



REVISIONS:

1.

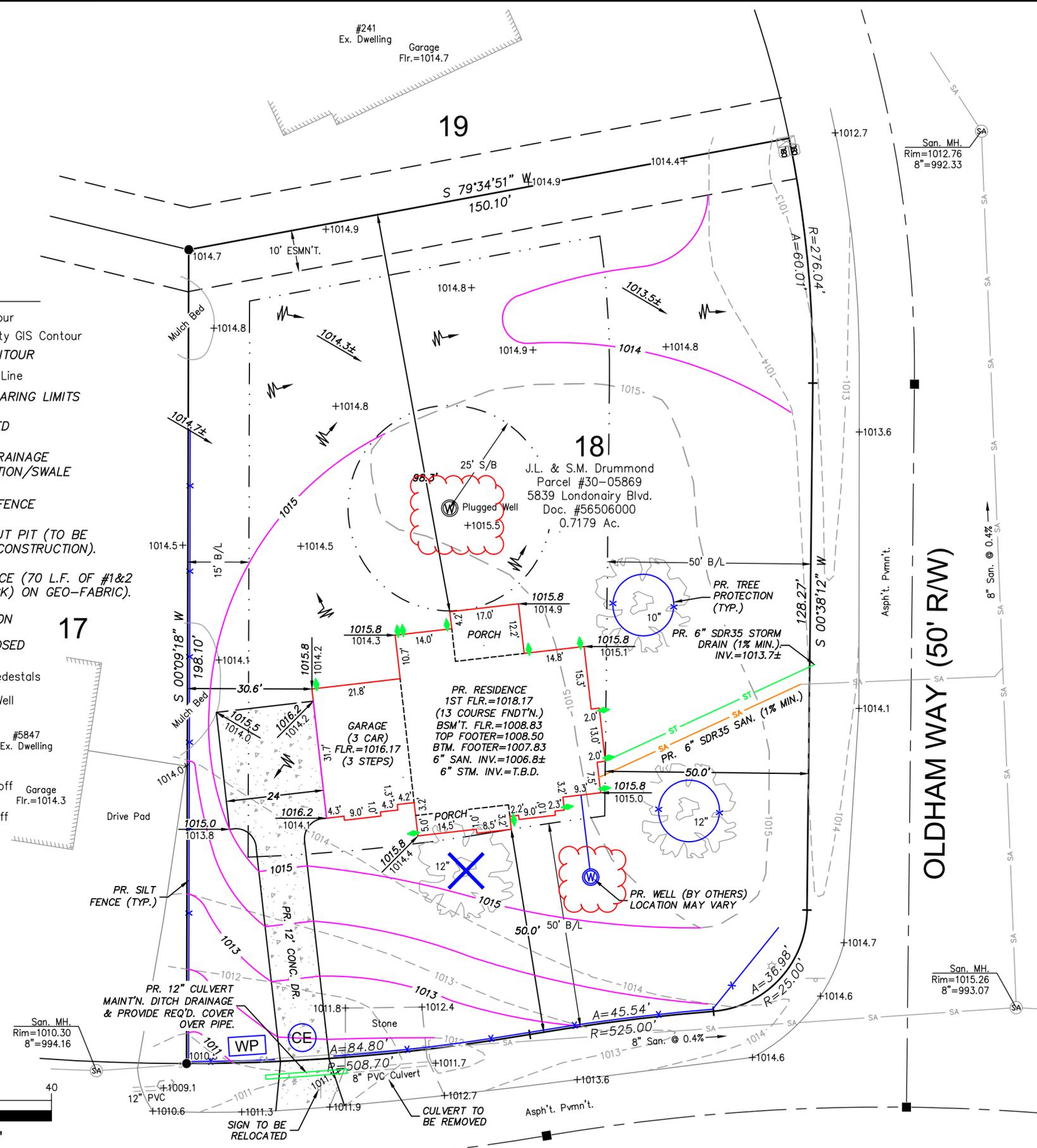
LEGEND

- 998 --- Ex. Contour
- 1000 --- Ex. County GIS Contour
- 1002 --- PR. CONTOUR
- Ex. Tree Line
- PR. CLEARING LIMITS
- ✕ TREE TO BE REMOVED
- AS-BUILT PR. GRADE Ex. Grade
- PR. DRAINAGE DIRECTION/SWALE
- PR. SILT FENCE
- WP PR. CONC. WASHOUT PIT (TO BE MAINTN'D. DURING CONSTRUCTION).
- CE PR. CONST. ENTRANCE (70 L.F. OF #1&2 LIMESTONE (12" THICK) ON GEO-FABRIC).
- PR. DOWNSPOUT LOCATION
- Ex. = Existing PR. = PROPOSED
- Ex. Utility Pole & Pedestals
- Ex. Mailbox
- Ex. Well
- Ex. San./Stm. MH.
- Ex. Stm. Inlets
