

APPROVED: _____ STAFF APPROVAL _____ DATE _____
APPROVED: _____ ENGINEERING DEPT. APPROVAL _____ DATE _____
APPROVED: _____ LANDSCAPE ARCHITECT APPROVAL _____ DATE _____

****PRIMARY BENCHMARK: ****
TOC/BOC ELEV @ P/L
IN FRONT OF SUBLOT 74/75
ELEV. = 1004.03

****SECONDARY BENCH
TOP STEM OF HYDRA
IN FRONT OF SUBLO
ELEV. = 1006.43**

THE CONTRACTOR MUST CHECK THE BENCHMARK WITH THE CURB GRADES PRIOR TO DIGGING THE FOUNDATION.

BUILDER: PULTE HOMES OF OHIO, LLC.
ADDRESS: 387 MEDINA ROAD SUITE 1700, MEDINA, OHIO 44256
PHONE: 330-239-1587

OWNER: _____
ADDRESS: _____
PHONE: _____

NOTE:
ALL PROPOSED FOOTERS WILL REQUIRE SURVEY CERTIFICATION ONCE SET AND PRIOR TO THE COMPLETION OF HOME CONSTRUCTION

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING	DELTA
C1	88.20'	60.00'	54.24'	80.47'	S15°33'24"E	84°43'33"

INITIAL SITE BENCHMARK:
SUMMIT COUNTY GEODETIC MONUMENT HU 118
STATE PLAN COORDINATE
N 572,745.649
E 2,250,912.641
ELEVATION = 1006.912 NAVD 1988

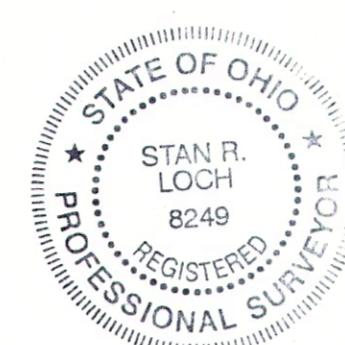
NOTES:
DOWNSPOUTS TO BE CONNECTED TO
STORM SEWER CONNECTION
SUMP PUMP REQUIRED FOR FOOTER DRAINS

NOTE:

	PURCHASER TO INSTALL MINIMUM OF 3 TREES PER MUNICIPAL REQUIREMENTS
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NOTE:
PURCHASER TO INSTALL LANDSCAPING PER CITY
OF HUDSON LANDSCAPING REQUIREMENT.

NOTE:
PER ARB, EGRESS WINDOW WELLS SHOULD BE NO
MORE THAN 6" ABOVE FINISHED GRADE



Graphic scale markings from 0 to 20 feet. The scale is marked at 0, 10, and 20. The distance between 0 and 10 is divided into 10 equal segments, each representing 1 foot. The distance between 10 and 20 is also divided into 10 equal segments, each representing 1 foot. The scale is marked at 0, 10, and 20. The distance between 0 and 10 is divided into 10 equal segments, each representing 1 foot. The distance between 10 and 20 is also divided into 10 equal segments, each representing 1 foot.

DATE OF SURVEY:
NOVEMBER 12th. 2016

TYPE OF HOUSE:
PLAN # DRESDEN
ELEVATION: 3
GAR: 3 CAR SIDE LEFT W/ 8' BASEMENT,
FP & EXTENDED GATHERING ROOM

- ① = PROP 1" WAT CONN
- ② = PROP 6" PVC SAS CONN 0
1.0% MIN 10% MAX
- ③ = PROP 6" PVC STS CONN 0
1.0% MIN 10% MAX

LEGEND:

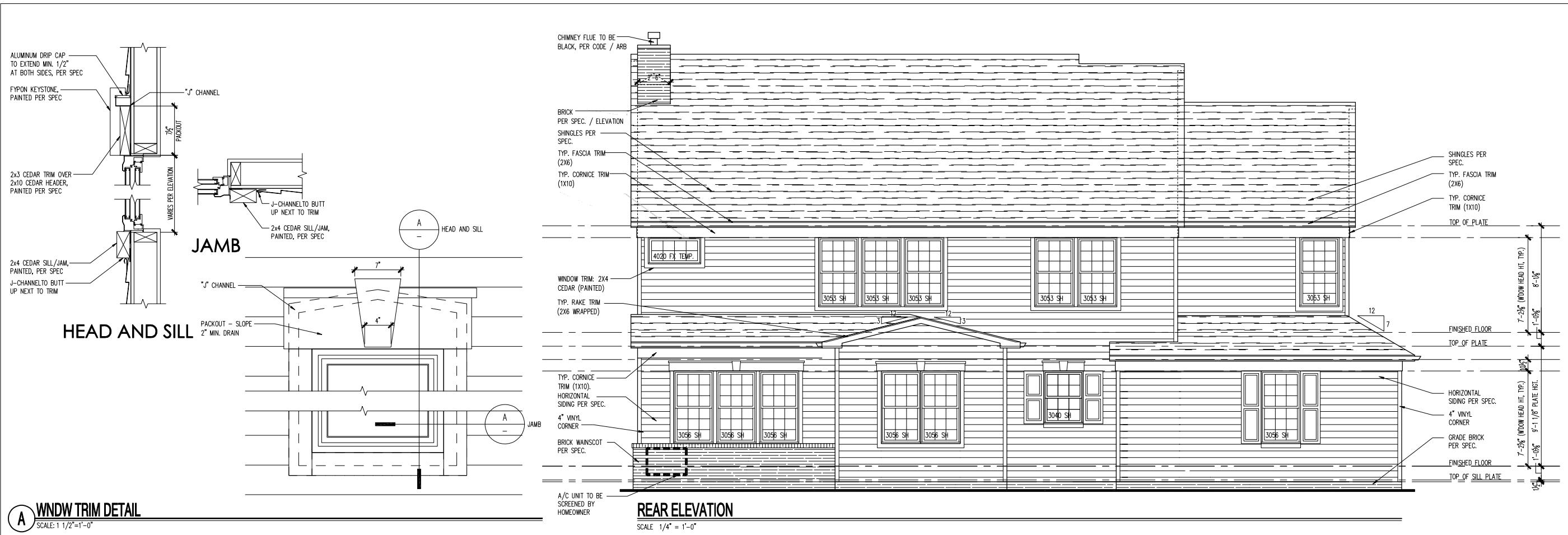
- = PROPOSED TREE
- = PROP MONUMENT
- = EX CURB INLET
- ◎ = EX SANITARY MANHOLE
- = EX YARD DRAIN
- ◎ = IRON PIN SET
5/8"X30" REBAR
CAPPED "AZTECH #8249"
- EXISTING GRADE
←
PROPOSED GRADE
- = PROP SILT FENCE
- = INLET PROTECTION
- = EX HYDRANT
- WW = EX WATER VALVE
- (SP) = SUMP PUMP
- = EX STORM MANHOLE
- ~~~~~ = SWALE
- ==> = FLOW ARROW
- = ELECTRIC STUB
