

Meeting Date:

June 14, 2021

Location:

48 Clinton Street

Parcel Number

3204162

Request:

Site Plan Application

Applicant:

Jeff Gibbon, Gibbon
Architecture

Property Owner:

L7 Properties LLC

Zoning:

D5-Village Core District

Case Manager:

Nick Sugar

Staff Recommendation

Approval subject to
conditions on page three.

Contents

- Letter from Applicant, 5/26/21
- Site Plan/Elevations, 5/26/21
- Letter from Nate Wonsick, Assistant City Engineer, 11/20/20
- Letter from Shawn Kasson, Fire Marshall, 7/20/20
- Photos, 6/8/21
- Previous Submittal and Decision, 6/5/20



Existing Conditions, City of Hudson GIS

Project Background:

The property at 44 Clinton Street was split into two lots on February 19, 2019. The newly created lot, 48 Clinton Street is located west of 44 Clinton Street. The applicant is proposing a free-standing building with a 2,453 sq. ft. footprint with a mezzanine level above and an outdoor patio. The new building will be used for retail home furnishing and showroom.

Planning Commission granted approval for the building on June 8, 2020 per case 2020-337. The prior approval has expired, as Section 1203.09(h)(3)(C) states *unless a zoning certificate is issued for any phase of construction within twelve months of the date of Planning Commission approval, such approval shall then automatically lapse and be null and void.* Staff notes the following changes from the prior approval:

- Driveway access at Morse Road has been shifted south 10-15 ft and parking area has been realigned. Realignment of driveway would avoid replacement of fire hydrant and will allow additional parking setback from the property line.
- Building has been redesigned; however, the footprint remains unchanged. AHBR approved the design on June 9, 2021

Adjacent Development:

To the south and east is the Hudson Library & Historical Society, to the north is office and business and to the west is vacant land owned by the City of Hudson. All adjacents are located in District 5-Village Core District.

Hudson Planning Commission	SITE PLAN REVIEW
Case No. 2021-618	June 14, 2021

District Standards (Section 1205)

- ☒ **Property Standards** Application complies with applicable standards
- ☒ **Non-Residential Uses-Shared Parking** A Cross Parking, Access and Use Declaration Document #564722505 for 44 and 48 Clinton Street was recorded on May 23, 2019.
- ☒ **Pedestrian Amenities** The existing sidewalk abutting the curb will be relocated and widened to match the rest of Clinton Street. City Council authorized assisting in the establishment of on-street spaces and widened sidewalk per Ordinance #18-195 approved January 8, 2019.

Use Standards (Section 1206)

- ☒ **Use** The development proposes a free-standing building 2,453 square feet with a mezzanine level above and an outdoor patio to accommodate a retail home furnishing and showroom. The proposed use is permitted by right.

Site Plan Standards (Section 1207)

- ☒ **Impervious Surface** The impervious surface coverage may be no more than 80% of the total gross lot area. Application complies with applicable standards
- ☒ **Wetlands/Streams** No suspect wetland areas were noted. A riparian setback is located east of the site, however, will not impact the development.
- ☐ **Stormwater Management** A 30' wide access easement to the City of Hudson shall be granted to the underground detention pipes and shall also be 30' past the 100-year water surface of the system. Show the limits of this easement on the improvement plans. This easement shall be recorded prior to acceptance of the improvements. (Condition 1)
- ☒ **Parking** The applicant has proposed 14 spaces onsite with 22 existing on street spaces within in 300 feet of the parcel and 5 proposed on-street spaces for a total of 41 spaces. Staff notes the drive/parking realignment depicted in the current plans would only allow for stalls with a 17' depth along the southern portion of the parking area where code requires a 19' stall length. However, Section 1207.12 permits the required stall length to be reduced by 2 ½ feet to compensate for a vehicle overhang. Application complies with applicable standards.

44 and 48 Clinton Street			
	Sq. ft	Regulation	Spaces Req
Existing Building (Office)	3236	One per 250-400 sq ft	8-13
Proposed Building (Retail/Studio)	2453	One per 250-400 sq ft	6-10
TOTAL		5,689	14-23

- ☐ **Perimeter Landscaping** Code requires a 5-foot parking lot landscape buffer to the adjacent property to the south. The applicant has submitted an application to the Board of Building and Appeals Board for a variance of 3'6" from the required 5-foot setback from the south property line to be reviewed at the BZBA Meeting of June 17, 2021. Staff notes the setback has been improved from the layout approved in 2020 by the Planning Commission and BZBA. (Condition 2)
- ☐ **Exterior Lighting** The applicant has verified no additional parking lot lighting will be proposed; however, the applicant should submit a fixture specification sheet to confirm compliance with applicable standards of Section 1207.18(g) (Condition 3).

Hudson Planning Commission	SITE PLAN REVIEW
Case No. 2021-618	June 14, 2021

☒ **Architectural Design** Staff notes the AHBR has approved the design of the building on June 9, 2021.

City Departments:

Staff notes city reviews have been ongoing since prior PC approval. The comments below reflect the most recent review items for each department.

☐ **Engineering** City Engineer Nate Wonsick notes the following items would need to be addressed (Condition 4):

- Other agency approvals required including Summit County Building Standards and the Department of Sanitary Sewer Services (DSSS).
- Minor notations added to the plans to show silt fencing and catch basin details.
- Stormwater Plans information be provided, including 2 and 5 year storm event peak flow rates and execution of a long term maintenance agreement for the proposed underground detention system.

☒ **Fire Department** Fire Marshal Shawn Kasson notes the proposed application is acceptable and is working with the applicant to ensure a Knox Box is furnished and installed in an approved location.

Findings:

Staff finds that the application is in substantial compliance with the use, zoning development site plan, and other governmental regulations, and land disturbance and grading review contained in Section 1204.04.

Required PC Action

The PC shall consider the development application, the staff report, and then take final action. PC shall approve, approve with conditions, or deny the application based on its compliance with the appropriate review standards. All decisions of the Commission shall be based on findings of fact related to the relevant standards of the Code.

Recommendation

Approve the site plan in Case 2021-618 for 48 Clinton Street, Parcel #3204162, according to plans received May 26, 2021 subject to the following conditions:

1. A 30ft wide access easement shall be granted to the City of Hudson for the underground detention pipes and shall also be 30ft past the 100-year water surface of the system.
2. Conditional upon approval from the Board of Zoning and Building Appeals for the parking lot perimeter landscaping requirement.
3. Lighting fixture spec sheets must be submitted in compliance with applicable standards of Section 1207.18(g).
4. The comments of Assistant City Engineer Nate Wonsick must be addressed per the November 11, 2020 correspondence.
5. The applicant shall install silt fencing and/or polypropylene fencing to mark and protect the approved clearing limits, which shall be maintained by the applicant.
6. Satisfaction of the above conditions prior to scheduling of a preconstruction meeting with City Officials and no clearing or construction of any kind shall commence prior to the issuance of a Zoning Certificate.



3012 CHADBOURNE ROAD, SHAKER HEIGHTS, OHIO 44120

216.385.5703

GIBBONARCHITECTURE.COM

Planning Commission
City of Hudson, Community Development
1140 Terex Road
Hudson, OH 44236

May 26, 2021

PLANNING COMMISSION REVIEW

re: **Proposed Smiths Curated Building**
48 Clinton Street, Hudson, OH 44236

PC Case Number 2020-377 (Approved June 8, 2020)
Parcel Number 3204162

Dear Planning Commission,

Persuant to recent conversations and coordination with Mr. Nick Sugar, we are submitting the enclosed plans for your review.

The proposed 2,453sf building and development of this 0.35 acre lot has been submitted previously to the Planning Commission and received approval on June 8, 2020. This approval expires 1 year from its date of issuance. The Owners, who are excited to begin construction, had proceeded with the intention of applying for and receiving their Zoning Certificate from the City of Hudson within the 1 year timeframe of the Planning Commission approval. They were unfortunately delayed by several months due to an extraordinary circumstance which resulted in the need to engage a new design professional. Gibbon Architecture is now the Architect for the project and has initiated the Plan Review process for the project. We have submitted for Plan Review to Summit County on May 24, 2021, and have been coordinating with Nick Sugar and Nate Wonsick at the City of Hudson to complete reviews needed by City Engineering, Fire Department, and Public Power.

I am attaching the June 8, 2020 decision for reference. Please note that the current proposed building size and proposed number of parking spaces remain the same. The driveway has been reconfigured to avoid replacing an existing fire hydrant on Morse Road. The proposed underground water retention system is being coordinated with City of Hudson Engineering.

We anticipate Summit County approval by the end of June, which will be past the expiration date of the PC's 2020 Approval. We seek Planning Council review and re-approval in order to proceed.

Thank you,

A handwritten signature in black ink, consisting of a stylized 'J' followed by a horizontal line.

Jeff Gibbon
Gibbon Architecture
OH.ARC 1416217

CLINTON STREET

WORK IN PUBLIC R.O.W.
THE CITY OF HUDSON WHO WILL BE PERFORMING IMPROVEMENT WORK TO STREETS,
WALKWAYS, PARKING AREAS, AND UTILITIES IN THE AREA IMMEDIATELY ADJACENT TO
OUR PROJECT SITE. GC TO COORDINATE THE PROJECT SCHEDULE AND
IMPLEMENTATION WITH THE CITY OF HUDSON ENGINEERING DEPARTMENT.
COORDINATE ANY REQUIRED DESIGN REVISIONS WITH ARCHITECT AND CIVIL ENGINEER

GIBBON
ARCHITECTURE

3012 chadbourne road shaker, oh 44120
216.385.5793



SMITHS
CURATED

PROJECT INFORMATION

SMITHS CURATED BLDG.

48 CLINTON STREET
HUDSON, OH 44236

ISSUED FOR CITY PLANNING REVIEW

PROPOSED NEW CONSTRUCTION:

GA PROJECT NO. 2020.013

PROFESSIONAL SEAL

DATE
JEFFREY W GIBBON OH LICENSE: ARC.1416217
EXPIRATION 12/31/2021

DRAWING ISSUE RECORD
DATE TITLE
2021-0514 PERMIT / BID SET
2021-0526 CITY PLANNING REVIEW

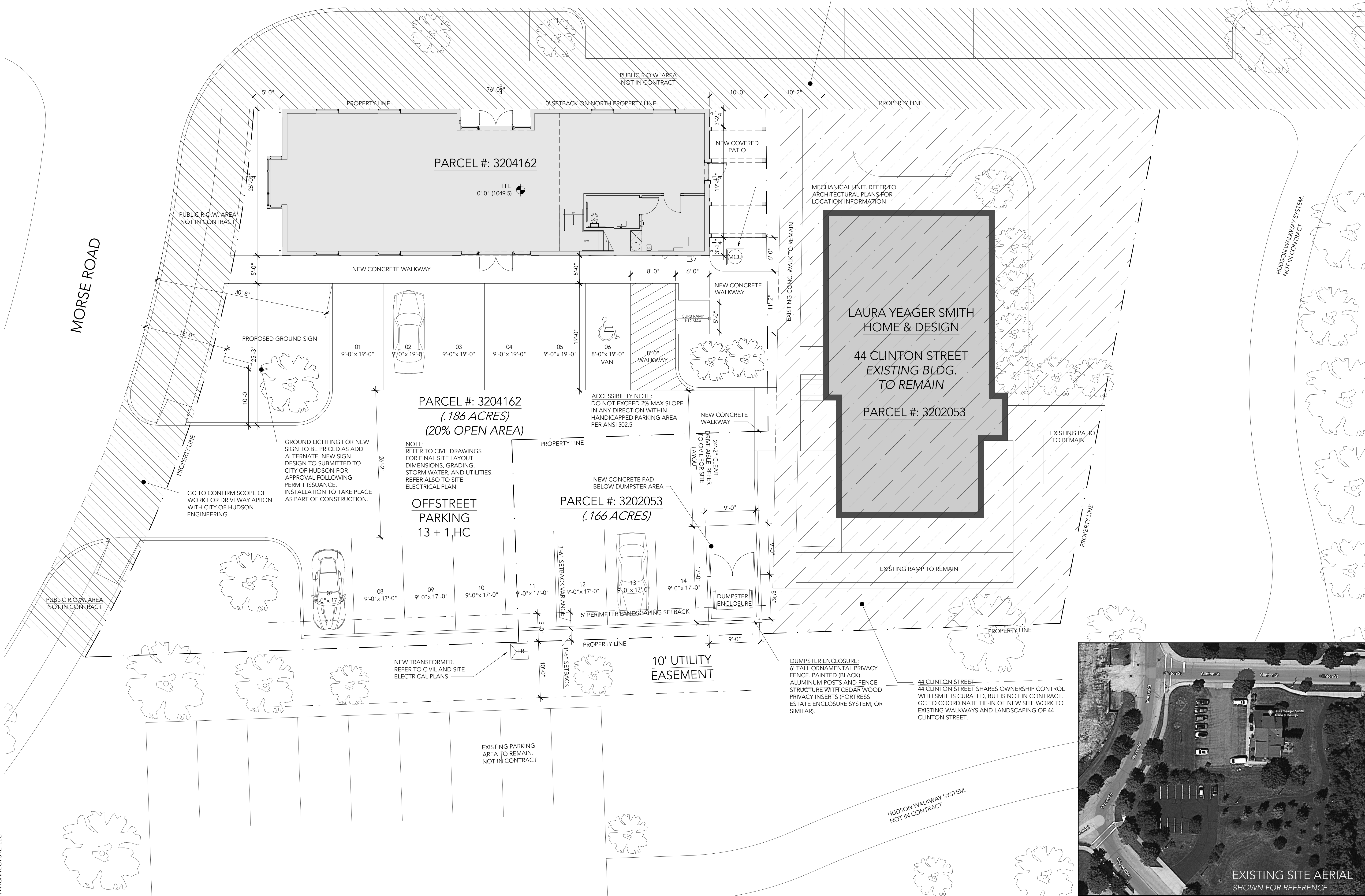
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NO. DATE DESCRIPTION

SHEET DATE 05/26/2021
CITY PLANNING REVIEW

SHEET TITLE
CONSTRUCTION
SITE PLAN

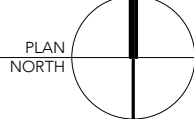
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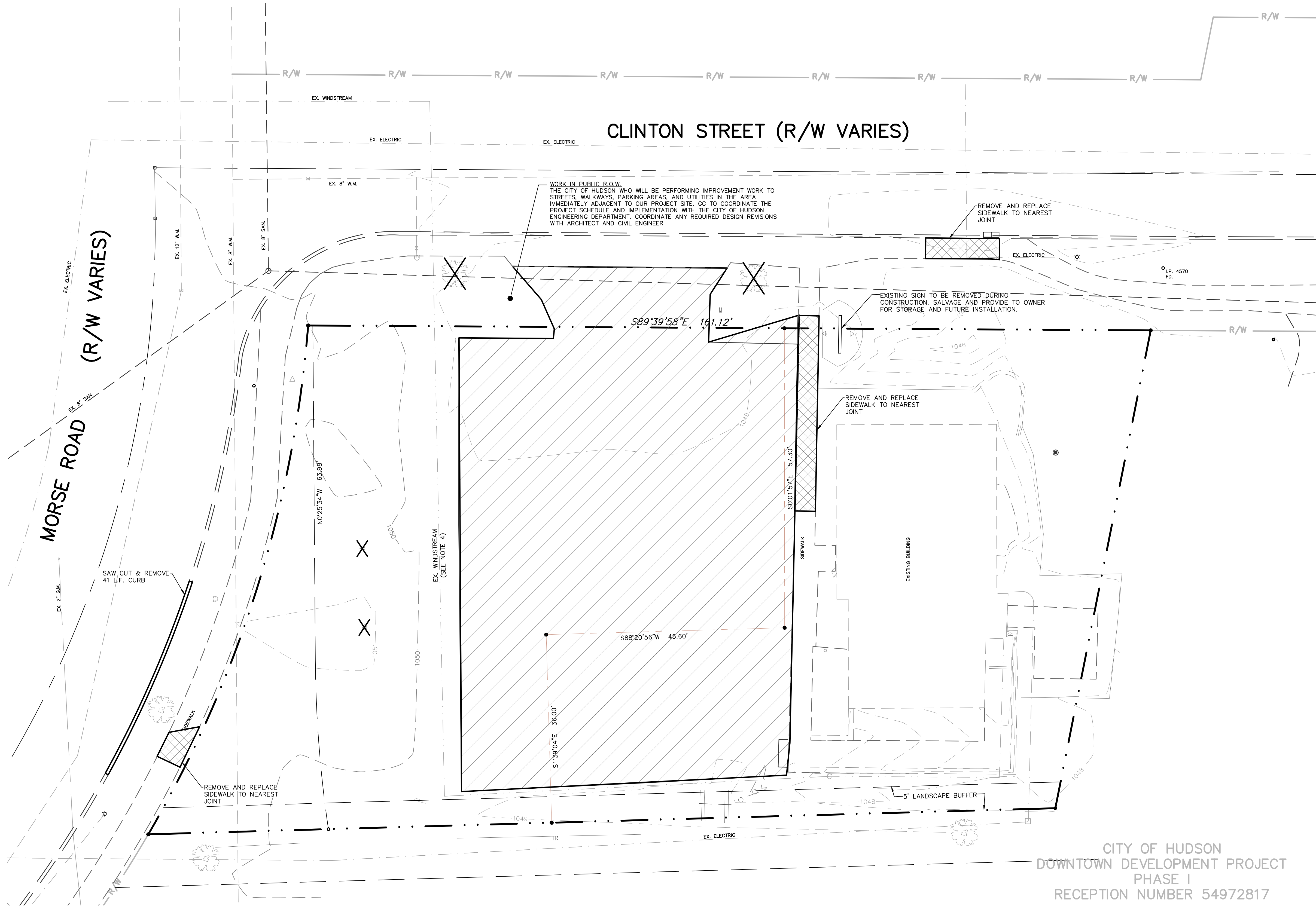
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EXISTING SITE AERIAL
SHOWN FOR REFERENCE

