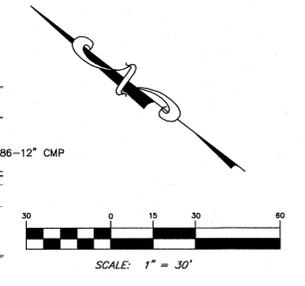
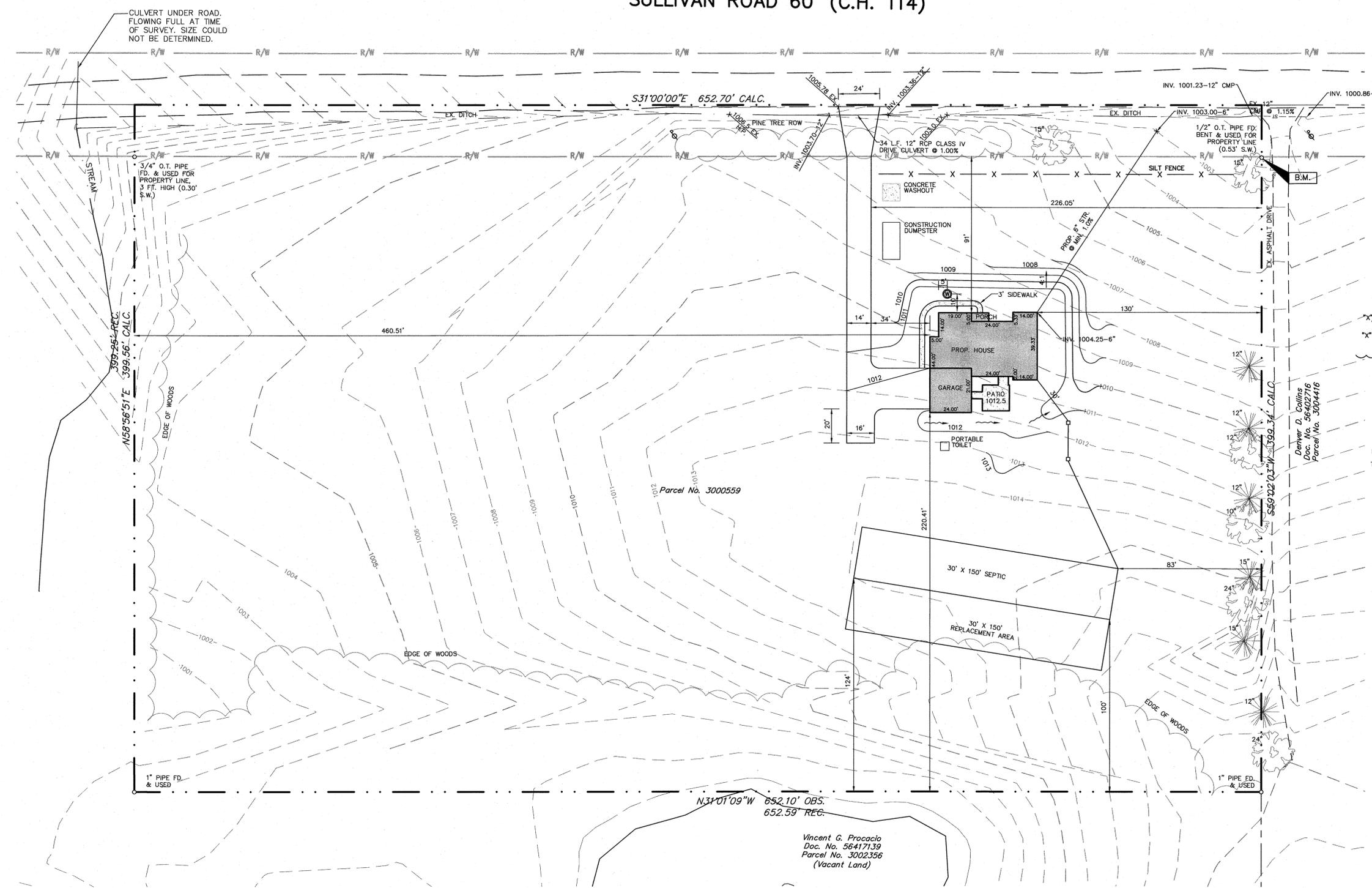


B.M. ~ TOP OF S.E. PROPERTY CORNER
PIN
ELEV. ~ 1002.39 (NAVD 88)

SULLIVAN ROAD 60' (C.H. 114)



BASIS OF BEARINGS:
OHIO STATE PLANE COORDINATE
SYSTEM, NAD 83 (2011), OHIO NORTH
ZONE (ODOT CORS)

- LEGEND**
- IRON PIN FOUND AS NOTED
 - MONUMENT FOUND AND USED
 - UTILITY POLE
 - ✱ PINE TREE AND SIZE
 - ✱ TREE AND SIZE
 - ~ EDGE OF WOODS

F.F. HOUSE
1014.50
F.F. GARAGE
1012.50
F.F. BASEMENT
1004.83
TOP OF FOOTING
1004.50

- NOTES:**
1. THIS PROPERTY IS LOCATED IN A FLOOD ZONE X AREA OF MINIMAL FLOODING, AS SHOWN ON FLOOD INSURANCE RATE MAP 39153C012BE DATED 7/20/2009.
 2. SUMP PUMP WILL NOT BE REQUIRED FOR FOOTER DRAINS.
 3. EXISTING DITCHES ARE TO BE LEFT UNDISTURBED.
 4. DITCH ALONG SULLIVAN ROAD PROVIDES A NATURAL BARRIER TO RESTRICT ACCESS TO THE PROPERTY.
 5. TREE PROTECTION WILL BE PROVIDED IN ACCORDANCE WITH CITY'S CONSULTANT LANDSCAPE ARCHITECT RECOMMENDATION.

Vincent G. Procacio
Doc. No. 56417139
Parcel No. 3002356
(Vacant Land)



SPAGNUOLO & ASSOCIATES, LLC
3057 WEST MARKET STREET, SUITE 201
FAIRLAWN, OHIO 44333
PHONE (330) 836-8661
FAX (330) 836-6115

D. W. Stoffer
DENNIS W. STOFFER

REG. SURVEYOR No. 7604

5-10-22
DATE

LOT IMPROVEMENT PLAN

ADDRESS No. 5430 SULLIVAN ROAD
BEING SBLT No.
CITY OF HUDSON
COUNTY OF SUMMIT STATE OF OHIO
CONTRACTOR SHULTZ DESIGN & CONSTRUCTION PPN: 3000559

F:\Projects\Sullivan\Bases-sullivan Site Plan.dwg (30 SCALE) 3/25/2022

GENERAL NOTES
(UNLESS OTHERWISE NOTED)

DESIGN LOADS USED (#/SQ. FT.)