- Ex. Dwelling #5847
- Ex. Hyd./Valve & Shutoff
- Ex. Gas Valve & Shutoff
- Iron/Steel Pin Fnd.
- Iron/Steel Pipe Fnd.
- Mon. Fnd.

17

18

19



SCALE: 1" = 20'

DATUM:
B.O.B.: RECORD PLAT
VERT: IMPROVEMENT PLANS

LONDONAIRY BLVD. (50' R/W)

OLDHAM WAY (50' R/W)

TOPOGRAPHIC SURVEY & SITE PLAN

for
~The Drummond Residence~
to be built by
LDA Builders, Inc.

Situated in the City of Hudson, County of Summit and State of Ohio: And known as being Sublot 18 in the Bridgewater Place No. 1 Sub'd., as recorded in Plat Cab. C, Slid's. 772-775.

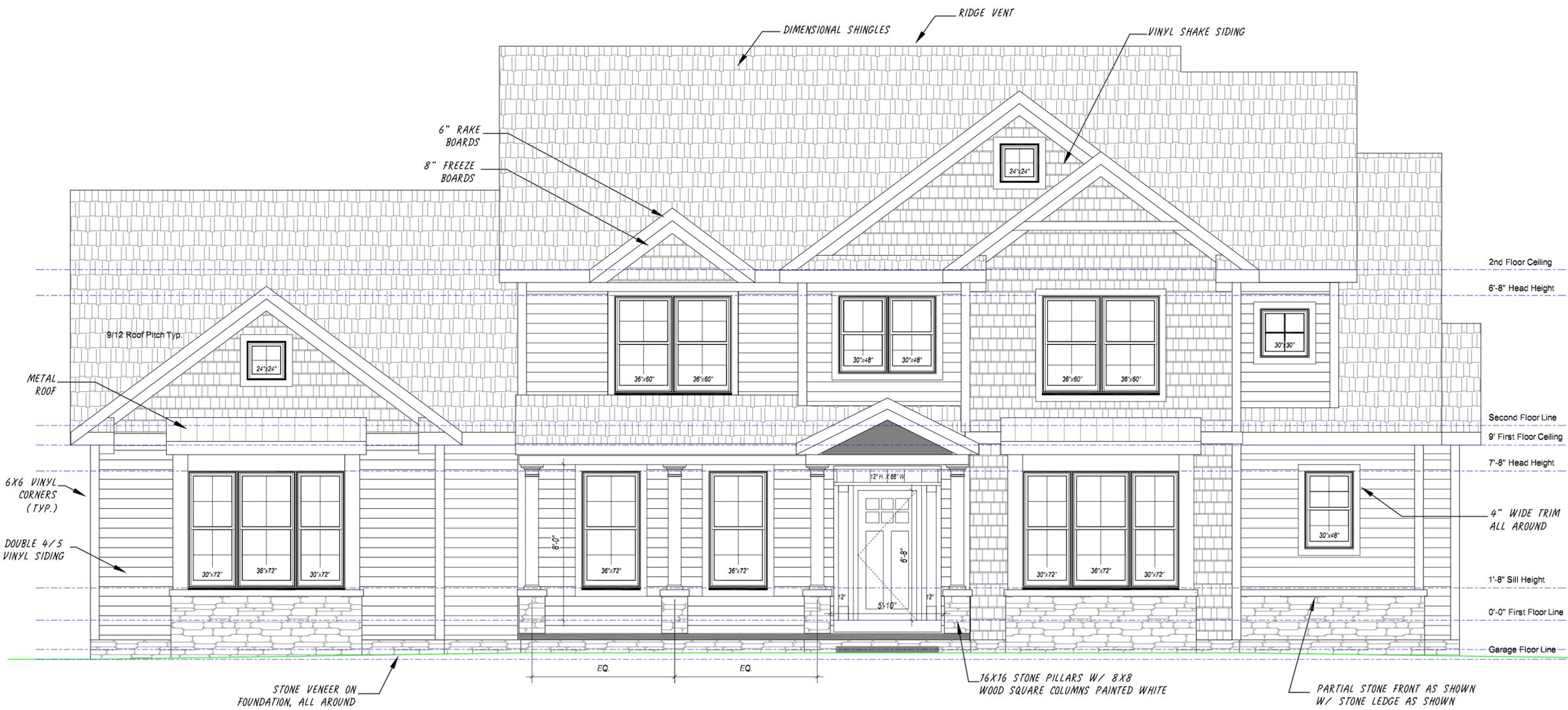
CONSTRUCTION NOTES:

1. Contractor must verify all foundation dimensions and proposed grades shown on this plan. Any errors resulting from failure to check or to notify the surveyor of any changes shall not be the responsibility of Apex Land Surveying.
2. Contractor to notify utilities protection services/ O.U.P.S. prior to construction.
3. Silt fence must surround all excavation areas so that no silt escapes site.
4. All grades shall comply w/corresponding government office.
5. Maintain positive yard drainage away from house and a minimum slope of 1% along all swales.
6. Contractor shall verify location and depths of existing laterals & verify if proper connections can be made to house. Contact corresponding government office or utility owner if discrepancies occur.
7. All sewer connections must maintain a minimum slope of 1%.
8. Footer drain & downspouts are to be tied into storm drain. Refer to house plans for downspout locations.
9. A foundation sump pump is required.
10. The location of utilities shown hereon are based on observed evidence of above ground appurtenances used along with plan information provided to the surveyor. The location of these utilities may vary and are subject to field verification prior to construction. Additional utilities may be encountered.
11. This plan does not represent a boundary survey, pursuant to ORC 4733-37.
12. There was no search for easements of record, right-of-ways, restrictive covenants, encumbrances, ownership title evidence, or any other facts that a title search may disclose.



Know what's below.
Call before you dig.

<p>SURVEYED BY:</p> <p>APEX LAND SURVEYING KELLY D. DUNFORD, P.S. 8182 2858 FULMER DR., SILVER LAKE, OH (330) 928-7750 ps8182@sbcglobal.net www.apexlandsurveying.com</p>	TITLE: TOPO & SITE PLAN	DATE: MAY 2021
	CLIENT: LDA BUILDERS	PROJ.: 2019083
	SCALE: 1" = 20'	FILE: 2019083.dwg
	DRAWN BY: KDD	CHECKED BY: KDD
	CREW: KDD	SHEET: 1 OF 1
SHEET SIZE: 17" X 22"		



Front Elevation (S/L 18 - 5839 Londonairy Drive)

PARCLE #30-05869
 S/L 18 - "Bridgewater Place" Subdivision
 5839 Londonairy Drive, Hudson, Ohio
 Apx. Lot Size - 155.34' Frontage x 198.09' Deep on the Left, 1.13 acres
 Overall House Size - 70' W x 54' 4" D, 3200 Sq ft on lot
 2785 Sq ft Living Area,
 (1850 Sq ft on First floor & 936 Sq ft on Second floor)
 1850 Sq ft Basement and 708 Sq ft of Garage

SO 18C

LDA BUILDERS
 INCORPORATED
 Boston Hts., Ohio U.S.A. * Phone/Fax Clevel(330) 528-3800 * Akron(330) 342-4240
 TITLE CUSTOM 1 1/2 - STORY (2782 sq.ft.) NO. 21-5018C-10
 FRONT ELEVATION

