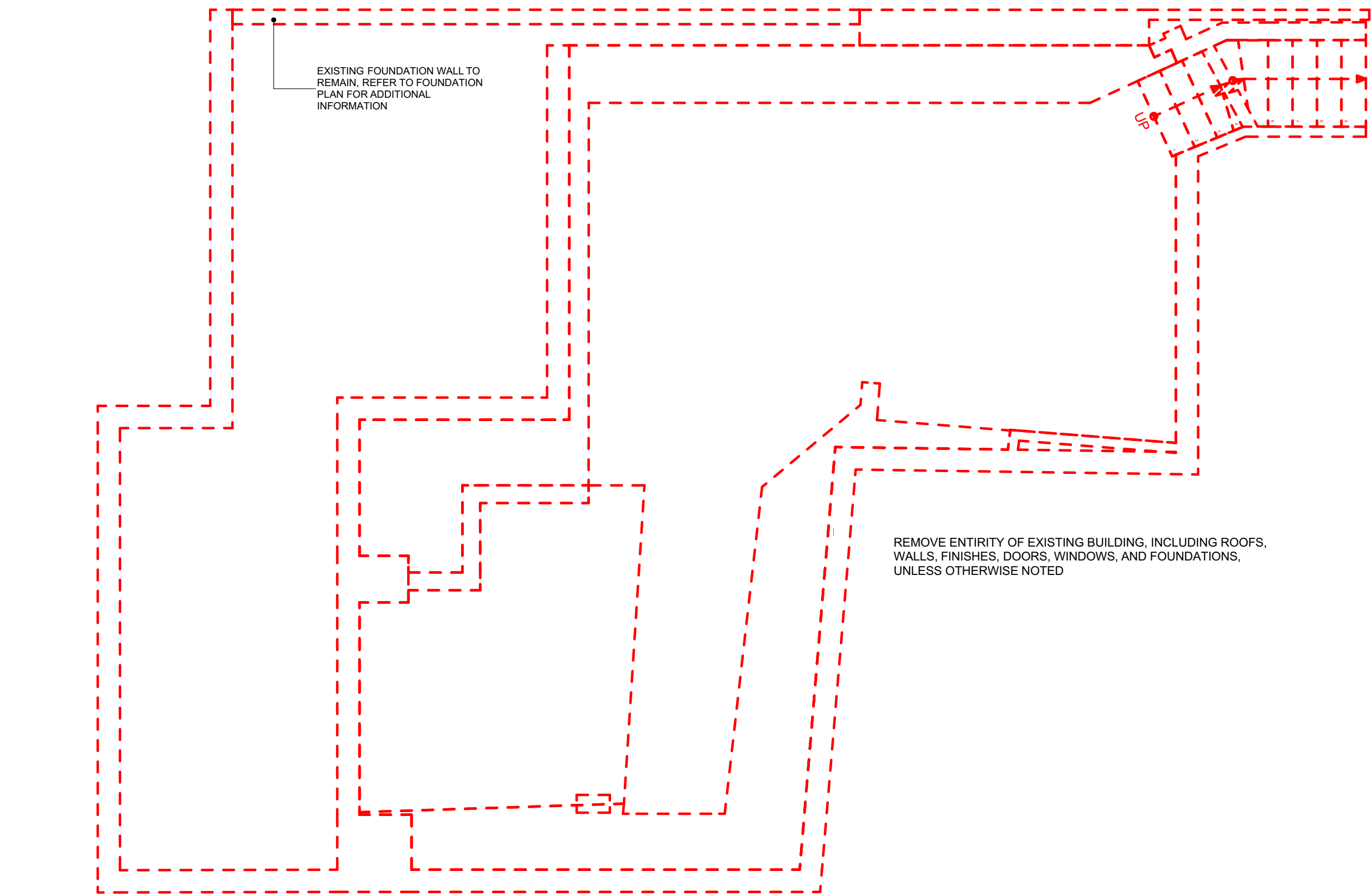
NORTH MAIN RETAIL
201 NORTH MAIN STREET¹, HUDSON, OHIO