- STANDARDS USED, MAY NOT REFLECT ACTUAL CONDITIONS OR REQUIREMENTS
- SOIL BEARING: 2000 (ADJUST FOOTING SIZES IF SOIL CONDITIONS DO NOT MEET ASSUMPTIONS)
- FLOOR (typical): 40 LL / 10 DL (L/360)
- FLOOR (SLEEPING ROOMS): 30 LL / 10 DL (L/360)
- ROOF LOADS: 25 SL / 10 DL / 10 CL (L/240)

BASEMENT/ FOUNDATION

- SUPPORTS TO BE 3" STEEL POSTS BASED ON "MONOPOST - 200 SERIES" BY TAPCO ON 30" sq. CONCRETE PADS (10' Wk.)
- VERIFY ALL DRAIN, EQPT. and UTILITY LOCATIONS and ENTRIES

CONCRETE

- BASEMENT FLOORS TO BE 4" THICK of 4" COMPACTED GRANULAR FILL
- BASEMENT SLABS TO BE CUT AS NEEDED

CONCRETE

- CONCRETE WALL REINFORCEMENT per CODE & SITE CONDITIONS
- 1/2" dia. X 18" ANCHOR BOLTS INSTALLED PER CODE
- 2 BOLTS per FLATE min. ; EXTEND 15" (min.) into BLOCK & GROUT SOLID

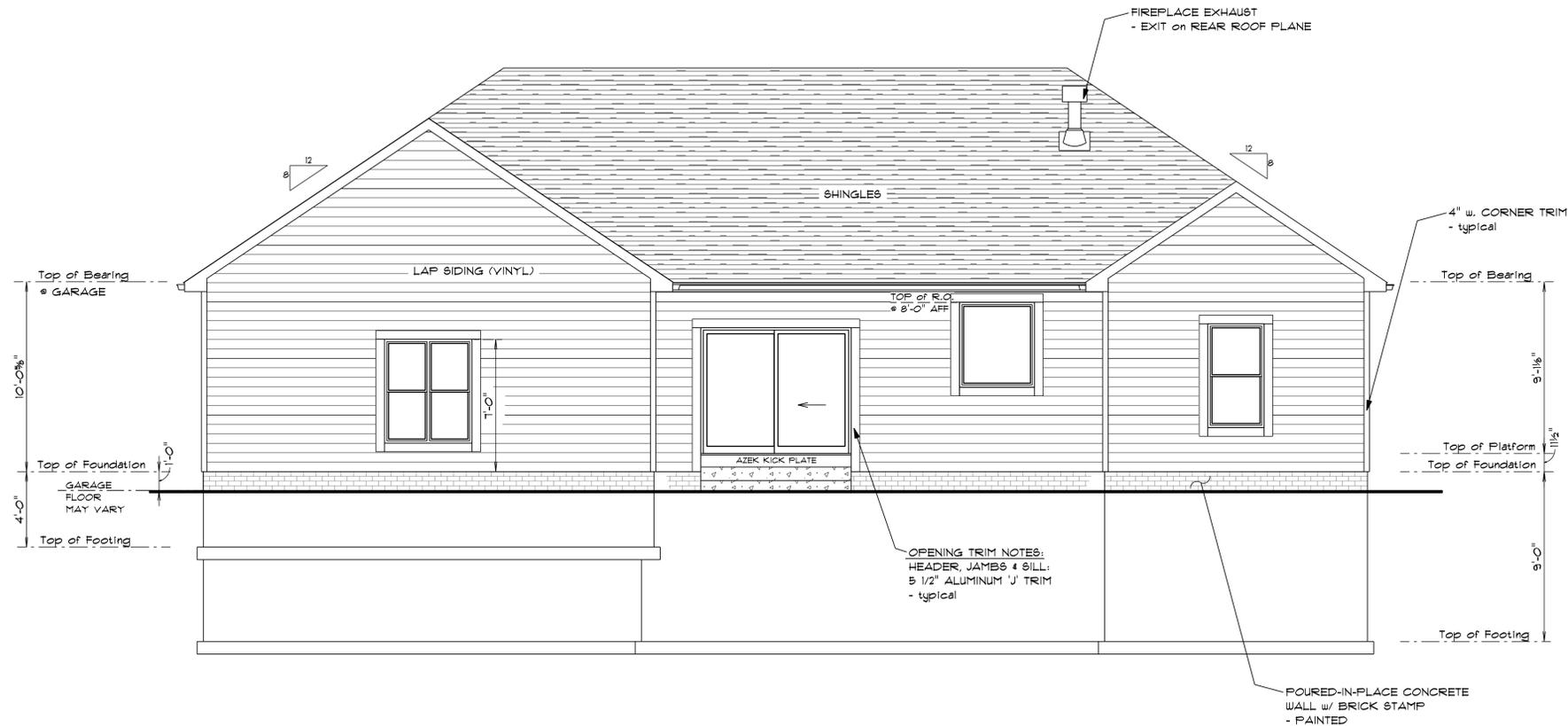
FRAMING

- JOISTS, RAFTERS, HEADERS and BEAMS to be #1 SPF or better
- LVL SIZING BASED ON "MICROLLAM" LVL BY TRUSS JOIST MANUFACTURER (118E, Pp 2600 - FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS)
- BRIDGING 10' o.c. (max.)
- ADD SOLID BLOCKING BELOW BEARING LOADS
- ROOF LOADING OTHER THAN SPECIFICALLY SHOWN MAY AFFECT STRUCTURAL SIZES
- ALL EXTERIOR CORNERS NOT SHEATHED w/ STRUCTURAL OSB SHALL HAVE LET-IN or STRAP BRACING

ELEVATIONS

- ALL FINISHED GRADES MUST be 6" BELOW TOP of FOUNDATION WALLS and SHOULD be VERIFIED BEFORE START of CONSTRUCTION.
- ALL FOOTINGS SHALL EXTEND BELOW LOCAL FRONT LINE DEPTH.
- DECKS and / or RAILING MAY be SHOWN DASHED for CLARITY
- ROOF VENTILATION NOT SHOWN

06-23-15



REAR ELEVATION

SCALE 1/4" = 1'-0"

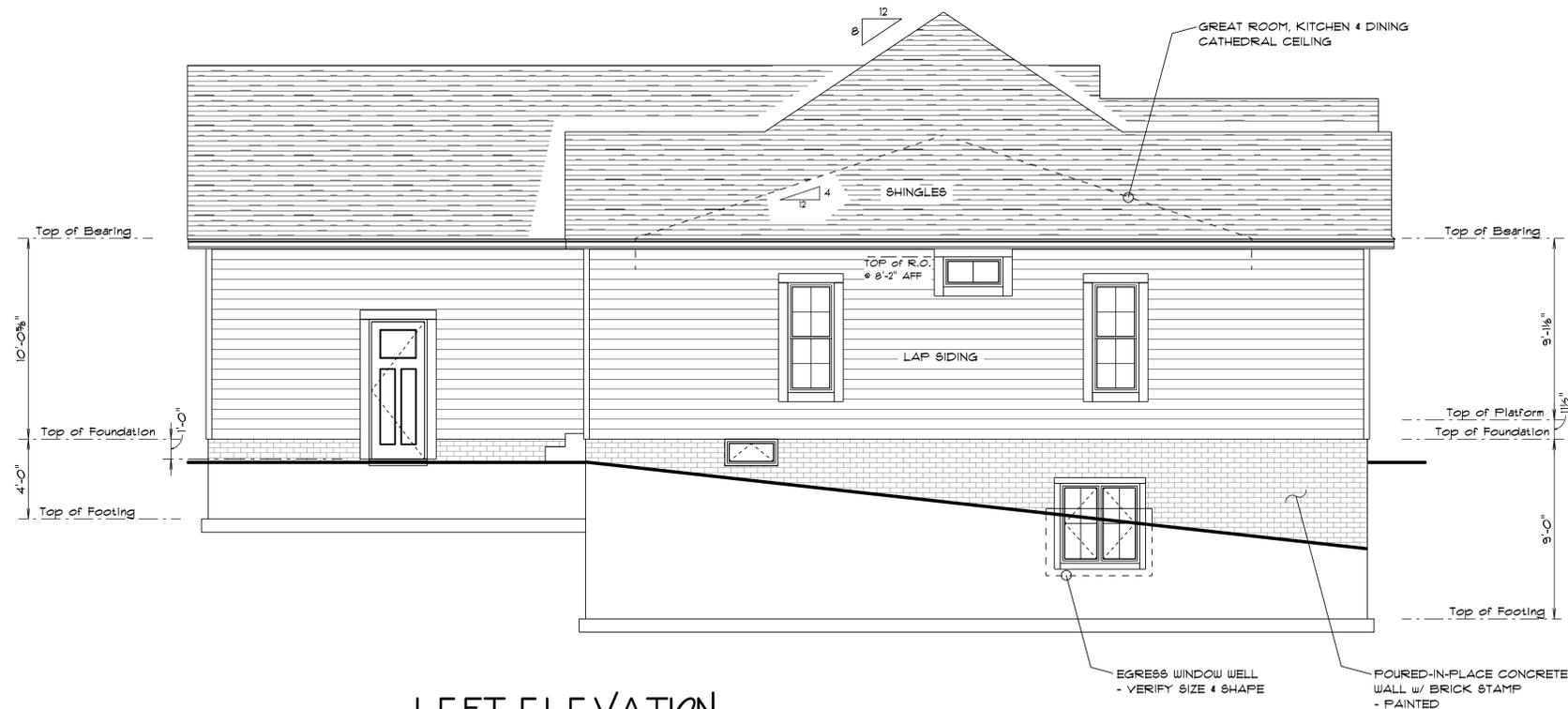
PROJECT NAME: CONLEY	TITLE: REAR ELEV. & GENERAL NOTES	SHEET A-2 of 3
	DRAWN BY: RNR INITIAL ISSUE: 04 / 06 / 2022 REVISION #: 05 / 09 / 22 nrf PLOT DATE: 5/9/2022 12:49 PM CONLEY rev 2	
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RIGHT ELEVATION