- = CABLE PEDESTAL
- = TELEPHONE PEDESTAL
- TB = TRANSFORMER BOX
- AC = AIR CONDITIONER
- E = ELECTRIC CONNECTION
- G = GAS CONNECTION
- ▽ = OFFSET HUB
- = EX SIGN

VALLEY VIEW, OHIO 44125
440-602-9071

FAX 216-369-0259

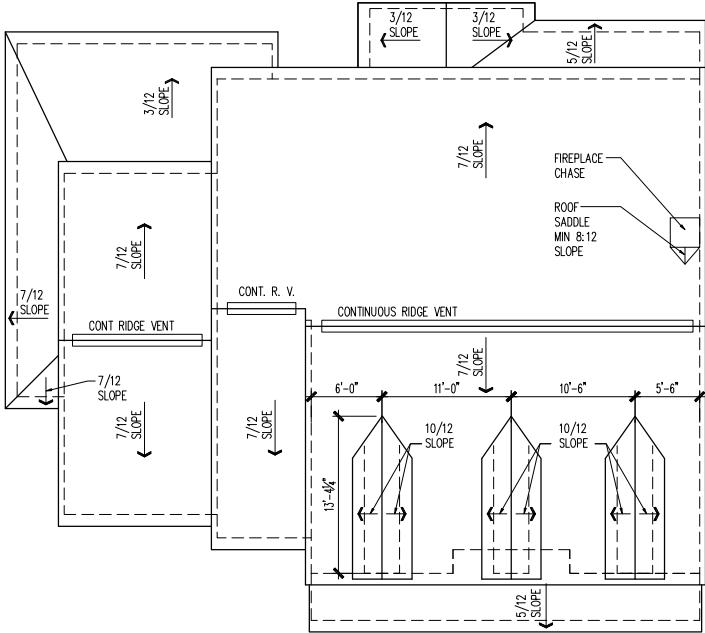
ENGINEERING and SURVEY

*SITE PLAN
FOR
PULTE HOMES
SUBLOT 74
6423 RIDGELINE DRIVE
IN THE
RESERVE AT RIVER
OAKS SUBDIVISION PH.2
SITUATED IN THE