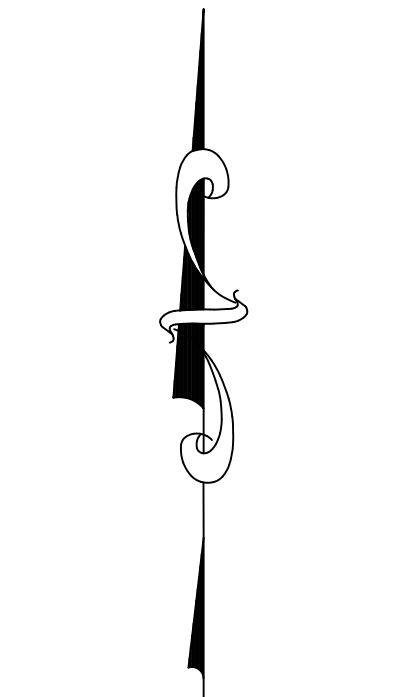
1
CONSTRUCTION
SITE PLAN
SCALE: 1/8" = 1'-0"





SITE DATA

IMPERVIOUS AREA:
PRE CONSTRUCTION = 8006 S.F. = 52%
POST CONSTRUCTION = 9987 S.F. = 65%
TOTAL SITE AREA = 15,348 S.F. = 0.3523 Ac.



BASIS OF BEARINGS:
OHIO STATE PLANE
COORDINATES NAD 83,
OHIO NORTH ZONE.
COMB. FACTOR 0.99999321

LEGEND

- 5/8" IRON PINS TO BE SET (WITH IDENTIFICATION CAPS 7604)
- IRON PIN FOUND AS NOTED
- MONUMENT BOX WITH 1" IRON PIN FOUND AS NOTED

FLOOD ZONE

PARCEL LIES IN FLOOD ZONE X (AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER FLOOD INSURANCE RATE MAP NO. 39153C0127E WITH AN EFFECTIVE DATE OF JULY 20, 2009.

LEGEND

- CONCRETE TO BE REMOVED
- ASPHALT TO BE REMOVED
- TREE TO BE REMOVED
- BUSH TO BE REMOVED

CITY OF HUDSON
DOWNTOWN DEVELOPMENT PROJECT
PHASE I
RECEPTION NUMBER 54972817

GIBBON
ARCHITECTURE

3012 chadbourne road shaker, oh 44120
216.385.5703

SMITHS
CURATED

PROJECT INFORMATION

PROPOSED NEW CONSTRUCTION:
SMITHS CURATED BLDG.
48 CLINTON STREET
HUDSON, OH 44236

GA PROJECT NO. 2020.013

PROFESSIONAL SEAL

DATE
JEFFREY W GIBBON OH LICENSE:
ARC.1416217 EXPIRATION 12/31/2021

DRAWING ISSUE RECORD
DATE TITLE
2021-0514 PERMIT / BID SET

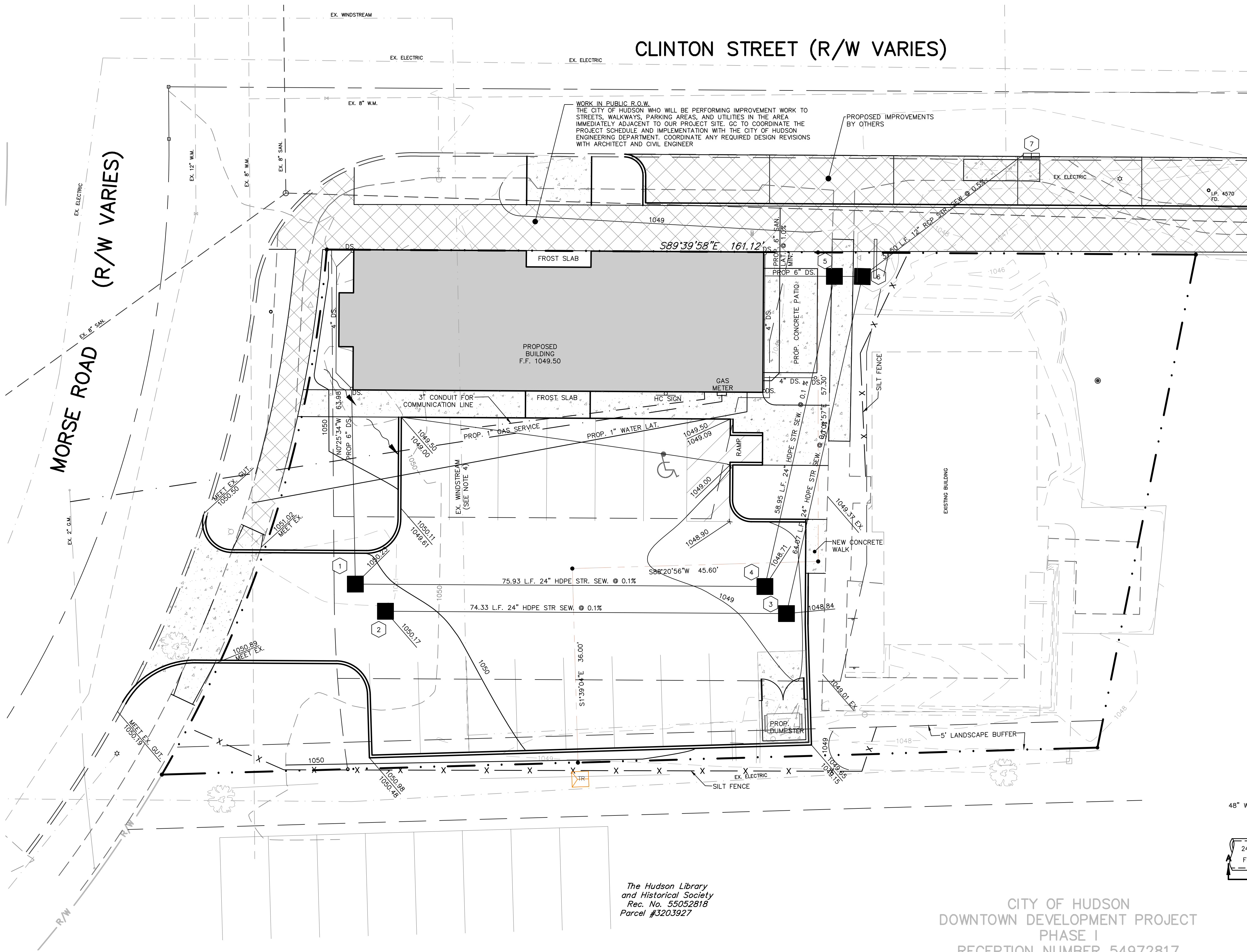
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NO. DATE DESCRIPTION

SHEET DATE 05/14/2021
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SHEET TITLE

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SHEET NO.

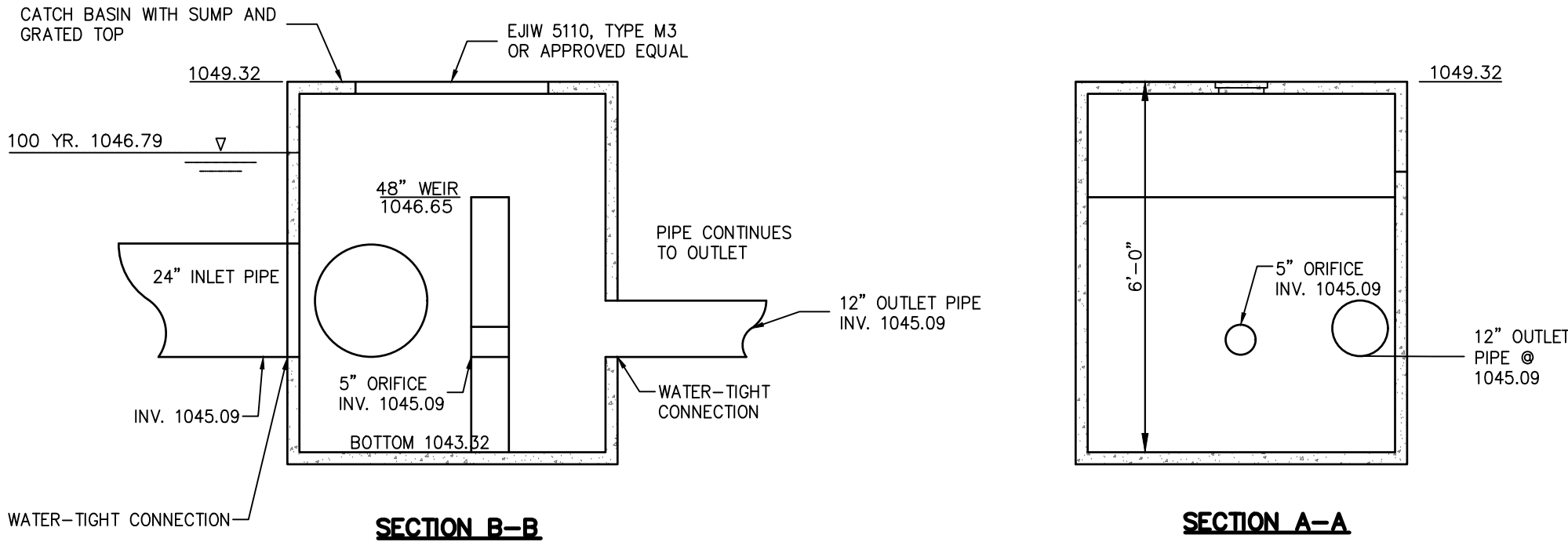
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The Hudson Library
and Historical Society
Rec. No. 55052818
Parcel #3203927

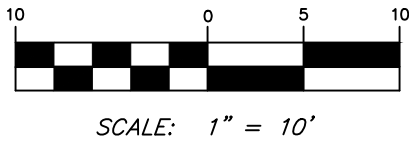
CITY OF HUDSON
DOWNTOWN DEVELOPMENT PROJECT
PHASE I
RECEPTION NUMBER 54972817

PROPOSED STORM STRUCTURE DATA				
No.	STRUCTURE	TOP	INV.	PIPE INFORMATION
1	ODOT CB 2-3	1050.23	1046.74-6" N. 1045.24-24" E.	75.93 L.F. 24" HDPE @ 0.1%
2	ODOT CB 2-3	1050.17	1045.24-24" E.	74.33 L.F. 24" HDPE @ 0.1%
3	ODOT CB 2-3	1048.84	1045.16-24" N. & S.	64.07 L.F. 24" HDPE @ 0.1%
4	ODOT CB 2-3	1048.71	1045.16-24" N. & S.	58.95 L.F. 24" HDPE @ 0.1%
5	ODOT CB 2-3	1049.50	1046.60-6" W. 1045.10-24" E. & S.	5.12 L.F. 24" HDPE @ 0.1%
6	CONTROL STRUCTURE	1049.32	1045.09-24" N. S. & N.E.	37.50 L.F. 24" RCP @ 0.5%
7	EX. CB	1047.60	1044.90-12" S.W.	



PROPOSED CONTROL STRUCTURE
O.D.O.T CB-2-4 (MODIFIED)

NO SCALE



BASIS OF BEARINGS:
OHIO STATE PLANE
COORDINATES NAD 83,
OHIO NORTH ZONE.
COMB. FACTOR 0.9999321

LEGEND

- 5/8" IRON PINS TO BE SET (WITH IDENTIFICATION CAPS 7604)
- IRON PIN FOUND AS NOTED
- MONUMENT BOX WITH 1" IRON PIN FOUND AS NOTED

FLOOD ZONE

PARCEL LIES IN FLOOD ZONE X (AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER FLOOD INSURANCE RATE MAP NO. 39153C0127E WITH AN EFFECTIVE DATE OF JULY 20, 2009.

NOTES:

- ALL ROOF DRAINS SHALL BE CONNECTED TO THE UNDERGROUND SYSTEM.
- STORMWATER EASEMENT TO INCLUDE DRIVE ACCESS TO MORSE ROAD.
- ALL WALL JOINTS AND WALL TO STRUCTURE JOINTS IN THE CONTROL STRUCTURE SHALL BE WATERTIGHT.
- EXACT LOCATION OF THE WINDSTREAM LINE IS TO BE FIELD VERIFIED. LINE TO BE RELOCATED AS NEEDED. COORDINATE WITH THE OWNER AND WINDSTREAM.

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ARCHITECTURE
3012 chadbourne road shaker, oh 44120
216.385.5703

SMITHS
CURATED

PROJECT INFORMATION

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48 CLINTON STREET
HUDSON, OH 44236

ISSUED FOR PERMIT / BID

GA PROJECT NO. 2020.013

PROFESSIONAL SEAL

DATE
JEFFREY W GIBBON OH LICENSE:
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EXPIRATION 12/31/2021

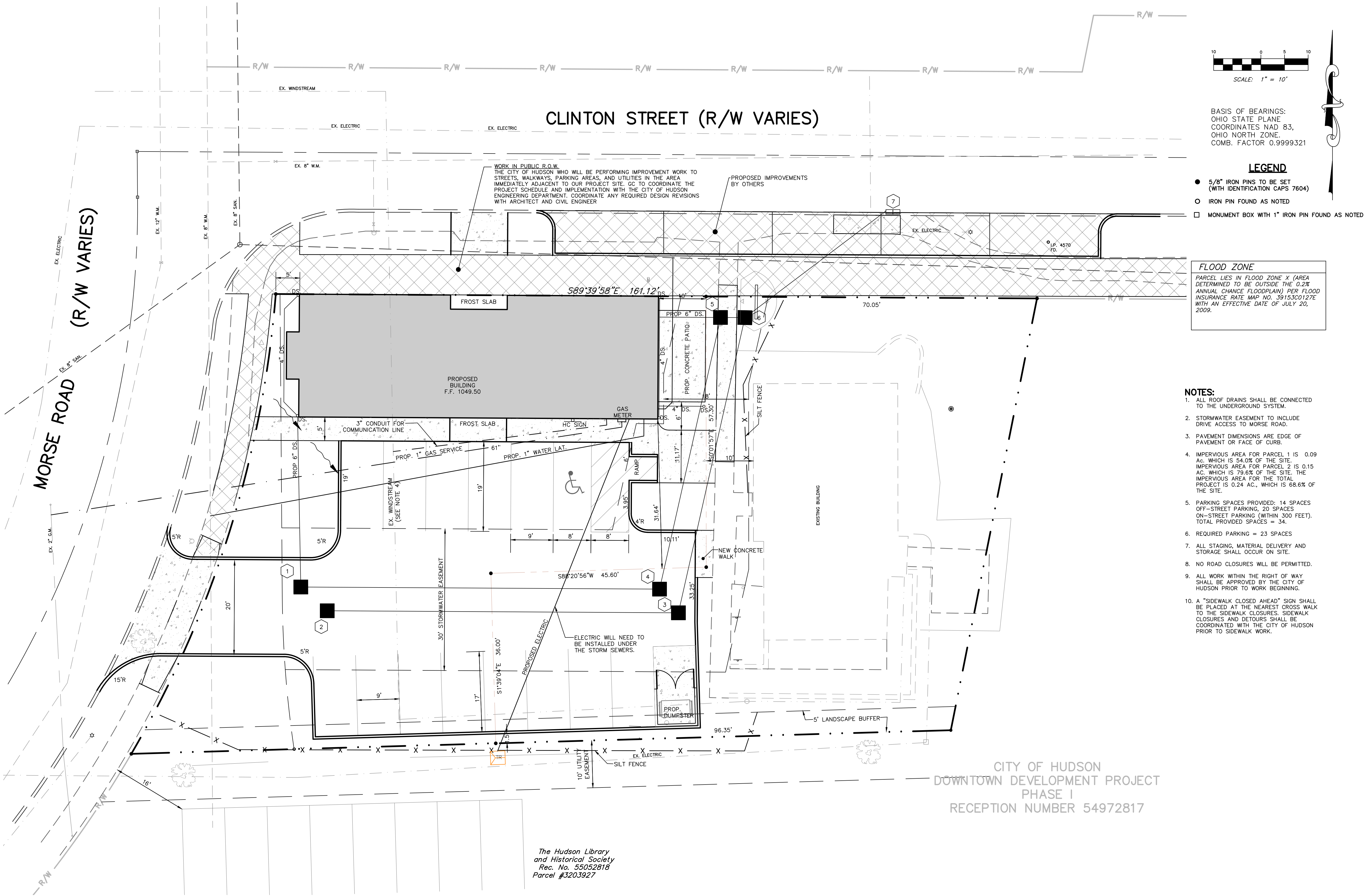
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REVISION SCHEDULE