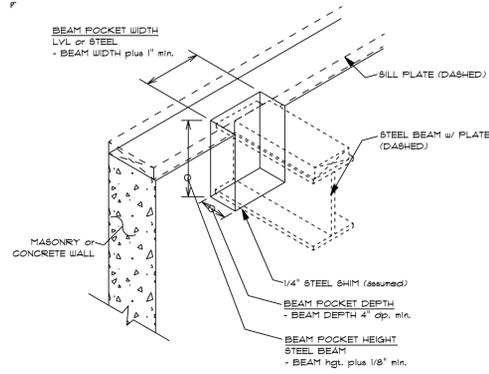
SCALE V8: 1'-0"



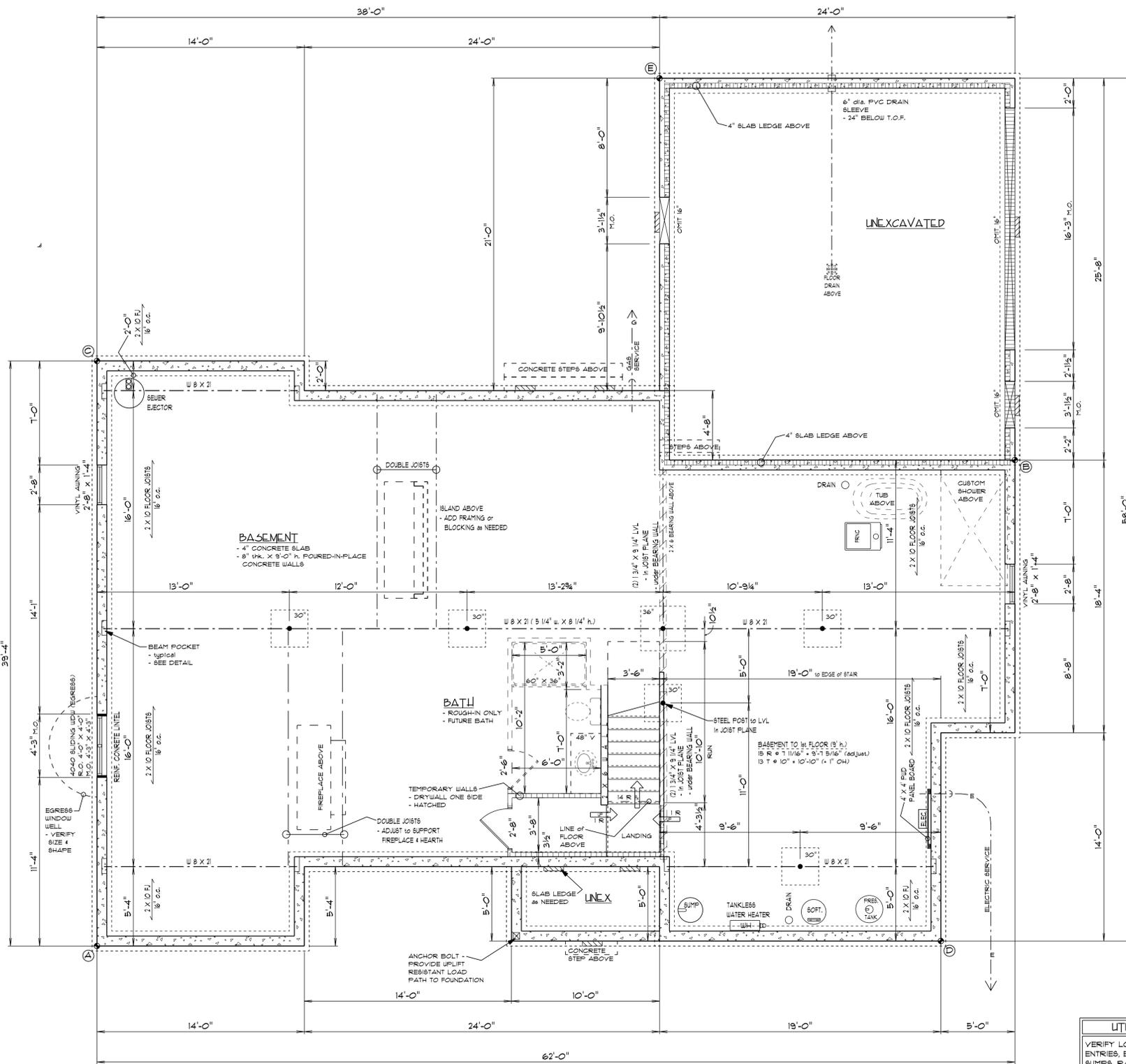
LEFT ELEVATION

SCALE V8: 1'-0"

PROJECT NAME: CONLEY		TITLE: LEFT and RIGHT ELEVATIONS		SHEET A-3 of 3	
DRAWN BY: RNR INITIAL ISSUE: 04 / 06 / 2022 REVISION #: 05 / 09 / 22 nrr PLOT DATE: 5/9/2022 12:49 PM CONLEY rev 2		COPYRIGHT SHULTZ DESIGN & CONSTRUCTION 2022 This drawing is the exclusive property of SHULTZ DESIGN & CONSTRUCTION and may not be copied, reproduced or used in any way without the written permission of SHULTZ DESIGN & CONSTRUCTION.			
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BEAM POCKET DETAIL
SECTION # 22.102.0 SCALE 1" = 1'-0"
RNR - 07/25/18



UTILITY NOTE
VERIFY LOCATION OF UTILITY ENTRIES, EQUIPMENT, DRAINS, SUMPS, RADON CROCKS, etc. and FIXTURES and ADJUST AS REQUIRED

WINDOW SPECS. (UNLESS OTHERWISE NOTED)		DIMENSIONS USED (UNLESS OTHERWISE NOTED)	
MANF.	8MONTON	CONCRETE WALLS	8"
OPERATION	SINGLE HUNG	EXTERIOR STUD WALLS	6" / 4" * GARAGE
TYPE	VINYL	INTERIOR WALLS	3 1/2" / 5 1/2"
GLAZING	CLR / CLR		
GRILLES	BET. GLASS		
INSECT SCNS.	INCLUDED		

INTERIOR DOOR SPECIFICATIONS (UNLESS OTHERWISE NOTED)		
DOOR TYPE	ROUGH OPENINGS	
	WIDTH ¹	HEIGHT ²
SINGLE PREHUNG	nominal size plus 2"	83"
DOUBLE PREHUNG	nominal size plus 2"	83"
BIFOLD	nominal size plus 1 1/2"	82"
SINGLE FOCKET	(2 X nom. width) plus 2"	85"
DOUBLE FOCKET	(2 X nom. width) plus 2"	85"

NOTES:
1. NOMINAL DOOR SIZES DENOTED ON PLAN.
2. R.O. HGT. BASED ON 6'-8" nom. DOOR HGT. and STANDARD FLOORING CLEARANCES.