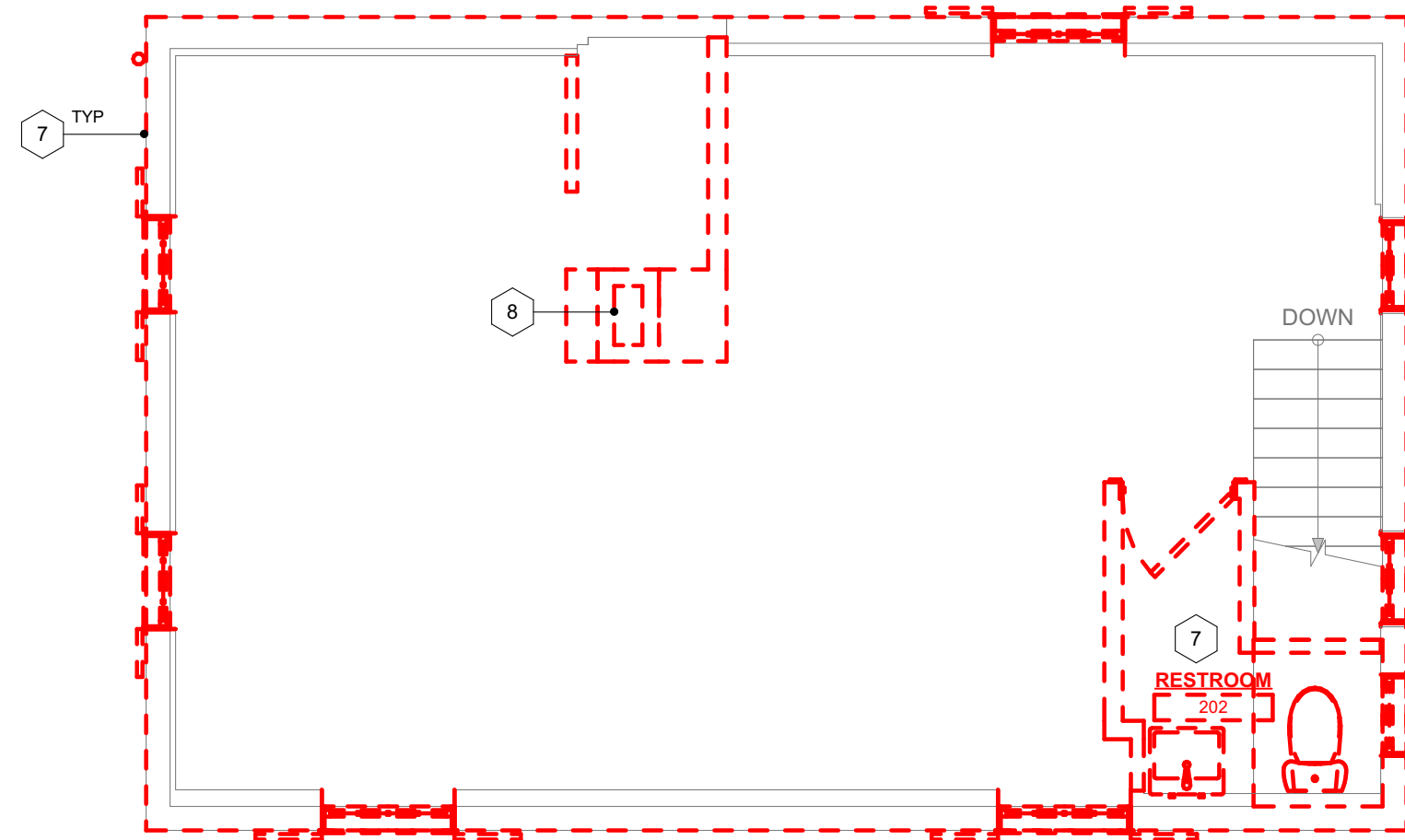
PROJECT #: 2317

[illegible]ARCHITECTURAL SITE
PLAN

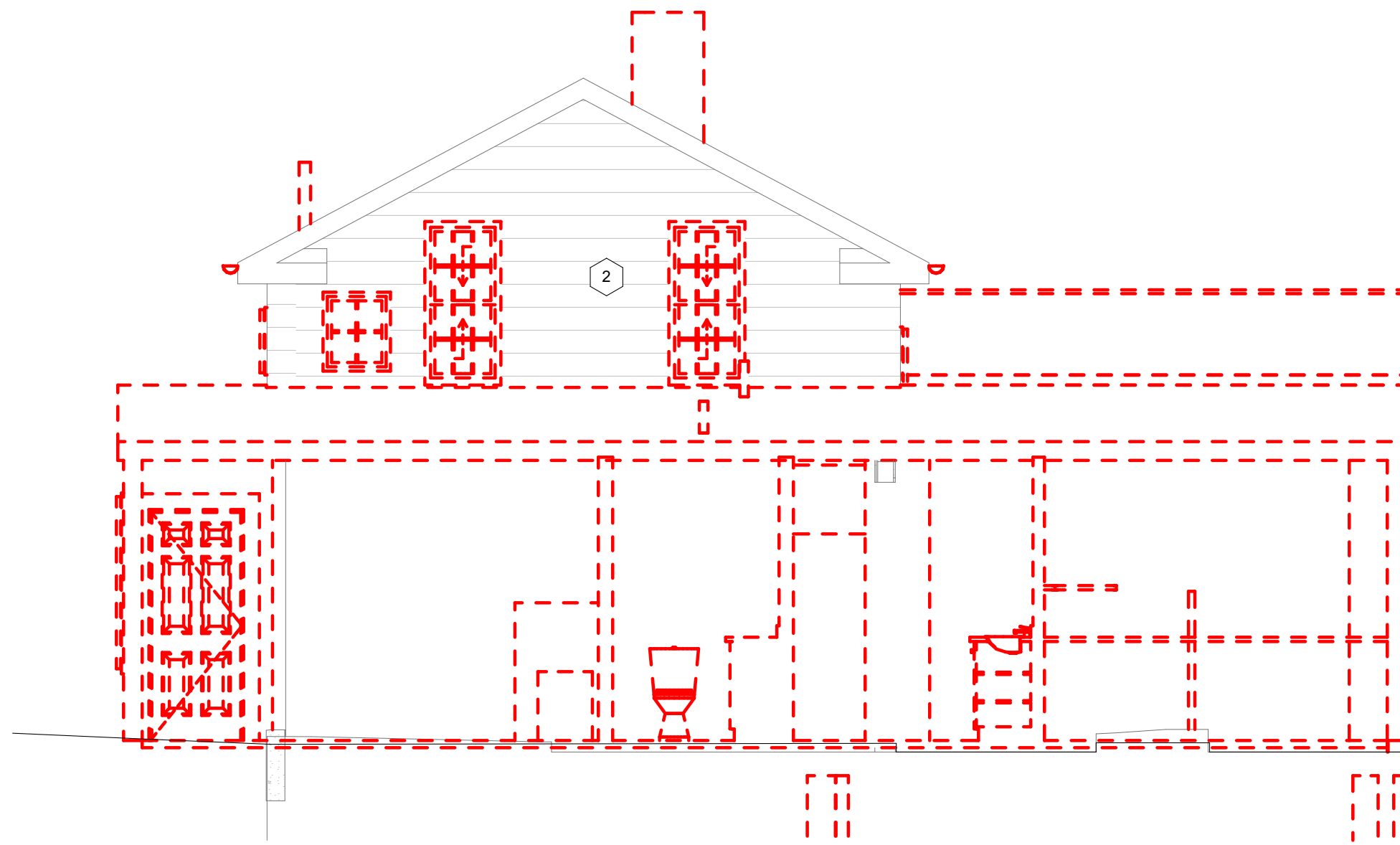
A1.00



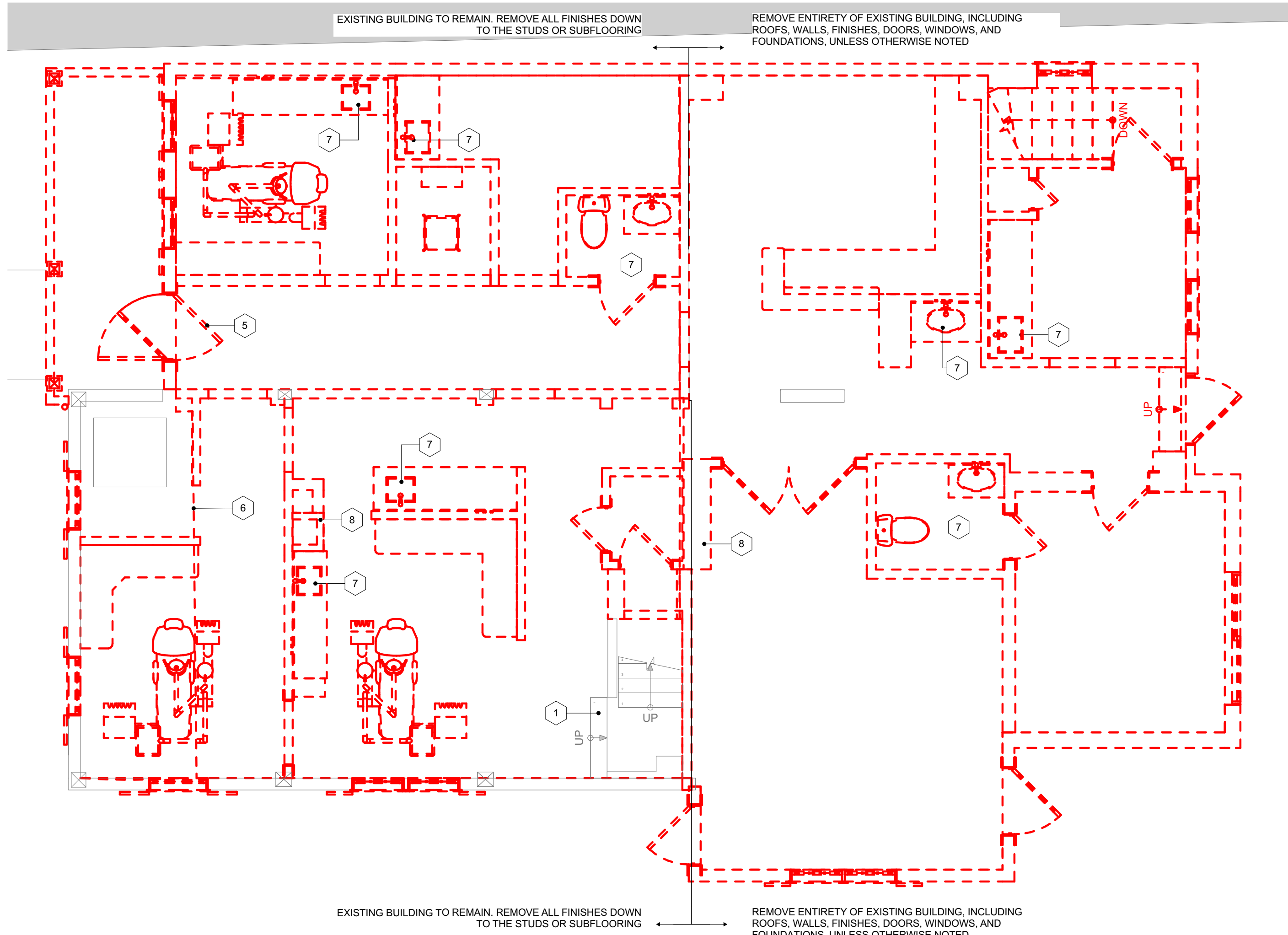
1 BASEMENT DEMOLITION FLOOR PLAN
SCALE: 1/4" = 1'-0"



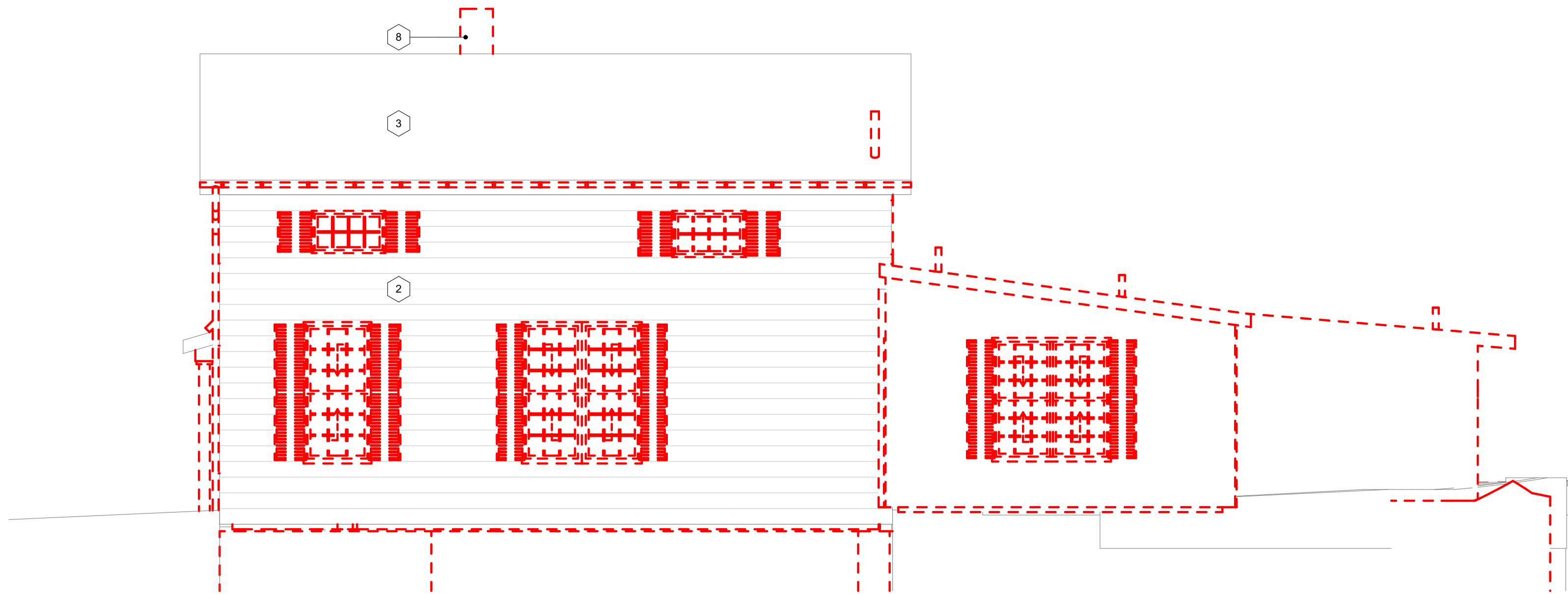
3 SECOND FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



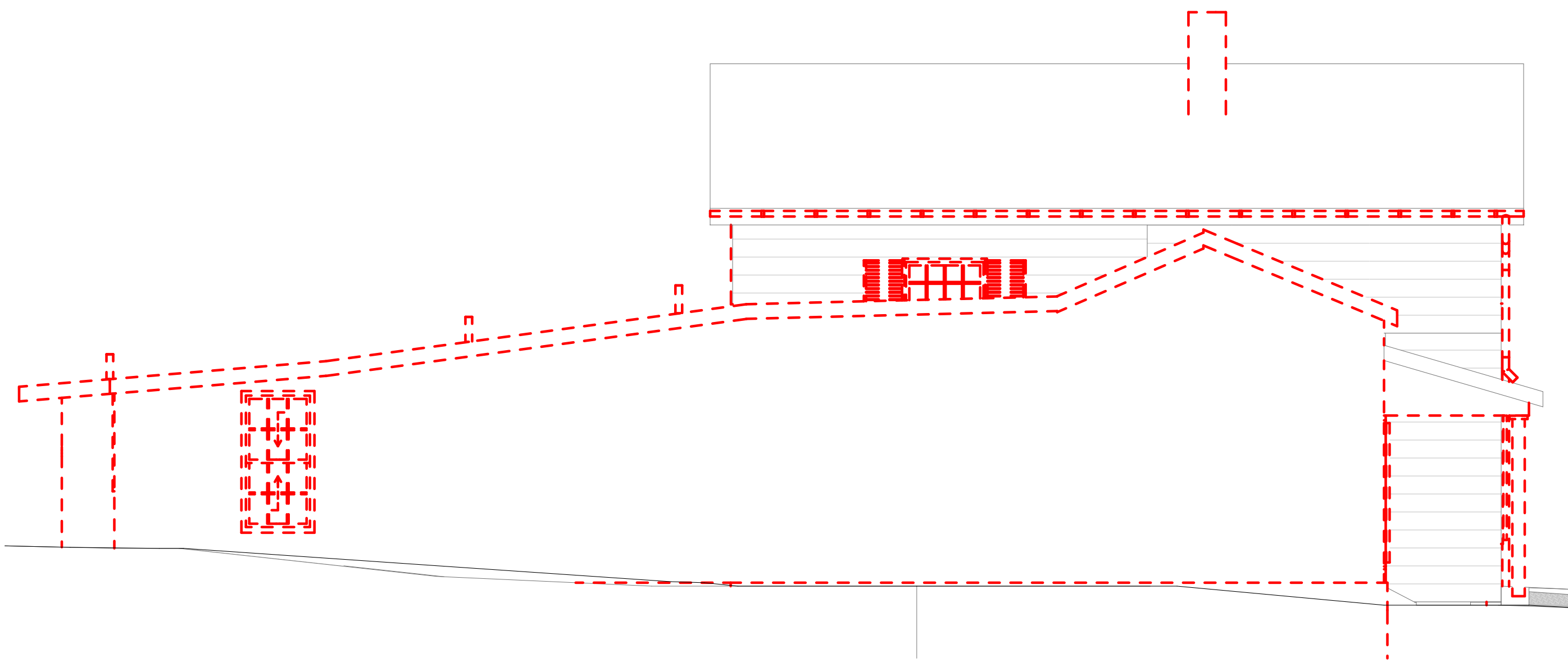
5 DEMOLITION - EXTERIOR ELEVATION - EAST (BACK OF THE BUILDING)
SCALE: 1/4" = 1'-0"



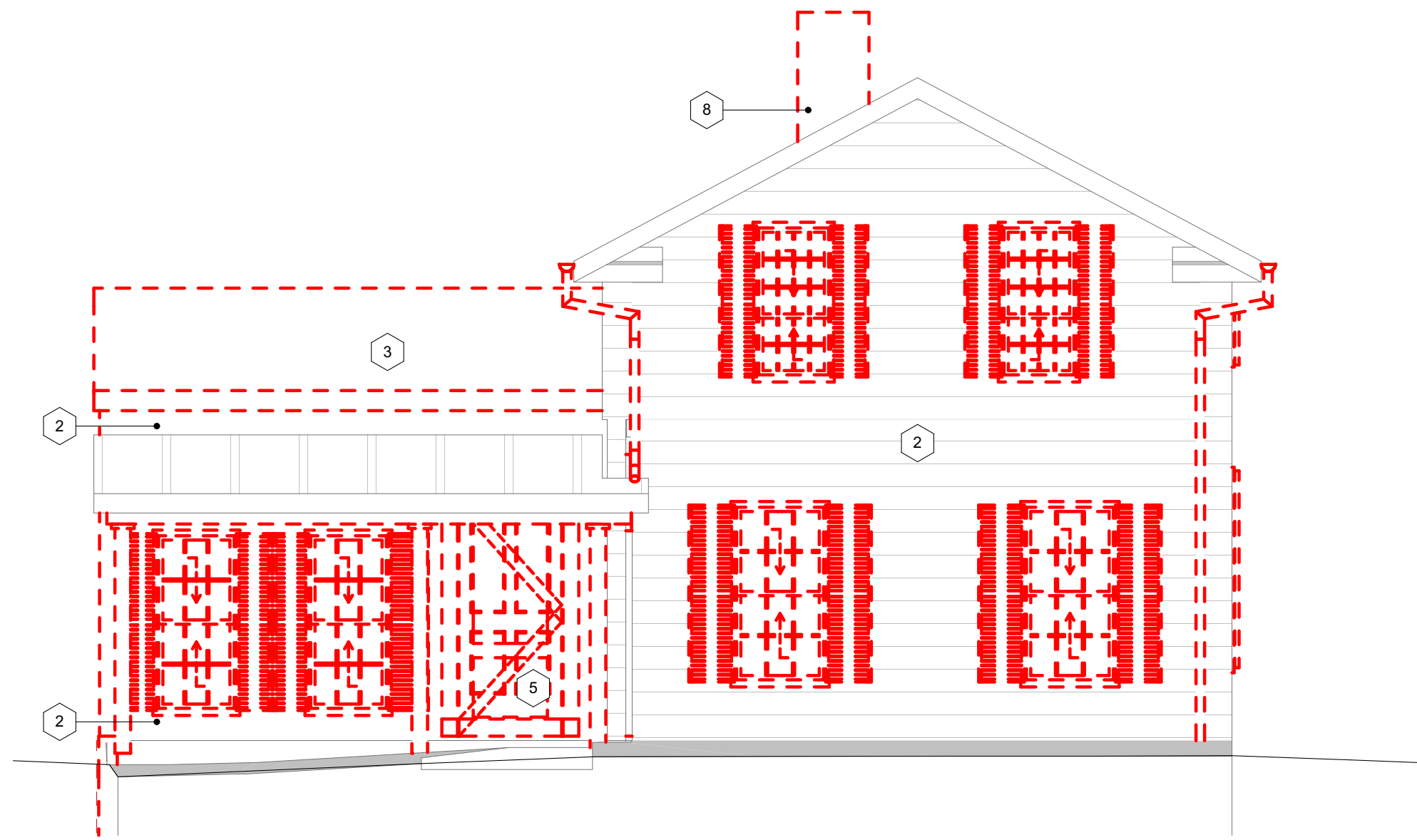
2 FIRST FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