SHEET DATE 05/14/2021
ISSUED FOR PERMIT /
BID-
SHEET TITLE

GRADING
PLAN

SHEET NO.
C-2



The Hudson Library
and Historical Society
Rec. No. 55052818
Parcel #3203927

GIBBON
ARCHITECTURE

3012 chadbourne road shaker, oh 44120
216.385.5703

SMITHS
CURATED

PROJECT INFORMATION

PROPOSED NEW CONSTRUCTION:
SMITHS CURATED BLDG.
48 CLINTON STREET
HUDSON, OH 44236

ISSUED FOR PERMIT / BID

GA PROJECT NO. 2020.013

PROFESSIONAL SEAL

DATE
JEFFREY W GIBBON OH LICENSE:
ARC.1416217 EXPIRATION 12/31/2021

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DATE TITLE
2021-0514 PERMIT / BID SET

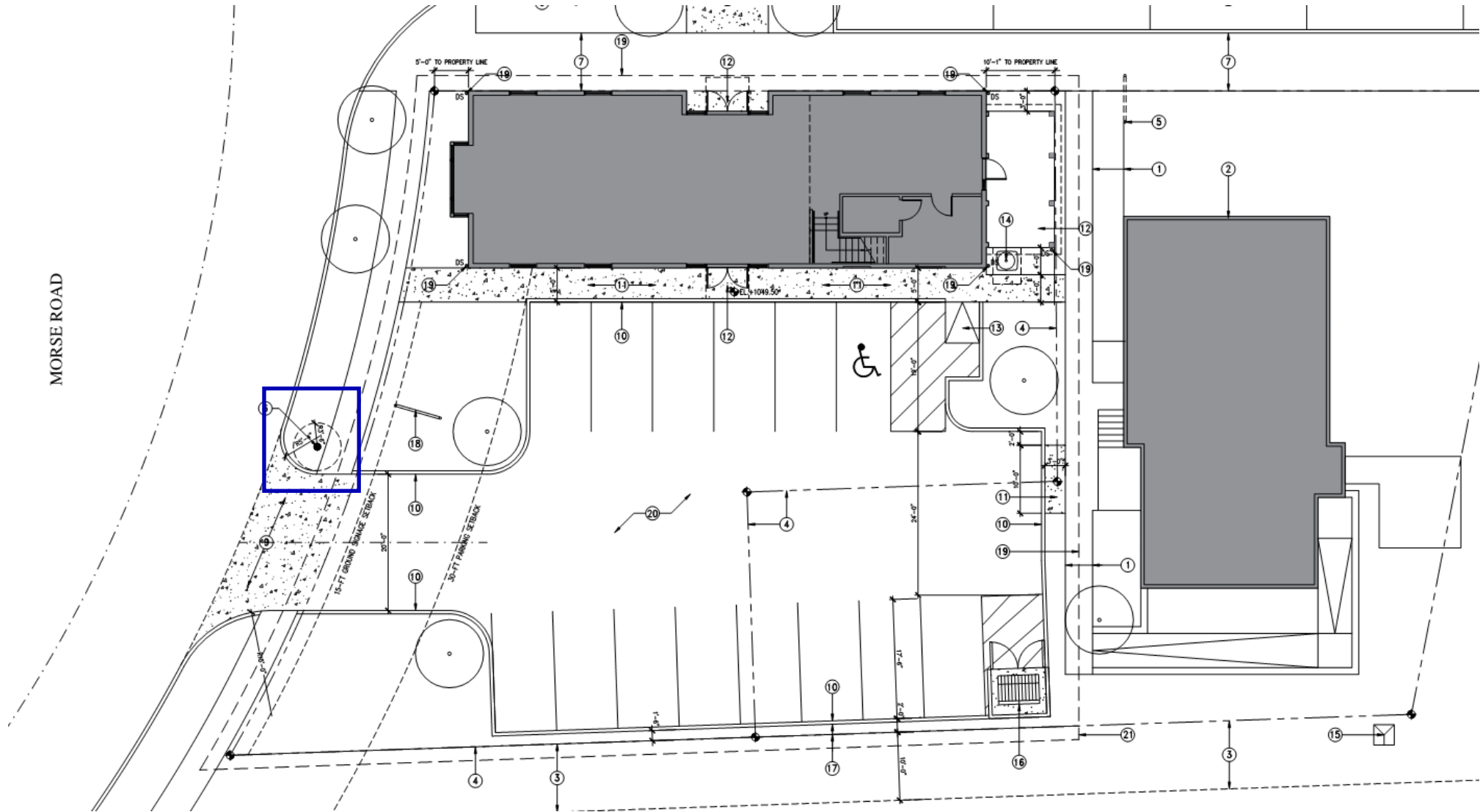
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NO. DATE DESCRIPTION

SHEET DATE 05/14/2021
ISSUED FOR PERMIT /
BID
SHEET TITLE

GEOMETRIC
PLAN

SHEET NO.
C-3

MORSE ROAD



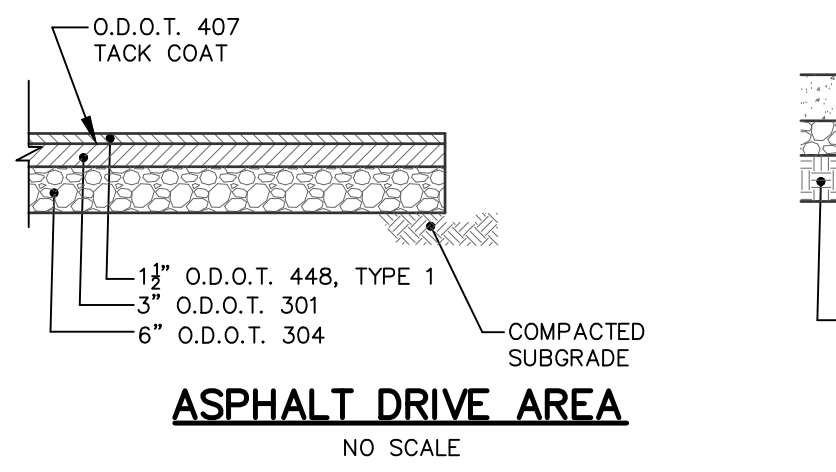
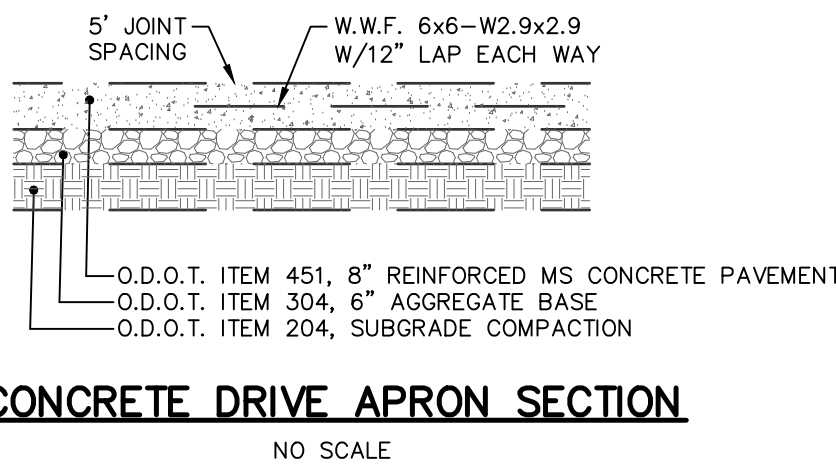
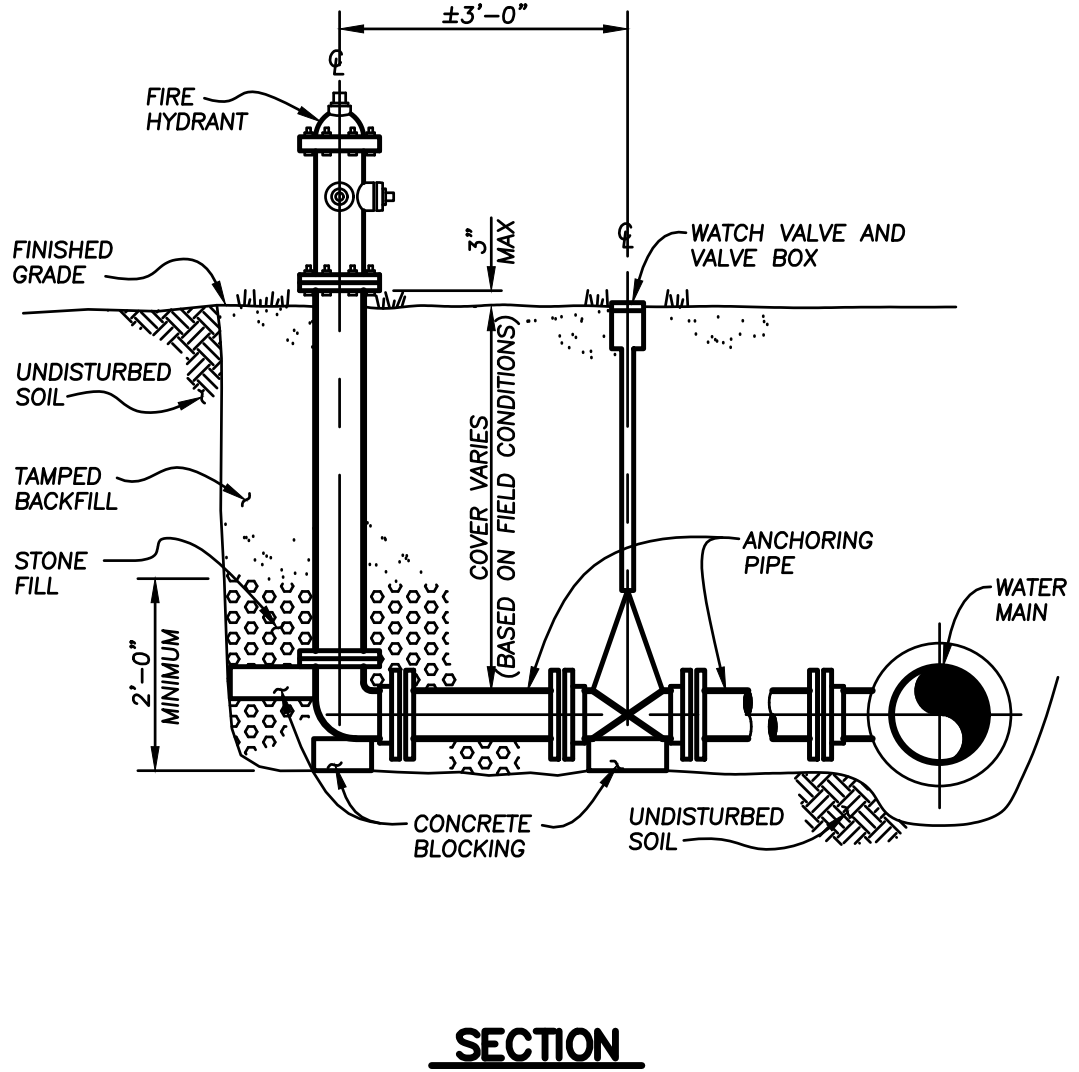
GENERAL CONSTRUCTION NOTES

