

APPROVED: _____ DATE _____
STAFF APPROVAL
APPROVED: _____ DATE _____
ENGINEERING DEPT. APPROVAL
APPROVED: _____ DATE _____
LANDSCAPE ARCHITECT APPROVAL

****PRIMARY BENCHMARK:****
TOC/BOC ELEV @ P/L
IN FRONT OF SUBLOT 74/75
ELEV. = 1004.03

****SECONDARY BENCHMARK****
TOP STEM OF HYDRANT
IN FRONT OF SUBLOT 75
ELEV. = 1006.43

****THE CONTRACTOR MUST CHECK THE
BENCHMARK WITH THE CURB GRADES
PRIOR TO DIGGING THE FOUNDATION.****

BUILDER: PULTE HOMES OF OHIO, LLC.
ADDRESS: 387 MEDINA ROAD SUITE 1700, MEDINA, OHIO 44256
PHONE: 330-239-1587

OWNER: _____
ADDRESS: _____
PHONE: _____

NOTE:
ALL PROPOSED FOOTERS WILL REQUIRE SURVEY
CERTIFICATION ONCE SET AND PRIOR TO THE
COMPLETION OF HOME CONSTRUCTION

CURVE TABLE				
CURVE	LENGTH	RADIUS	TANGENT	CHORD
C1	88.20'	60.00'	54.24'	80.47'
			515°33'24"E	847°33'33"

NOTE:
FINAL LOCATION OF (3) TREES
TO BE DETERMINED AND INSTALLED
BY PURCHASER IN COMPLIANCE
WITH CITY OF HUDSON LAND
DEVELOPMENT CODE (1207.04J).

INITIAL SITE BENCHMARK:
SUMMIT COUNTY GEODETIC MONUMENT HU 118
STATE PLAN COORDINATE
N 572,745,649
E 2,250,912,641
ELEVATION = 1006.912 NAVD 1988

NOTES:
DOWNSPOUTS TO BE CONNECTED TO
STORM SEWER CONNECTION
SUMP PUMP REQUIRED FOR FOOTER DRAINS

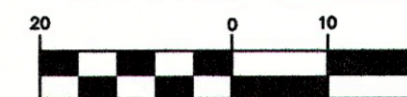
NOTE:
PURCHASER TO INSTALL
MINIMUM OF 3 TREES
PER MUNICIPAL REQUIREMENTS

NOTE:
PURCHASER TO INSTALL LANDSCAPING PER CITY
OF HUDSON LANDSCAPING REQUIREMENTS.

NOTE:
PER ARB, EGRESS WINDOW WELLS SHOULD BE NO
MORE THAN 6" ABOVE FINISHED GRADE



GRAPHIC SCALE



(IN FEET) 1 inch = 20 ft.

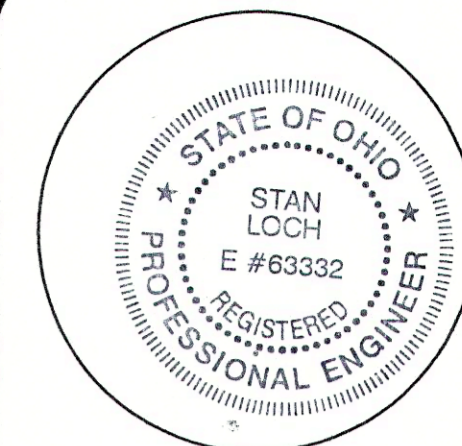
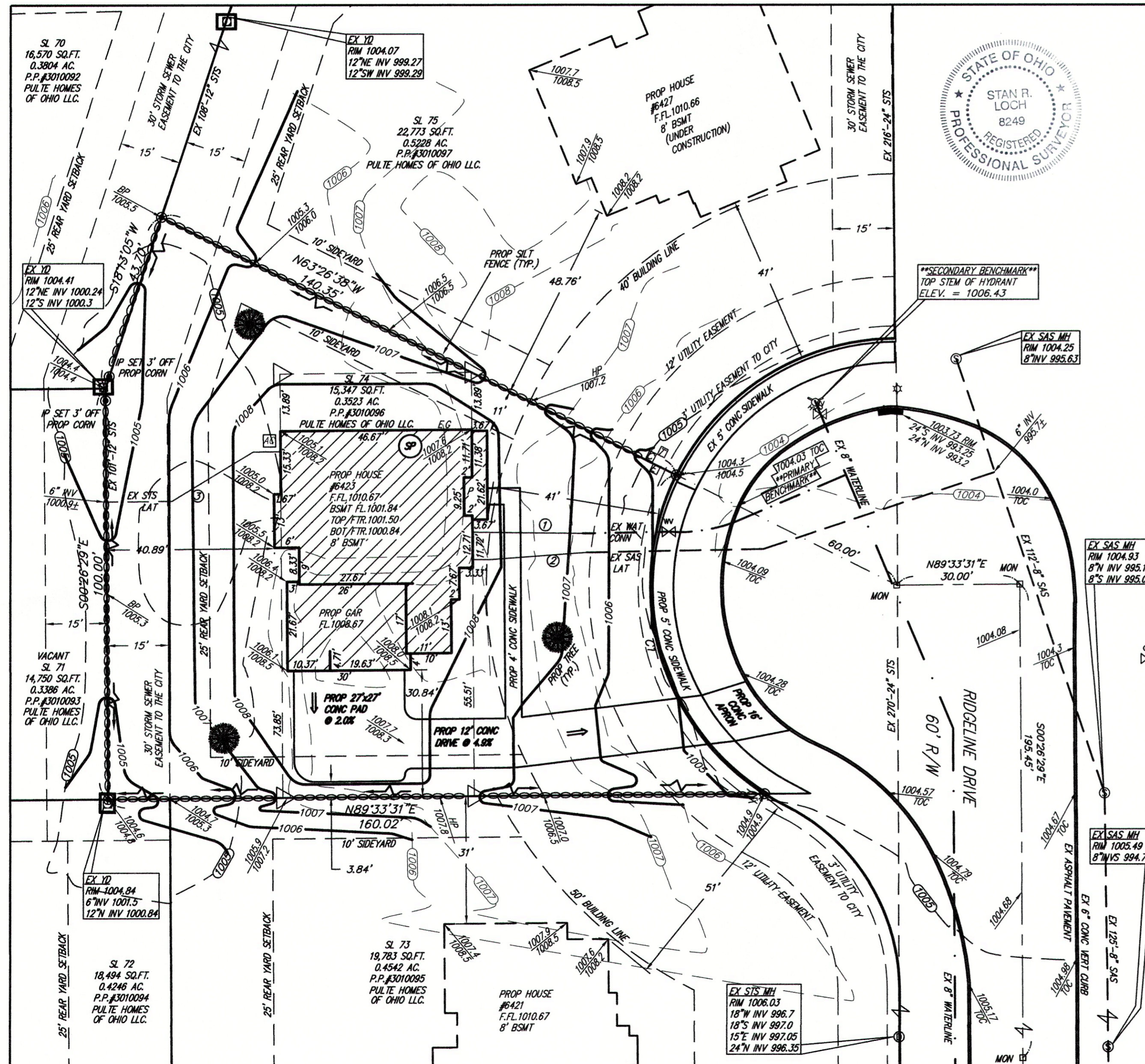
DATE OF SURVEY:
NOVEMBER 12th, 2016