REVISIONS	BY	DATE

SCALE .25" = 1'
 DATE 05/11/17
 DRN /Z
 AP'VD

CUSTOMER
**Joshua & Susan
 Drummond**



Left Side Elevation

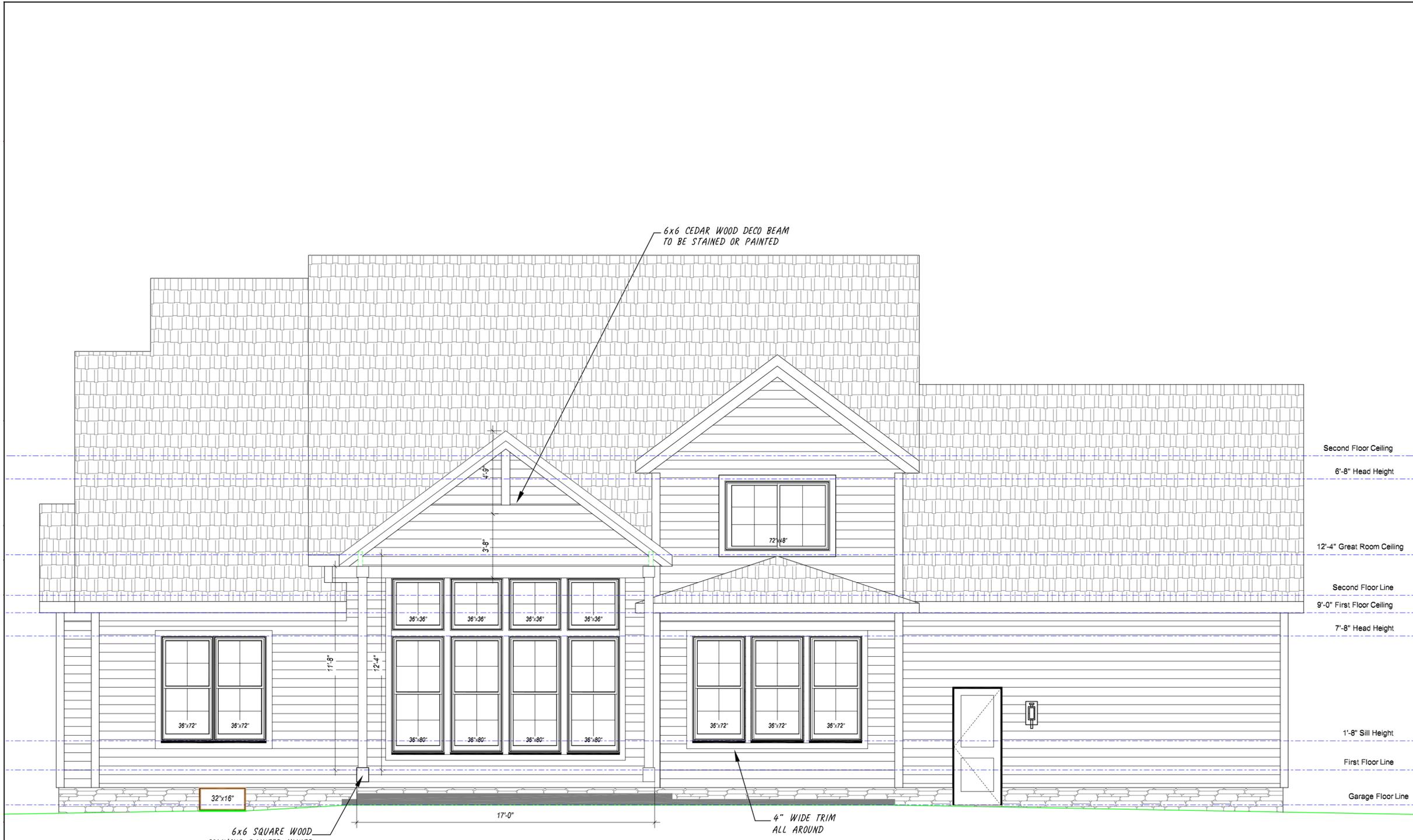
LDA BUILDERS
INCORPORATED
Boston Hts., Ohio U.S.A. * Phone/Fax Clev(330) 528-3800 * Akron(330) 342-4240
TITLE *CUSTOM 1 1/2 - STORY (2782 sq.ft.)* NO. *21-9018C-11*