- CONSTRUCTION OF THE SITE WORK AND UTILITIES SHALL BE GOVERNED BY THE CITY OF HUDSON'S "ENGINEERING STANDARDS FOR INFRASTRUCTURE CONSTRUCTION", LATEST EDITION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS REQUIRED FOR THE PROJECT.
- THE CONTRACTOR MUST ALERT THE OHIO UTILITY PROTECTION SERVICES AT 1-800-362-2764 AT LEAST 48 HOURS BEFORE ANY EXCAVATION IS TO BEGIN.
- ALL EXISTING APPURTENANCES (UTILITY POLES, VALVES, HYDRANTS, MANHOLES, ETC.) ARE TO BE MAINTAINED BY THE CONTRACTOR UNLESS OTHERWISE SHOWN ON THE PLANS.
- THE DESIGN ENGINEER CERTIFIES THAT ALL UTILITIES ARE SHOWN AS THEY APPEAR ON EXISTING RECORDS OR FIELD LOCATED.
- ALL KNOWN ABOVE AND UNDERGROUND SERVICES HAVE BEEN NOTED ON THE DRAWINGS. THE CONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR ANY SERVICES DAMAGED DURING THE CONSTRUCTION OF THE PROJECT WHETHER SHOWN OR NOT ON THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING THE SERVICE AS SOON AS POSSIBLE AT THE CONTRACTOR'S OWN EXPENSE.
- VIDEO TAPING OF PROJECT SHALL BE DELIVERED AND ACCEPTED BY THE CITY OF HUDSON ENGINEERING DEPARTMENT A MINIMUM OF 14 CALENDAR DAYS PRIOR TO START OF CONSTRUCTION ACTIVITIES.
- NOTIFY THE CITY OF HUDSON ENGINEERING DEPARTMENT A MINIMUM OF FORTY-EIGHT HOURS (2 WORKING DAYS) PRIOR TO THE START OF CONSTRUCTION.
- A PRECONSTRUCTION MEETING SHALL BE SCHEDULED A MINIMUM OF 48 HOURS (2 WORKING DAYS) AFTER SUBMISSION OF A MINIMUM OF 6 APPROVED SETS OF PLANS AND ALL SHOP DRAWINGS APPLICABLE TO THE PROPOSED IMPROVEMENTS. A PRECONSTRUCTION MEETING MUST BE HELD PRIOR TO START OF ANY CONSTRUCTION.
- THE LIMITS OF CLEARING AND GRADING SHALL BE FIELD STAKED AND LINED WITH ORANGE CONSTRUCTION FENCING 48 HOURS (2 WORKING DAYS) PRIOR TO THE PRECONSTRUCTION MEETING. AREAS BEYOND THE LIMITS OF CLEARING AND GRADING SHALL NOT BE DISTURBED INCLUDING THE STOCKPILE OF ANY MATERIALS OR CONSTRUCTION TRAFFIC.
- ALL ROAD SURFACES, EASEMENTS, OR RIGHT-OF-WAY DISTURBED BY THE CONSTRUCTION OF ANY PART OF THESE IMPROVEMENTS ARE TO BE RESTORED ACCORDING TO THE CITY OF HUDSON "ENGINEERING STANDARDS FOR INFRASTRUCTURE CONSTRUCTION" AS DIRECTED BY THE CITY OF HUDSON AND/OR ITS ENGINEER.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE CITY OF HUDSON OR ITS REPRESENTATIVE IF SUSPECTED HAZARDOUS MATERIAL OR ANY OTHER MATERIAL THAT MAY CREATE A HEALTH RISK IS DISCOVERED ON SITE.
- ALL DISTURBED STORM SEWERS AND/OR APPURTENANCES, SIGNS, GUARD RAILING, MAIL AND/OR PAPER BOXES, DRIVE CULVERTS, FENCES, TREES, LANDSCAPING, OR OTHER ITEMS DISTURBED BY THE CONSTRUCTION SHALL BE RESTORED OR REPAIRED TO AT LEAST THE BEFORE-CONSTRUCTION CONDITION.
- ANY DEFECTS DISCOVERED IN NEW CONSTRUCTION, WORKMANSHIP, EQUIPMENT OR MATERIALS SHALL BE REPAIRED, OR CORRECTED BY APPROVED METHODS AS DIRECTED BY THE CITY OF HUDSON.
- NUCLEAR COMPACTION TESTING SHALL BE REQUIRED FOR ALL FILL AREAS OVER TWO FEET (2') IN DEPTH, AT 6" LIFTS PER ASTM A-1557, 95% MODIFIED.
- APPROVAL BY THE CITY OF HUDSON ENGINEER CONSTITUTES NEITHER EXPRESSED NOR IMPLIED WARRANTIES AS TO THE FITNESS, ACCURACY, OR SUFFICIENCY OF PLANS, DESIGNS OR SPECIFICATIONS.
- DURING TAPPING OF EXISTING UTILITIES, ANY TRAFFIC CONTROL REQUESTED OR REQUIRED BY THE CITY OF HUDSON WILL BE PROVIDED BY THE CONTRACTOR AT NO COST TO THE CITY.
- COMPLIANCE WITH THE OCCUPATIONAL AND SAFETY ACT OF 1970 IS REQUIRED BY ALL CONTRACTORS ON THIS PROJECT.
- ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED.
- ALL DISTURBED AREAS SHALL RECEIVE 4" OF TOPSOIL AND BE SEEDED AND MULCHED AS PER SECTION 9 - LANDSCAPING AND STREET TREES OF THE CITY'S "ENGINEERING STANDARDS FOR INFRASTRUCTURE CONSTRUCTION", LATEST EDITION.
- IF MUD, SOIL, OR OTHER DEBRIS IS DEPOSITED ON ADJACENT STREETS, ROADS, OR OTHER PROPERTY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF SUCH AS DIRECTED BY THE CITY OF HUDSON OR ITS ENGINEER AT THE END OF EACH WORK DAY, OR AS REQUIRED DURING THE WORK DAY.
- ALL PROPOSED SLOPES 3:1 OR STEEPER AND ALL EARTHEN DRAINAGE WAYS SHALL RECEIVE JUTE OR EXCELSIOR MATTING AS PER ODOT 667 OR 668.
- ALL STORM SEWERS WITHIN PUBLIC RIGHTS-OF-WAY AND CITY OF HUDSON EASEMENTS SHALL BE PER SECTION 4 - STORM COLLECTION OF THE CITY'S "ENGINEERING STANDARDS FOR INFRASTRUCTURE CONSTRUCTION", LATEST EDITION.
- ALL PIPES SHALL BE PLACED OVER 4" OF BEDDING. BEDDING MATERIAL SHALL BE AS SPECIFIED IN CITY'S "ENGINEERING STANDARDS FOR INFRASTRUCTURE CONSTRUCTION", LATEST EDITION, FOR THE TYPE OF PIPE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND PROTECTING THE FLOW OF VEHICULAR AND PEDESTRIAN TRAFFIC AROUND THE JOB SITE. TRAFFIC CONTROL SHALL BE COORDINATED WITH THE CITY OF HUDSON POLICE DEPARTMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING PLANT TICKETS FOR ALL MATERIALS DELIVERED TO THE SITE. PLANT TICKETS MUST SHOW NET QUANTITY OF DELIVERED MATERIAL. MATERIAL DELIVERED OR PLACED WITHOUT PLANT TICKETS SHALL BE REMOVED AND PROPERLY DISPOSED AT THE EXPENSE OF THE CONTRACTOR.
- ALL DELIVERED MATERIALS SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF HUDSON OR OTHER APPLICABLE AGENCIES. THE CITY OF HUDSON, OR ITS REPRESENTATIVE, RESERVES THE RIGHT TO REJECT ANY DELIVERED MATERIAL WHICH DOES NOT CONFORM TO THE APPLICABLE STANDARDS AND SPECIFICATIONS.
- THE CITY OF HUDSON OR ITS REPRESENTATIVE, RESERVES THE RIGHT TO HALT ALL CONSTRUCTION ACTIVITY FOR NONCONFORMANCE OF PLANS, SPECIFICATIONS AND OTHER APPLICABLE STANDARDS OR REGULATIONS.
- ALL CHANGES TO APPROVED DRAWINGS AND/OR SPECIFICATIONS MUST BE REAPPROVED BY THE CITY OF HUDSON PRIOR TO CONSTRUCTION.
- ALL PAVING MATERIAL MUST BE PROVIDED BY ODOT CERTIFIED SUPPLIER. WRITTEN PROOF SHALL BE REQUIRED UPON DELIVERY OF MATERIALS. THE CERTIFIED MIX DESIGN MUST BE SUBMITTED TO, AND APPROVED BY, THE CITY OF HUDSON PRIOR TO SCHEDULING A PRECONSTRUCTION MEETING.
- CONTRACTOR/DEVELOPER SHALL PROVIDE ALL REQUIRED ROADWAY SIGNAGE AS PER ODOT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES INCLUDING STREET IDENTIFICATION SIGNAGE PER CITY STANDARDS FOR ALL ASPECTS OF THE IMPROVEMENT.
- ALL BONDS AND OR LETTERS OF CREDIT SHALL NOT BE RELEASED OR REDUCED AND NO WATER OR SANITARY SEWER CUSTOMERS CAN BE CONNECTED UNTIL ALL RECORD DRAWINGS HAVE BEEN SUBMITTED, REVIEWED AND APPROVED BY THE CITY OF HUDSON.
- ALL WORK, EXCEPT SIDEWALKS, STREET TREES AND STREET LIGHTS, AS PART OF THESE PLANS SHALL BE COMPLETED, INCLUDING PUNCH LIST ITEMS AND DEFICIENCY WORK WITHIN 1 YEAR OF THE DATE OF APPROVAL BY THE CITY ENGINEER. SIDEWALKS, STREET TREES AND STREET LIGHTS SHALL BE COMPLETED WITHIN TWO YEARS OF THE DATE OF APPROVAL BY THE CITY ENGINEER.
- FAILURE TO COMPLETE THE PROJECT IN ITS ENTIRETY AS APPROVED BY THE PLANNING COMMISSION, INCLUDING PUNCH LIST ITEMS, WILL RESULT IN THE CITY OF HUDSON HOLDING ALL FUTURE ZONING CERTIFICATES UNTIL ALL WORK HAS BEEN COMPLETED AND APPROVED.
- MANUFACTURERS OR SUPPLIERS AFFIDAVIT FOR ALL CONSTRUCTION MATERIALS SHALL BE PROVIDED AS PER THE CITY'S "ENGINEERING STANDARDS FOR INFRASTRUCTURE CONSTRUCTION", LATEST EDITION PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL PERFORM AND SUBMIT A PRECONSTRUCTION VIDEO IN ACCORDANCE WITH THE CITY OF HUDSON STANDARDS.
- EQUIPMENT, VEHICLES, SOIL AND/OR MATERIALS WILL NOT BE PERMITTED WITHIN THE EXISTING ROADWAYS OR RIGHT OF WAYS, UNLESS APPROVED BY THE CITY. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING THE EXISTING ROADWAY AND OTHER EXISTING PAVEMENT DAILY AS DIRECTED BY THE CITY OF HUDSON.

SEE DISCLAIMER STATEMENT ON THE TITLE PAGE OF THESE ENGINEERING STANDARDS
HYDPERWM.DWG 11-28-01

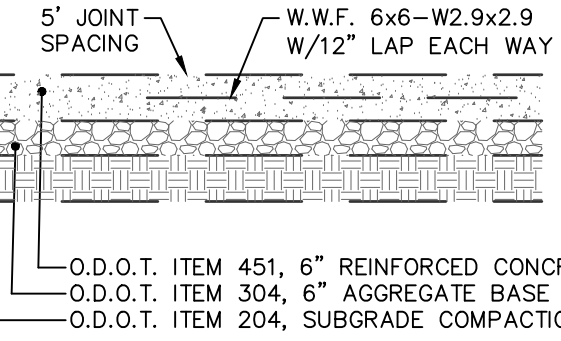
HYDRANT PERPENDICULAR TO WATER MAIN DETAIL

1/2" = 1'-0"



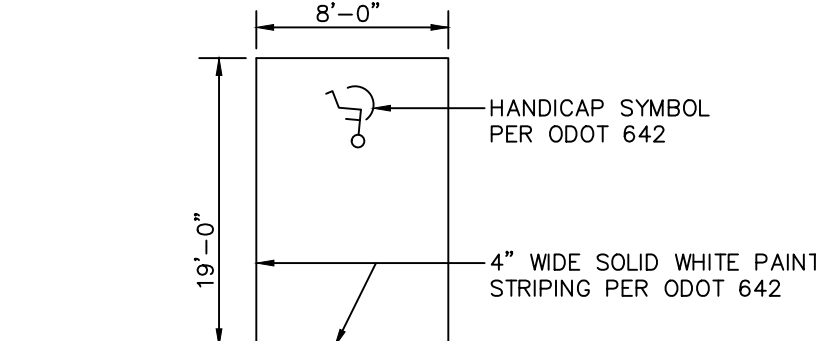
CONCRETE DUMPSTER PAD SECTION

NO SCALE



HANDICAP PARKING LOT STRIPING

NO SCALE



WATER MAIN NOTES:

- The contractor shall supply all of the water main materials, including the ductile iron pipe, fittings and fitting restraints, hydrants and valves, polyethylene encasement, all other appurtenances and any items specially itemized as required for the water main installation. All water main materials shall comply with the City of Akron, Akron Engineering Bureau, Construction and Material Specifications (Latest Edition) Item 715, Water Main Materials. Installation of all water main materials shall be in accordance with Section 250, Water Mains. Submittals of material specifications are to be made to the Utilities Engineer prior to purchasing material.
- Must maintain a ten-foot minimum horizontal clearance from edge of all water main pipe to edge of all sanitary and storm sewer pipes and/or force main pipes.
- Must maintain an 18-inch minimum vertical clearance from edge of all water main pipe and/or service lines to edge of all sanitary sewer and storm pipes where they cross.
- The contractor must maintain a 12-inch minimum vertical clearance from edge of all water main pipe to edge of all direct burial conduits, concrete encased electrical conduits, light pole bases, and hand hole pull boxes.
- The contractor must maintain a 36-inch minimum horizontal clearance from edge of all water main pipe to edge of all direct burial conduits, concrete encased electrical conduits, light pole bases, and hand hole pull boxes.
- Where water mains cross sewer trenches, the trench is to be backfilled with approved granular material.
- Approved pipe fittings, bolts, etc., for Akron system water main installation:

Pipe: Class 53 ductile iron per AWWA C151 specifications, with cement-lining per AWWA C104. Labeled polyethylene encasement per AWWA C105 is required.

Pipe Joints: Push-on joints (Tyton, Bell-Tite, etc.), per AWWA C151 specifications with plain or restraining rubber gaskets per AWWA C111 specifications.

Fittings: Class 350 ductile iron compact fittings per AWWA C153 or full thickness castings per AWWA C110 are acceptable, with mechanical joint ends and ductile iron follower glands. Anchor pipe is required on all hydrant runs between the tee and hydrant run valve.

Restrained pipe systems: Push-on joint with Field Lock (4 through 12-inch only) or Fast Grip gaskets (4 through 12-inch only), or mechanical joint with restrained follower glands, and 6 ounce zinc anode caps on every bolt thread. Super Lock, TR Flex or Flex-Ring required on all 16-inch or larger pipe diameters.

Restrained fitting devices: All valves, bends, offsets, hydrant inlets, caps, plugs, and branches of tees and wyes must be restrained using mechanical joint with restrained follower glands or restraining gaskets. Hardwood blocking is required for all diameters 4 through 8-inch, concrete blocking and strapping for all diameters 12-inch and larger. Concrete blocking is required on all fire lines and on all diameters in areas over 100 psi. Restrained joints for diameters 12-inch and under shall be installed for a length of 30 feet on each side of a valve, bend or offset using Field Lock or Fast-Grip restraining gaskets or mechanical joint with restrained follower glands. Restrained joints for diameters 16-inch and larger, shall be installed for a length of 30 feet on each side of a valve, bend or offset using mechanical joint with restrained follower glands.

Mechanical Joint T-head Bolts: All mechanical joints shall be made with Cor-Ten or construction-grade alloyed ductile iron bolts. T-head bolts shall be 1/2-inch longer than standard length and must include a 6 oz. zinc anode cap on every bolt thread.

Hydrants: Akron-style Mueller "Centurian" Model A423; Kennedy "Guardian" Model K-81A; EJ "FlowMaster" CD250; American Flow Control Model B62B with 6-inch inlet, American Flow Control Model B84B with 8-inch inlet. Threads shall be Akron style as shown on Akron Water Works Standard Construction Drawings F-3258 and F-3440. Hydrants must be lead-free per NSF 61-G.

Gate Valves: Resilient-seat wedge (RSW) valves with restrained mechanical joints. Valves shall have non-rising stems and shall open to the right (clockwise).

Butterfly Valves, 16-inch and up: Restrained mechanical joint or shouldered (not grooved) Victaulic ends with Style 44N couplings and stainless steel 316 bolts. Rubber seals in the valve must be replaceable. Flanged end and water-style valves are not acceptable.

Valve Boxes: Bibby, Tyler, Bingham and Taylor or East Jordan brands are acceptable for compatibility.

Curb Boxes: Riser pipe must be of yaloy corrosion resistant material. Plug must be cast iron and thread into a brass ring.

- Compacted premium backfill is required for underground construction under or within three feet of any proposed or existing sidewalk or pavement. The backfilling shall conform to Section 551.09 of the City of Akron Construction and Material Specifications, Latest Edition.

- Any existing water mains, hydrants, valves, valve boxes, meter vaults, service lines, or curb boxes that are damaged or must be adjusted and/or moved must be repaired, adjusted, moved and/or replaced at the contractor's expense. Contact Doug Zwahlen, Water Distribution Supervisor, at (330) 375-2420 to schedule this work.

- No taps for water services shall be made until after the mainline has been tested and sterilized. All taps 2-inch and smaller shall be made by the contractor and inspected by the City of Akron. All brass fittings used shall be lead-free per NSF 61-G.

- All water main construction shall be inspected by the City of Akron. Notify the City of Akron (Tony Puglia or Doug Zwahlen) at (330) 375-2420 at least 48 hours prior to beginning construction and for all preconstruction meetings.

- Prior to acceptance, the water line shall be pressure tested, as specified in AWWA C600, and disinfected as specified in AWWA C651 latest revisions, by the contractor.

- Use extreme caution when excavating in the area of existing water main pipes, valves, hydrants and thrust blocks.

- The contractor shall supply a temporary safe water service to all homes that will have their water service interrupted by this construction.