DOOR HANDING	
LEFT HAND UNIT	RIGHT HAND UNIT

POST & FOOTING SCHEDULE			
MARK	COLUMN TYPE	CONCRETE FOOTING	FOOTING REINFORCEMENT ²
12"	4" X 4" WOOD (P.T.)	12" dia. X 8" dp.	-
16"	6" X 6" WOOD (P.T.)	16" dia. X 8" dp.	-
24"	3" dia. 1lg STEEL ADJ.	24" eq. X 12" dp.	-
30"	3" dia. 1lg STEEL ADJ.	30" eq. X 10" dp.	-
36"	3 1/2" dia. 1lg STEEL ADJ.	36" eq. X 12" dp.	(4) #4 REBAR E.W.
42"	4" dia. SCHEDULE 40 SERIES	42" eq. X 12" dp.	(5) #4 REBAR E.W.

NOTES:
1. 2000 pcf USED. FIELD VERIFY WHERE EXPANSIVE SOILS, COMPRESSIBLE SOILS, SHIFTING SOILS or OTHER QUESTIONABLE CHARACTERISTICS are PRESENT, ADDITIONAL GEOTECHNICAL EVALUATION MAY BE REQUIRED.
2. STEEL POSTS BASED ON "TAPOCO" ADJUSTABLE MONOPOST SCHEDULE OF ALLOWABLE LOADS @ 1'-3" max. POST HGT. (UNLESS OTHERWISE NOTED).
3. SUBGRADE WOOD (P.T.) POSTS SPECIFIED TO BE WFA-B6 841T. USE CLASS 4.
4. PROVIDE HOLD-DOWN CONNECTIONS THROUGHOUT LOAD PATH ON ALL APPLICATIONS EXPOSED TO WIND (or UPLIFT).
5. * RIGID CONNECTIONS REQUIRED @ BEAM ENDS NOT TERMINATING IN MASONRY / CONCRETE.

DIAGONALS REFERENCE	
POINTS	DIMENSION
AB	69'-7 7/16"
CD	69'-7 5/8"
EB	35'-1 11/16"

NOTE: USE AS REFERENCE ONLY. DIAGONALS DO NOT OVERRIDE DIMENSIONING.

BASEMENT / FOUNDATION PLAN

8" THK X 9'-0" II POURED-IN-PLACE CONCRETE WALLS SCALE 1/4" = 1'-0"

SHEET

A-4

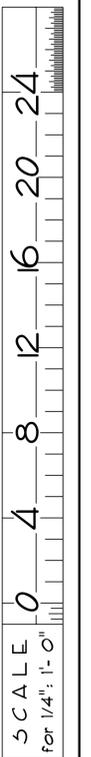
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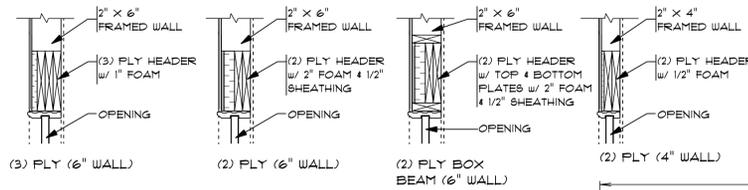
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DRAWN BY: RNR
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HEADERS @ OPENING

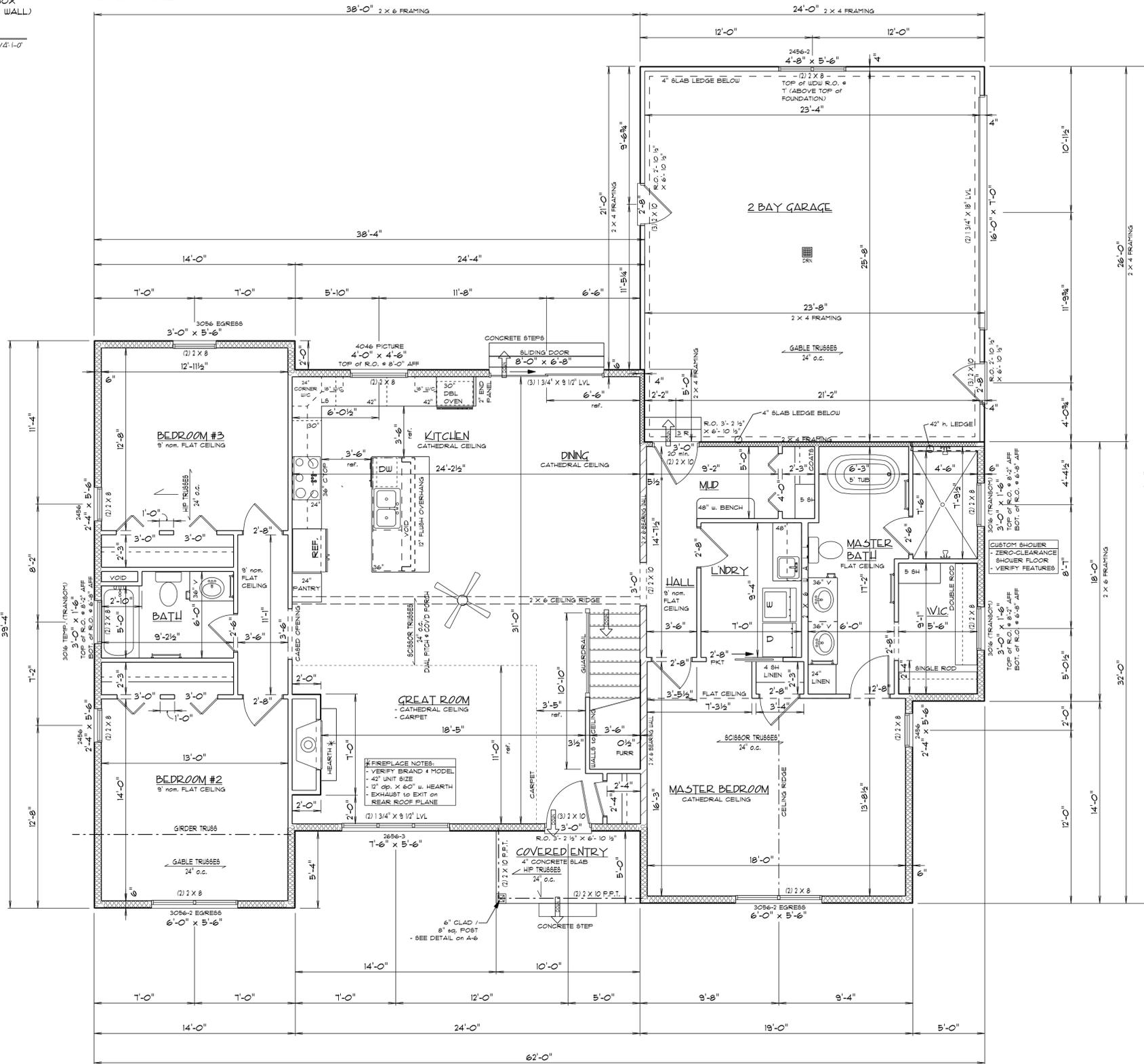
SCALE 3/4\"/>

WINDOW SPECS. (UNLESS OTHERWISE NOTED)		DIMENSIONS USED (UNLESS OTHERWISE NOTED)	
MANF.	SIMONTON	CONCRETE WALLS	8"
OPERATION	SINGLE HUNG	EXTERIOR STUD WALLS	6\"/>
TYPE	VINYL	INTERIOR WALLS	3 1/2\"/>
GLAZING	CLR / CLR		
GRILLES	BET. GLASS		
INSECT SCNS.	INCLUDED		