4 DEMOLITION - EXTERIOR ELEVATION - SOUTH (SIDE OF THE BUILDING)
SCALE: 1/4" = 1'-0"



6 DEMOLITION - EXTERIOR ELEVATION - NORTH (SIDE OF THE BUILDING)
SCALE: 1/4" = 1'-0"

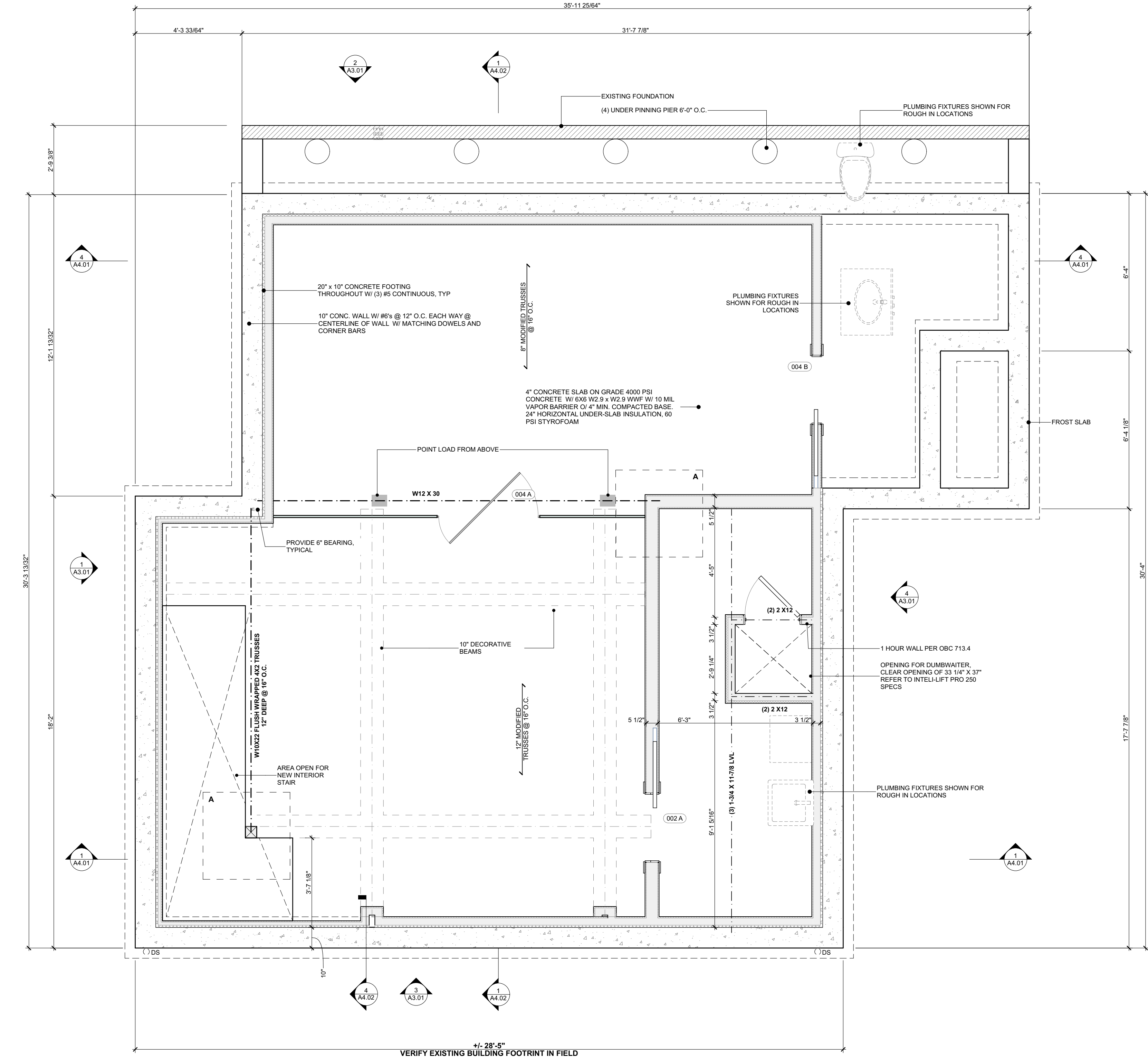


7 DEMOLITION - EXTERIOR ELEVATION - WEST (FRONT OF THE BUILDING)
SCALE: 1/4" = 1'-0"

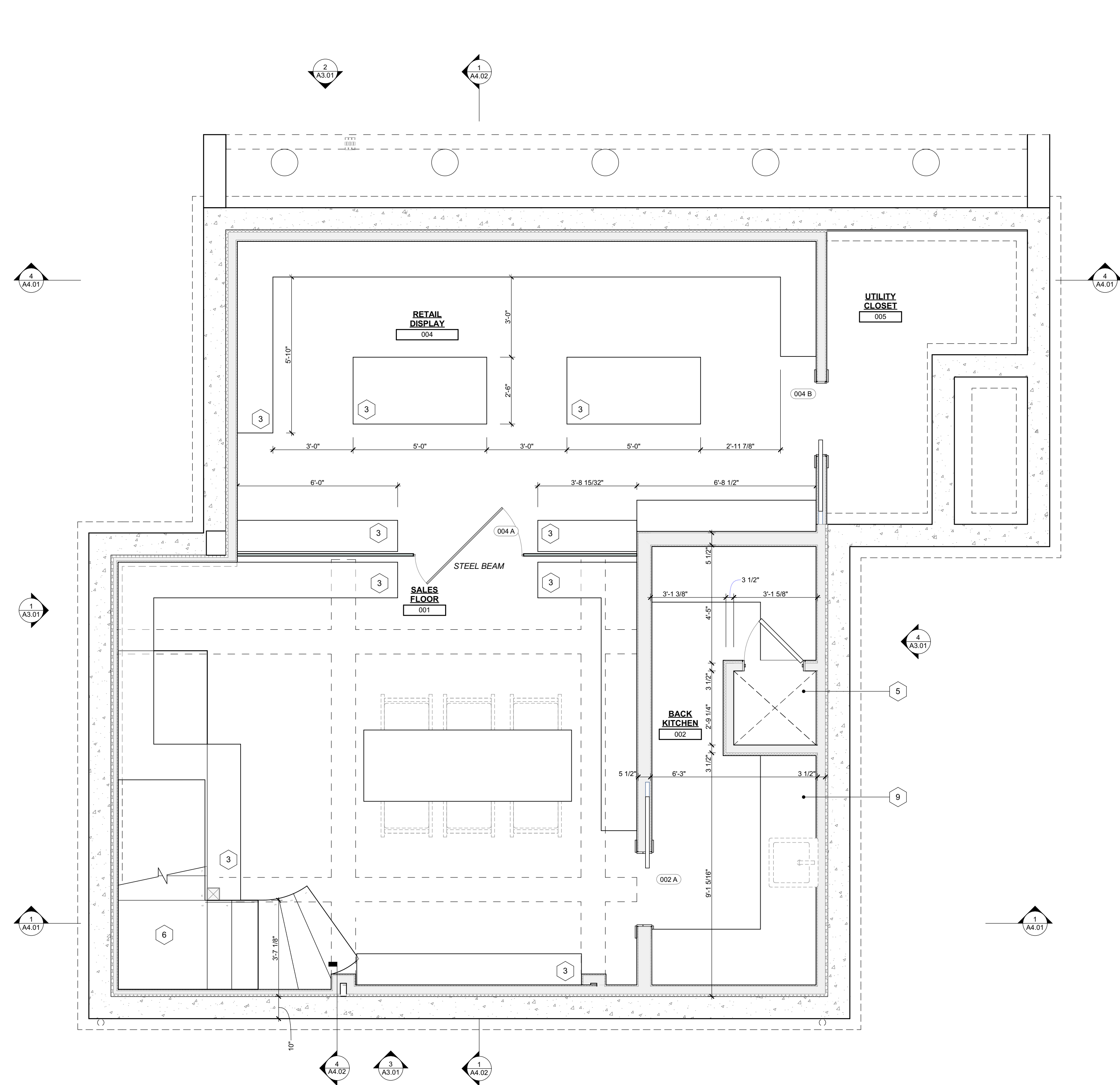
- DEMOLITION GENERAL NOTES**
- REMOVE ENTIRE WALL TO UNDERSIDE OF DECK UNLESS OTHERWISE NOTED.
 - IN DEMOLITION AREAS, REMOVE ALL MISCELLANEOUS ITEMS ON WALLS, UNLESS OTHERWISE NOTED.
 - FILL AND LEVEL ALL HOLES IN FLOORS AND WALLS AFTER REMOVAL OR ADDITION OF PIPES, DUCTS, CONDUITS, AND OTHER PENETRATING ITEMS. MAINTAIN REQUIRED FIRE RATING.
 - REMOVE CEILING WHERE NEW CEILINGS ARE INDICATED AND NOTED.
 - TAKE ALL NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO ADJACENT AREAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE INCURRED.
 - ALL DEMOLITION ACTIVITIES SHALL BE COORDINATE WITH THE OWNER.
 - PATCH AND REPAIR ALL EXISTING ADJACENT INTERIOR FINISHES TO REMAIN AS UNDISTURBED BY THE DEMOLITION TO MATCH ADJACENT SURFACES.
 - ALL DEMOLITION ITEMS ARE TO REMAIN THE PROPERTY OF THE OWNER AT THEIR DISCRETION.
 - ALL STRUCTURAL MEMBERS ARE TO REMAIN AND BE PROTECTED UNLESS OTHERWISE NOTED.
 - NOTIFY ARCHITECT PRIOR TO DEMOLITION IF ITEM INDICATED TO BE REMOVED IS SUSPECT AS STRUCTURAL ELEMENT.
 - MAINTAIN BUILDING IN WEATHERTIGHT CONDITIONS AT ALL TIMES.
 - ITEMS TO BE REMOVED SHOWN DASHED, TYPICAL.
 - WHERE WINDOWS AND DOORS ARE TO BE REMOVED, INFILL WALLS WITH FINISHES TO MATCH SURROUNDING AREAS.
 - COORDINATE WITH FLOOR PLANS FOR NEW DOOR AND WINDOW OPENINGS.
 - PROVIDE TEMPORARY SHORING FOR FLOOR AND ROOF FRAMING TO REMAIN.
 - PERFORM PARTIAL WALL DEMOLITION IN ORDER TO ACCOMMODATE NEW HEADERS, BEAMS, AND POSTS/ COLUMNS.
 - REMOVE ALL EXISTING RECEPTACLES AND RELATED CONDUITS AND WIRING THAT ARE AFFECTED BY THE WALL DEMOLITION BACK THE ELECTRICAL PANEL. MAINTAIN CIRCUIT CONTINUITY.

- DEMOLITION CODED NOTES**
- NOTE: ALL CODED NOTES MAY NOT OCCUR ON EVERY SHEET
- 1 EXISTING STAIR AND HANDRAIL TO REMAIN
 - 2 EXISTING SIDING TO BE REMOVED
 - 3 EXISTING ROOF TO BE REMOVED
 - 4 EXISTING WINDOWS TO BE REMOVED
 - 5 EXISTING DOOR TO BE REMOVED
 - 6 REMOVE PORTION OF THE FLOOR FOR NEW INTERIOR STAIR
 - 7 REMOVE EXISTING PLUMBING FIXTURES
 - 8 REMOVE EXISTING CHIMNEY

- DEMOLITION LEGEND**
- EXISTING ELEMENTS TO REMAIN
 - ELEMENTS TO BE DEMOLISHED



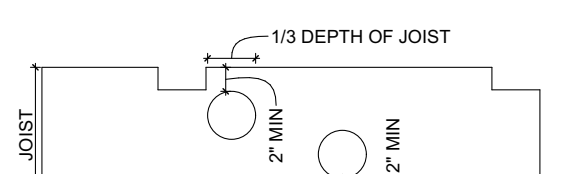
1 FOUNDATION PLAN
SCALE: 3/8" = 1'-0"



2 FOUNDATION PLAN
SCALE: 3/8" = 1'-0"

FOUNDATION PLAN GENERAL NOTES

- COLUMN & FOOTING SCHEDULE**
- A 4" X 11 GA STEEL POST
30" X 30" X 12" W (4) #5 EACH WAY BOTTOM
- FLOOR TRUSS CRITERIA**
- 12" FLOOR TRUSSES
T/C/L = 100 PSF
T/C/B = 25 PSF
B/O/C = 50 PSF
ATTL = L200
- SUBSTITUTION CHART:**
- | LVL SIZE | WF STEEL SIZE |
|--------------|---------------|
| (1) 12" LVL | W10 x 15 |
| (2) 14" LVL | W12 x 16 |
| (3) 16" LVL | W14 x 22 |
| (4) 18" LVL | W16 x 26 |
| (5) 20" LVL | W18 x 31 |
| (6) 22" LVL | W20 x 36 |
| (7) 24" LVL | W24 x 40 |
| (8) 26" LVL | W26 x 46 |
| (9) 28" LVL | W28 x 52 |
| (10) 30" LVL | W30 x 58 |
- GENERAL NOTES**
- BLOCK WEBS SOLID AT BEARING WALL LOCATIONS ABOVE
- CONTRACTOR TO EXTEND ALL POSTS DOWN TO SOUND FOUNDATION. INSTALL FULL DEPTH SOLID BLOCKING AT ALL POINT LOAD LOCATIONS
- ALL FOOTINGS TO EXTEND DOWN TO FROST LEVEL MIN.
- INDICATES LOCATION OF POINT LOAD ABOVE
- INDICATES LOCATION OF BEARING WALL ABOVE
- COORDINATE EXACT LOCATIONS OF FLOOR DRAIN WITH MECH CONTRACTOR
- IN ORDER TO REMAIN EXPOSED, WEBS OF TJS MUST BE PROTECTED WITH APPLIED FIRE PROTECTION (I.E. GYPSUM BOARD, FIBER BLANKET, INTUMESCENT COATING)
- FOAM INSULATION (BOARD OR SPRAY) MUST BE CLASS ONE FIRE RATED OR COVERED BY A THERMAL BARRIER (I.E. GYPSUM BOARD, INTUMESCENT COATING)



SECTION 601A
NOTCHES IN THE TOP OR BOTTOM OF JOISTS SHALL NOT EXCEED ONE-SIXTH THE DEPTH OF THE JOIST AND SHALL NOT BE LOCATED IN THE MIDDLE THIRD OF THE SPAN. WHERE JOISTS ARE NOTCHED ON THE ENDS FOR A LEDGER, THE NOTCH SHALL NOT EXCEED ONE-FOURTH THE JOIST'S DEPTH. CANTILEVERED JOISTS SHALL NOT BE NOTCHED UNLESS THE REDUCED SECTION PROPERTIES AND LUMBER DEFECTS ARE CONSIDERED IN THE DESIGN.