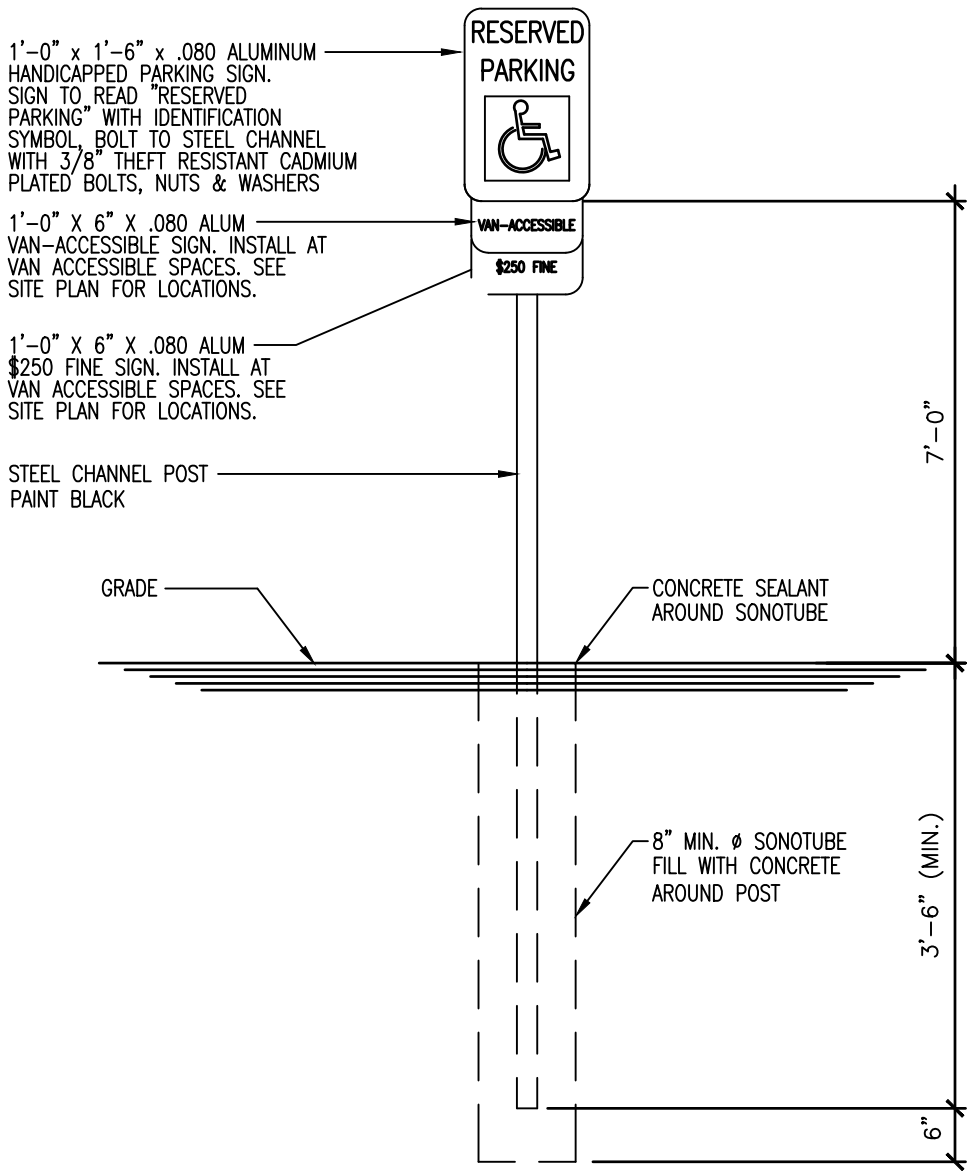
- The proposed facilities must maintain a minimum of 35 psi pressure delivered to the curb stop during normal operating conditions.

- Booster pumps are not permitted on service connections.

- Any connection to existing ductile iron water main shall be made with a ductile iron solid sleeve with restraining gland. Any connection to existing cast iron water main may be made with a cast coupling or ductile iron solid sleeve with restraining gland.

- In casing pipe, all joints shall be restrained by using either Field Lock or Fast Grip restraining gaskets (4 through 12-inch only) or boltless (TR Flex) anchors. Carrier pipe shall have casing spacers with plastic runners. Sand shall be blown into the annular space. Wooden runners are not allowed.

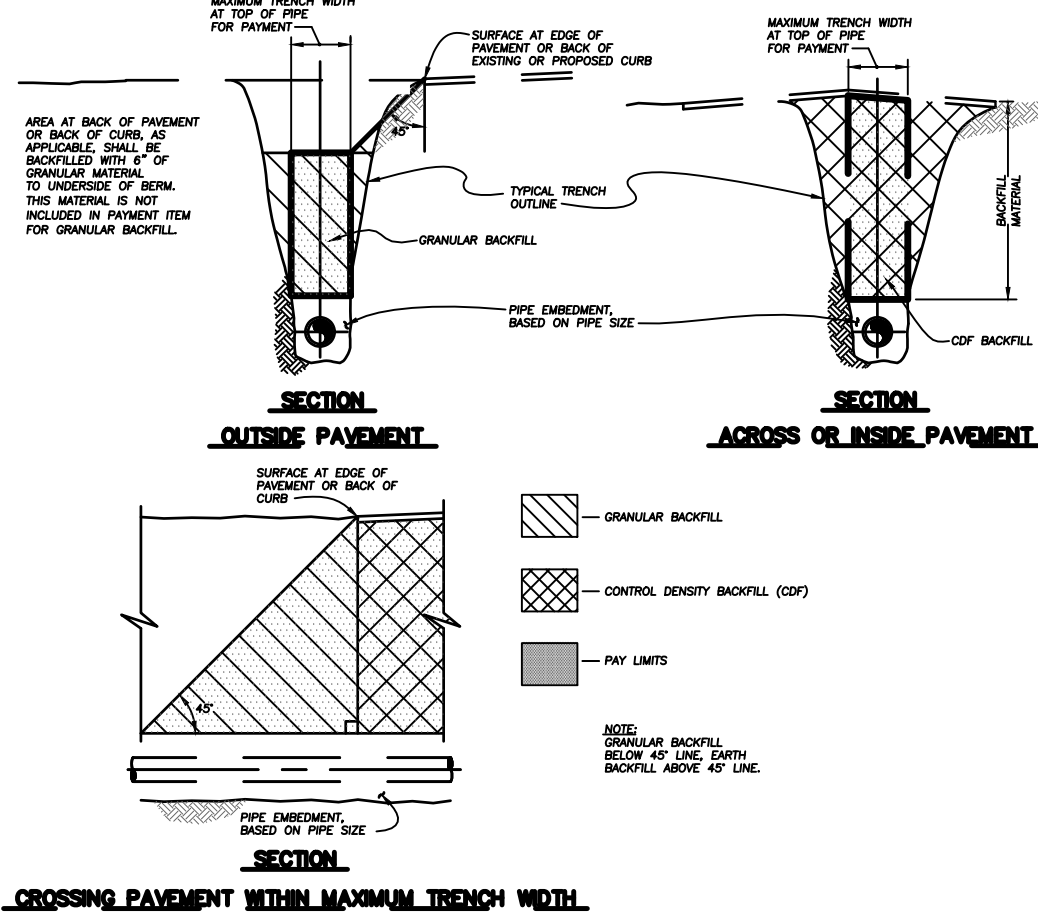
- The System shall be designed to maintain a minimum pressure of 20 psi at ground level at all points in the distribution system under all conditions of flow.



NOTE: HANDICAPPED PARKING SIGN SHALL CONFORM TO CURRENT STATE AND LOCAL CODES AND REGULATION. USE SONOTUBE WHEN SIGN POST IS PLACED IN A SIDEWALK.

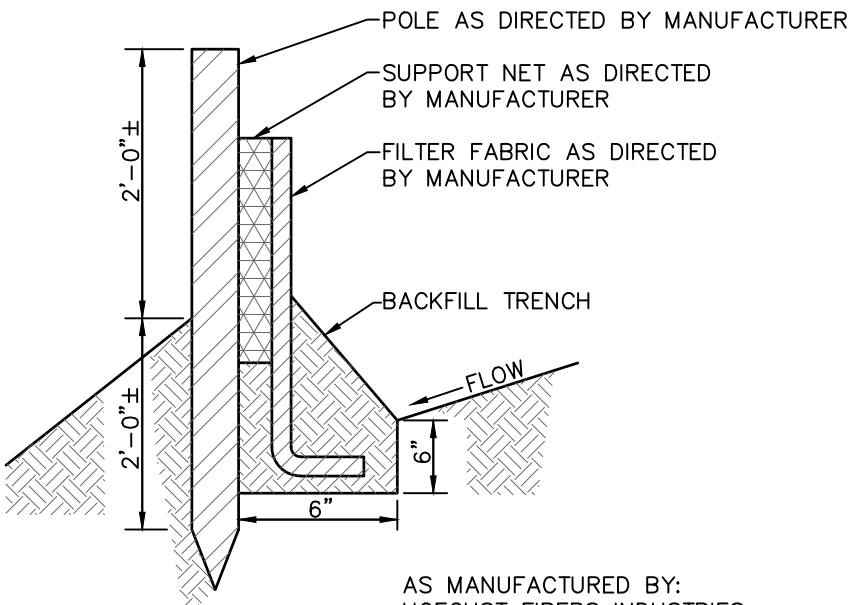
HANDICAP PARKING SIGN DETAIL

NO SCALE



GRANULAR OR CONTROLLED DENSITY FILL BACKFILL - PAY LIMITS

FIG 3.18.1



SILT FENCE

NO SCALE

AS MANUFACTURED BY:
HOECHST FIBERS INDUSTRIES,
MIRAFI MFG. INC.,
AMERICAN EXCELSIOR
OR APPROVED EQUAL.

GIBBON
ARCHITECTURE

3012 chadbourne road shaker, oh 44120
216.385.5703



SMITHS
CURATED

PROJECT INFORMATION

PROPOSED NEW CONSTRUCTION:
SMITHS CURATED BLDG.
48 CLINTON STREET
HUDSON, OH 44236

GA PROJECT NO. 2020.013

PROFESSIONAL SEAL

DATE
JEFFREY W GIBBON OH LICENSE:
ARC1416217 EXPIRATION 12/31/2021

DRAWING ISSUE RECORD

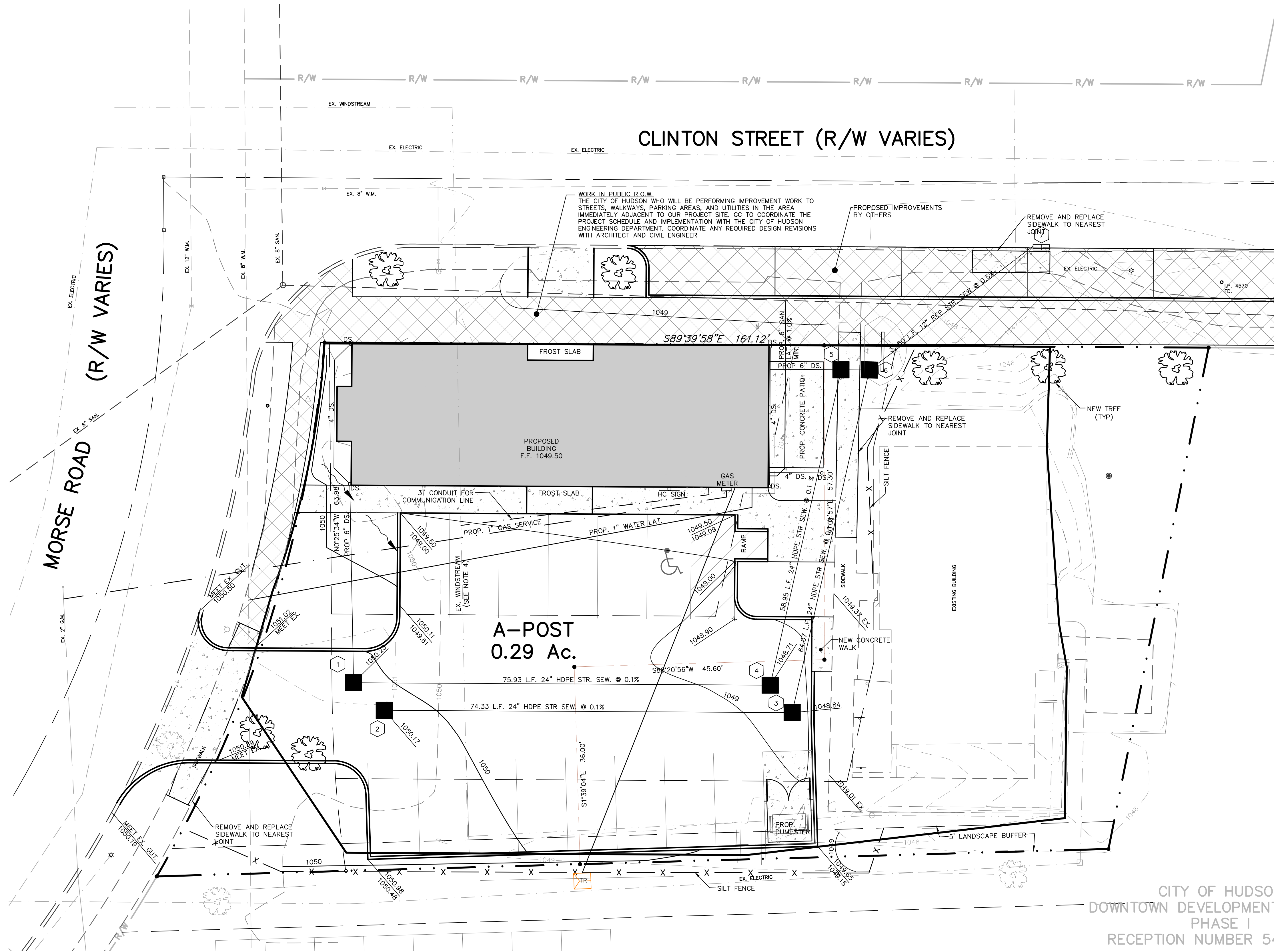
DATE TITLE
2021-0514 PERMIT / BID SET

REVISION SCHEDULE
NO. DATE DESCRIPTION

SHEET DATE 05/14/2021
ISSUED FOR PERMIT /
BID-
SHEET TITLE

GENERAL
NOTES

SHEET NO.



PROPOSED STORM STRUCTURE DATA				
No.	STRUCTURE	TOP	INV.	PIPE INFORMATION
1	CB	1050.23	1046.74-6" N. 1045.24-24" E.	75.93 L.F. 24" HDPE @ 0.1%
2	CB	1050.17	1045.24-24" E.	74.33 L.F. 24" HDPE @ 0.1%
3	CB	1048.84	1045.16-24" N. & S.	64.07 L.F. 24" HDPE @ 0.1%
4	CB	1048.71	1045.16-24" N. & S.	58.95 L.F. 24" HDPE @ 0.1%
5	CB	1049.50	1046.60-6" W. 1045.10-24" E. & S.	5.12 L.F. 24" HDPE @ 0.1%
6	CONTROL STRUCTURE	1049.32	1045.09-24" N., S. & N.E.	37.50 L.F. 24" RCP @ 0.5%
7	EX. CB	1047.60	1044.90-12" S.W.	



BASIS OF BEARINGS:
OHIO STATE PLANE
COORDINATES NAD 83,
OHIO NORTH ZONE.
COMB. FACTOR 0.9999321

LEGEND

- 5/8" IRON PINS TO BE SET
(WITH IDENTIFICATION CAPS 7604)
- IRON PIN FOUND AS NOTED
- MONUMENT BOX WITH 1" IRON PIN FOUND AS NOTED

FLOOD ZONE

PARCEL LIES IN FLOOD ZONE X (AREA
DETERMINED TO BE OUTSIDE THE 0.2%
ANNUAL CHANCE FLOODPLAIN) PER FLOOD
INSURANCE RATE MAP NO. 39153C0127E
WITH AN EFFECTIVE DATE OF JULY 20,
2009.