INTERIOR DOOR SPECIFICATIONS (UNLESS OTHERWISE NOTED)		
DOOR TYPE	ROUGH OPENINGS	
	WIDTH ¹	HEIGHT ²
SINGLE PREHUNG	nominal size plus 2"	83"
DOUBLE PREHUNG	nominal size plus 2"	83"
BIFOLD	nominal size plus 1 1/2"	82"
SINGLE POCKET	(2 X nom. width) plus 2"	85"
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NOTES:
 1. NOMINAL DOOR SIZES DENOTED ON FLAN.
 2. R.O. Hgt. BASED ON 6'-8" nom. DOOR Hgt. and STANDARD FLOORING CLEARANCES.

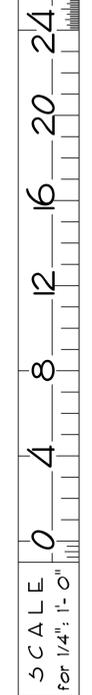
DOOR HANDING	
LEFT HAND UNIT	RIGHT HAND UNIT



FIRST FLOOR PLAN

9'-1 1/8" II WALLS

SCALE 1/4\"/>



SHEET

A-5

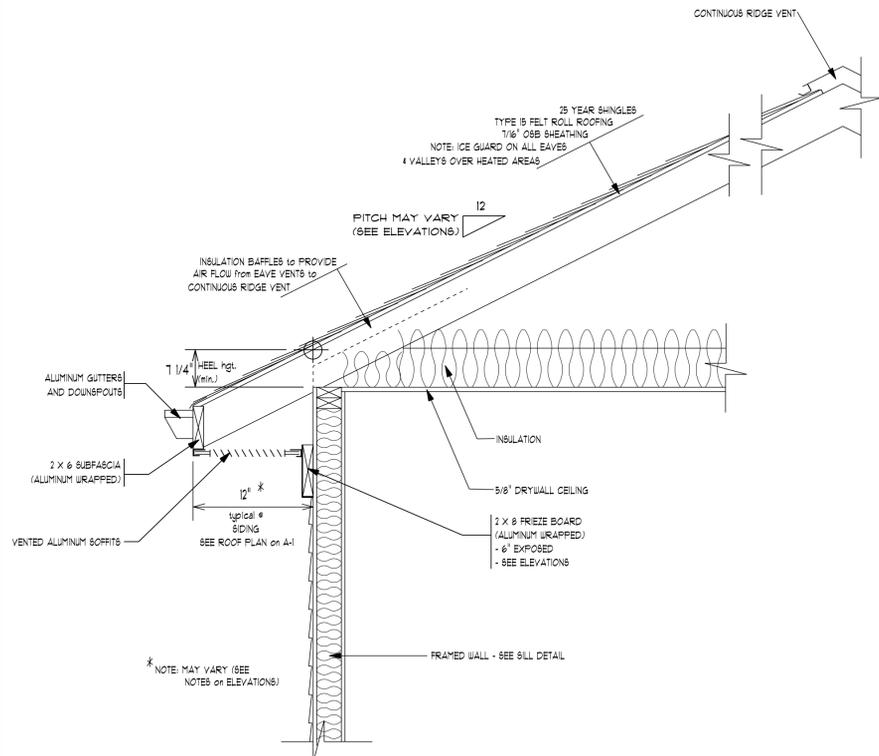
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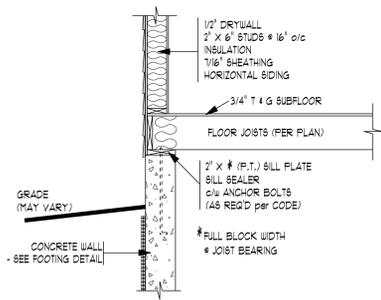
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 CONLEY REV22

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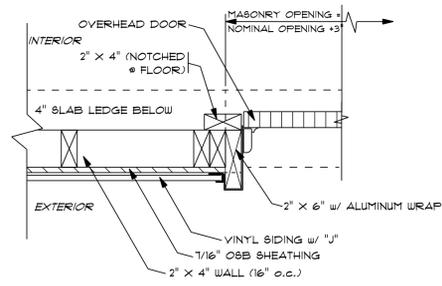
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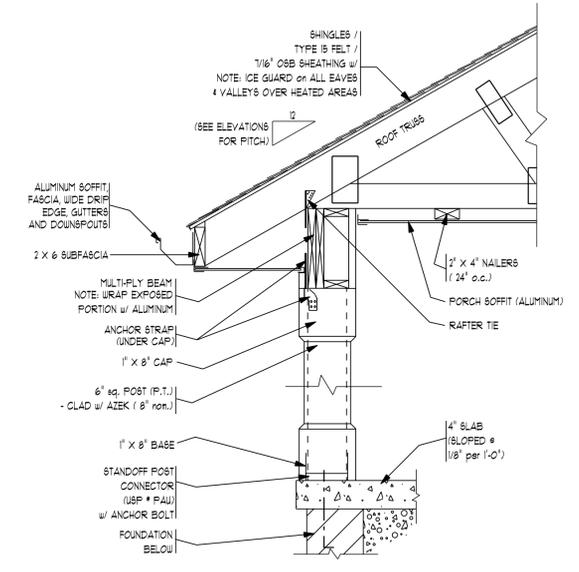
EAVE DETAIL - SIDING
02/26/22 TYPICAL EAVE SCALE: 1/4" = 1'-0"



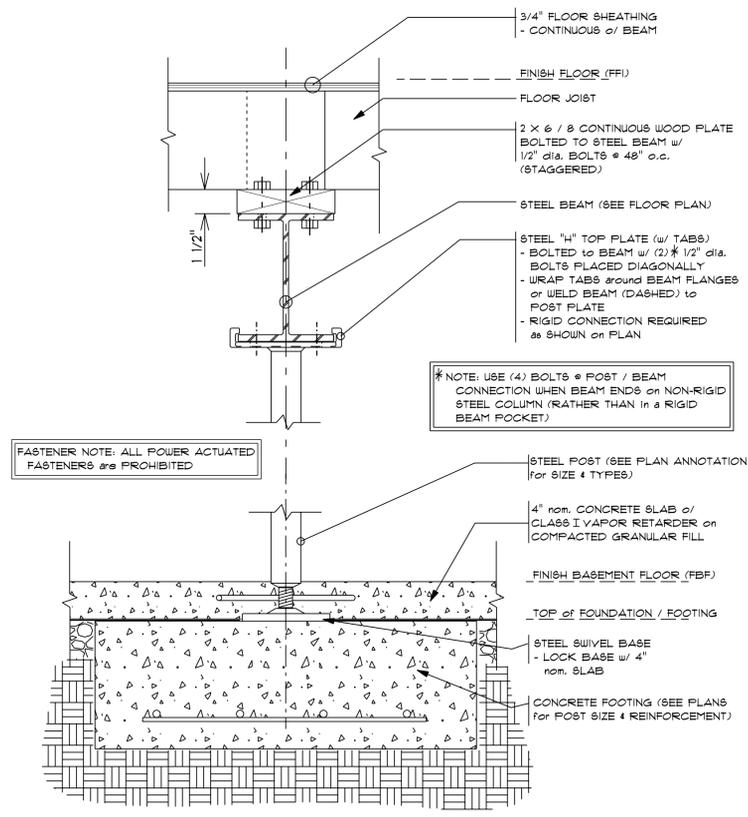
FLOOR/SILL DETAIL - SIDING
04/06/22 SCALE: 1/2" = 1'-0"