SECTION 601B
ANY STUD IN AN EXTERIOR BEARING PARTITION MAY BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25% OF ITS WIDTH. STUDS IN NON-BEARING PARTITIONS MAY BE NOTCHED TO A DEPTH NOT TO EXCEED 40% OF A SINGLE STUD WIDTH. ANY STUD MAY BE BORED OR DRILLED, PROVIDED THAT THE DIAMETER OF THE RESULTING HOLES IS NO GREATER THAN 40% OF THE STUD WIDTH. THE EDGE OF THE HOLE IS NO CLOSER THAN 36 INCH TO THE EDGE OF THE STUD, AND THE HOLE IS NOT LOCATED IN THE SAME SECTION AS A CUT OR NOTCH.

STEEL LINTEL SCHEDULE

PROVIDE STEEL LINTELS AS PER THE FOLLOWING SCHEDULE IN MASONRY WALL OPENINGS WHEN NOT SHOWN ON DRAWINGS, OR IN OPENINGS REQUIRED BY THE ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS.

L3 1/2 x 3 1/2 x 1/4 FOR OPENINGS UP TO 4'-0"

L4 3/4 x 3 1/2 x 5/16 FOR OPENINGS FROM 4'-1" TO 6'-0"

L6 3/4 x 3 1/2 x 5/16 FOR OPENINGS FROM 6'-1" TO 7'-0"

W8 x 18 WITH 5/16 PLATE FOR OPENINGS FROM 7'-1" TO 10'-0"

FOR OPENINGS GREATER THAN 10'-0" AND NOT SHOWN ON PLANS, ALLOW FOR MINIMUM BEAM HEIGHT OF 36 INCH PLUS A 5/16" x 11" BOTTOM PLATE

ALL LINTELS SHALL BEAR ON 8" OF SOLID MASONRY, UNO.

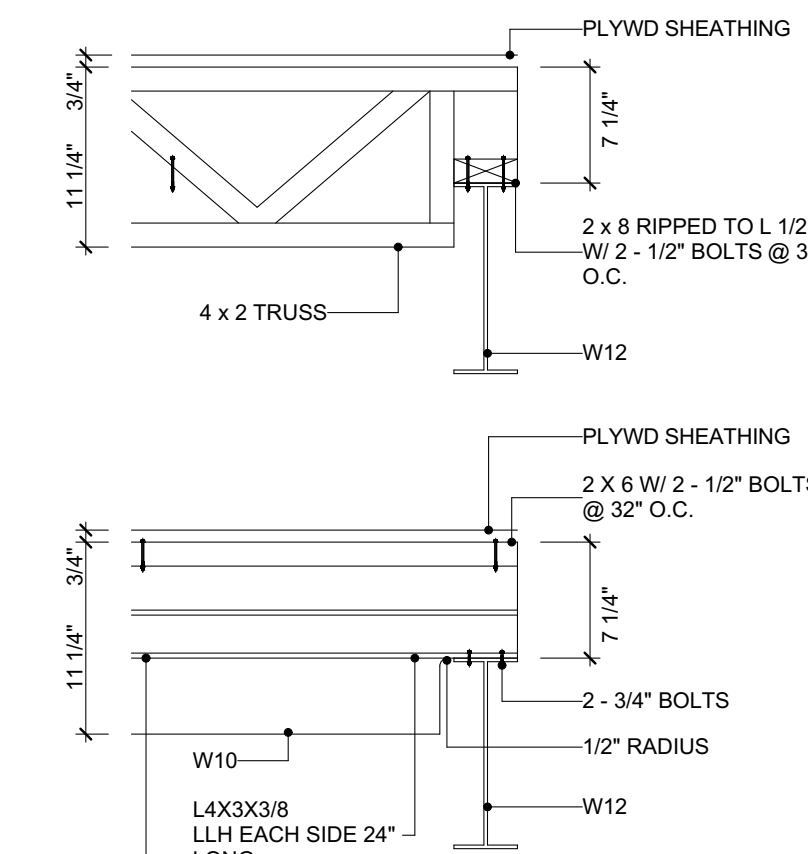
USE ONE ANGLE FOR EACH 4" WHYTHE OF MASONRY. PLATES ARE TO BE 1" LESS THAN NOMINAL WALL THICKNESS.

MINIMUM THICKNESS OF LINTELS IN EXTERIOR WALLS TO BE 5/16".

ANGLES OR PLATES IN EXTERIOR WIDTHS OF MASONRY WALLS TO BE HOT DIPPED GALVANIZED.

FOR MULTI WHYTHE WALLS WITH AIR SPACES, CONTRACTORS IS TO INCLUDE (B) ADDITIONAL ANGLES, PLATES AND CHANNELS TO CLOSE OFF AIRSPACE AT LINTEL LOCATIONS. SEE DETAILS ON DRAWINGS. IF NO DETAILS ARE SHOWN, CONTACT ENGINEER FOR FURTHER INFORMATION AND DETAILS.

TRUSS CRITERIA



TRUSS CRITERIA

PLYWOOD SHEATHING

2 X 8 RIPPED TO 1 1/2" W/ 2 - 1/2" BOLTS @ 32" O.C.

4 X 2 TRUSS

W12

PLYWOOD SHEATHING

2 X 8 W/ 2 - 1/2" BOLTS @ 32" O.C.

2 - 3/4" BOLTS

1/2" RADIUS

W10

L4X3X3/8 LVL EACH SIDE 24"

W12

5/16" TYP.

SQUARE FOOTAGE	
FLOOR	AREA
FOUNDATION	754
FIRST FLOOR	849
SECOND FLOOR	520
2,123 ft ²	

FLOOR PLAN GENERAL NOTES

- ALL INTERIOR WALLS SHALL BE 2x6 WOOD STUDS WITH (1) LAYER 5/8" GYPSUM BOARD ON BOTH SIDES UNLESS NOTED OTHERWISE. REFER TO G1.01 FOR TERMINATION DETAILS AND FLOOR TO FLOOR HEIGHTS, TYPICAL.
- CIVIL GROUND FLOOR FINISH ELEVATION = 1063.60'. ARCHITECTURAL GROUND FLOOR FINISH ELEVATION = 0'-0".
- VERIFY DIMENSIONS AND CONDITIONS IN FIELD. WHEN DIMENSIONS AND/OR CONDITIONS AS INDICATED ON DRAWINGS CONFLICT WITH ACTUAL, CONTACT ARCHITECT FOR CLARIFICATION.
- TYPICAL MOUNTING HEIGHTS & LOCATIONS OF FIXTURES, ACCESSORIES AND SELECT EQUIPMENT ARE SHOWN ON SHEET G1.01.
- FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BIDDING, DEMOLITION, AND NEW CONSTRUCTION.
- ALL WOOD BLOCKING AND BACKER BOARDS ARE TO BE FIRE RETARDANT TREATED TYPE.
- COORDINATE LOCATION OF EQUIPMENT AND PENETRATIONS WITH MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS.
- SEE EXTERIOR ELEVATIONS FOR IDENTIFICATION OF WINDOW TYPES AND SIZES.
- HINGE SIDE OF DOOR JAMB LOCATED IN METAL STUD WALLS TO BE 4" FROM ADJACENT PERPENDICULAR WALLS, UNO.
- ALL DOORS ARE DIMENSIONED TO THE CENTER LINE OF THE ROUGH OPENING.
- VERIFY LOCATIONS OF FIRE EXTINGUISHERS WITH LOCAL FIRE DEPARTMENT OFFICIAL AND ARCHITECT PRIOR TO PLACEMENT. ALL EXTINGUISHERS TO BE RECESSED CABINET MOUNTED TYPE, UNO.
- PROVIDE BLOCKING BEHIND ALL AV EQUIPMENT, WALL SPEAKERS, CEILING MOUNTED PROJECTORS, HANDRAILS, ACCESSORIES, ETC. CONTRACTOR RESPONSIBLE FOR MISC STEEL, UNISTRUT, FRIT WOOD BLOCKING, STRAPPING ETC AS REQUIRED TO FULLY SUPPORT EQUIPMENT AND ACCESSORIES AS INDICATED IN DOCUMENTS.
- VERIFY RATED ASSEMBLIES WITH LIFE SAFETY SHEETS.
- MOISTURE RESISTANT GYP BD TO BE USED ON WALLS AND CEILINGS OF ALL RESTROOMS AND KITCHENS.
- PROVIDE LEVEL SURFACES AND PREP FLOOR TO RECEIVE SCHEDULED FINISH.

FLOOR PLAN CODED NOTES

- NOTE: ALL CODED NOTES MAY NOT OCCUR ON EVERY SHEET
- 4'-0" x 8'-0" OPEN TABLE FOR SAMPLING & SALES
 - WALL MOUNTED TV
 - LF DISPLAY CABINET
 - TALL CABINETS
 - DUMBWAITER, BASIS OF DESIGN: INTELL-LIFT PRO 250 28x28x28 SAME SIDE WITH BI-PARTING GATE & SWING DOORS
 - NEW STAIR TO BASEMENT WITH CUSTOM DISPLAY MILLWORK
 - CONCEALED DOOR
 - EXISTING PILASTER TO BE FURRED OUT
 - DISHWASHER
 - LF DISPLAY CABINET SUSPENDED

INTERIOR STUD WALL SYMBOL KEY

- GYP. BOARD CONFIGURATION**
- GYP. BOARD FULL HEIGHT, BOTH SIDES
 - GYP. BOARD FULL HEIGHT ONE SIDE
 - GYP. BOARD TO 6" ABOVE FINISH CEILING, BOTH SIDES, NON-RATED
 - 1 HR FIRE BARRIER
 - 2 HR FIRE BARRIER
 - 1 HR FIRE PARTITION
- STUD WIDTH / TYPE DESIGNATION**
- | | |
|-----------------|------------------|
| A = 5 1/2" / WD | E = 9 1/4" / WD |
| B = 3 1/2" / WD | F = 11 1/4" / WD |
| C = 1 1/2" / WD | G = RESERVED |
| D = 7 1/4" / WD | H = RESERVED |
- TYPES:**
- | | |
|-----|--------------------|
| WD | DIMENSIONAL LUMBER |
| MTL | METAL STUDS |
| ST | STRUCTURAL STUDS |

www.pa-architects.com

1775 Main Street
Perrinville, Ohio 44264
T 330.657.2800

**PROGRESS
NOT FOR
CONSTRUCTION**
9/19/2023

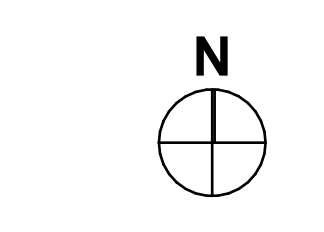
PROJECT TEAM:

CIVIL ENGINEER:
CIVIL DESIGN GROUP
P 440.799.7291

STRUCTURAL ENGINEER:
A LEWIN & ASSOCIATES
P 216.291.3131

MEP ENGINEER:
WRIGHT ENGINEERING
P 330.806.2957

NORTH MAIN RETAIL
201 NORTH MAIN STREET, HUDSON, OHIO



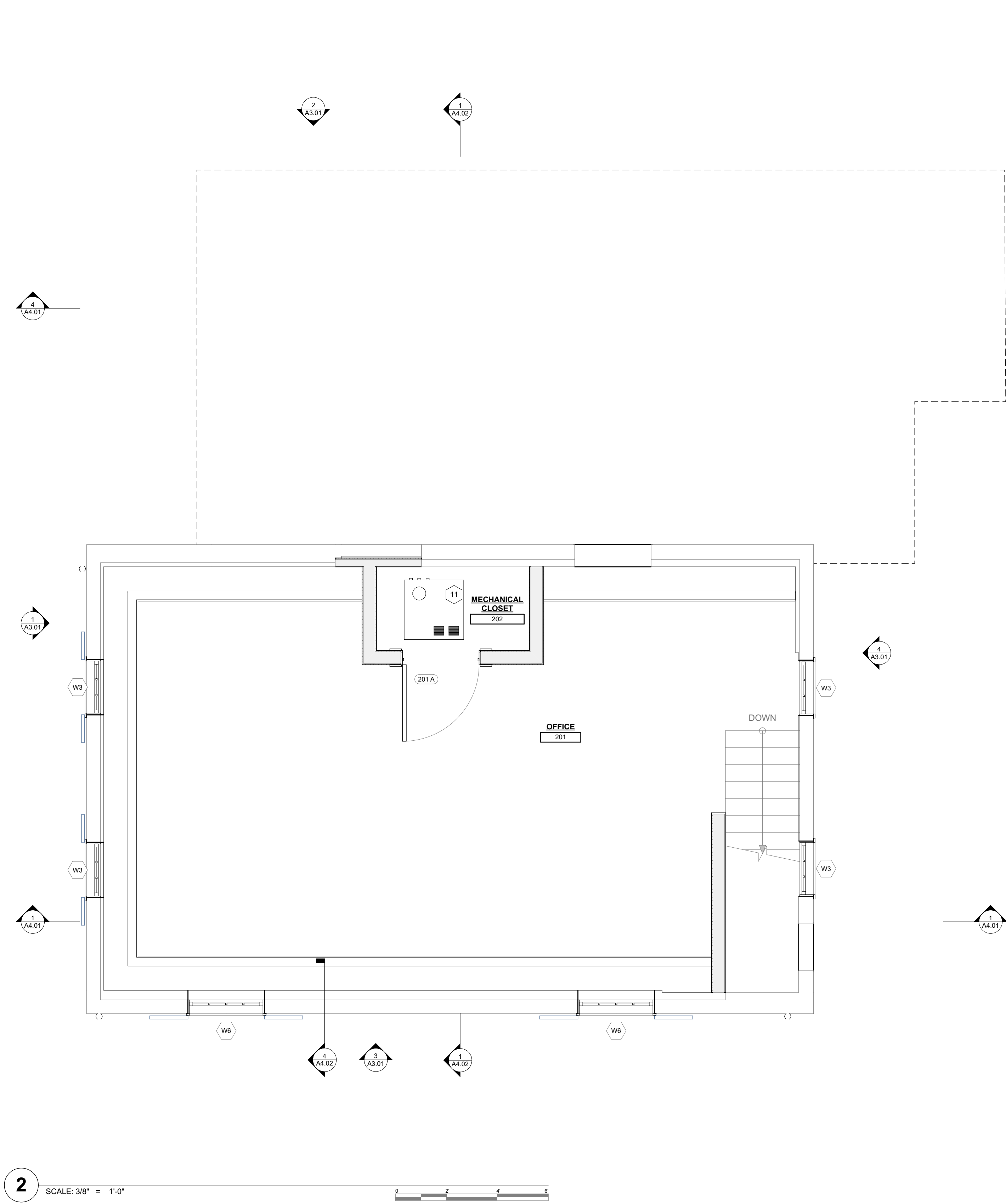
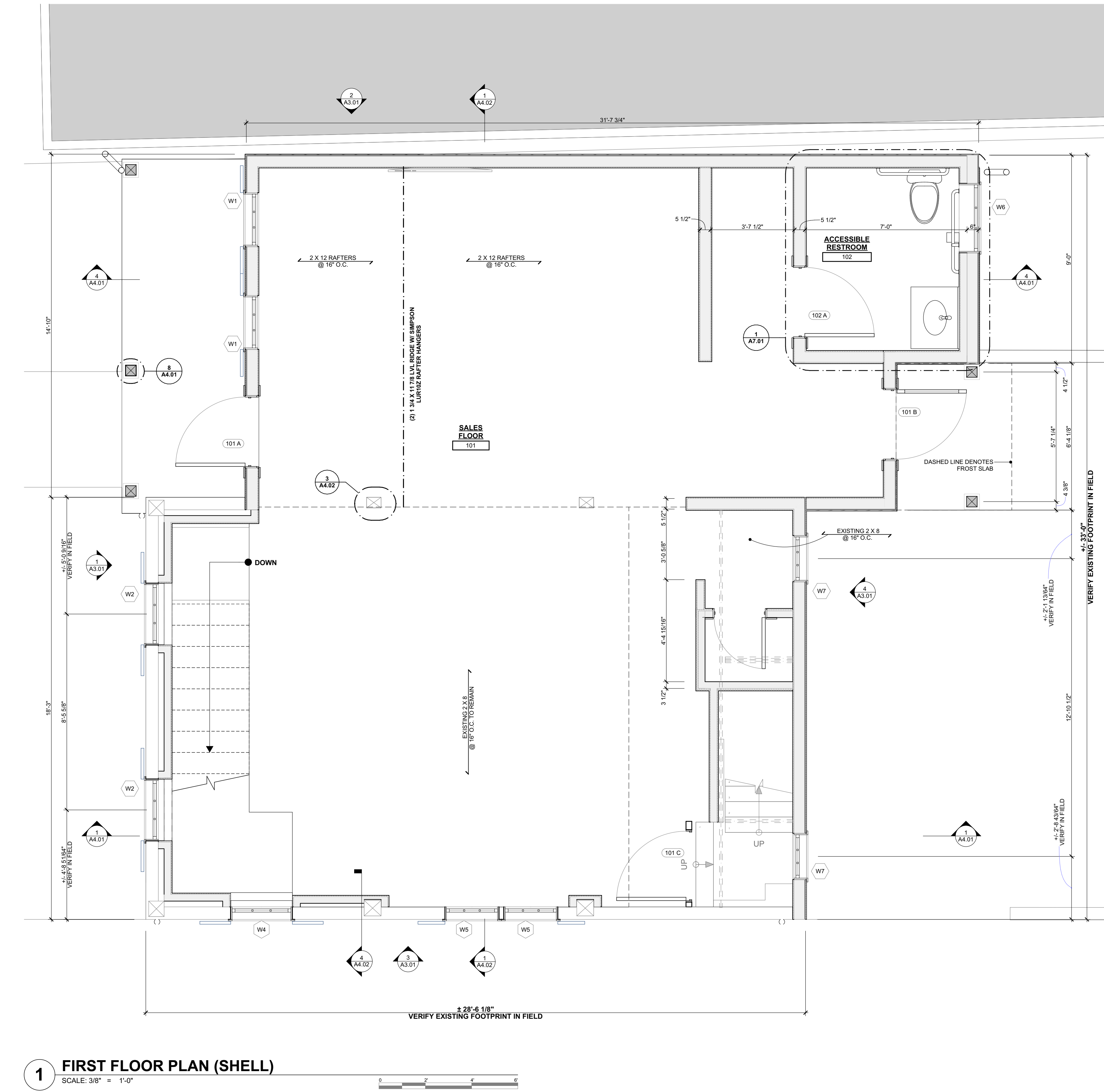
PROJECT #: 2317

ISSUE	ID	DATE
BD PACKAGE #1		05/23/23

**BASEMENT AND
FOUNDATION PLANS**

A1.01

© 2023 Perrinville Architects LTD



FLOOR PLAN GENERAL NOTES

- ALL INTERIOR WALLS SHALL BE 2x6 WOOD STUDS WITH (1) LAYER 5/8" GYPSUM BOARD ON BOTH SIDES UNLESS NOTED OTHERWISE. REFER TO G1.01 FOR TERMINATION DETAILS AND FLOOR TO FLOOR HEIGHTS, TYPICAL.
- CIVIL GROUND FLOOR FINISH ELEVATION = 1063.60', ARCHITECTURAL GROUND FLOOR FINISH ELEVATION = 0'-0".
- VERIFY DIMENSIONS AND CONDITIONS IN FIELD. WHEN DIMENSIONS AND/OR CONDITIONS AS INDICATED ON DRAWINGS CONFLICT WITH ACTUAL, CONTACT ARCHITECT FOR CLARIFICATION.
- TYPICAL MOUNTING HEIGHTS & LOCATIONS OF FIXTURES, ACCESSORIES AND SELECT EQUIPMENT ARE SHOWN ON SHEET **G1.01**.
- FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BIDDING, DEMOLITION, AND NEW CONSTRUCTION.
- ALL WOOD BLOCKING AND BACKER BOARDS ARE TO BE FIRE RETARDANT TREATED TYPE.
- COORDINATE LOCATION OF EQUIPMENT AND PENETRATIONS WITH MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS.
- SEE EXTERIOR ELEVATIONS FOR IDENTIFICATION OF WINDOW TYPES AND SIZES.
- HINGE SIDE OF DOOR JAMB LOCATED IN METAL STUD WALLS TO BE 4" FROM ADJACENT PERPENDICULAR WALLS, UNO.
- ALL DOORS ARE DIMENSIONED TO THE CENTER LINE OF THE ROUGH OPENING.
- VERIFY LOCATIONS OF FIRE EXTINGUISHERS WITH LOCAL FIRE DEPARTMENT OFFICIAL AND ARCHITECT PRIOR TO PLACEMENT. ALL EXTINGUISHERS TO BE RECESSED CABINET MOUNTED TYPE, UNO.
- PROVIDE BLOCKING BEHIND ALL AV EQUIPMENT, WALL SPEAKERS, CEILING MOUNTED PROJECTORS, HANDRAILS, ACCESSORIES, ETC. CONTRACTOR RESPONSIBLE FOR MISC STEEL, UNISTRUT, FRP WOOD BLOCKING, STRAPPING ETC AS REQUIRED TO FULLY SUPPORT EQUIPMENT AND ACCESSORIES AS INDICATED IN DOCUMENTS.
- VERIFY RATED ASSEMBLIES WITH LIFE SAFETY SHEETS.
- MOISTURE RESISTANT GYP BD TO BE USED ON WALLS AND CEILINGS OF ALL RESTROOMS AND KITCHENS.
- PROVIDE LEVEL SURFACES AND PREP FLOOR TO RECEIVE SCHEDULED FINISH.

FLOOR PLAN CODED NOTES

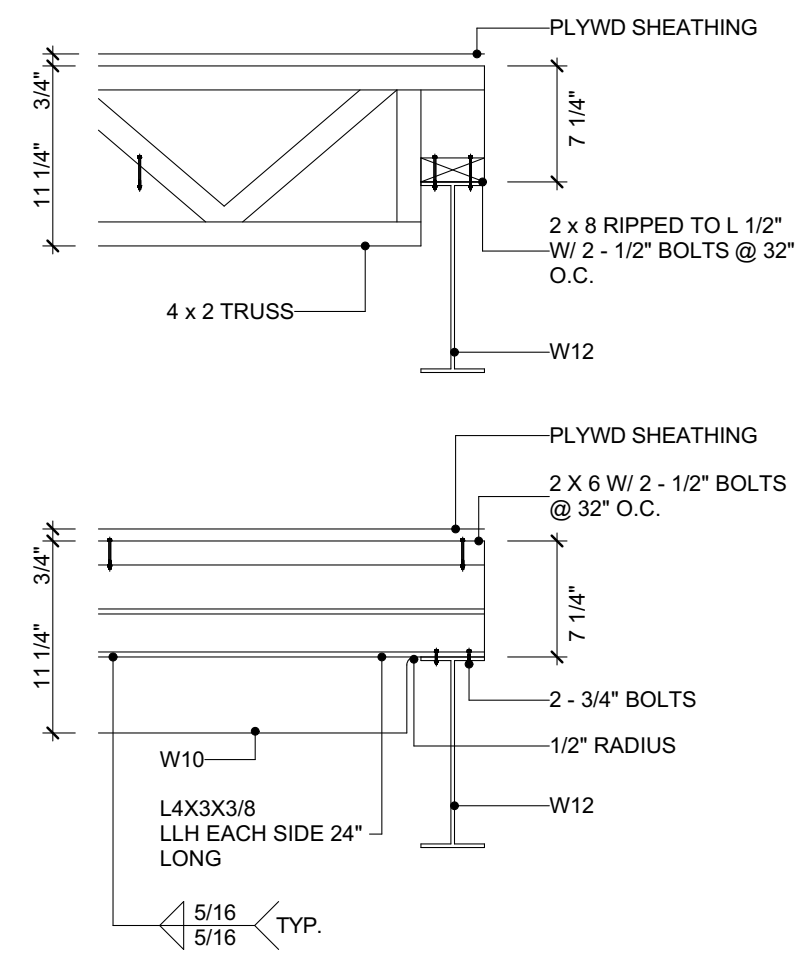
NOTE: ALL CODED NOTES MAY NOT OCCUR ON EVERY SHEET