CITY OF HUDSON
DOWNTOWN DEVELOPMENT PROJECT
PHASE I
RECEPTION NUMBER 54972817

GIBBON
ARCHITECTURE

3012 chadbourne road shaker, oh 44120
216.385.5703



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DRAINAGE
MAP

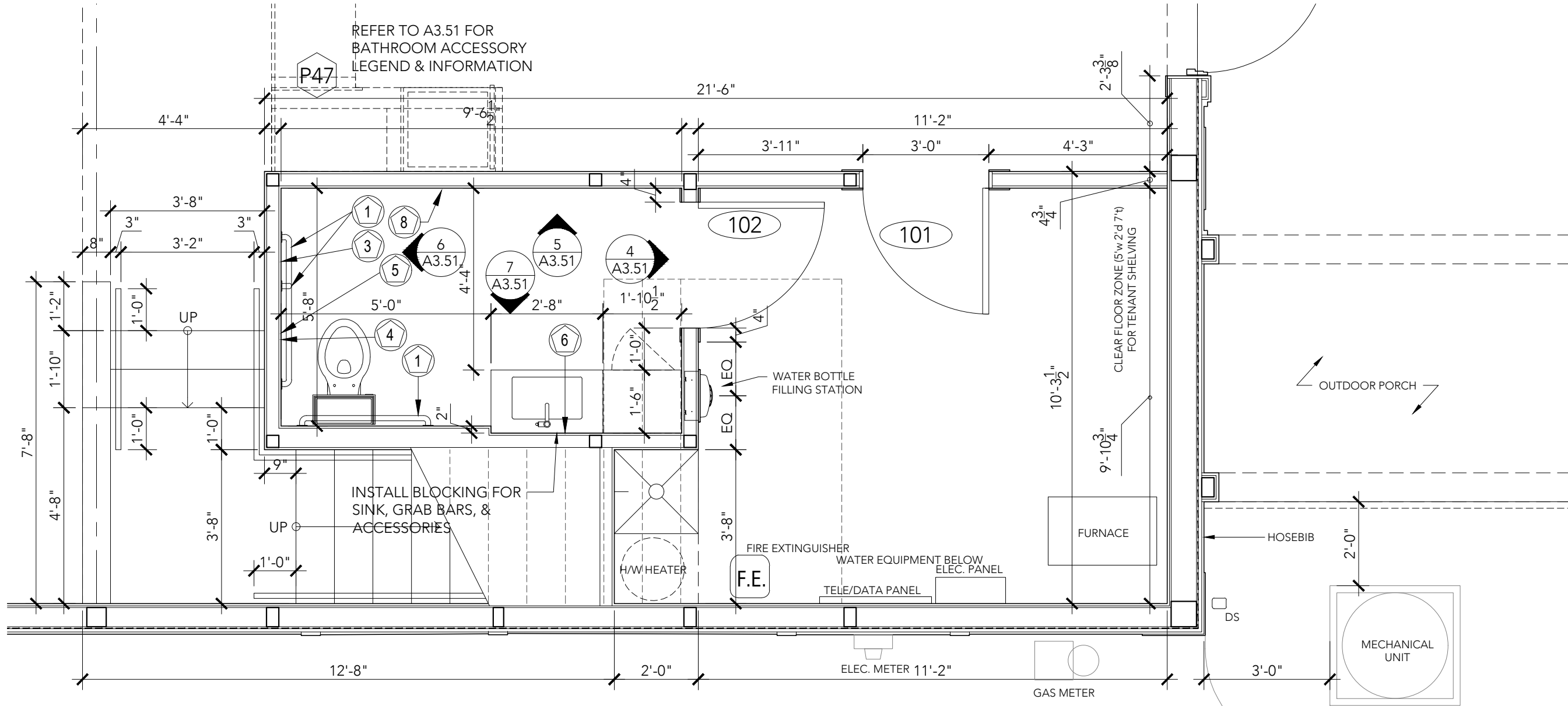
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C-5

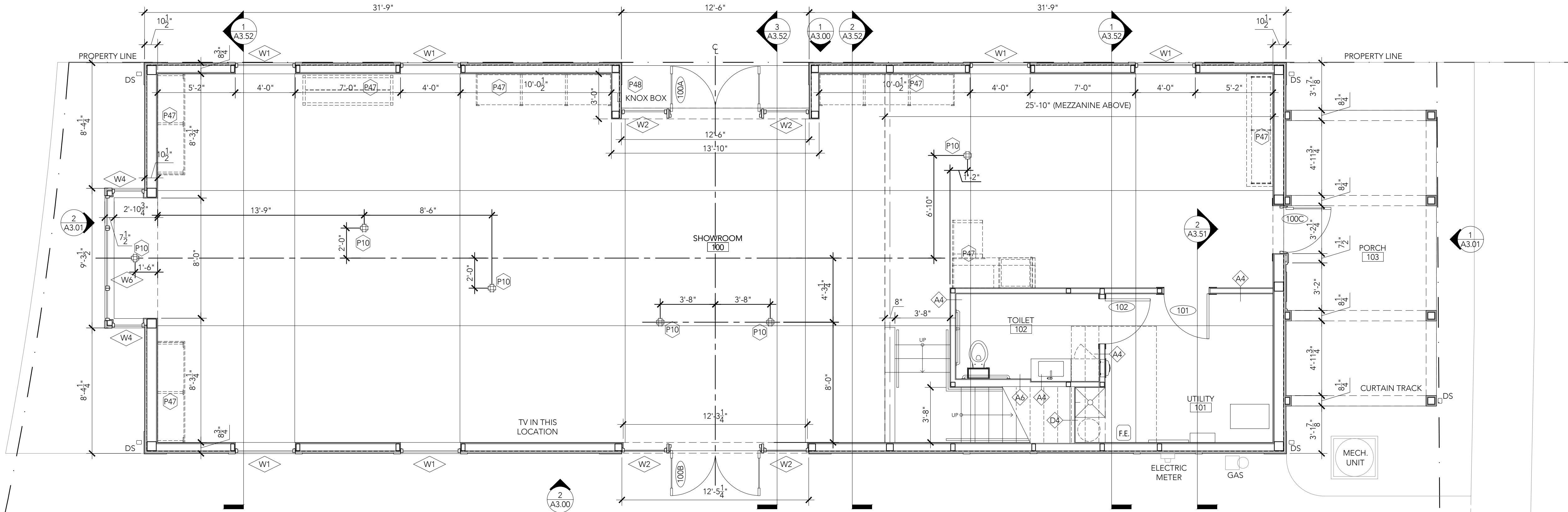
ISSUED FOR PERMIT / BID

LEGEND			
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	-INDICATES ELEVATION NUMBER -INDICATES DWG SHEET NUMBER		-INDICATES PLUMBING OR EQUIPMENT (SEE SHEET A6.05)
	-INDICATES SECTION NUMBER -INDICATES DWG SHEET NUMBER		VESTIBULE -INDICATES ROOM NAME -INDICATES ROOM NUMBER
	-INDICATES KEY NOTE NUMBER (SEE KEY NOTE LEGEND, THIS SHEET)		-INDICATES MILLWORK ITEMS
	-INDICATES WINDOW TYPE		-INDICATES WALL ASSEMBLY TYPE NUMBER (SEE WALL TYPE SHEET)
	-INDICATES DOOR NUMBER (SEE DOOR SCHEDULE)		

KEY NOTES: PLAN			
P1. ASPHALT SHINGLE (CERTAINTEED LANDMARK PRO, MAX DEF MOIRE BLACK) ON SYNTHETIC UNDERLAYMENT ON $\frac{3}{8}$ " APA RATED SHEATHING	P16. $\frac{7}{16}$ " APA RATED SHEATHING, EA. SIDE OF 2x8 STUDS @ 16" O.C. P17. X	P33. FIBER CEMENT TRIM BOARD. $\frac{3}{8}$ " x 11.25" SMOOTH P34. FIBER CEMENT TRIM BOARD. $\frac{3}{8}$ " x 5.5" SMOOTH	P51. X P52. X P53. X P54. X
P2. RIDGE VENT P3. 24" SQ. MOP SINK. SEE PLUMBING	P18. PELLA IMPERVIA WINDOW. DIRECT SET, FIXED WINDOW. APPLIED GRILLES (ALUM. DS1, $\frac{3}{8}$ "), BOTH SIDES. BLACK FINISH BOTH SIDES	P35. FIBER CEMENT TRIM BOARD. $\frac{3}{8}$ " x 7.25" SMOOTH P36. FIBER CEMENT TRIM BOARD. $\frac{3}{8}$ " x 9.25" SMOOTH	P55. 6x6 TREATED WOOD POSTS. SIMPSON POST CAP AND BASE, TYP. P56. $\frac{3}{4}$ " PLYWOOD SUB-FLOOR ON 2x12 WOOD JOISTS @ 16" O.C., DBL. EVERY OTHER. SEE STRUCTURAL
P4. WATER BOTTLE FILLING STATION P5. FIRE EXTINGUISHER, SURFACE MOUNTED. MAINTAIN APPROCH CLEARANCE IN FRONT.	P19. PELLA RESERVE COMMERCIAL ENTRY DOOR. APPLIED GRILLES AND BLACK FINISH BOTH SIDES P20. X P21. X P22. X	P37. FIBER CEMENT TRIM BOARD. $\frac{3}{8}$ " x 11.25" SMOOTH P38. FIBER CEMENT SMOOTH PANEL BOARD P39. 2x2 EXTERIOR TRIM P40. 1x2 EXTERIOR TRIM	P57. X P58. X P59. $\frac{3}{8}$ " GLASS-MAT PANELS, TYPE X
P6. 1" CONTINUOUS RIGID INSULATION (R-5) OVER CONTINUOUS FULLY ADHERED VAPOR BARRIER. EXTEND RIGID INSULATION TO TOP PLATE. RODENT PROTECTION CAP AT BASE. P7. BUILT-IN WOOD WINDOW SEAT. UPHOLSTERED CUSHION PROVIDED BY OWNER	P23. CONSTRUCTION JOINT P24. CONCRETE SLAB ON GRADE (INTEGRAL COLOR) OVER 6 MIL VAPOR BARRIER (CONTINUE UNDER ENTIRE SLAB) OVER 6" GRANULAR FILL. SEE STRUCTURAL	P41. 1x1 EXTERIOR TRIM P42. DECORATIVE WOOD RIDGE BEAM. STAINED P43. DECORATIVE WOOD COLLAR TIE/BEAM. STAINED	P60. ROOF MEMBRANE FULLY ADHERED TO COVERBOARD ON TWO LAYERS BUILT-UP INSULATION. STAGGER JOINTS HORIZONTALLY & VERTICALLY. SLOPE TO DRAIN AT $\frac{1}{4}$ " : 1". 6" THICKNESS (R-30) MIN.
P8. 6" K STYLE GUTTER, MATCH TRIM COLOR P9. DOWNSPOUT, 3" x 4"	P25. X P26. FROST SLAB. SEE STRUCTURAL P27. SLOPE SIDEWALK $\frac{1}{4}$ " : 1" AWAY FROM BUILDING. MAX. 2% CROSS SLOPE. SEE CIVIL	P44. 1x6 WOOD CASING, W/ 1" EDGE MOULDING. PAINTED P45. 1x8 WOOD BASE. SQ. EDGE. PAINTED P46. 1x6 TONGUE & GROOVE WOOD PANELING, BOTH SIDE OF WALL, PAINTED. STAINED WOOD CAP	P61. WALL MOUNTED RECESSED GALLERY TRACK, MATCH WALL COLOR P62. CEILING FAN, OWNER PROVIDED P63. DECORATIVE LIGHT FIXTURE. OWNER PROVIDED
P10. FLOOR BOX. LOCATION SHOWN FOR REFERENCE. REFER TO ELECTRICAL DRAWINGS FOR FULL POWER SCOPE OF WORK. P11. 5.25" UNFACED HIGH DENSITY FIBERGLASS BATT INSULATION (R-21) P12. X P13. X	P28. X P29. FIBER CEMENT VENTED SOFFIT BOARD. $\frac{1}{2}$ " x 12" SMOOTH P30. FIBER CEMENT TRIM BOARD. $\frac{3}{8}$ " x 3.5" SMOOTH P31. FIBER CEMENT TRIM BOARD. $\frac{3}{8}$ " x 5.5" SMOOTH P32. FIBER CEMENT TRIM BOARD. $\frac{3}{8}$ " x 7.25" SMOOTH	P47. BUILT-IN MILLWORK. OWNER PROVIDED. COORDINATE POWER & LIGHT LOCATIONS P48. RECESSED WALL MOUNTED KNOXBOX MODEL 3270, DARK BRONZE P49. METAL GUARD & HAND RAILS. PROVIDE SLEEVE/PLATE CONNECTIONS AT SUPPORT POSTS. OWNER PROVIDED P50. SPIRAL SUPPLY DUCT. PAINT TO MATCH CEILING. SEE MECHANICAL	P64. EXTERIOR WALL SCONCE. SEE ELECTRICAL P65. EXTERIOR SIGN LIGHT. SEE ELECTRICAL P66. EXTERIOR GFCI RECEPTACLES. SEE ELECTRICAL



2 ENLARGED PLAN
UTILITY & RESTROOM
SCALE: 3/8" = 1'-0"



1 CONSTRUCTION PLAN
FLOOR 1
SCALE: 1/4" = 1'-0"

GIBBON
ARCHITECTURE

3012 chadbourne road shaker, oh 44120
216.385.5793

SMITHS
CURATED

PROJECT INFORMATION

PROPOSED NEW CONSTRUCTION:
SMITHS CURATED BLDG.
48 CLINTON STREET
HUDSON, OH 44236

GA PROJECT NO. 2020.013

PROFESSIONAL SEAL

DATE
JEFFREY W GIBBON OH LICENSE: ARC.1416217
EXPIRATION 12/31/2021

DRAWING ISSUE RECORD
DATE TITLE
2021-0514 PERMIT / BID SET
2021-0526 CITY PLANNING REVIEW

REVISION SCHEDULE
NO. DATE DESCRIPTION

SHEET DATE 05/26/2021
CITY PLANNING REVIEW

SHEET TITLE
CONSTRUCTION PLAN
FLOOR 1

SHEET NO.