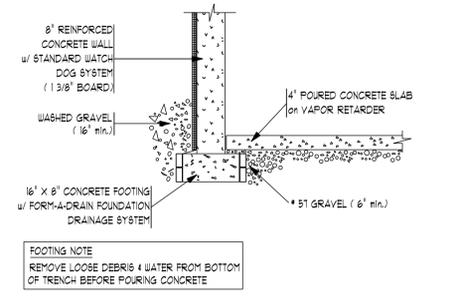
OVERHEAD DOOR JAMB SECTION
04-2022 SCALE: 1/2" = 1'-0"



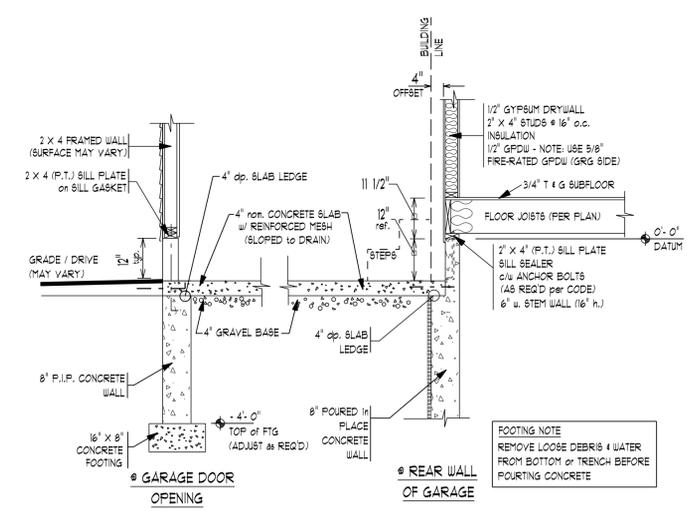
EAVE DETAIL @ COVD PORCH
05/06/22 SCALE: 1/4" = 1'-0"



STEEL BEAM @ STEEL POST
06/25/2022 SCALE: 1/2" = 1'-0"



FOOTING DETAIL @ 8" REINFORCED CONCRETE
02/06/24 SCALE: 1/2" = 1'-0"



BASEMENT FOUNDATION DETAIL @ GARAGE
05/10/2022 SCALE: 1/2" = 1'-0"

SCALE: 0 4 8 12 16 20 24
for 1/4" = 1'-0"

A-6

SHEET

WALL SECTION DETAILS

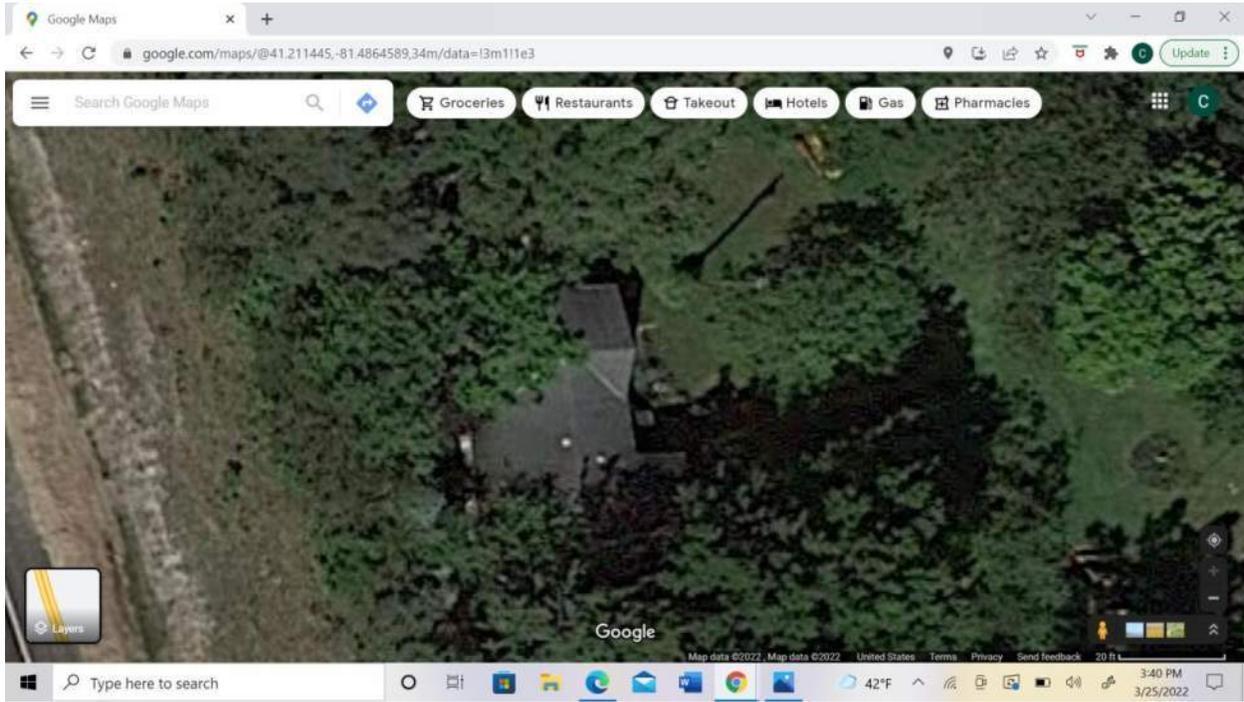
PROJECT NAME: **CONLEY**

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REVISION #: 05/09/22 mfr
PLOT DATA: 5/29/2022 12:49 PM
CONLEY rev 2