TYPE OF HOUSE:
PLAN# DRESDEN
ELEVATION: 3
GAR: 3 CAR SIDE LEFT W/8' BASEMENT,
FP & EXTENDED GATHERING ROOM

- ① = PROP 1" WAT CONN
② = PROP 6" PVC GAS CONN @
1.0% MIN 10% MAX
③ = PROP 6" PVC STS CONN @
1.0% MIN 10% MAX

LEGEND:

- = PROPOSED TREE
□ = PROP MONUMENT
■ = EX CURB INLET
⊙ = EX SANITARY MANHOLE
□ = EX YARD DRAIN
⊙ = IRON PIN SET
5/8"X30" REBAR
CAPPED "AZTECH #8249"
— = EXISTING GRADE
— = PROPOSED GRADE
∞ = PROP SILT FENCE
□ = INLET PROTECTION
⊙ = EX HYDRANT
⊙ = EX WATER VALVE
⊙ = SUMP PUMP
⊙ = EX STORM MANHOLE
— = SWALE
→ = FLOW ARROW
⊙ = ELECTRIC STUB
⊙ = CABLE PEDESTAL
⊙ = TELEPHONE PEDESTAL
⊙ = TRANSFORMER BOX
⊙ = AIR CONDITIONER
E = ELECTRIC CONNECTION
G = GAS CONNECTION
△ = OFFSET HUB
⊙ = EX SIGN



I CERTIFY THAT THIS PLAN WAS
PREPARED BY ME AND IS CORRECT TO
THE BEST OF MY KNOWLEDGE AND
BELIEF.

STAN R. LOCH P.E. #63332 DATE

5425 WARNER ROAD - SUITE 12
VALLEY VIEW, OHIO 44125
440-602-9071

AZTECH
FAX 216-369-0259

ENGINEERING and SURVEYING
Civil Engineering - Land Surveying

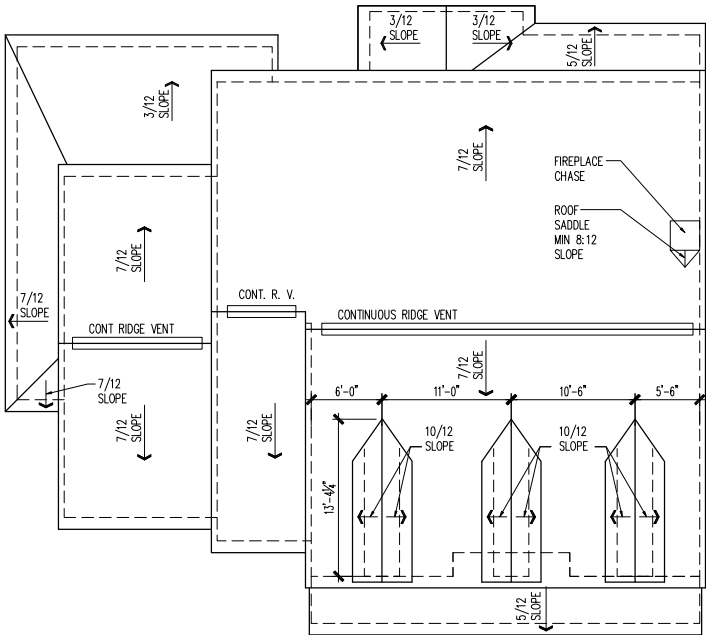
SHEET CONTENT

SITE PLAN
FOR
PULTE HOMES
SUBLOT 74
6423 RIDGELINE DRIVE
IN THE
RESERVE AT RIVER
OAKS SUBDIVISION PH.2
SITUATED IN THE
CITY OF HUDSON
COUNTY OF SUMMIT
STATE OF OHIO

REVISIONS		
NO.	DATE	DESCRIPTION

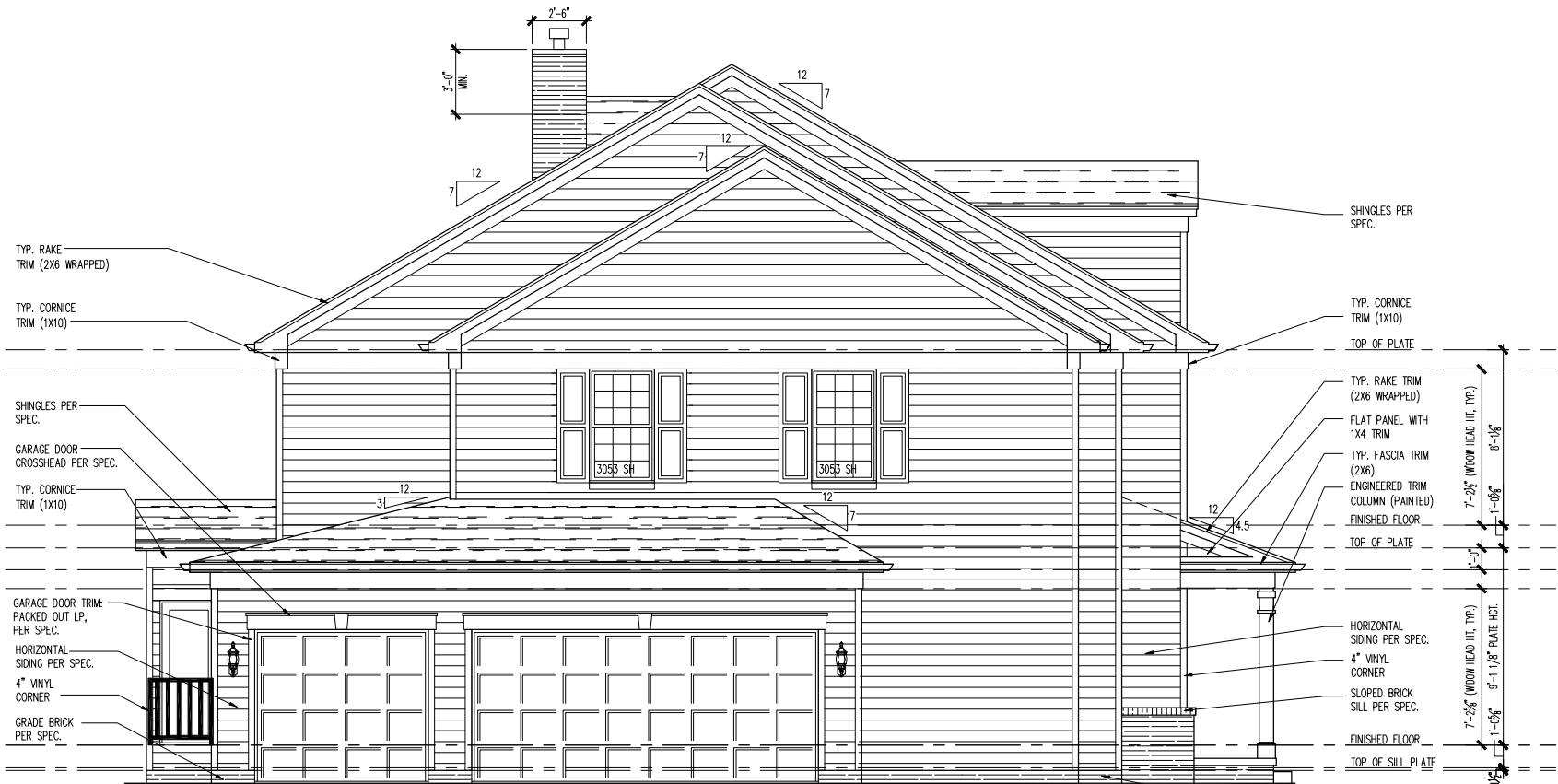
HORIZ. SCALE		VERT. SCALE	
1" = 20'		1" = 20'	
DRAWN BY		DATE	
KEG		11-16-2016	
CHECKED BY		DRAWING NO.	
SRL		River Oaks 2	
JOB NO.		SHEET	
20142977-2		1 OF 1	