CITY OF HUDSON
COUNTY OF SUMMIT
STATE OF OHIO*



ATTIC VENTILATION SCHEDULE

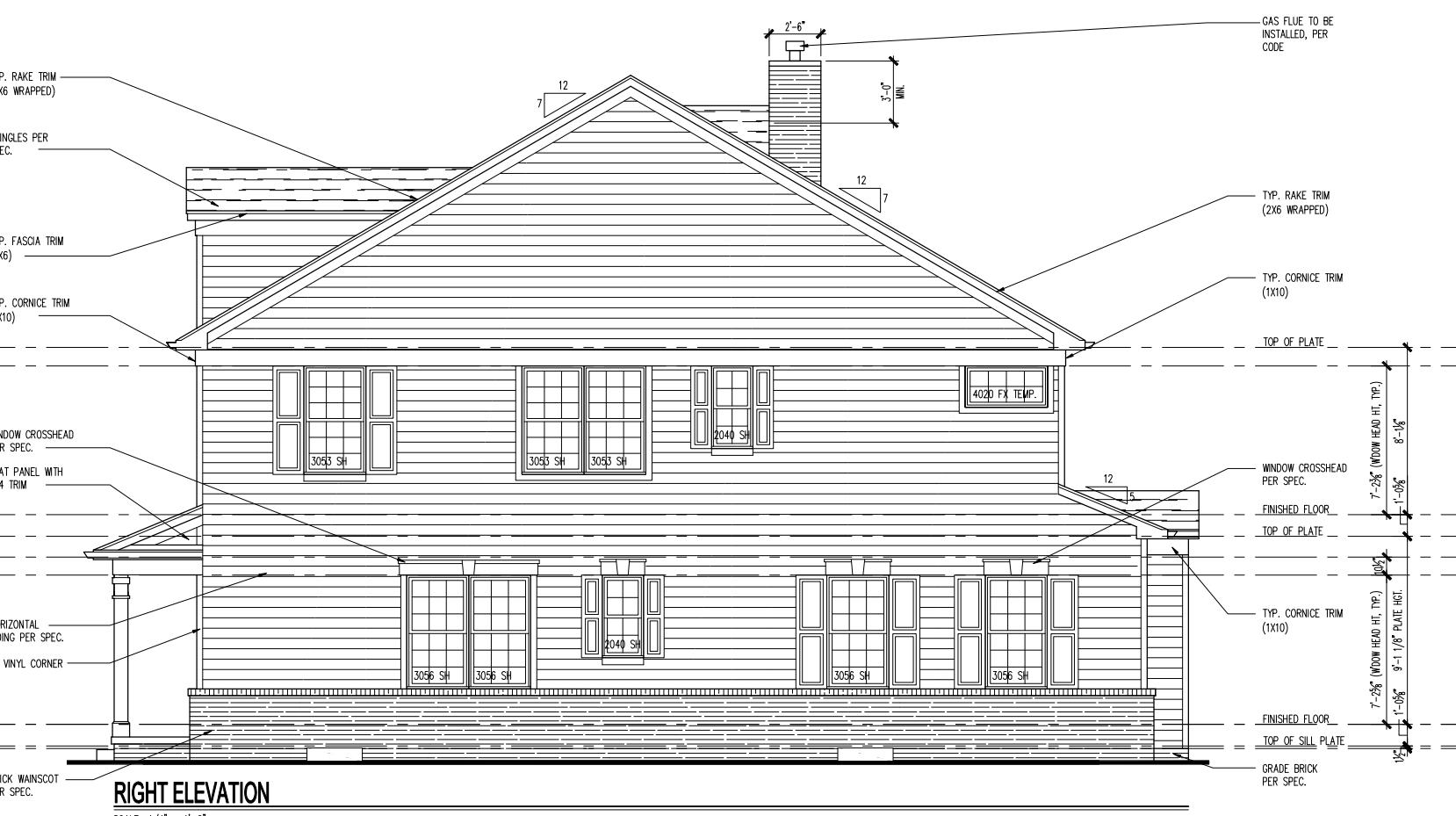
ROOF PLAN



SCALE 1/8" = 1'-0"

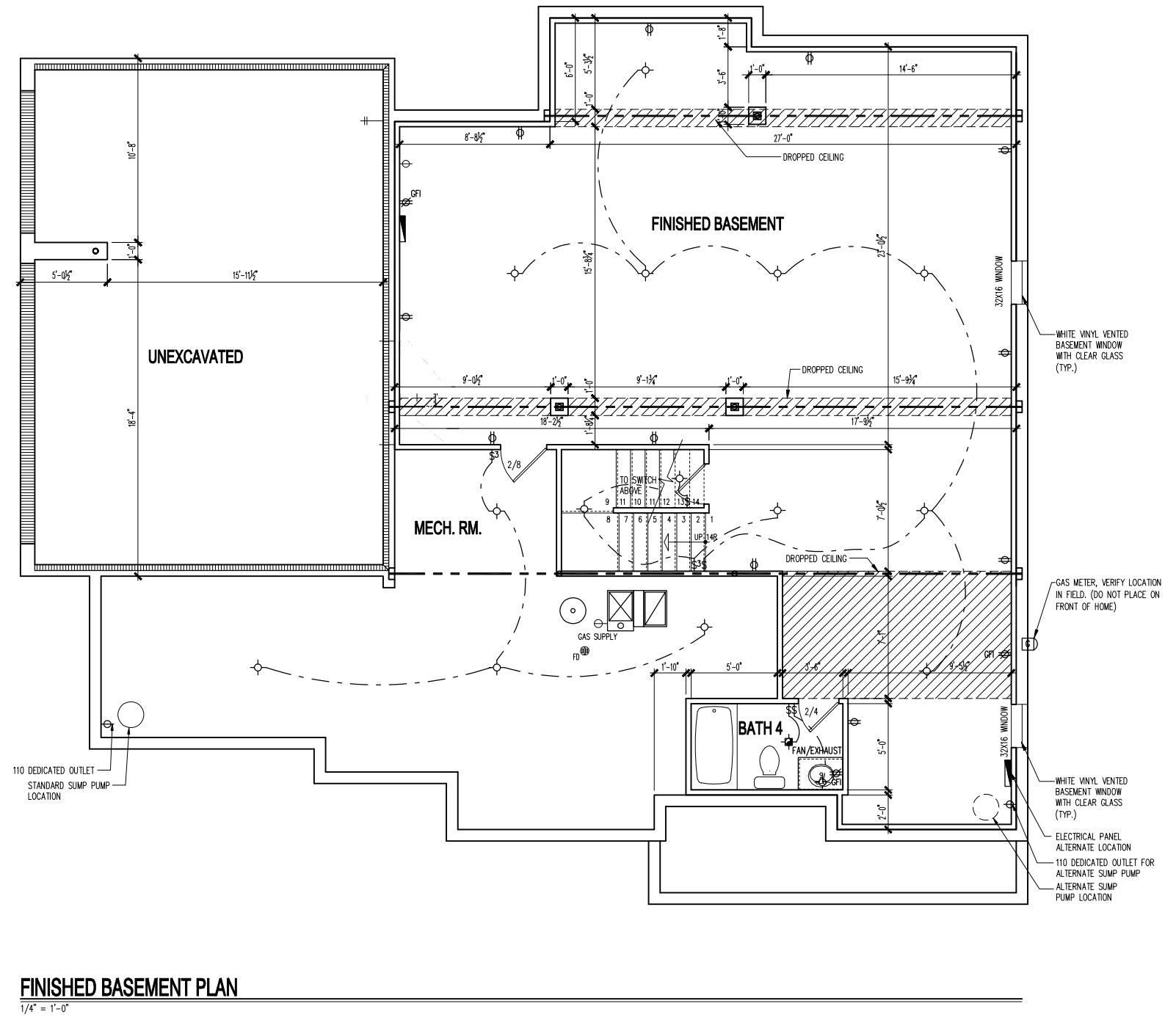
LEFT ELEVATION

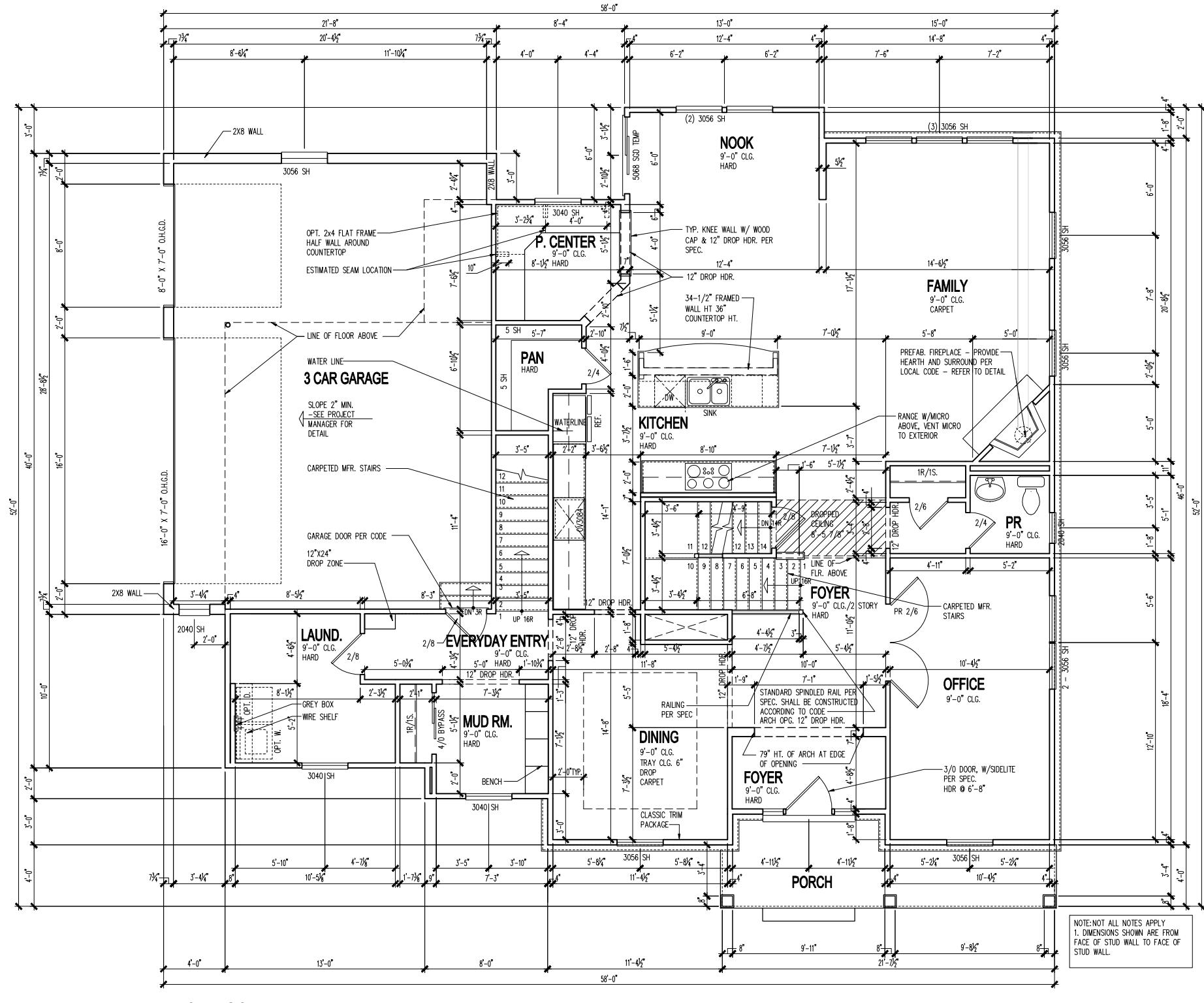
SCALE 1/4" = 1'-0"



RIGHT ELEVATION

SCALE 1/4" = 1'-0"





FIRST FLOOR PLAN

1/4" = 1'-0"

NOTE: NOT ALL NOTES APPLY
1. DIMENSIONS SHOWN ARE FROM