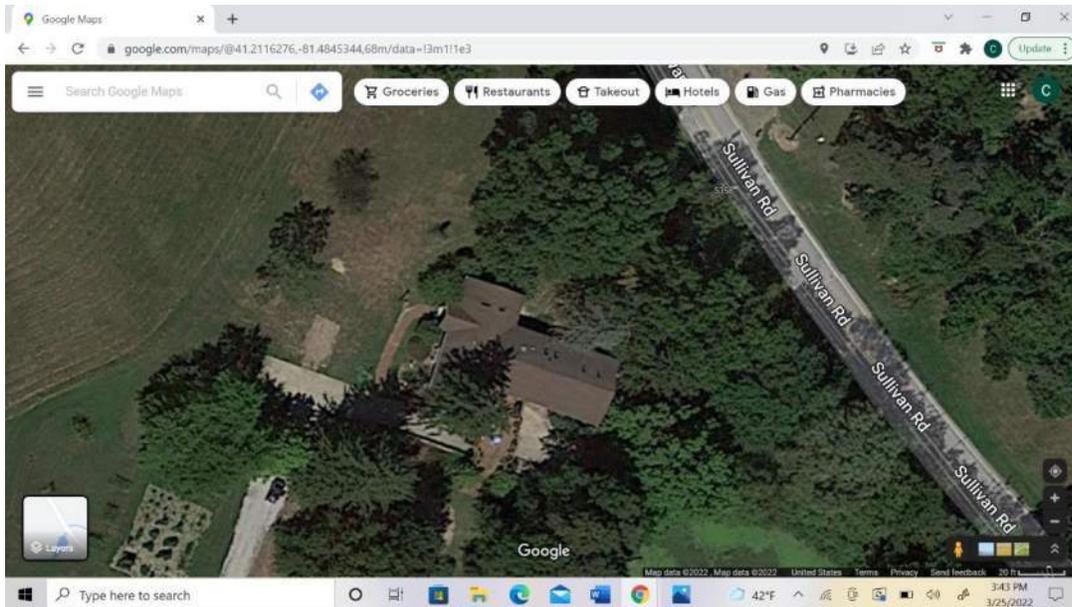
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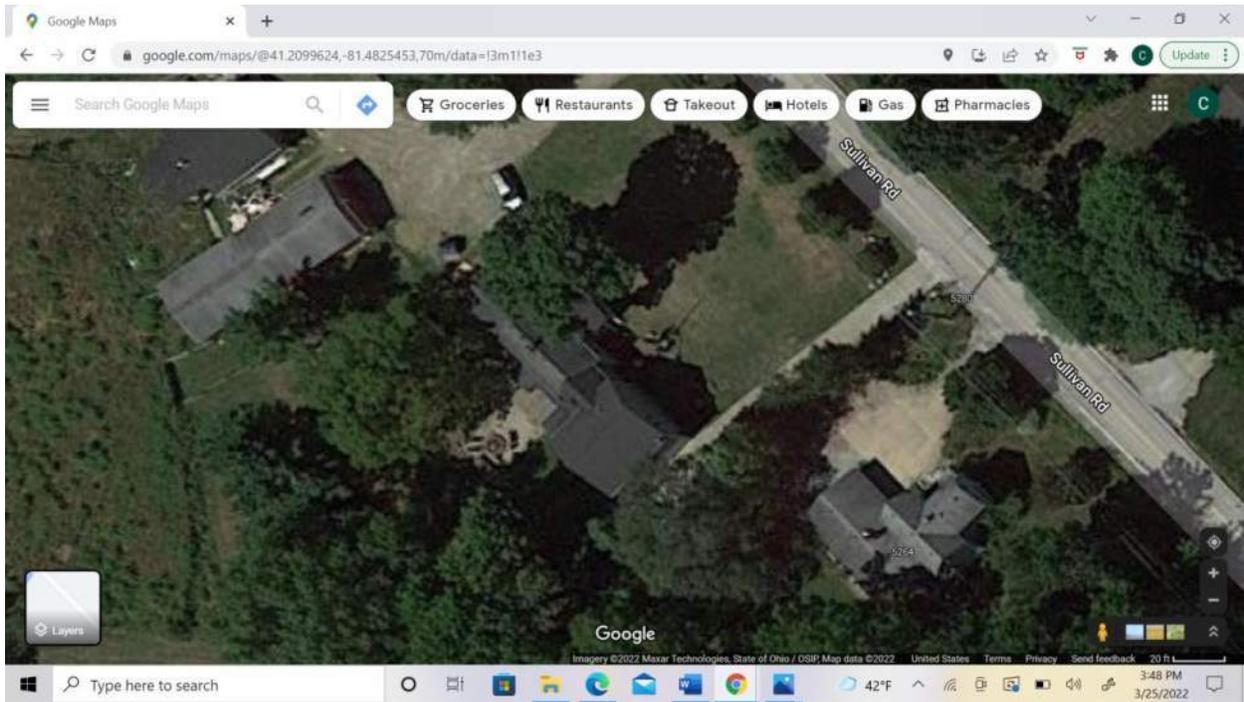
Below is 5370 Sullivan Rd (closest house to South)



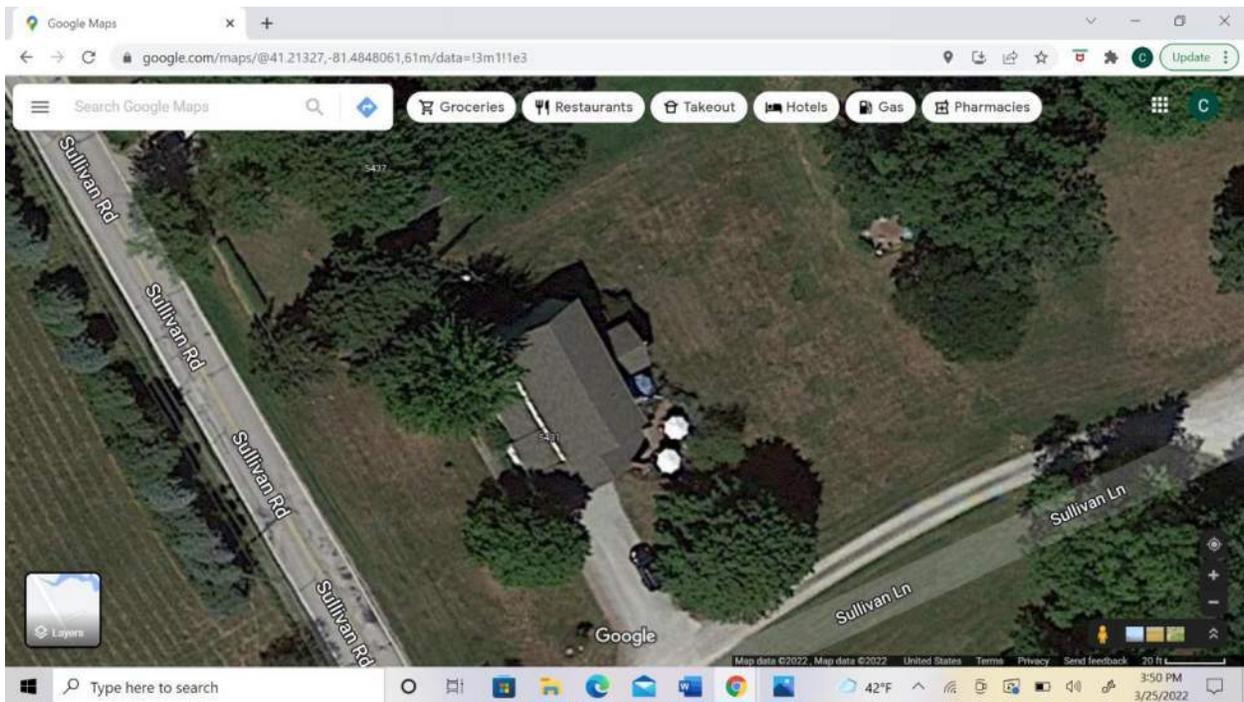
Below is 5358 Sullivan Rd (second closest house to south)