ATTIC VENTILATION SCHEDULE												
3 ELEVATION	LOC	1ST FLOOR ROOF		2ND FLOOR ROOF		GARAGE ROOF		N/A		N/A		
	AREA	REQ'D	SUPP	AREA	REQ'D	SUPP	AREA	REQ'D	SUPP	AREA	REQ'D	SUPP
	RIDGE	325	0.54	2.19	1729	2.88	5.88	336	0.56	1.31		
	EAVE		0.54	2.19		2.88	4.89		0.56	1.31		
	TOTAL		1.08	4.38		5.76	10.77		1.12	2.62		



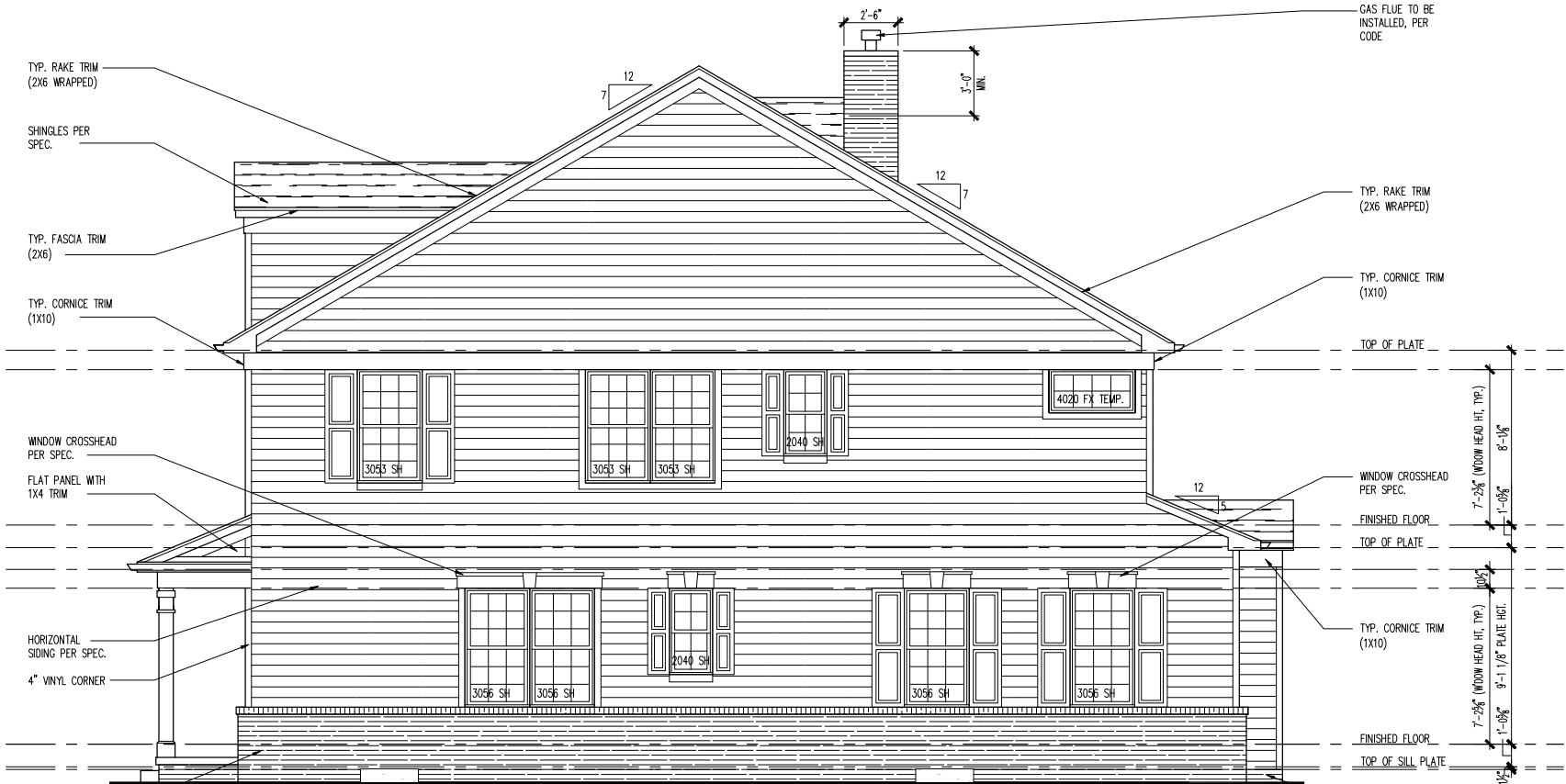
ROOF PLAN

SCALE 1/8" = 1'-0"



LEFT ELEVATION

SCALE 1/4" = 1'-0"



RIGHT ELEVATION

SCALE 1/4" = 1'-0"