- 4'-0" x 8'-0" OPEN TABLE FOR SAMPLING & SALES
- WALL MOUNTED TV
- LF DISPLAY CABINET
- TALL CABINETS
- DUMBWAITER, BASIS OF DESIGN: INTEL-LIFT PRO 250 28x28x28 SAME SIDE WITH BI-PARTING GATE & SWING DOORS
- NEW STAIR TO BASEMENT WITH CUSTOM DISPLAY MILLWORK
- CONCEALED DOOR
- EXISTING PILASTER TO BE FURRED OUT
- DISHWASHER
- LF DISPLAY CABINET SUSPENDED

INTERIOR STUD WALL SYMBOL KEY

- A1**
- GYP. BOARD CONFIGURATION**
- 1 - GYP. BOARD FULL HEIGHT, BOTH SIDES
 - 2 - GYP. BOARD FULL HEIGHT, ONE SIDE
 - 3 - GYP. BOARD TO 6" ABOVE FINISH CEILING, BOTH SIDES, NON-RATED
 - 4 - 1 HR FIRE BARRIER
 - 5 - 2 HR FIRE BARRIER
 - 6 - 1 HR FIRE PARTITION
- STUD WIDTH / TYPE DESIGNATION**
- | | |
|-----------------|------------------|
| A = 5 1/2" / WD | E = 9 1/4" / WD |
| B = 3 1/2" / WD | F = 11 1/4" / WD |
| C = 1 1/2" / WD | G = RESERVED |
| D = 7 1/4" / WD | H = RESERVED |
- TYPES:**
- | | |
|-----|--------------------|
| WD | DIMENSIONAL LUMBER |
| MTL | METAL STUDS |
| ST | STRUCTURAL STUDS |

TRUSS CRITERIA



SQUARE FOOTAGE

FLOOR	AREA
FOUNDATION	754
FIRST FLOOR	849
SECOND FLOOR	520
	2,123 SF

www.pa-architects.com

1775 Main Street
Perrinville, Ohio 44264
T 330.657.2800

**PROGRESS
NOT FOR
CONSTRUCTION**
9/19/2023

PROJECT TEAM:

CIVIL ENGINEER:
CIVIL DESIGN GROUP
P 440.799.7291

STRUCTURAL ENGINEER:
JALEWIN & ASSOCIATES
P 216.291.3131

MEP ENGINEER:
WRIGHT ENGINEERING
P 330.806.2957

NORTH MAIN RETAIL
201 NORTH MAIN STREET, HUDSON, OHIO



PROJECT #: 2317

ISSUE	ID	DATE
BID PACKAGE #1		05/23/23

**FIRST AND SECOND
FLOOR PLANS**

A1.02

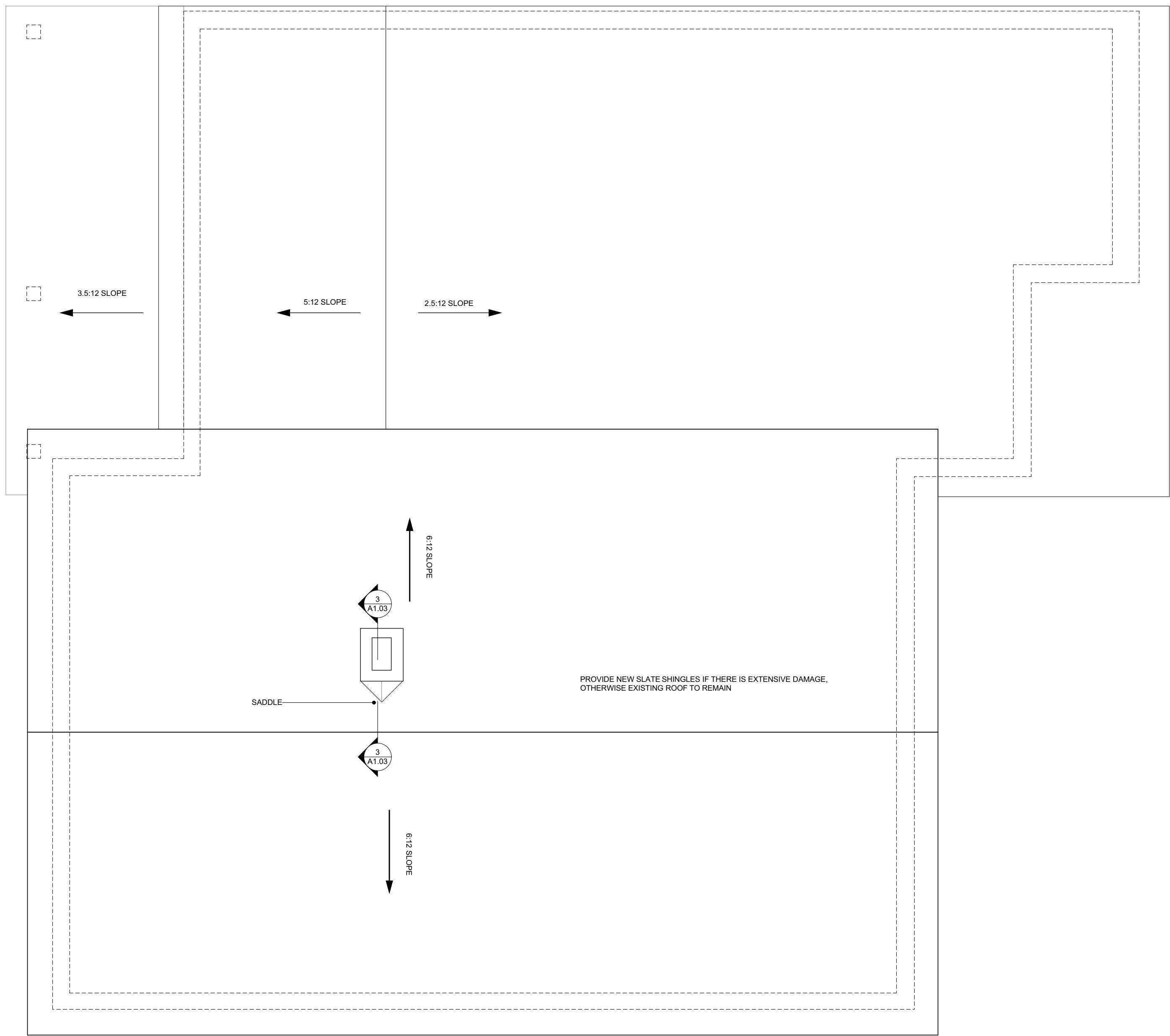
© 2023 Penninsula Architects LTD

PROJECT TEAM:

CIVIL ENGINEER:
CIVIL DESIGN GROUP
P 440.799.7291

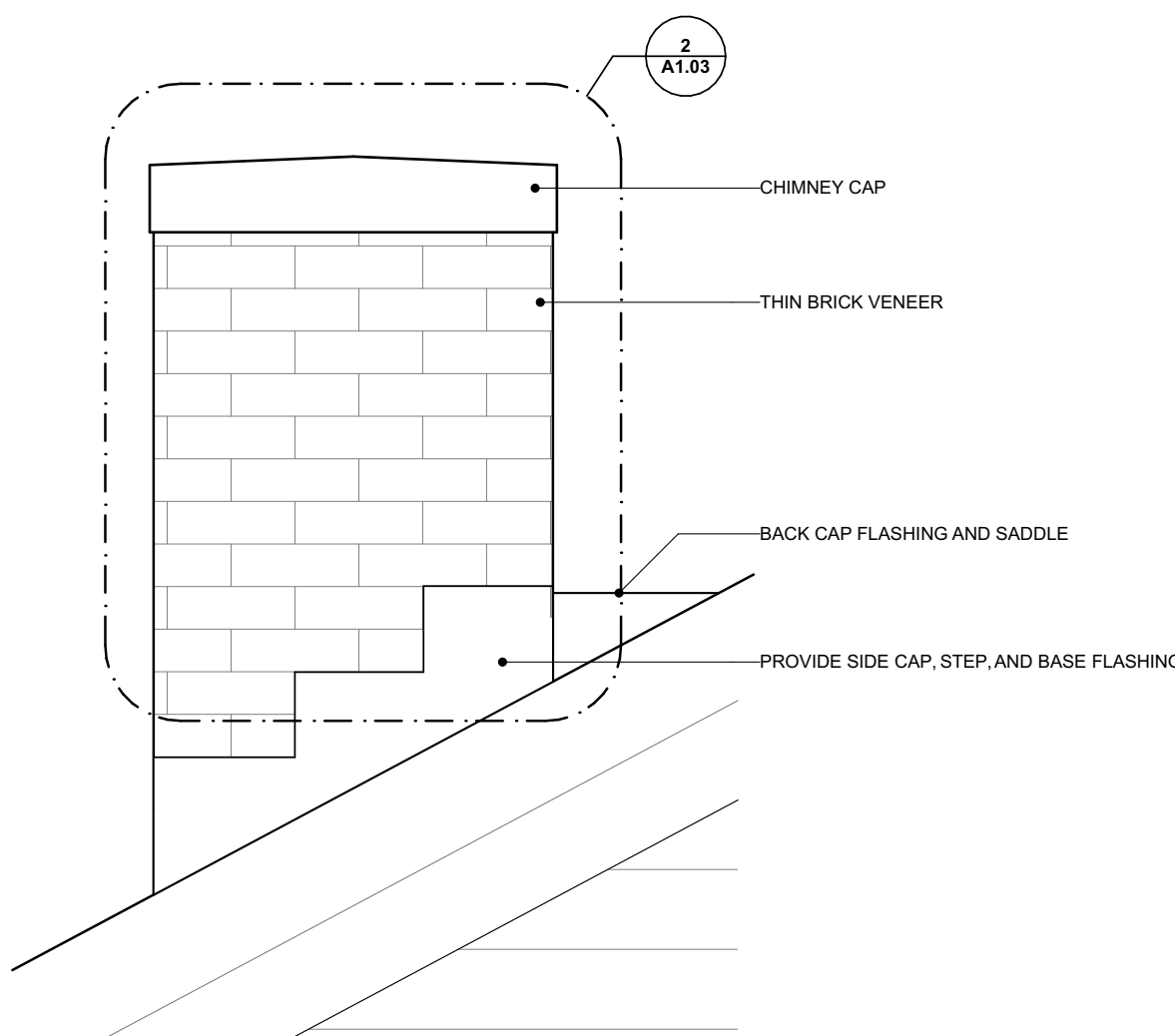
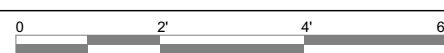
STRUCTURAL ENGINEER:
JA LEWIN & ASSOCIATES
P 216.291.3131

MEP ENGINEER:
WRIGHT ENGINEERING
P 330.606.2957



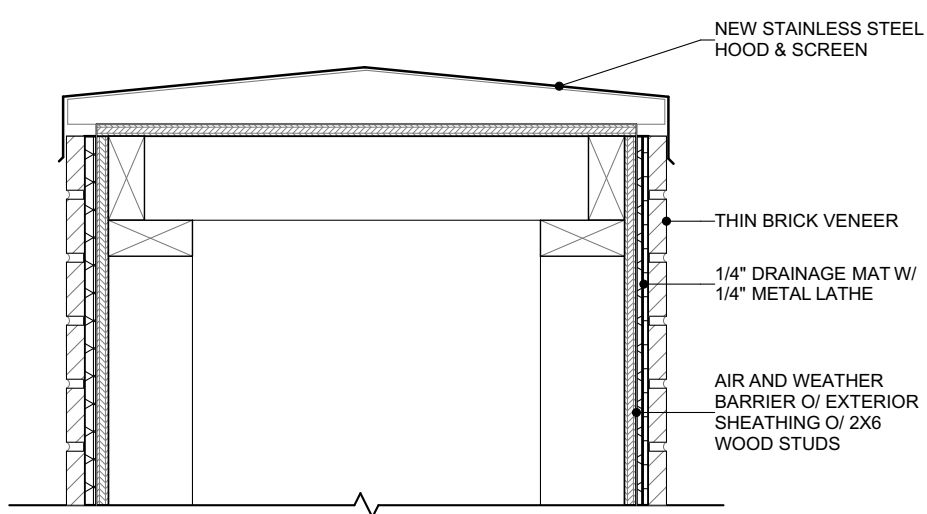
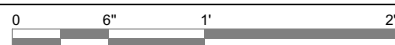
1 ROOF PLAN

SCALE: 3/8" = 1'-0"