LDA

REVISIONS	BY	DATE

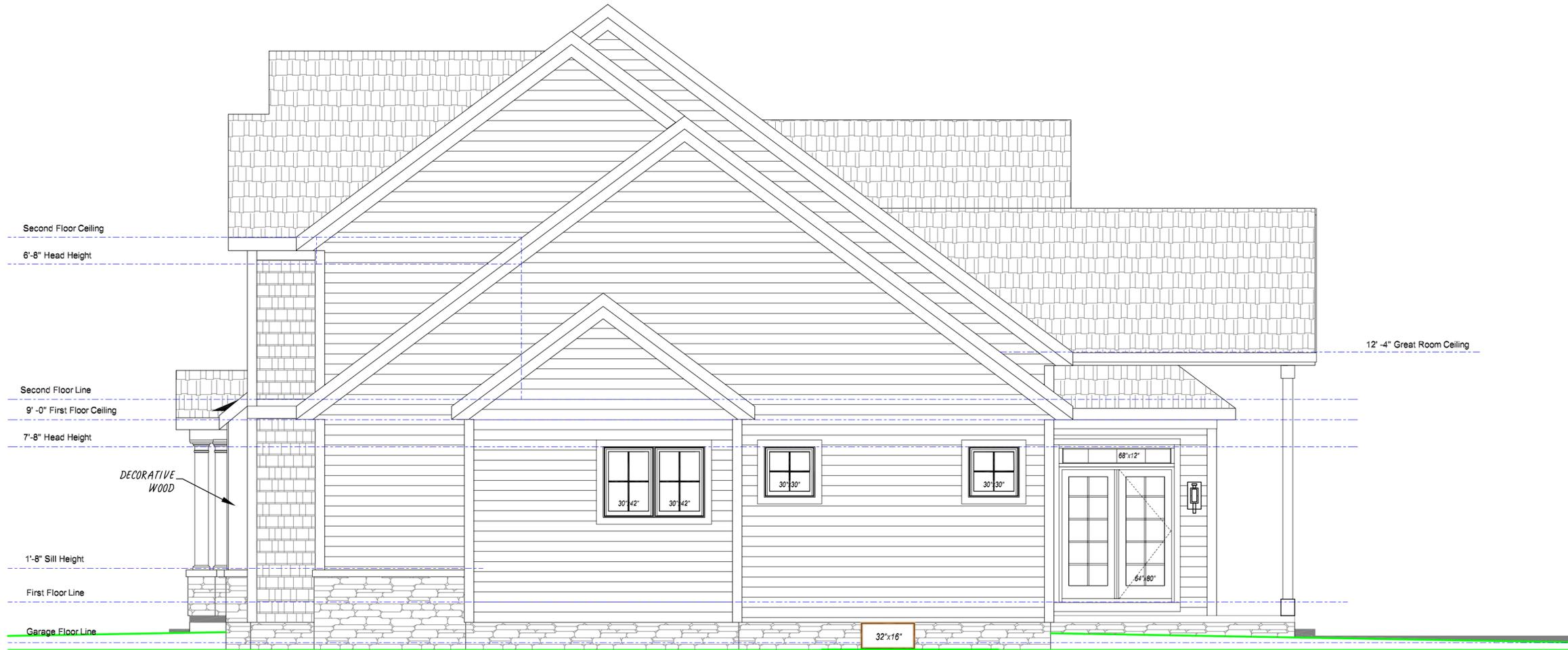
SCALE	.25" = 1'
DATE	05/11/17
DRN	JZ
APP'D	

CUSTOMER
Joshua & Susan
Drummond



Rear Elevation

<p>LDA BUILDERS INCORPORATED Boston Hts., Ohio U.S.A. • Phone/Fax Clev(330) 528-3800 • Akron(330) 342-4240</p>	<p>TITLE CUSTOM 1 1/2-STORY (2782 sq.ft.) NO. 21-5018C-12</p>	
	<p>REAR ELEVATION</p>	
	<p>SCALE .25" = 1'</p>	<p>DATE 05/12/17</p>
	<p>DRN /Z</p>	<p>CHK'D</p>
<p>CUSTOMER</p>	<p>Joshua & Susan Drummond</p>	
<p>REVISIONS</p>	<p>BY</p>	<p>DATE</p>