PRODUCTION MANAGER	
Rick Starkey	
CURRENT RELEASE DATE: 11/08/2016	
REV #	DATE / DESCRIPTION
△	
△	
△	
△	
△	
△	
△	
△	



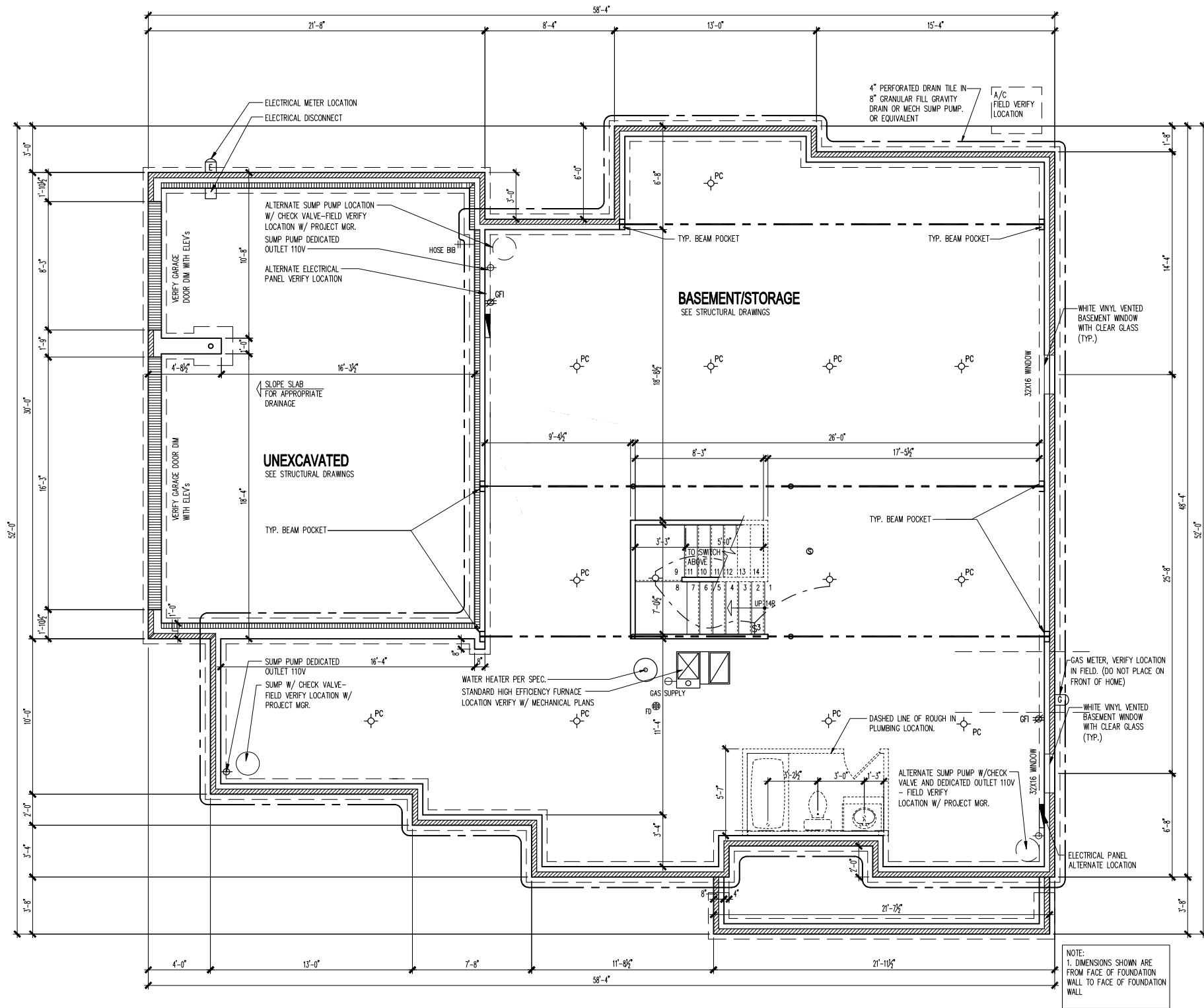
Full Basement Foundation Plan

[illegible]

PROJECT TYPE	SINGLE FAMILY
COMMUNITY NAME	RIVER OAKS LOT 74
LAWSON COMMUNITY ID	
GARAGE HANDING	GARAGE LEFT
SPECIFICATION LEVEL	TBD
PLAN NAME	DRESDEN
NPC PLAN NUMBER	1760
LAWSON PLAN ID	
LEGACY PLAN NUMBER / NAME	PLAN 3627