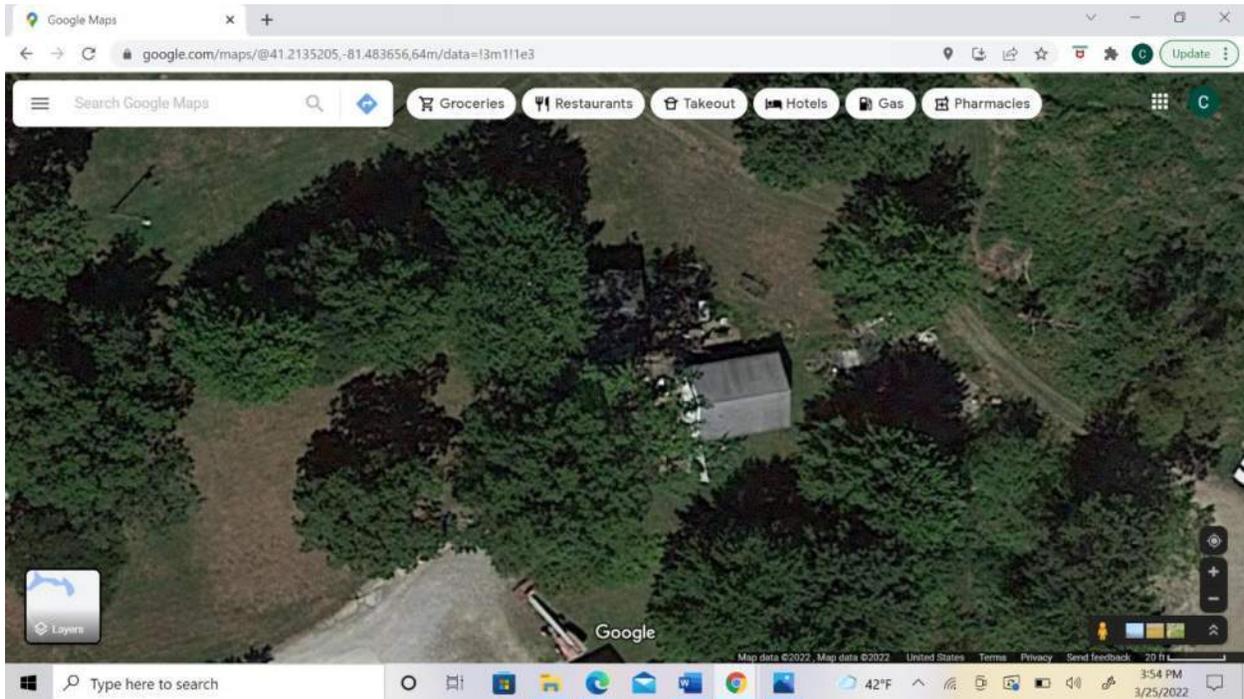
Below is 5280 Sullivan Rd (Third closest house to south)



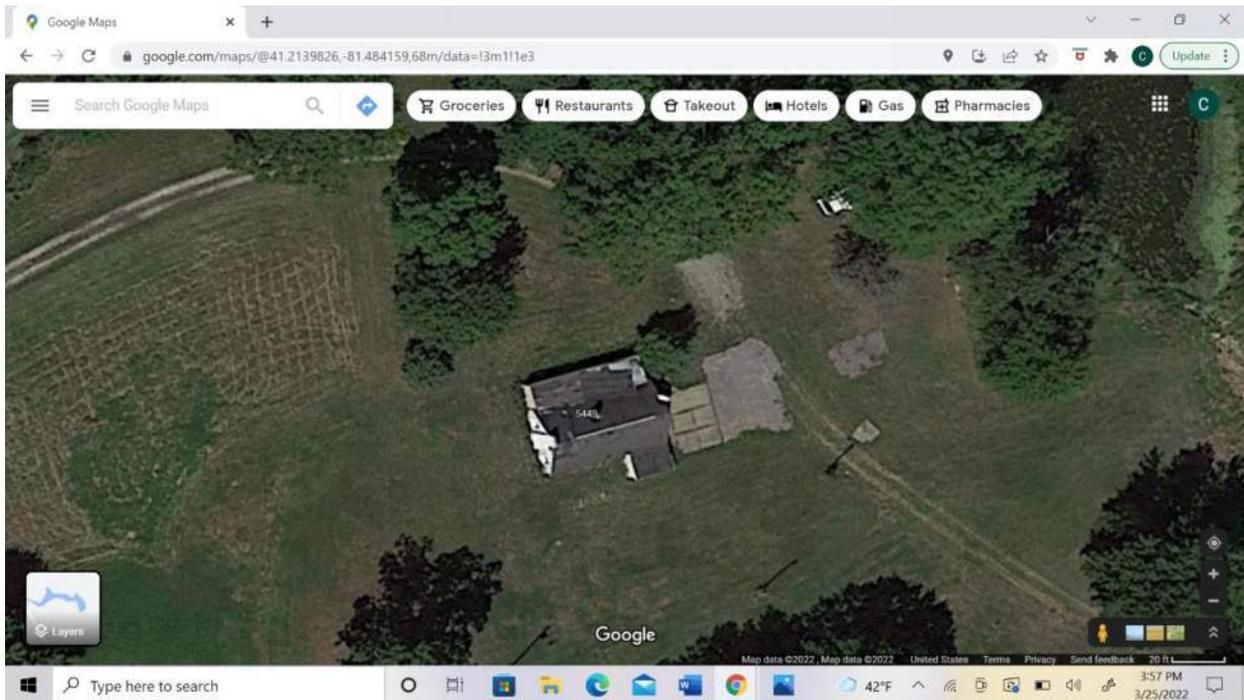
Below is 5431 Sullivan (First closest house to East)



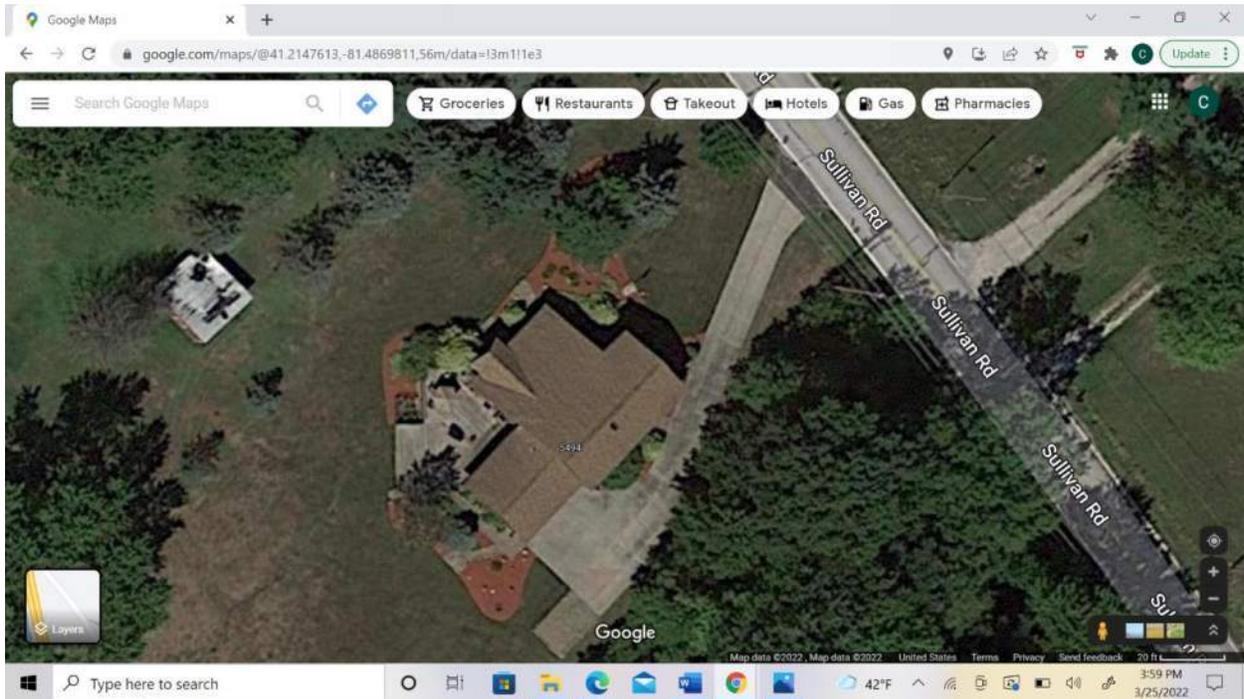
Below is 5425 Sullivan with detached garage (second closest house due east)



Below house is 5449 Sullivan. (Appears to be very run down, abandoned house)



Below house is 5494 Sullivan (closest house to North)



Below house is 5500 Sullivan, (last house north before Barlow)