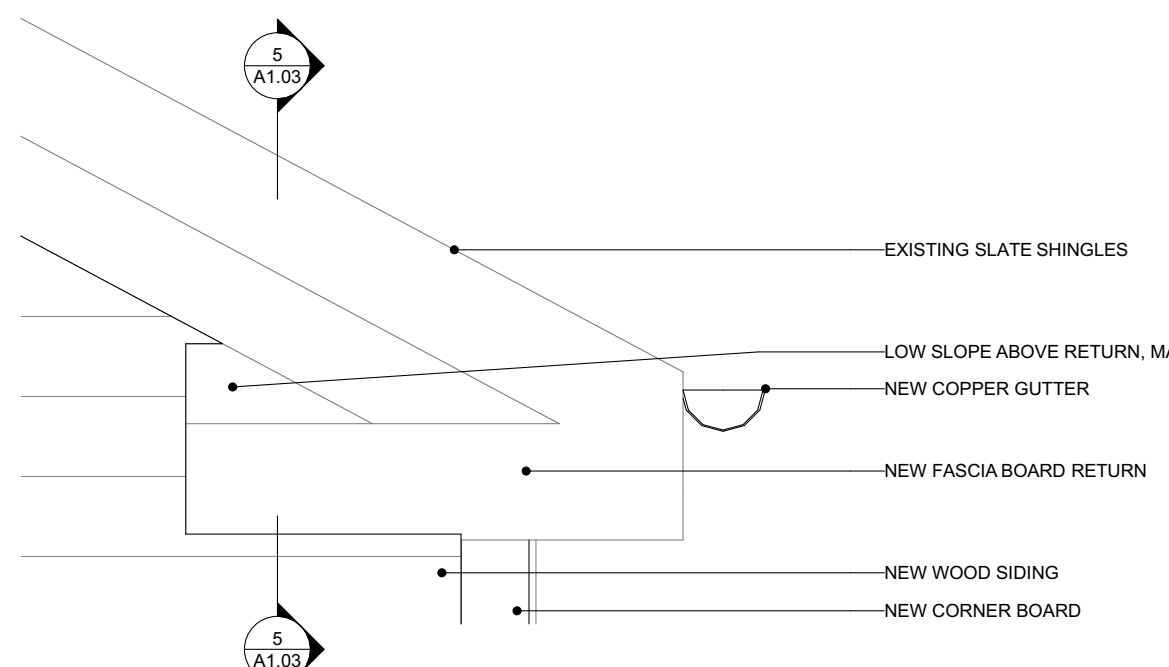
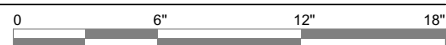
2 ENLARGED CHIMNEY ELEVATION

SCALE: 1" = 1'-0"



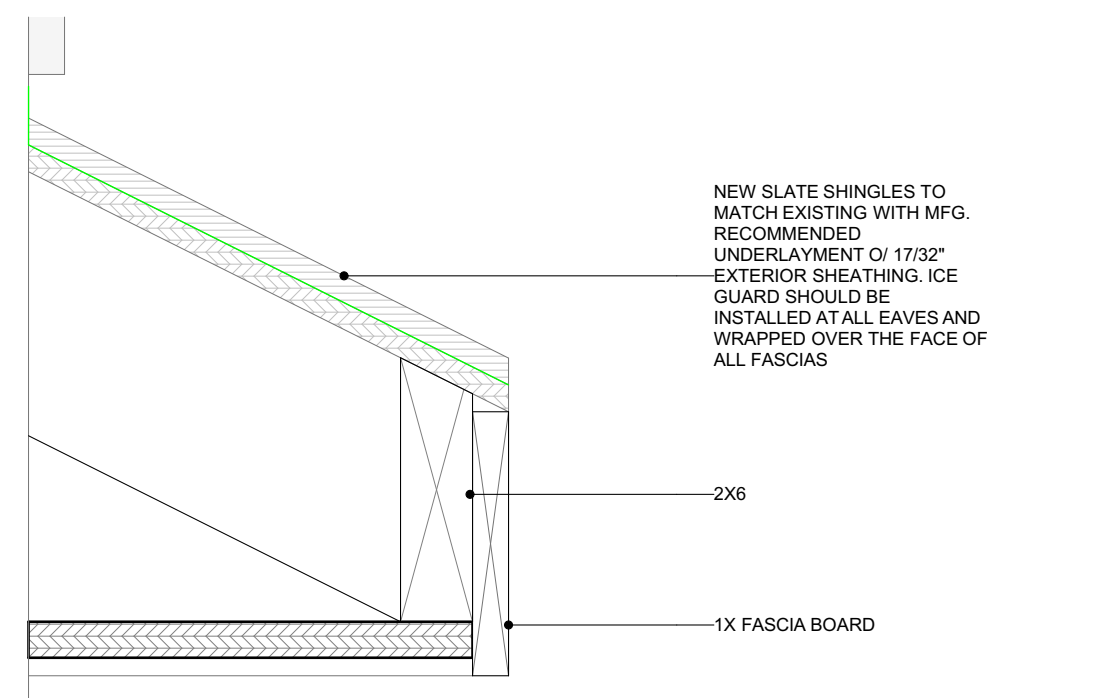
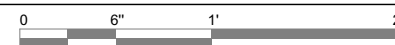
3 CHIMNEY CAP DETAIL

SCALE: 1 1/2" = 1'-0"



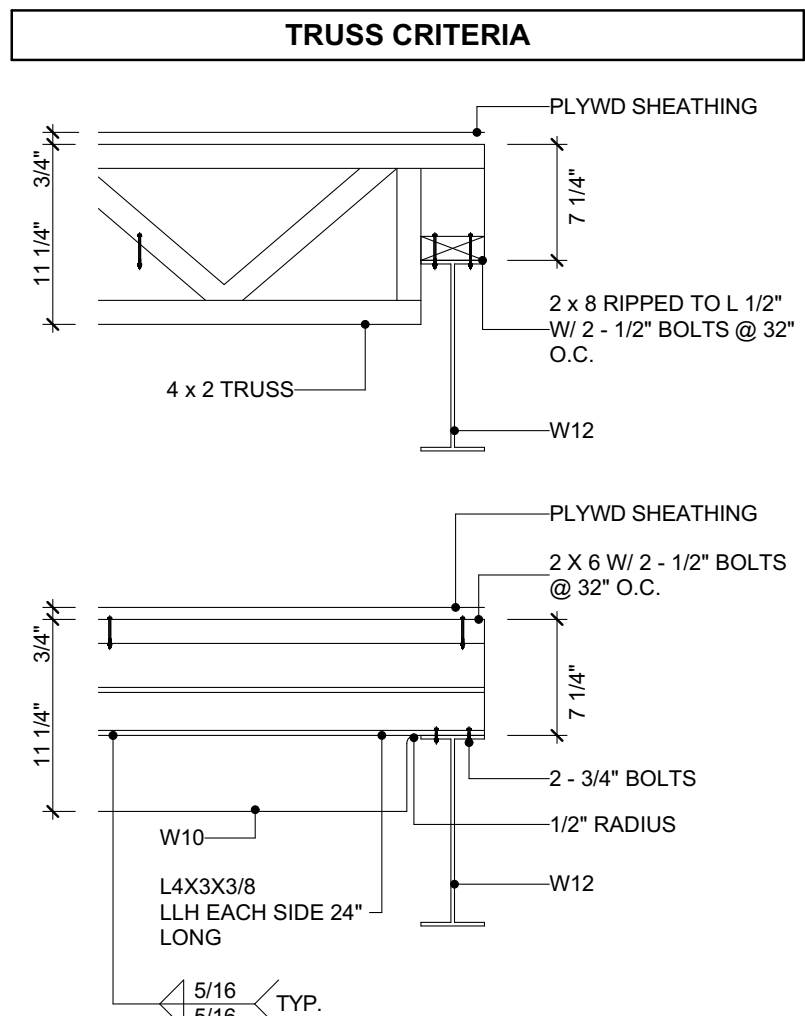
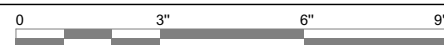
4 ROOF DETAIL

SCALE: 1" = 1'-0"



5 ROOF SECTION DETAIL

SCALE: 3" = 1'-0"