SHEET

1.30a



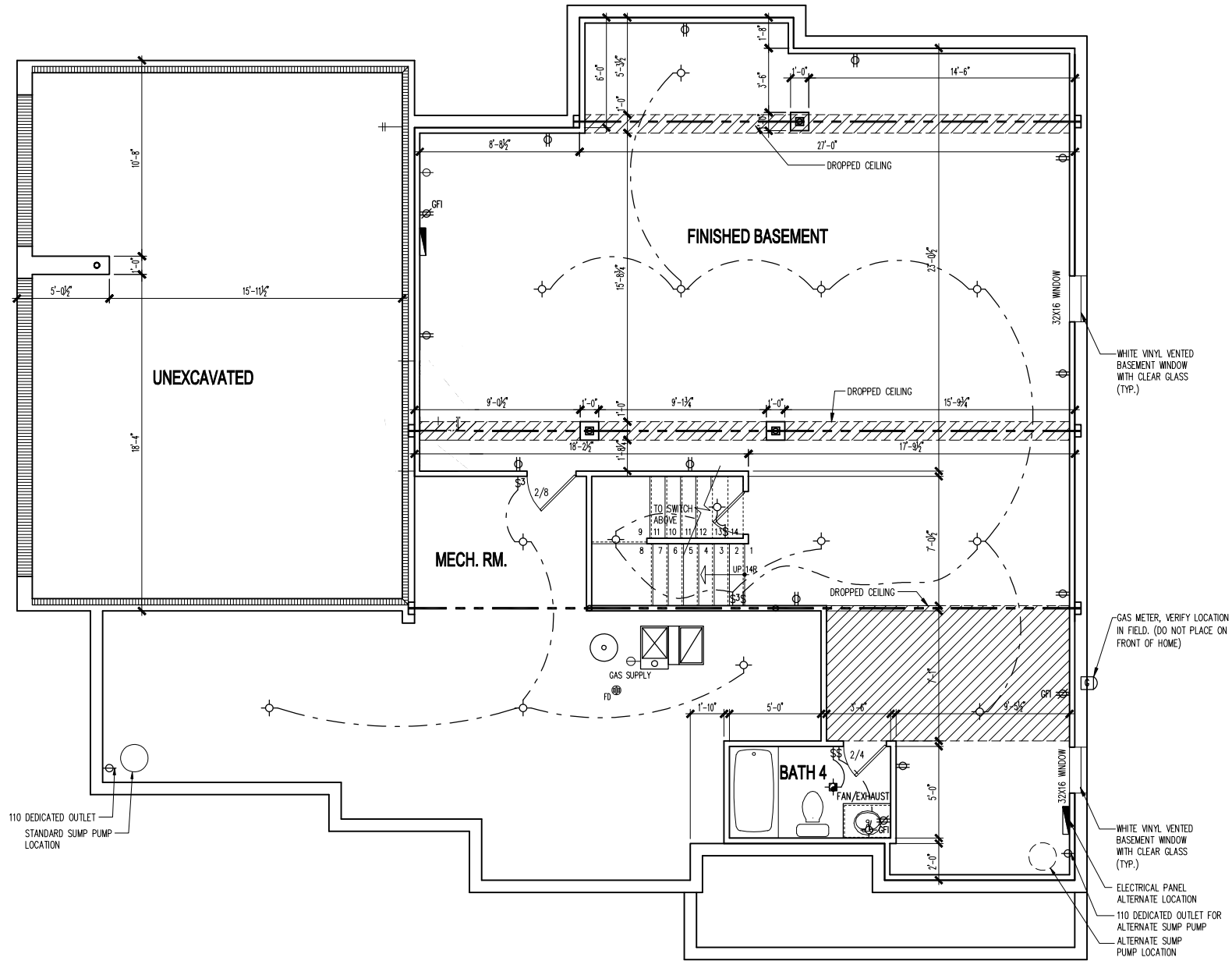
FOUNDATION PLAN

$$\overline{1/4'' = 1' - 0''}$$

[illegible]

PROJECT TYPE	SINGLE FAMILY
COMMUNITY NAME	RIVER OAKS LOT 74
LAWSON COMMUNITY ID	_____
GARAGE HANDING	GARAGE LEFT
SPECIFICATION LEVEL	TBD
PLAN NAME	DRESDEN
NPC PLAN NUMBER	1760
LAWSON PLAN ID	_____
LEGACY PLAN NUMBER / NAME	PLAN 3627

SHEET
2.00



FINISHED BASEMENT PLAN

$$\overline{1/4'' = 1'-0''}$$

[illegible]