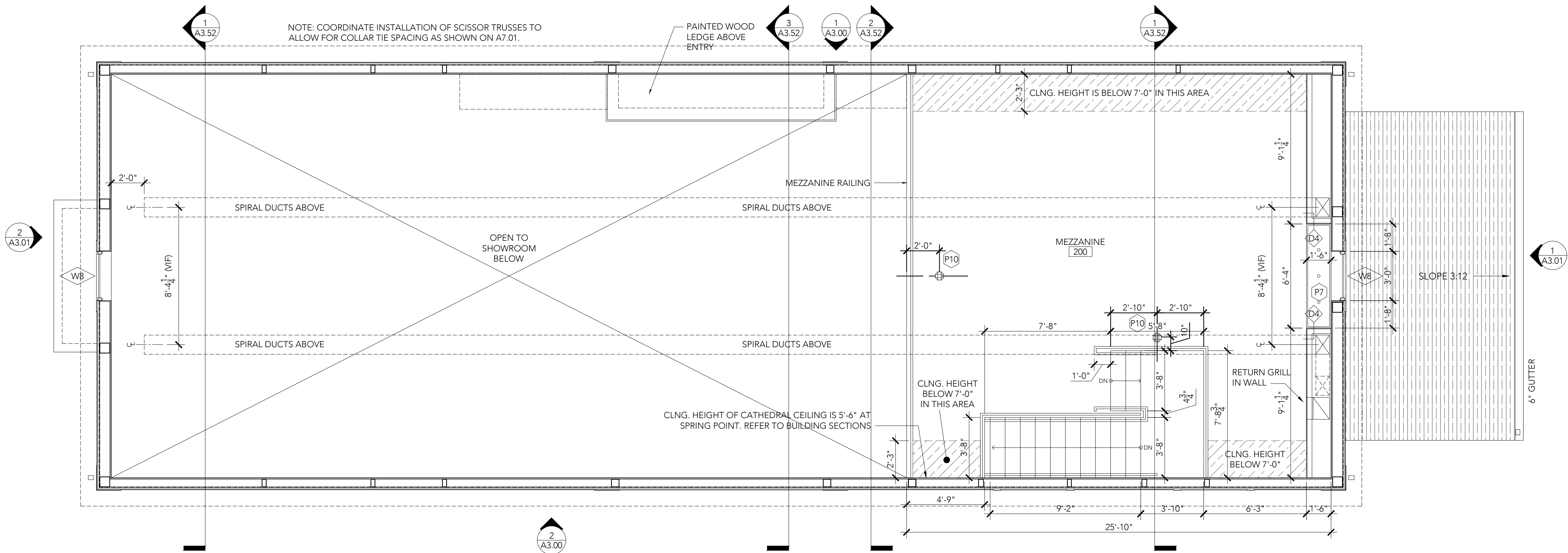
A2.00

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P1. ASPHALT SHINGLE (CERTAINTED LANDMARK PRO, MAX DEF MOIRE BLACK) ON SYNTHETIC UNDERLAYMENT ON 3/4" APA RATED SHEATHING	P16. 7/16" APA RATED SHEATHING, EA. SIDE OF 2x8 STUDS @ 16" O.C. P17. X	P33. FIBER CEMENT TRIM BOARD. 5/8" x 11.25" SMOOTH	P51. X
P2. RIDGE VENT	P18. PELLA IMPERVIA WINDOW. DIRECT SET, FIXED WINDOW. APPLIED GRILLES (ALUM. DS1, 3/4"), BOTH SIDES. BLACK FINISH BOTH SIDES	P34. FIBER CEMENT TRIM BOARD. 5/8" x 5.5" SMOOTH	P52. X
P3. 24" SQ. MOP SINK. SEE PLUMBING	P19. PELLA RESERVE COMMERCIAL ENTRY DOOR. APPLIED GRILLES AND BLACK FINISH BOTH SIDES	P35. FIBER CEMENT TRIM BOARD. 5/8" x 7.25" SMOOTH	P53. X
P4. WATER BOTTLE FILLING STATION	P20. X	P36. FIBER CEMENT TRIM BOARD. 5/8" x 9.25" SMOOTH	P54. X
P5. FIRE EXTINGUISHER, SURFACE MOUNTED. MAINTAIN APPRACH CLEARANCE IN FRONT.	P21. X	P37. FIBER CEMENT TRIM BOARD. 5/8" x 11.25" SMOOTH	P55. 6x6 TREATED WOOD POSTS. SIMPSON POST CAP AND BASE, TYP.
P6. 1" CONTINUOUS RIGID INSULATION (R-5) OVER CONTINUOUS FULLY ADHERED VAPOR BARRIER. EXTEND RIGID INSULATION TO TOP PLATE. RODENT PROTECTION CAP AT BASE.	P22. X	P38. FIBER CEMENT SMOOTH PANEL BOARD	P56. 3/4" PLYWOOD SUB-FLOOR ON 2x12 WOOD JOISTS @ 16" O.C., DBL EVERY OTHER. SEE STRUCTURAL
P7. BUILT-IN WOOD WINDOW SEAT. UPHOLSTERED CUSHION PROVIDED BY OWNER	P23. CONSTRUCTION JOINT	P39. 2x2 EXTERIOR TRIM	P57. X
P8. 6" K STYLE GUTTER, MATCH TRIM COLOR	P24. CONCRETE SLAB ON GRADE (INTEGRAL COLOR) OVER 6 MIL VAPOR BARRIER (CONTINUE UNDER ENTIRE SLAB) OVER 6" GRANULAR FILL. SEE STRUCTURAL	P40. 1x2 EXTERIOR TRIM	P58. X
P9. DOWNSPOUT, 3" x 4"	P25. X	P41. 1x1 EXTERIOR TRIM	P59. 3/8" GLASS-MAT PANELS, TYPE X
P10. FLOOR BOX. LOCATION SHOWN FOR REFERENCE. REFER TO ELECTRICAL DRAWINGS FOR FULL POWER SCOPE OF WORK.	P26. FROST SLAB. SEE STRUCTURAL	P42. DECORATIVE WOOD RIDGE BEAM. STAINED	P60. ROOF MEMBRANE FULLY ADHERED TO COVERBOARD ON TWO LAYERS BUILT-UP INSULATION. STAGGER JOINTS HORIZONTALLY & VERTICALLY. SLOPE TO DRAIN AT 1/4":1' 6" THICKNESS (R-30) MIN.
P11. 5.25" UNFACED HIGH DENSITY FIBERGLASS BATT INSULATION (R-21)	P27. SLOPE SIDEWALK 1/4":1' AWAY FROM BUILDING. MAX. 2% CROSS SLOPE. SEE CIVIL	P43. DECORATIVE WOOD COLLAR TIE/BEAM. STAINED	P61. WALL MOUNTED RECESSED GALLERY TRACK, MATCH WALL COLOR
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P13. X	P29. FIBER CEMENT VENTED SOFFIT BOARD. 1/2" x 12" SMOOTH	P45. 1x8 WOOD BASE. SQ. EDGE. PAINTED	P63. DECORATIVE LIGHT FIXTURE. OWNER PROVIDED
P14. 5/8" GYPSUM WALL BOARD, LEVEL 5 FINISH, PAINTED	P30. FIBER CEMENT TRIM BOARD. 5/8" x 3.5" SMOOTH	P46. 1x6 TONGUE & GROOVE WOOD PANELING, BOTH SIDE OF WALL, PAINTED. STAINED WOOD CAP	P64. EXTERIOR WALL SCONCE. SEE ELECTRICAL
P15. 7/16" APA RATED SHEATHING, EA. SIDE OF 2x6 STUDS @ 16" O.C.	P31. FIBER CEMENT TRIM BOARD. 5/8" x 5.5" SMOOTH	P47. BUILT-IN MILLWORK. OWNER PROVIDED. COORDINATE POWER & LIGHT LOCATIONS	P65. EXTERIOR SIGN LIGHT. SEE ELECTRICAL
	P32. FIBER CEMENT TRIM BOARD. 5/8" x 7.25" SMOOTH	P48. RECESSED WALL MOUNTED KNOXBOX MODEL 3270, DARK BRONZE	P66. EXTERIOR GFCI RECEPTACLES. SEE ELECTRICAL
		P49. METAL GUARD & HAND RAILS, PROVIDE SLEEVE/PLATE CONNECTIONS AT SUPPORT POSTS. OWNER PROVIDED	
		P50. SPIRAL SUPPLY DUCT. PAINT TO MATCH CEILING. SEE MECHANICAL	



1

CONSTRUCTION PLAN
MEZZANINE
SCALE: 1/4" = 1'-0"

PLAN
NORTH

GIBBON
ARCHITECTURE

3012 chadbourne road shaker, oh 44120
216.385.5793



SMITHS
CURATED

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CONSTRUCTION PLAN
MEZZANINE

SHEET NO.

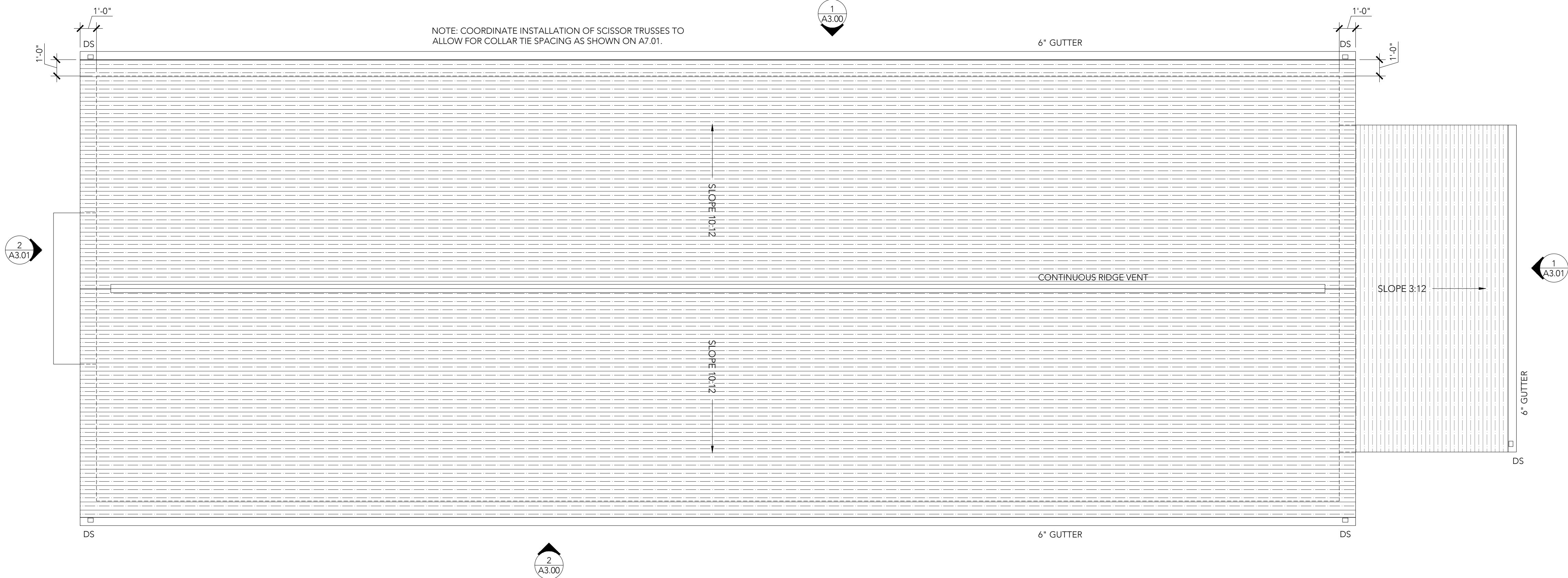
A2.01

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	-INDICATES DOOR NUMBER (SEE DOOR SCHEDULE)		

KEY NOTES: PLAN

P1. ASPHALT SHINGLE (CERTAINTED LANDMARK PRO, MAX DEF MOIRE BLACK) ON SYNTHETIC UNDERLAYMENT ON $\frac{3}{4}$ " APA RATED SHEATHING	P16. $\frac{7}{16}$ " APA RATED SHEATHING, EA. SIDE OF 2x8 STUDS @ 16" O.C. P17. X	P33. FIBER CEMENT TRIM BOARD. $\frac{5}{8}$ " x 11.25" SMOOTH	P51. X
P2. RIDGE VENT	P18. PELLA IMPERVIA WINDOW. DIRECT SET, FIXED WINDOW. APPLIED GRILLES (ALUM. DS1, $\frac{3}{4}$ "), BOTH SIDES. BLACK FINISH BOTH SIDES	P34. FIBER CEMENT TRIM BOARD. $\frac{3}{4}$ " x 5.5" SMOOTH	P52. X
P3. 24" SQ. MOP SINK. SEE PLUMBING	P19. PELLA RESERVE COMMERCIAL ENTRY DOOR. APPLIED GRILLES AND BLACK FINISH BOTH SIDES	P35. FIBER CEMENT TRIM BOARD. $\frac{3}{4}$ " x 7.25" SMOOTH	P53. X
P4. WATER BOTTLE FILLING STATION	P20. X	P36. FIBER CEMENT TRIM BOARD. $\frac{3}{4}$ " x 9.25" SMOOTH	P54. X
P5. FIRE EXTINGUISHER, SURFACE MOUNTED. MAINTAIN APPRACH CLEARANCE IN FRONT.	P21. X	P37. FIBER CEMENT TRIM BOARD. $\frac{3}{4}$ " x 11.25" SMOOTH	P55. 6x6 TREATED WOOD POSTS. SIMPSON POST CAP AND BASE, TYP.
P6. 1" CONTINUOUS RIGID INSULATION (R-5) OVER CONTINUOUS FULLY ADHERED VAPOR BARRIER. EXTEND RIGID INSULATION TO TOP PLATE. RODENT PROTECTION CAP AT BASE.	P22. X	P38. FIBER CEMENT SMOOTH PANEL BOARD	P56. $\frac{3}{4}$ " PLYWOOD SUB-FLOOR ON 2x12 WOOD JOISTS @ 16" O.C., DBL. EVERY OTHER. SEE STRUCTURAL
P7. BUILT-IN WOOD WINDOW SEAT. UPHOLSTERED CUSHION PROVIDED BY OWNER	P23. CONSTRUCTION JOINT	P39. 2x2 EXTERIOR TRIM	P57. X
P8. 6" K STYLE GUTTER, MATCH TRIM COLOR	P24. CONCRETE SLAB ON GRADE (INTEGRAL COLOR) OVER 6 MIL VAPOR BARRIER (CONTINUE UNDER ENTIRE SLAB) OVER 6" GRANULAR FILL. SEE STRUCTURAL	P40. 1x2 EXTERIOR TRIM	P58. X
P9. DOWNSPOUT, 3" x 4"	P25. X	P41. 1x1 EXTERIOR TRIM	P59. $\frac{3}{8}$ " GLASS-MAT PANELS, TYPE X
P10. FLOOR BOX. LOCATION SHOWN FOR REFERENCE. REFER TO ELECTRICAL DRAWINGS FOR FULL POWER SCOPE OF WORK.	P26. FROST SLAB. SEE STRUCTURAL	P42. DECORATIVE WOOD RIDGE BEAM. STAINED	P60. ROOF MEMBRANE FULLY ADHERED TO COVERBOARD ON TWO LAYERS BUILT-UP INSULATION. STAGGER JOINTS HORIZONTALLY & VERTICALLY. SLOPE TO DRAIN AT $\frac{1}{4}$ " :1' . 6" THICKNESS (R-30) MIN.
P11. 5.25" UNFACED HIGH DENSITY FIBERGLASS BATT INSULATION (R-21)	P27. SLOPE SIDEWALK $\frac{1}{4}$ " :1' AWAY FROM BUILDING. MAX. 2% CROSS SLOPE. SEE CIVIL	P43. DECORATIVE WOOD COLLAR TIE/BEAM. STAINED	P61. WALL MOUNTED RECESSED GALLERY TRACK, MATCH WALL COLOR
P12. X	P28. X	P44. 1x6 WOOD CASING, W/ 1" EDGE MOULDING. PAINTED	P62. CEILING FAN, OWNER PROVIDED
P13. X	P29. FIBER CEMENT VENTED SOFFIT BOARD. $\frac{1}{4}$ " x 12" SMOOTH	P45. 1x8 WOOD BASE. SQ. EDGE. PAINTED	P63. DECORATIVE LIGHT FIXTURE. OWNER PROVIDED
P14. $\frac{5}{8}$ " GYPSUM WALL BOARD, LEVEL 5 FINISH, PAINTED	P30. FIBER CEMENT TRIM BOARD. $\frac{3}{4}$ " x 3.5" SMOOTH	P46. 1x6 TONGUE & GROOVE WOOD PANELING, BOTH SIDE OF WALL, PAINTED. STAINED WOOD CAP	P64. EXTERIOR WALL SCONCE. SEE ELECTRICAL
P15. $\frac{7}{16}$ " APA RATED SHEATHING, EA. SIDE OF 2x6 STUDS @ 16" O.C.	P31. FIBER CEMENT TRIM BOARD. $\frac{3}{4}$ " x 5.5" SMOOTH	P47. BUILT-IN MILLWORK. OWNER PROVIDED. COORDINATE POWER & LIGHT LOCATIONS	P65. EXTERIOR SIGN LIGHT. SEE ELECTRICAL
	P32. FIBER CEMENT TRIM BOARD. $\frac{3}{4}$ " x 7.25" SMOOTH	P48. RECESSED WALL MOUNTED KNOXBOX MODEL 3270, DARK BRONZE	P66. EXTERIOR GFCI RECEPTACLES. SEE ELECTRICAL
		P49. METAL GUARD & HAND RAILS, PROVIDE SLEEVE/PLATE CONNECTIONS AT SUPPORT POSTS. OWNER PROVIDED	
		P50. SPIRAL SUPPLY DUCT. PAINT TO MATCH CEILING. SEE MECHANICAL	



1

CONSTRUCTION PLAN
ROOF
SCALE: 1/4" = 1'-0"

PLAN
NORTH

GIBBON
ARCHITECTURE

3012 chadbourne road shaker, oh 44120
216.385.5793



SMITHS
CURATED

PROJECT INFORMATION

PROPOSED NEW CONSTRUCTION:
SMITHS CURATED BLDG.
48 CLINTON STREET
HUDSON, OH 44236

GA PROJECT NO. 2020.013

PROFESSIONAL SEAL

DATE
JEFFREY W GIBBON OH LICENSE: ARC.1416217
EXPIRATION 12/31/2021

DRAWING ISSUE RECORD
DATE TITLE
2021-0514 PERMIT / BID SET
2021-0526 CITY PLANNING REVIEW

REVISION SCHEDULE
NO. DATE DESCRIPTION

SHEET DATE 05/26/2021
CITY PLANNING REVIEW

SHEET TITLE
CONSTRUCTION PLAN
ROOF

SHEET NO.

A2.02

ISSUED FOR CITY PLANNING REVIEW

LEGEND

#

A#00

-INDICATES DETAIL OR PLAN NUMBER

-INDICATES DWG SHEET NUMBER

#

A#00

-INDICATES ELEVATION NUMBER

-INDICATES DWG SHEET NUMBER

#

A#00

-INDICATES SECTION NUMBER

-INDICATES DWG SHEET NUMBER

#

-INDICATES KEY NOTE NUMBER

(SEE KEY NOTE LEGEND, THIS SHEET)

#

-INDICATES ACCESSORY KEY NOTE

(SEE LEGEND ON SHEET A3.51)

-INDICATES ELEVATION HEIGHT

KEY NOTES: ELEVATION/SECTION

GENERAL NOTES

1. REFER TO GENERAL NOTES AS WELL AS KEY NOTES ON ARCHITECTURAL PLANS. CONTRACTOR IS RESPONSIBLE TO COORDINATE BETWEEN INFORMATION ON ALL CONTRACT DOCUMENTS INCLUDING THE ARCHITECTURAL AND ENGINEERING DRAWINGS, AND INFORMATION PROVIDED BY THE OWNER AND INTERIOR DESIGNER.

2. REFER ALSO TO FIXTURE LEGEND ON A3.51& FINISH LEGEND ON A3.52.

3. ITEMS NOTED AS "OWNER PROVIDED" WILL BE SPECIFIED AND PURCHASED BY OWNER AND/OR INTERIOR DESIGNER. GC TO INSTALL GC TO COORDINATE DELIVERY, INSTALLATION, AND LOGISTICS WITH OWNER.

KEY NOTES: ELEVATION/SECTION

E1. ASPHALT SHINGLE (CERTAINTED LANDMARK PRO, MAX DEF MOIRE BLACK) ON SYNTHETIC UNDERLAYMENT ON $\frac{3}{8}$ " APA RATED SHEATHING. NO SUBSTITUTIONS.

E2. CONTINUOUS RIDGE VENT, TO MATCH ROOFING FINISH.