FACE OF STUD WALL TO FACE OF
STUD WALL

Cleveland Division
387 Medina Rd. Suite 1700
Medina, OH 44256

The logo for Pulte Homes, featuring the word "Pulte" in a bold, serif font with a registered trademark symbol, and "Homes" in a smaller, italicized, cursive font below it.

PLAIS

ON 22X34 STREET -

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLATE	PRODUCTION MANAGER	
	Rick Starkey	
CURRENT RELEASE DATE: 11/08/2016		
REV. # / DATE / DESCRIPTION		
		
		
		
		
		
		
		
		
		
		
		
		

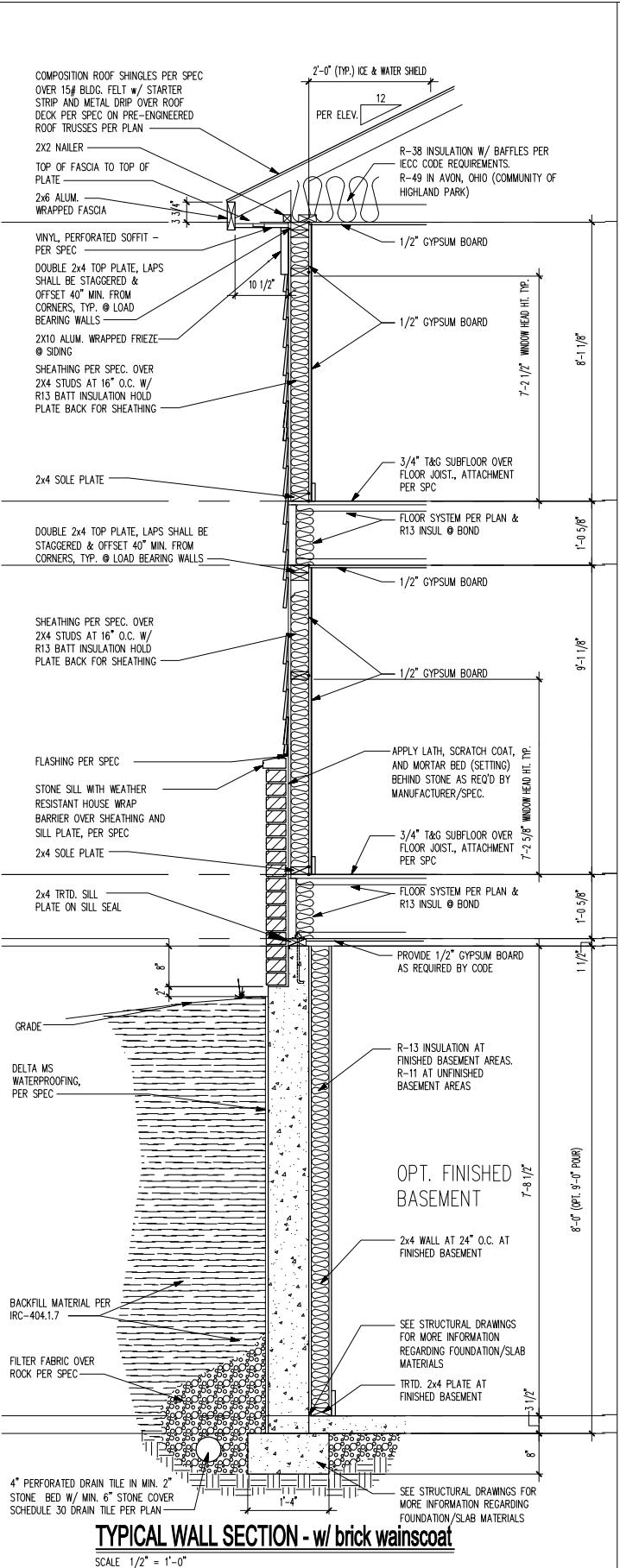
PROJECT TYPE
SINGLE FAMILY

GARAGE HANDING
GARAGE LEFT

PLAN NAME
DRESDEN
NPC PLAN NUMBER
1760
LAWSON PLAN ID
—
LEGACY PLAN NUMBER / NAME
PLAN 3627

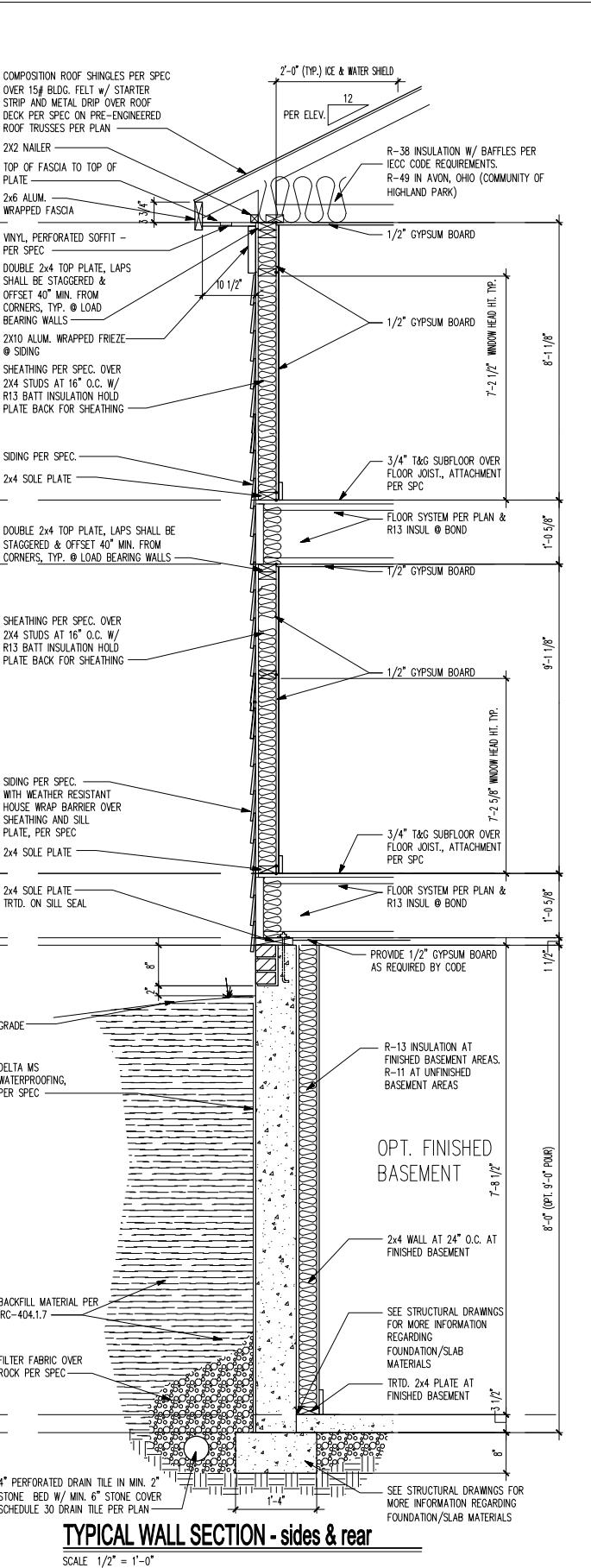
SHEET

PLOTTED: November 9, 2016 / Tiffany Perreault / PLAN-3627-RO-FRMP.DWG