PROJECT TYPE
SINGLE FAMILY

COMMUNITY NAME
RIVER OAKS
LOT 74
LAWSON COMMUNITY ID

GARAGE HANDING GARAGE LEFT

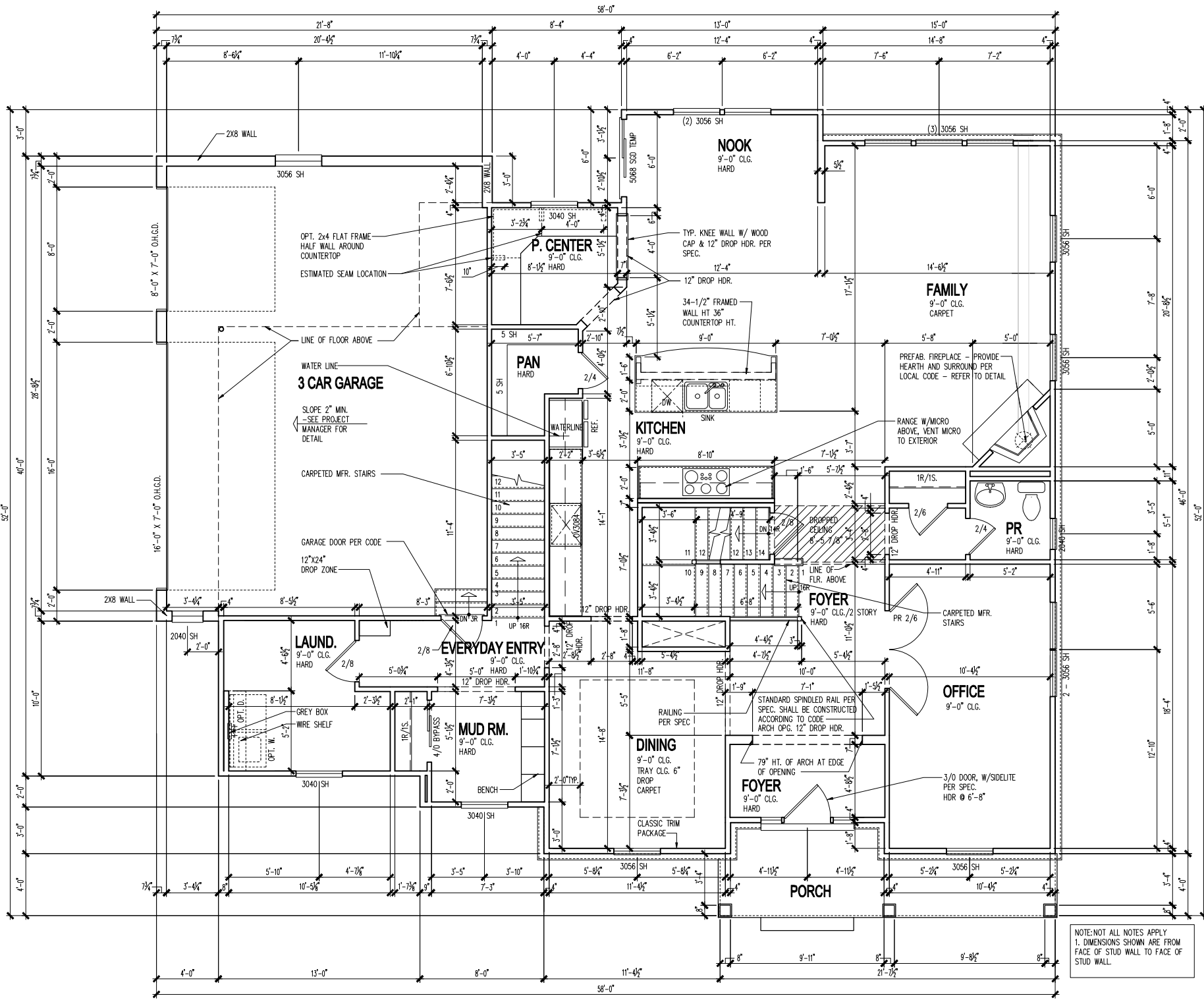
SPECIFICATION LEVEL
TBD

PLAN NAME
DRESDEN
NPC PLAN NUMBER
1760
LAWSON PLAN ID

LEGACY PLAN NUMBER / NAME
PLAN 3627

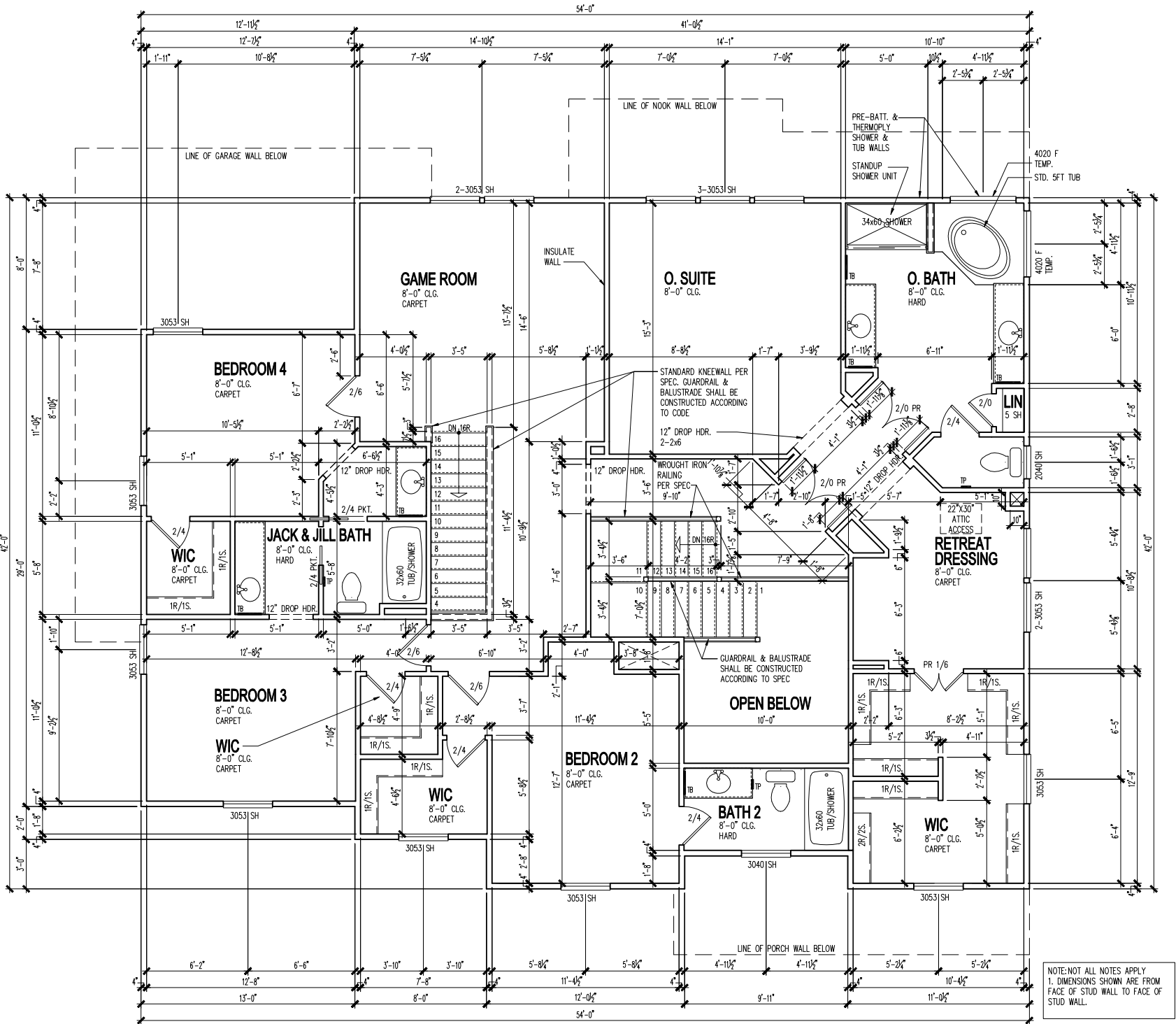
SHEET

2.10a