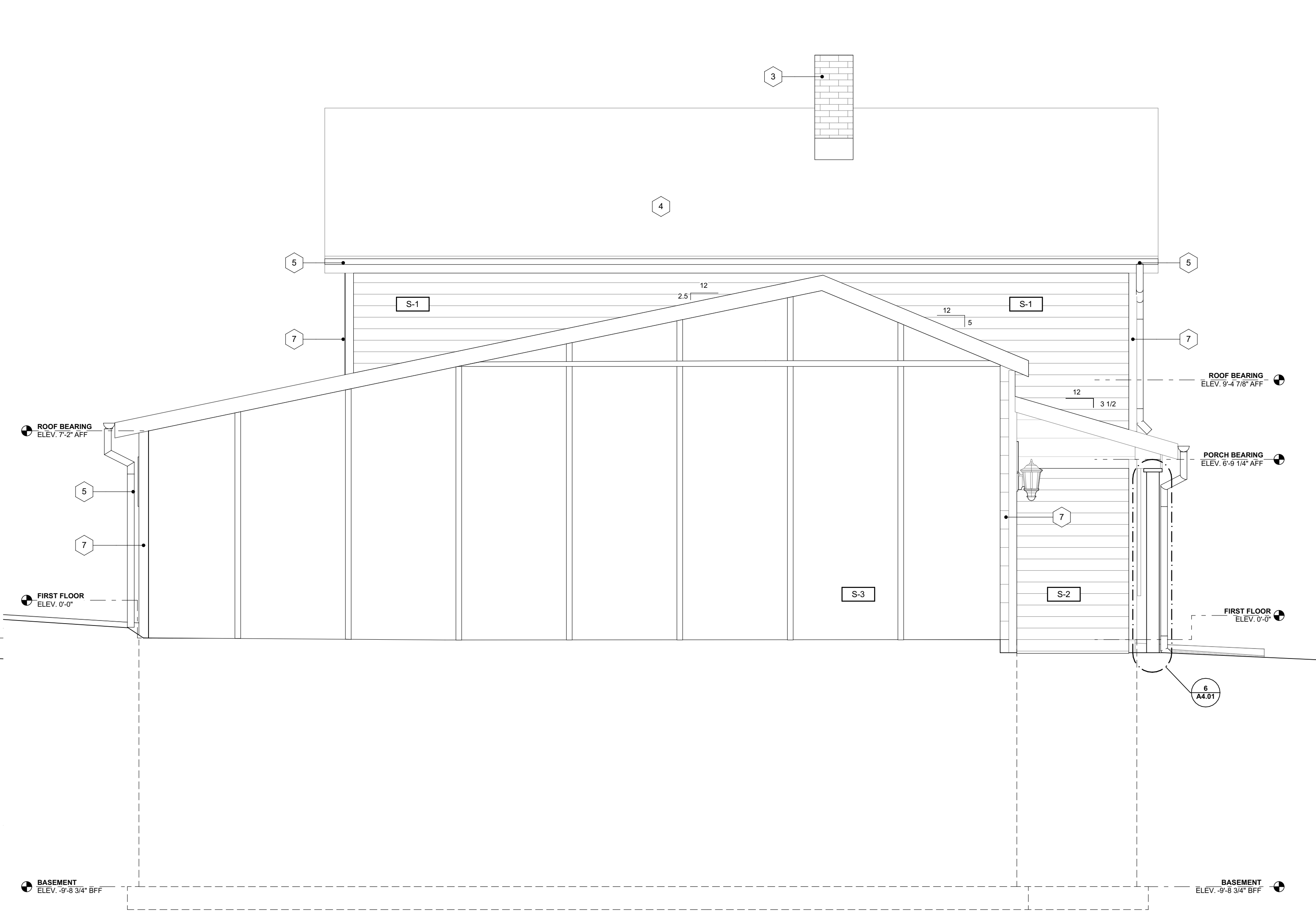


PROJECT #: 2317

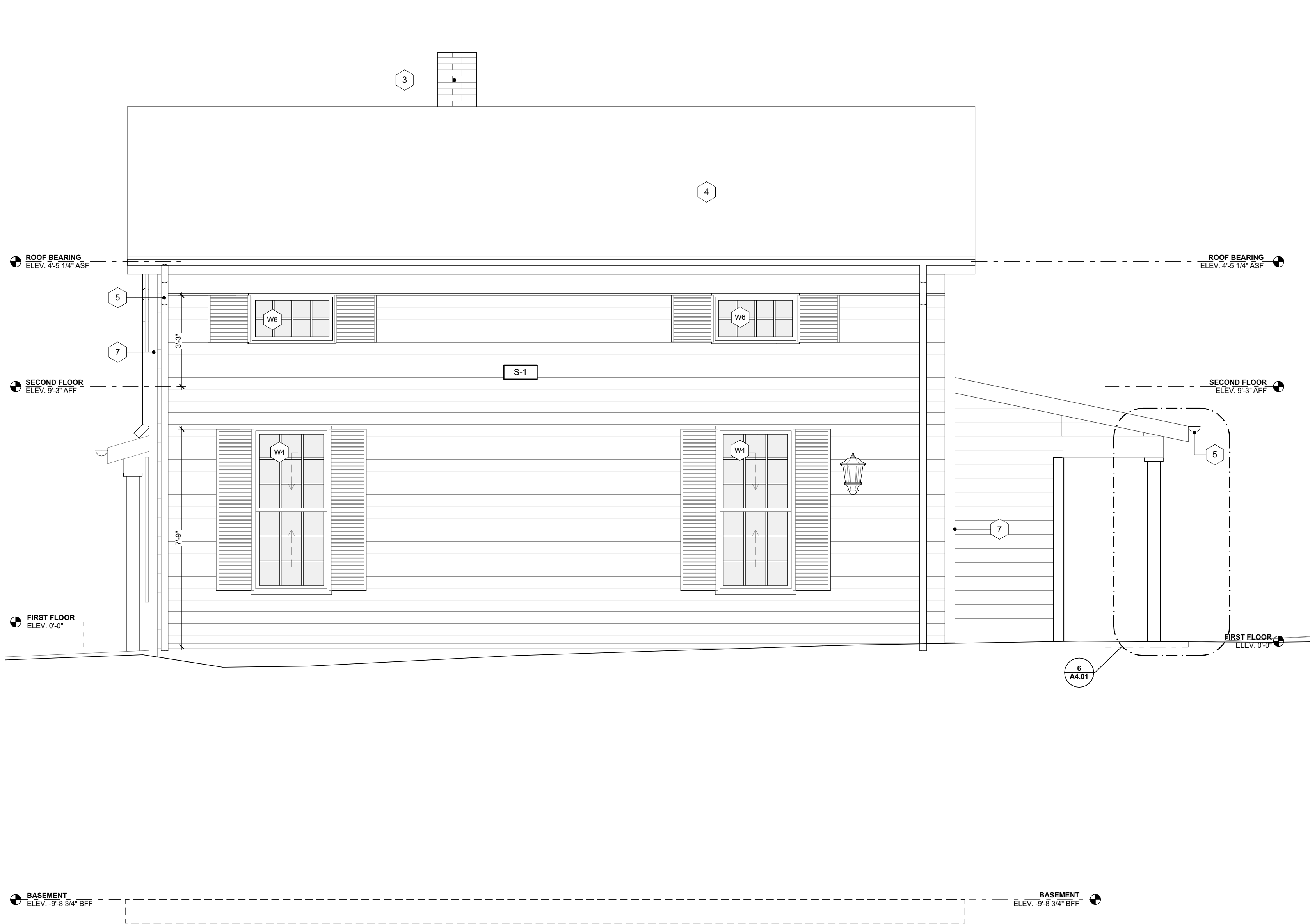
ISSUE	ID	DATE



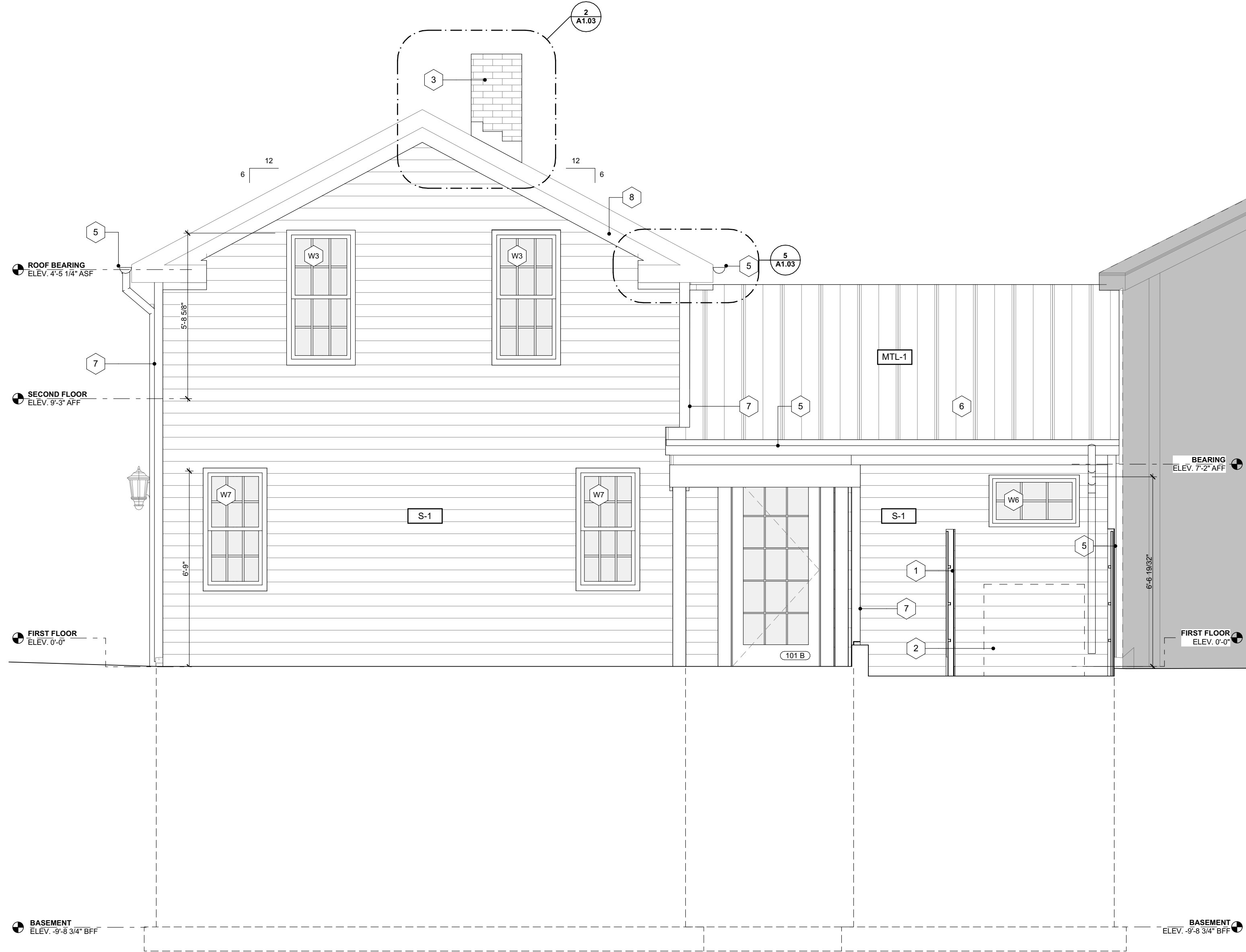
1 EXTERIOR ELEVATION - WEST (FRONT OF THE BUILDING)
SCALE: 3/8" = 1'-0"



2 EXTERIOR ELEVATION - NORTH (SIDE OF THE BUILDING)
SCALE: 3/8" = 1'-0"



3 EXTERIOR ELEVATION - SOUTH (SIDE OF THE BUILDING)
SCALE: 3/8" = 1'-0"



4 EXTERIOR ELEVATION - EAST (BACK OF THE BUILDING)
SCALE: 3/8" = 1'-0"

GENERAL ELEVATION NOTES

REFER TO EXTERIOR WALL TYPES LEGEND BELOW FOR TYPICAL WALL CONSTRUCTION INFORMATION. HORIZONTAL EXTENTS OF EXTERIOR WALL CONSTRUCTION ARE INDICATED ON THE FLOOR PLAN

ROOF SOFFITS TO BE AC PLYWOOD WITH A CONTINUOUS LINEAR VENT UNLESS NOTED OTHERWISE.

ALL WOOD EXTERIOR TRIM TO BE PAINTED.

ALL ROOF PENETRATIONS TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLTION TO ENSURE AESTHETIC EXPECTATIONS ARE MAINTAINED.

ALL FOUNDATIONS TO BE PARGED ABOVE GRADE.

GUTTER PROFILES SHALL BE SUBMITTED FOR APPROVAL PRIOR TO ORDERING

ELEVATION KEYNOTES

- 1 NEW WOOD PRIVACY FENCE, PAINTED OR STAINED
- 2 NEW HVAC AND GENERATOR
- 3 NEW BRICK CHIMNEY TO MATCH HISTORIC
- 4 EXISTING SLATE SHINGLE ROOF TO REMAIN
- 5 NEW COPPER GUTTERS AND DOWNSPOUTS
- 6 NEW METAL STANDING SEAM ROOF TO MATCH EXISTING
- 7 1X4 WOOD CORNER BOARDS
- 8 1X6 WOOD RAKE TRIM, PNT TO MATCH TRIM

MATERIAL SCHEDULE

ALL MATERIAL ASSEMBLIES LISTED BELOW TO OCCUR OVER THE FOLLOWING UNLESS NOTED OTHERWISE:

O/ WEATHER BARRIER
O/ APA RATED EXTERIOR GRADE OSB SHEATHING
O/ 2x6 STUDS W/ R-19 BATT INSULATION

(S-1) - WOOD SIDING
ALL LAP SIDING IS TO BE PRIMED ON ALL FOUR SIDES, PAINTED, COORDINATE FINAL COLOR WITH ARCHITECT AND OWNER.

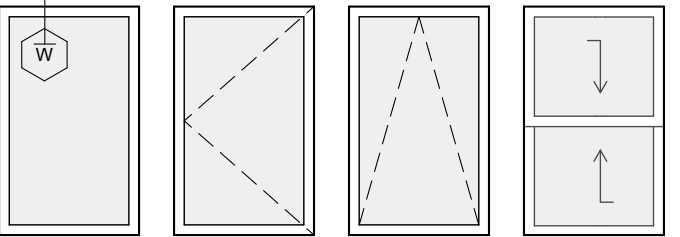
(S-2) - WOOD SIDING
FLUSH BOARD SIDING IS TO BE PRIMED ON ALL FOUR SIDES, PAINTED, COORDINATE FINAL COLOR WITH ARCHITECT AND OWNER.

(S-3) - FIBER CEMENT SIDING
HARDBE FIBER CEMENT SIDING, COORDINATE FINAL COLOR WITH ARCHITECT AND OWNER.

(MTL-1) - STANDING SEAM METAL ROOF
METAL STANDING SEAM ROOF, NO STRIATIONS OR RIBS, TO MATCH EXISTING PROPORTIONS O/ MANUFACTURER'S RECOMMENDED UNDERLAYMENT O/ 1/8"X2" APA RATED EXTERIOR GRADE SHEATHING. ICE GUARD SHOULD BE INSTALLED AT ALL EAVES AND VALLEYS, UP 72", AND WRAPPED OVER THE FACE OF ALL FASCIAS.

WINDOW LEGEND

FRAME / WINDOW TYPE DESIGNATION - REFER TO FRAME / WINDOW TYPE ELEVATIONS



BASIS OF DESIGN:

ALL WINDOWS ARE TO BE PELLA RESERVE - TRADITIONAL, DOUBLE HUNG - OR APPROVED EQUAL. PROVIDE NEW PAINTED PVC COMPOSITE SHUTTERS.

WINDOW HEAD GIVEN ABOVE FIRST AND SECOND FLOOR, CONFIRM WINDOW QUANTITIES WITH ELEVATIONS.

** WINDOW COUNT PROVIDED FOR GENERAL REFERENCE AND VERIFICATION ONLY. CONTRACTOR TO VERIFY TOTAL NUMBER OF WINDOWS WITH DOCUMENTS.

WINDOW SCHEDULE REMARKS

1. WINDOWS INDICATED WITH ZERO SEPARATION HAVE MULLED FRAMES. REFER TO EXTERIOR ELEVATIONS FOR CONFIGURATIONS AND QUANTITY.
2. PROVIDE PRIVACY WINDOW FILM AT ACCESSIBLE RESTROOM ON FIRST FLOOR.

WINDOW SCHEDULE				
ID	W x H	OPERATION	EGRESS	REMARKS
W1	2'-4"x5'-2"	DOUBLE HUNG	---	
W2	2'-8"x5'-2"	DOUBLE HUNG	---	
W3	2'-0"x4'-0"	DOUBLE HUNG	---	
W4	2'-0"x5'-0"	DOUBLE HUNG	---	
W5	3'-0"x1'-8"	FIXED	---	
W7	2'-0"x4'-0"	DOUBLE HUNG	---	

North Main Retail
201 North Main Street
Hudson, OH 44236

- 1) Contractor information. Additionally it would be helpful to state any experience with historic properties.

The General Contractor will be Jordan Snedeker of Villa Custom Builders. Jordan has been in the construction business for over 20 years having previously worked on large scale residential remodels of century homes and historical buildings/homes. Jordan has extensive experience with maintaining the integrity of the original design and craftsmanship. Two local projects that Jordan was the primary contractor on included the revitalization of 5 Aurora Street (Bank Building) and 233 College Street, the John William Creswell Corbusier House.

- 2) Construction timeline detailing the process of moving the building.
It should take about 8-9 weeks to move the building and replace it on the new foundation.

- 3) Protection plan for historic materials through the process
The only historic material remaining is framing and the slate roof. All historical framing will be protected and kept intact during the building move process. No slate nor framing is slated for demolition.

- 4) An explanation on how you would document historic materials through process, especially after major events such as moving the structure.
Pictures will be taken to document the moving of the building as well as any historic framing that will be covered by finished walls.

As a related case study, a few photos of a previously completed project in the Cuyahoga Valley National Park are attached. This project is a very similar scale building, of the same building typology, and used the same building mover. The effort to lift the building in order to accommodate a new foundation was successful.