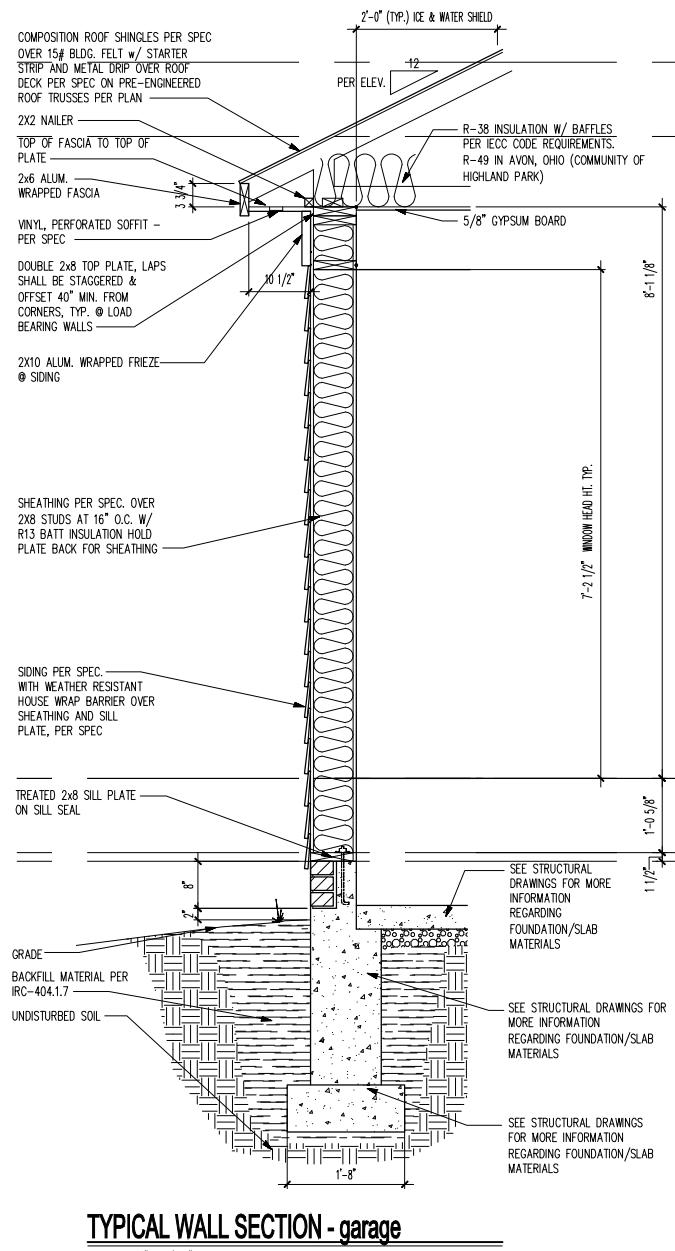
TYPICAL WALL SECTION - w/ brick wainscoat

SCALE 1/2" = 1'-0"



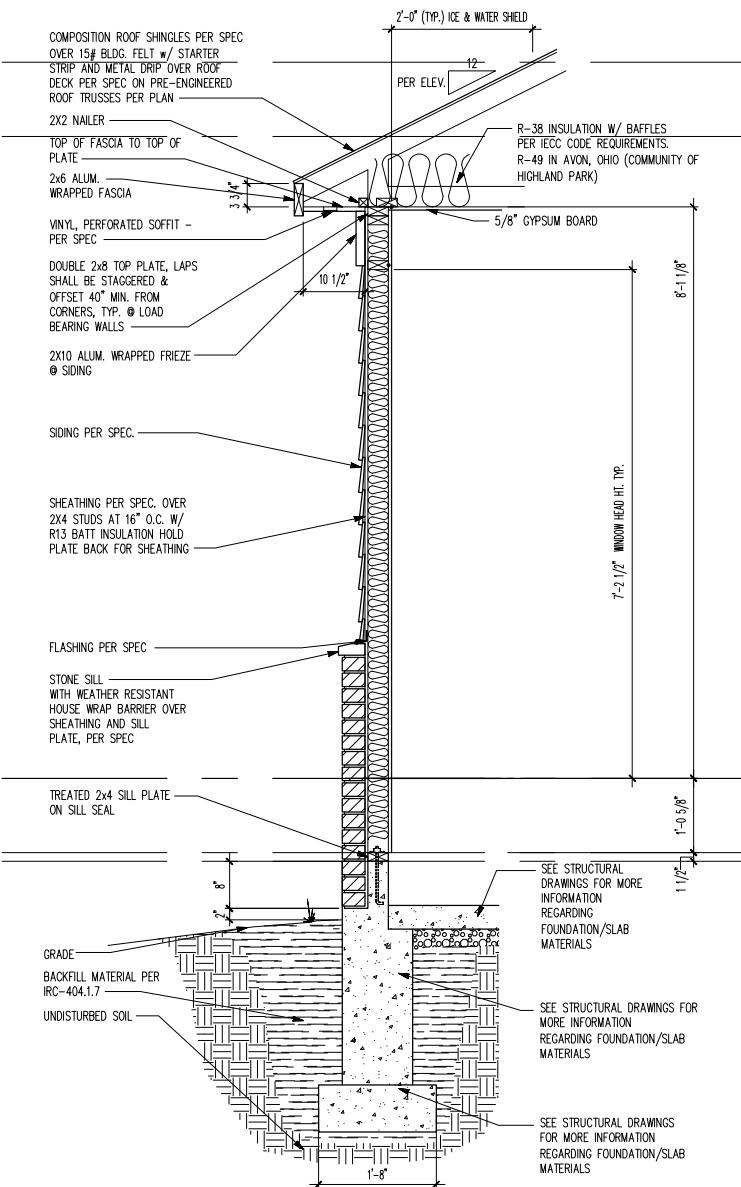
TYPICAL WALL SECTION - sides & rear

2015 4/2



TYPICAL WALL SECTION - garage

SCALE 1/2" = 1'-0"



TYPICAL WALL SECTION - garage w/ 2x4 wall w/ brick wainscot

SCALE 1/2" = 1'-0"

ENGINEER OF RECORD: MULHEARN & KUHL ENGINEERING
ARCHITECT OF RECORD: CODICO DESIGN - ARCHITECTS
SHEET 3.31b

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PILOTS

PROJECT TYPE: SINGLE FAMILY
COMMUNITY NAME: RIVER OAKS LOT 74
LAWSON COMMUNITY ID: 1
GARAGE HANDING: GARAGE LEFT
SPECIFICATION LEVEL: TBD
PLAN NAME: DRESDEN
NPC PLAN NUMBER: 1760
LAWSON PLAN ID: 1
LEGACY PLAN NUMBER / NAME: PLAN 3627

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