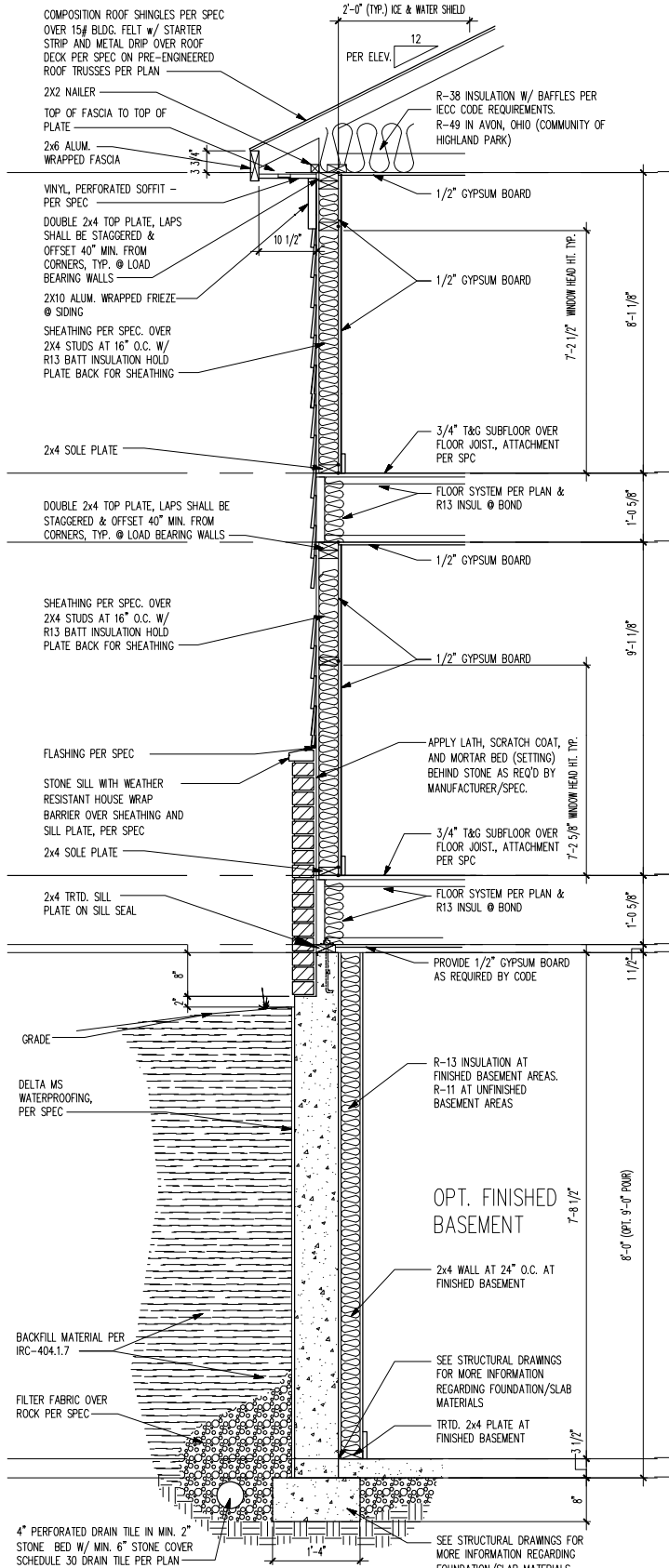
FIRST FLOOR PLAN

$$\overline{1/4^n} = 1^n - 0^n$$



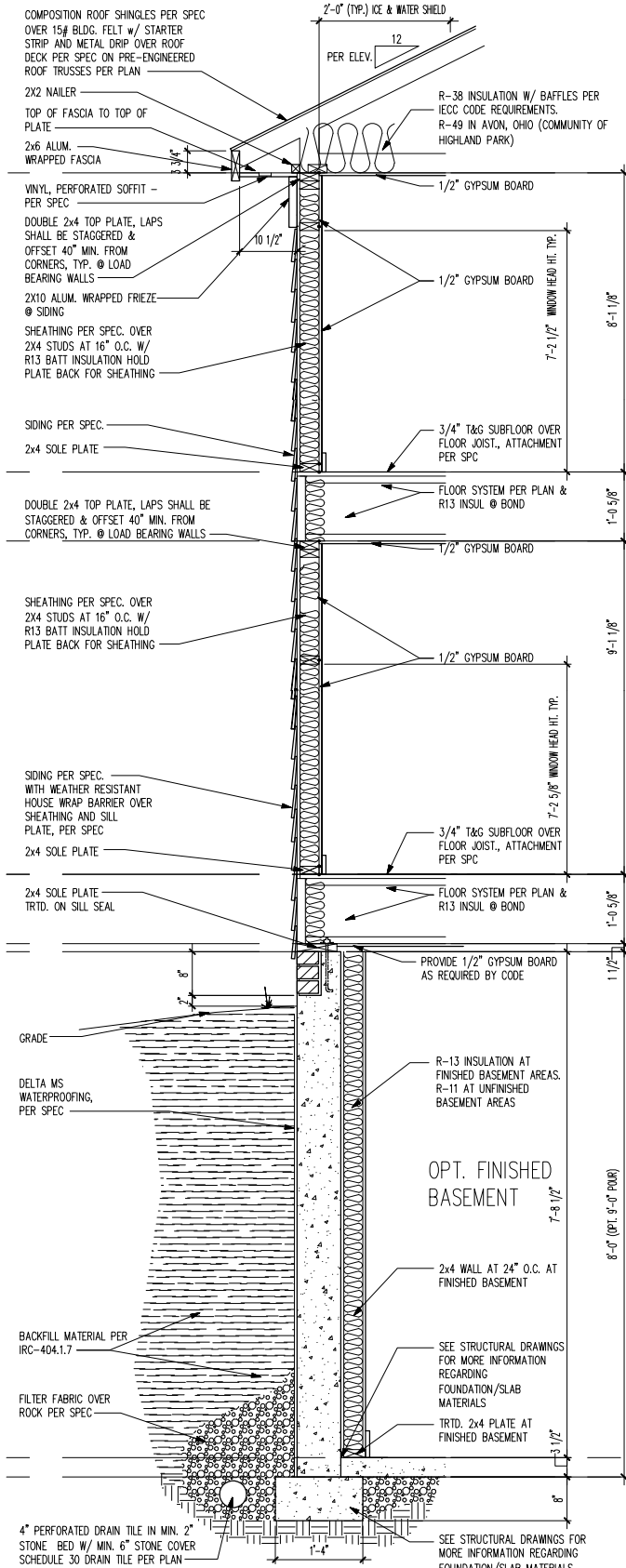
SECOND FLOOR PLAN

1/4" = 1'-0"



TYPICAL WALL SECTION - w/ brick wainscoat

SCALE 1/2" = 1'-0"

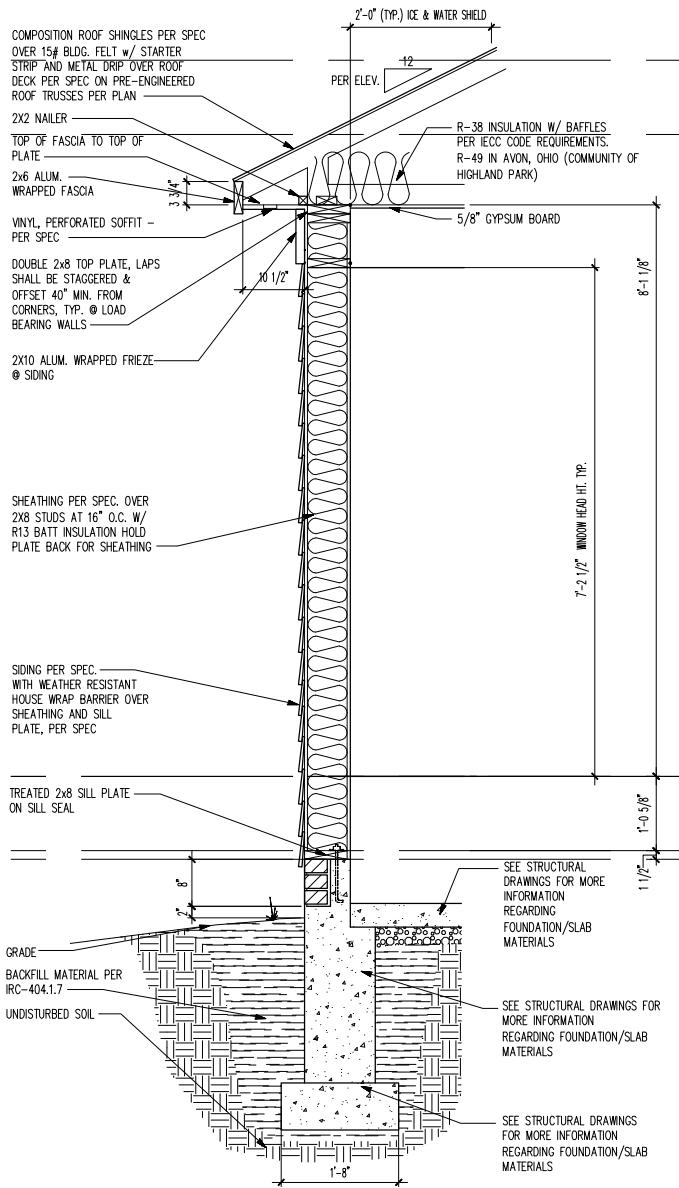


TYPICAL WALL SECTION - sides & rear

SCALE 1/2" = 1'-0"