E3. FABRICATED SCISSOR TRUSS. 10:12 TOP CHORD, 8:12 BOTTOM CHORD. SIZE & LAYOUT BY TRUSS MANUFACTURER. PROVIDE SHOP DRAWINGS PRIOR TO FABRICATION. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. COORDINATE INSTALLATION OF SCISSOR TRUSSES TO ALLOW FOR COLLAR TIE SPACING AS SHOWN ON A7.01.

E4. ATTIC VENTILATION BAFFLE (1" MIN. DEPTH) ATTACHED TO ROOF SHEATHING ABOVE.

E5. CLOSURE CAP: 1" RIGID INSULATION (R-5) BTWN. ROOF JOISTS & ROUGH CUT AROUND RAFTER VENT. SEAL PERIMETER WITH EXPANDING FOAM SEALANT.

E6. 1" CONTINUOUS RIGID INSULATION (R-5) OVER CONTINUOUS FULLY

ADHERED VAPOR BARRIER. EXTEND RIGID INSULATION TO TOP PLATE. RODENT PROTECTION CAP AT BASE.

E7. METAL DRIP EDGE.

E8. 6" K STYLE GUTTER, GUTTER COLOR TO MATCH TRIM.

E9. DOWNSPOUT, 3" x 4". REFER TO PLUMBING AND CIVIL DRAWINGS.

E10. 10.25" HIGH DENSITY "CATHEDRAL" FIBERGLASS BATT. INSULATION (R-38 MIN.)

E11. 5.25" UNFACED HIGH DENSITY FIBERGLASS BATT INSULATION (R-21)

E12. 2" FOIL FACED POLYISO INSULATION (R-13) FASTENED TO UNDERSIDE OF TRUSS CHORD. TAPE SEAMS

E13. $\frac{3}{8}$ " FURRING STRIPS

E14. $\frac{3}{8}$ " GYPSUM WALL BOARD, LEVEL 5 FINISH, PAINTED

E15. $\frac{7}{8}$ " APA RATED SHEATHING, EA. SIDE OF 2x6 STUDS @ 16" O.C.

E16. $\frac{7}{8}$ " APA RATED SHEATHING, EA. SIDE OF 2x8 STUDS @ 16" O.C.

E17. SEE STRUCTURAL FOR BEAM/HEADER SCHEDULE. RIGID INSULATION BETWEEN HEADERS, WHERE APPLICABLE

E18. PELLA IMPERVIA WINDOW. DIRECT SET, FIXED WINDOW. APPLIED GRILLES (ALUM. DS1, $\frac{5}{8}$ "), BOTH SIDES. BLACK FINISH BOTH SIDES

E19. PELLA RESERVE COMMERCIAL ENTRY DOOR. APPLIED GRILLES AND BLACK FINISH BOTH SIDES

E20. CONTINUOUS 2x6 TREATED PLATE WITH $\frac{3}{8}$ " DIA. ANCHOR BOLTS @ 32" O.C. SEE STRUCTURAL FOR DETAIL

E21. CONCRETE FOUNDATION, FOOTING & GEOPIERS. SEE STRUCTURAL FOR DETAIL

E22. 3" RIGID INSULATION (R-15) CONTINUOUS AT INSIDE FACE OF FOUNDATION

E23. 1" ISO BOARD AT SLAB EDGE. BACKER ROD AND SEAL

E24. EXPOSED AND FINISHED CONCRETE SLAB ON GRADE OVER 6 MIL VAPOR BARRIER (CONTINUE UNDER ENTIRE SLAB) OVER 6" GRANULAR FILL. SEE STRUCTURAL FOR SPECIFICATIONS AND DETAILS. SEE FINISH LEGEND FOR FINISH INFORMATION.

E25. 6" AIR SPACE

E26. FROST SLAB. SEE STRUCTURAL

E27. SLOPE SIDEWALK $\frac{1}{4}$ " : 1' AWAY FROM BUILDING. MAX. 2% CROSS SLOPE. SEE CIVIL

E28. MAINTAIN MIN. 2" CLEARANCE FROM GRADE TO FIBER CEMENT BOARD, TYP. IN ALL LOCATIONS

E29. FIBER CEMENT VENTED SOFFIT BOARD. $\frac{1}{4}$ " x 12" SMOOTH

E30. FIBER CEMENT TRIM BOARD. $\frac{3}{4}$ x 3.5" SMOOTH

E31. FIBER CEMENT TRIM BOARD. $\frac{3}{4}$ x 5.5" SMOOTH

E32. FIBER CEMENT TRIM BOARD. $\frac{3}{4}$ x 7.25" SMOOTH

E33. FIBER CEMENT TRIM BOARD. $\frac{3}{4}$ x 11.25" SMOOTH

E34. FIBER CEMENT TRIM BOARD. $\frac{3}{4}$ x 5.5" SMOOTH

E35. FIBER CEMENT TRIM BOARD. $\frac{3}{4}$ x 7.25" SMOOTH

E36. FIBER CEMENT TRIM BOARD. $\frac{3}{4}$ x 9.25" SMOOTH

E37. FIBER CEMENT TRIM BOARD. $\frac{3}{4}$ x 11.25" SMOOTH

E38. FIBER CEMENT SMOOTH PANEL BOARD

E39. FIBER CEMENT, V-GROOVE ASPYRE ARTISAN. $\frac{3}{4}$ " x 7" EXPOSURE

E40. 2x2 EXTERIOR TRIM

E41. 1x2 EXTERIOR TRIM

E42. $\frac{1}{2}$ x 2 EXTERIOR TRIM

E43. 1x1 EXTERIOR TRIM

E44. DECORATIVE WOOD RIDGE BEAM. PRE-FABRICATED AND PRE-FINISHED. REFER TO 8/A4.00.

E45. DECORATIVE WOOD COLLAR TIE/BEAM. PRE-FABRICATED AND PRE-FINISHED. REFER TO 7/A4.00.

E46. 1x6 WOOD CASING, W/ 1" EDGE MOLDING, TYP. PAINTED

E47. WOOD BASE. SQ. EDGE. PAINTED. SEE FINISH LEGEND.

E48. 1x6 TONGUE & GROOVE WOOD PANELING, BOTH SIDE OF WALL, PAINTED. WOOD CAP. SEE FINISH LEGEND.

E49. BUILT-IN MILLWORK. OWNER PROVIDED. COORDINATE, BLOCKING, POWER & LIGHTING, CONTROLS LOCATIONS.

E50. RECESSED WALL MOUNTED KNOXBOX MODEL 3270, DARK BRONZE

E51. METAL GUARD & STAIR HAND RAILS. PROVIDE SLEEVE/PLATE CONNECTIONS AT SUPPORT POSTS. OWNER PROVIDED. PRE-FINISHED AT SHOP. SHOP DRAWINGS TO BE PROVIDED BY VENDOR TO ARCHITECT AND GC.

E52. SPIRAL SUPPLY DUCT. PAINT TO MATCH CEILING. SEE MECHANICAL

E53. 2x6 OUTLOOKERS @ 24" O.C. SEE STRUCTURAL

E54. SIMPSON TIE. SEE STRUCTURAL

E55. 2x10 WOOD RAFTERS @ 16" O.C. SEE STRUCTURAL

E56. 2x8 WOOD JOISTS @ 16" O.C.

E57. 6x6 TREATED WOOD POSTS. SIMPSON POST CAP AND BASE, TYP.

E58. $\frac{3}{4}$ " PLYWOOD SUB-FLOOR ON 2x12 WOOD JOISTS @ 16" O.C., DBL EVERY OTHER. SEE STRUCTURAL

E59. RESILIENT CHANNELS @ 16" O.C. AT RIGHT ANGLE TO JOISTS. TYPE SAW SCREW ATTACHMENTS TO JOISTS

E60. METAL FLASHING

E61. $\frac{3}{8}$ " GLASS-MAT PANELS, TYPE X

E62. ROOF MEMBRANE FULLY ADHERED TO COVERBOARD ON TWO LAYERS BUILT-UP INSULATION. STAGGER JOINTS HORIZONTALLY & VERTICALLY. SLOPE TO DRAIN AT $\frac{1}{4}$ " : 1'. 6" THICKNESS (R-30) MIN.

E63. DISPLAY REVEAL A1025 BY "AS HANGING DISPLAY SYSTEM". FULLY RECESSED/CONCEALED FLANGE WALL MOUNT GALLERY ALUMINUM TRACK. MATCH COLOR TO BE WHITE. ANCHOR TO STUDS AND BLOCKING PER INSTALLATION SPECIFICATIONS. CONFIRM FINAL MOUNTING HEIGHTS IN FIELD WITH OWNER.

E64. CEILING FAN, OWNER PROVIDED. SEE MECHANICAL.

E65. DECORATIVE LIGHT FIXTURE. OWNER PROVIDED. SEE ELECTRICAL.

E66. EXTERIOR WALL SCONCE. SEE ELECTRICAL

E67. EXTERIOR SIGN LIGHT. SEE ELECTRICAL

E68. EXTERIOR GFCI RECEPTACLES. SEE ELECTRICAL

E69. CONSTRUCTION JOINT.

E70. CONTINUOUS METAL CURTAIN TRACK. OWNER PROVIDED. COORDINATE INSTALLATION WITH OWNER. CURTAINS PROVIDED BY OWNER.

E71. EXTERIOR METAL BUILDING SIGN, INTERNALLY HALO LIT. INDIVIDUALLY MOUNTED PAINTED ALUMINUM LETTERS. EXTERIOR SIGNAGE WILL BE SUBMITTED SEPARATELY TO THE CITY OF HUDSON FOR APPROVAL. INSTALLATION TO OCCUR AS PART OF CONSTRUCTION.

GIBBON
ARCHITECTURE

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48 CLINTON STREET
HUDSON, OH 44236

GA PROJECT NO. 2020.013

PROFESSIONAL SEAL

DATE _____
JEFFREY W GIBBON OH LICENSE: ARC.1416217
EXPIRATION 12/31/2021

DRAWING ISSUE RECORD

DATE

TITLE

2021-0514

PERMIT / BID SET

2021-0526

CITY PLANNING REVIEW

REVISION SCHEDULE

NO.

DATE

DESCRIPTION

SHEET DATE 05/26/2021
CITY PLANNING REVIEW

SHEET TITLE
CONSTRUCTION
BUILDING ELEVATIONS

SHEET NO.
A3.00

LEGEND	
	-INDICATES DETAIL OR PLAN NUMBER -INDICATES DWG SHEET NUMBER
	-INDICATES ELEVATION NUMBER -INDICATES DWG SHEET NUMBER
	-INDICATES SECTION NUMBER -INDICATES DWG SHEET NUMBER
	-INDICATES KEY NOTE NUMBER (SEE KEY NOTE LEGEND, THIS SHEET)
	-INDICATES ACCESSORY KEY NOTE (SEE LEGEND ON SHEET A3.51)
	-INDICATES ELEVATION HEIGHT

KEY NOTES: ELEVATION/SECTION	
GENERAL NOTES 1. REFER TO GENERAL NOTES AS WELL AS KEY NOTES ON ARCHITECTURAL PLANS. CONTRACTOR IS RESPONSIBLE TO COORDINATE BETWEEN INFORMATION ON ALL CONTRACT DOCUMENTS INCLUDING THE ARCHITECTURAL AND ENGINEERING DRAWINGS, AND INFORMATION PROVIDED BY THE OWNER AND INTERIOR DESIGNER. 2. REFER ALSO TO FIXTURE LEGEND ON A3.51& FINISH LEGEND ON A3.52. 3. ITEMS NOTED AS "OWNER PROVIDED" WILL BE SPECIFIED AND PURCHASED BY OWNER AND/OR INTERIOR DESIGNER. GC TO INSTALL. GC TO COORDINATE DELIVERY, INSTALLATION, AND LOGISTICS WITH OWNER.	ADHERED VAPOR BARRIER. EXTEND RIGID INSULATION TO TOP PLATE. RODENT PROTECTION CAP AT BASE. E7. METAL DRIP EDGE. E8. 6" K STYLE GUTTER, GUTTER COLOR TO MATCH TRIM. E9. DOWNSPOUT, 3" x 4". REFER TO PLUMBING AND CIVIL DRAWINGS. E10. 10.25" HIGH DENSITY "CATHEDRAL" FIBERGLASS BATT. INSULATION (R-38 MIN.) E11. 5.25" UNFACED HIGH DENSITY FIBERGLASS BATT INSULATION (R-21) E12. 2" FOIL FACED POLYISO INSULATION (R-13) FASTENED TO UNDERSIDE OF TRUSS CHORD. TAPE SEAMS E13. 3/8" FURRING STRIPS E14. 5/8" GYPSUM WALL BOARD, LEVEL 5 FINISH, PAINTED E15. 5/8" APA RATED SHEATHING, EA. SIDE OF 2x6 STUDS @ 16" O.C. E16. 5/8" APA RATED SHEATHING, EA. SIDE OF 2x8 STUDS @ 16" O.C. E17. SEE STRUCTURAL FOR BEAM/HEADER SCHEDULE. RIGID INSULATION BETWEEN HEADERS, WHERE APPLICABLE E18. PELLA IMPERVIA WINDOW. DIRECT SET, FIXED WINDOW. APPLIED GRILLES (ALUM. D51, 5/8"), BOTH SIDES. BLACK FINISH BOTH SIDES E19. PELLA RESERVE COMMERCIAL ENTRY DOOR. APPLIED GRILLES AND BLACK FINISH BOTH SIDES E20. CONTINUOUS 2x6 TREATED PLATE WITH 3/8" DIA. ANCHOR BOLTS @ 32" O.C. SEE STRUCTURAL FOR DETAIL E21. CONCRETE FOUNDATION, FOOTING & GEOPIERS. SEE STRUCTURAL FOR DETAIL E22. 3" RIGID INSULATION (R-15) CONTINUOUS AT INSIDE FACE OF FOUNDATION
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CONSTRUCTION
BUILDING ELEVATIONS

SHEET NO.

A3.01



ENGINEERING • 1140 Terex Road • Hudson, Ohio 44236 • (330) 342-1770

Date: November 20, 2020

To: Nick Sugar, Senior Planner, Community Development

From: Nate Wonsick, P.E., Assistant City Engineer

Re: **48 Clinton Street New Building
Engineering Review - Viewpoint #20-528**

The City of Hudson Engineering Department has reviewed the plans submitted and the comments are below. Note: The City of Hudson Engineering Standards (Engineering Standards) and Land Development Code (LDC) are available online at the City of Hudson Website www.hudson.oh.us under the Engineering Dept. and Community Development Department respectively. The standards are also available in print for a fee. Please contact our office (330-342-1770) if you would like a cost for the printed version.

Other agency approvals that will be needed prior to the City of Hudson Final Engineering acceptance include:

1. Summit County Building Standards shall review the building structures.
2. Summit County DSSS shall review and approve the sanitary sewer for this site. (note: there will likely be no basement or hung plumbing due to routine sanitary backups in this area of the system.)
3. Northeast Ohio Regional Sewer District shall review the storm water management system.
4. **Submit documentation of approval of all the above.**

(None of the previous plan comments were addressed with this submittal. All previous comments have been repeated below). **Detailed Plan Comments:**

5. Label all silt fence on the plans and provide a silt fence detail. Silt fence shall be installed downstream of all disturbed areas. Also show inlet protection on nearby inlets that could receive sediment laden runoff from construction and provide an inlet protection detail.
6. Provide a catch basin detail for CB's 1-5 or indicate the standard ODOT detail to be used.

Storm Sewer/ Storm Water Management Comments:

7. A professional engineer shall stamp and sign the storm water management plans and calculations.
8. Include the 2- and 5-year storm event peak flow rates in the summary chart in the report.
9. Submit a draft copy of the Long-Term Maintenance Agreement for the underground detention pipes. The City LTMA Template has been uploaded for your use.
10. A 30' wide access easement to the City of Hudson shall granted to the underground detention pipes and shall also be 30' past the 100-year water surface of the system. **Show the limits of this easement on the improvement plans.**

If you have any questions, please contact me.

Sincerely,

Nate Wonsick, P.E.
Assistant City Engineer



SHAWN KASSON
Fire Marshal

skasson@hudson.oh.us
(330) 342-1869

M E M O R A N D U M

DATE: July 20, 2020

TO: Greg Hannan, Community Development Director

FROM: Shawn Kasson, Fire Marshal SK

SUBJECT: 48 Clinton Street

I have reviewed the site plan set dated *May 2020* for the proposed building at 48 Clinton Street. Upon review I have the following comment:

- A Knox Box must be furnished and installed in an approved location.

Please contact me with any questions.

Site Photos