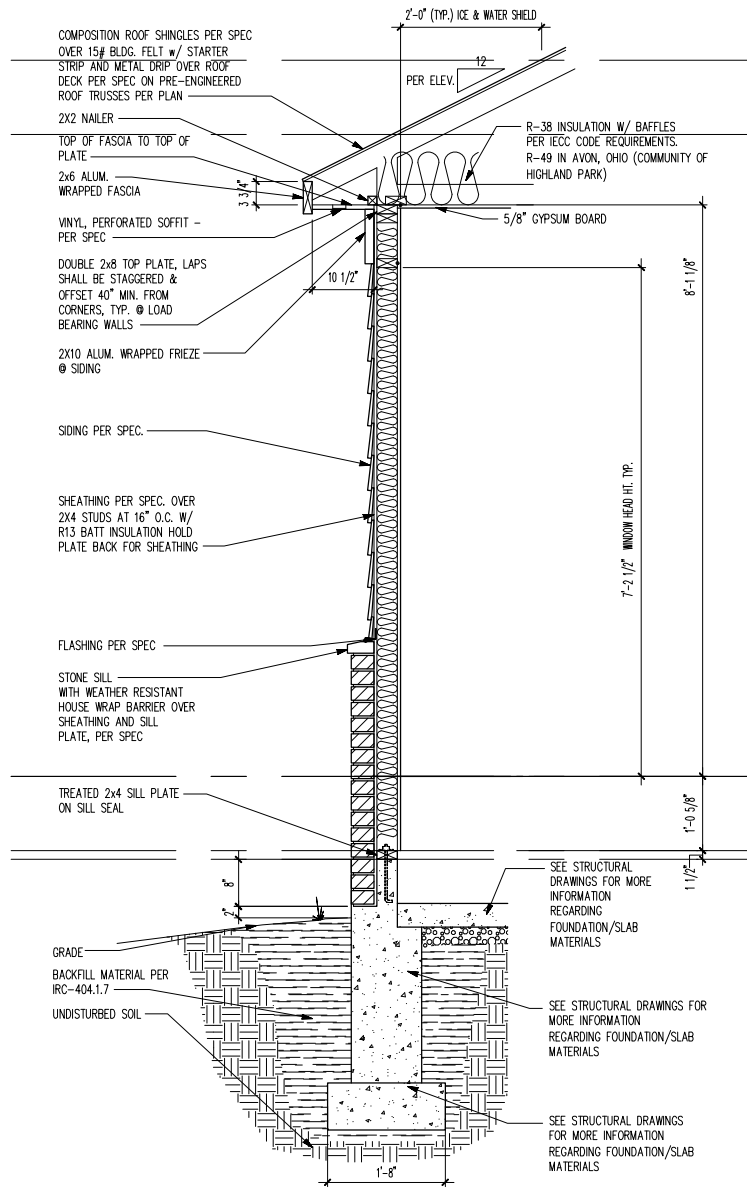
PRODUCTION MANAGER	
Rick Starkey	
CURRENT RELEASE DATE: 11/08/2016	
REV #	DATE / DESCRIPTION
△	
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PROJECT TYPE	
SINGLE FAMILY	
COMMUNITY NAME	
RIVER OAKS LOT 74	
LAWSON COMMUNITY ID	
GARAGE HANDING	
GARAGE LEFT	
SPECIFICATION LEVEL	
TBD	
PLAN NAME	
DRESDEN	
NPS PLAN NUMBER	
1760	
LAWSON PLAN ID	
LEGACY PLAN NUMBER / NAME	
PLAN 3627	
SHEET	
3.31a	



TYPICAL WALL SECTION - garage

SCALE 1/2" = 1'-0"



TYPICAL WALL SECTION - garage w/ 2x4 wall w/ brick wainscot

SCALE 1/2" = 1'-0"

PRODUCTION MANAGER	
Rick Starkey	
CURRENT RELEASE DATE: 11/08/2016	
REV #	DATE / DESCRIPTION
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△	
△	
△	
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△	
△	

PROJECT TYPE	
SINGLE FAMILY	
COMMUNITY NAME	
RIVER OAKS LOT 74	
LAWSON COMMUNITY ID	

GARAGE HANDING	
GARAGE LEFT	
SPECIFICATION LEVEL	
TBD	
PLAN NAME	
DRESDEN	
NPS PLAN NUMBER	
1760	
LAWSON PLAN ID	

LEGACY PLAN NUMBER / NAME	
PLAN 3627	



PLAN SHEET INDEX	
SHT.	DESCRIPTION
0.00	COVER SHEET
1.30a	FULL BASEMENT FOUNDATION PLAN
2.00	FINISHED BASEMENT PLAN
2.10a	FIRST FLOOR PLAN
2.11a	PLAN DETAILS
2.11b	PLAN DETAILS
2.11c	PLAN DETAILS
2.20a	SECOND FLOOR PLAN
3.30a	TYPICAL BUILDING SECTIONS
3.30b	TYPICAL BUILDING SECTIONS
3.31a	TYPICAL WALL SECTIONS
3.31b	TYPICAL WALL SECTIONS
6.10	FIRST FLOOR ELECTRICAL PLAN
6.11	SECOND FLOOR ELECTRICAL PLAN
7.03a1	ELEVATION "3" - FRONT AND REAR ELEVATIONS
7.03a2	ELEVATION "3" - SIDE ELEVATIONS AND ROOF PLAN
S-1.0	FOUNDATION/FIRST FLOOR FRAMING PLAN
S-1.0A	FOUNDATION/FIRST FLOOR FRAMING PLAN
S-1.1	FOUNDATION/FIRST FLOOR FRAMING PLAN
S-1.2	FOUNDATION/FIRST FLOOR FRAMING PLAN
S-1.3	FOUNDATION/FIRST FLOOR FRAMING PLAN
S-2.0	SECOND FLOOR FRAMING PLAN
S-2.1	SECOND FLOOR FRAMING PLAN
S-2.2	SECOND FLOOR FRAMING PLAN
S-2.3	SECOND FLOOR FRAMING PLAN
S-3.0	ROOF FRAMING PLAN
S-3.1	ROOF FRAMING PLAN
S-3.2	ROOF FRAMING PLAN
S-3.3	ROOF FRAMING PLAN
S-3.4	ROOF FRAMING PLAN
S-4.0	WALL BRACING DETAILS
S-4.1	WALL BRACING DETAILS
SD.01	TYPICAL FOUNDATION DETAILS
SD.02	TYPICAL FOUNDATION DETAILS
SD.03	TYPICAL FOUNDATION DETAILS

ENGINEER OF RECORD: MULHORN & KULP ENGINEERING
ARCHITECT OF RECORD: GODUCCO DESIGN - ARCHITECTS

[illegible]

COMMUNITY NAME
**RIVER OAKS
LOT 74**
LAWSON COMMUNITY ID

SPECIFICATION LEVEL
TBD

SHEET

0.00