Right Side Elevation

CUSTOMER
**Joshua & Susan
 Drummond**

SCALE .25" = 1'
 DATE 05/11/17
 DRN /Z
 AP'VD

REVISIONS

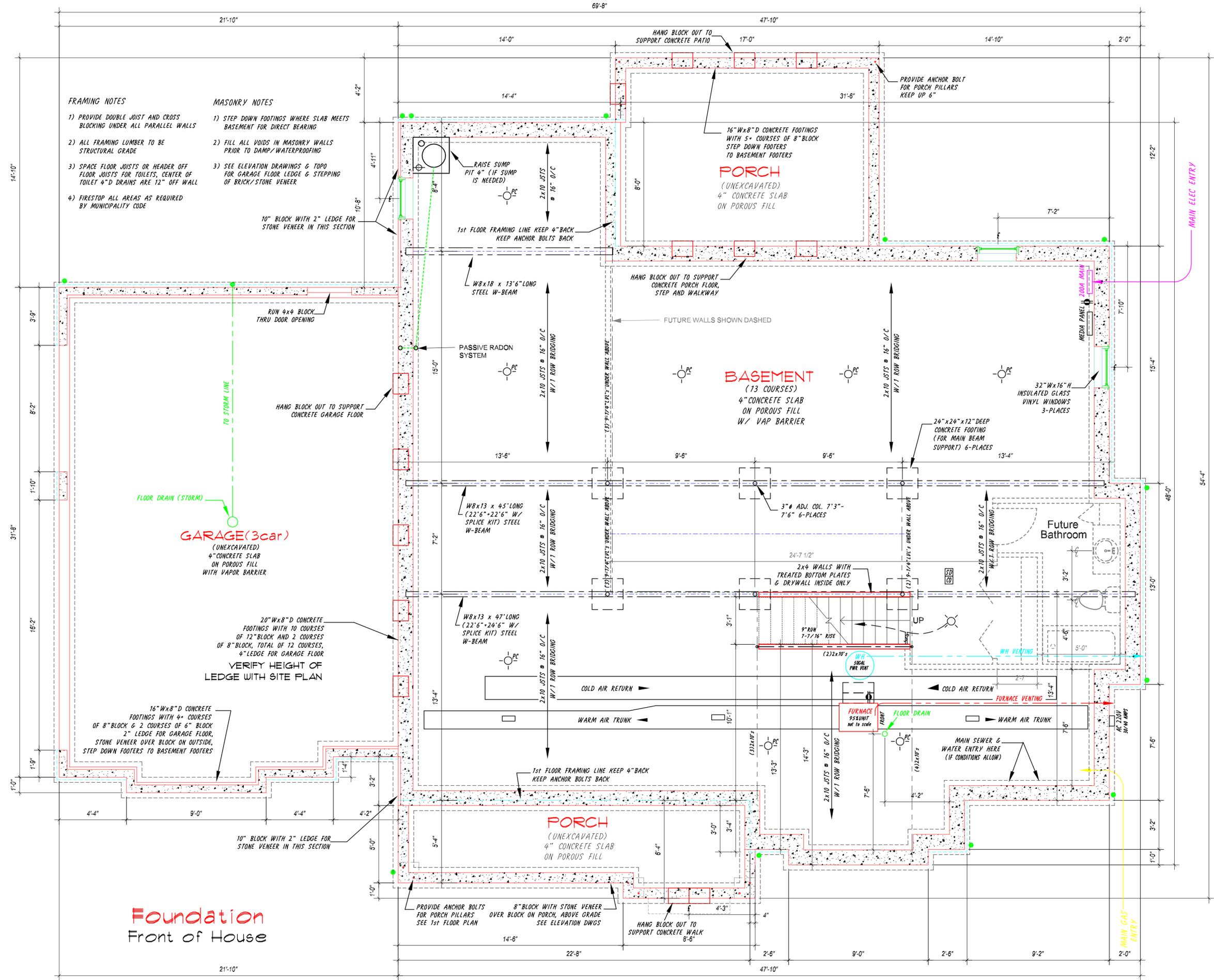
BY

DATE



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 TITLE **CUSTOM 1 1/2- STORY (2782 sq.ft.)** NO. **21-5018C-13**
 RIGHT SIDE ELEVATION



FRAMING NOTES

- 1) PROVIDE DOUBLE JOIST AND CROSS BLOCKING UNDER ALL PARALLEL WALLS
- 2) ALL FRAMING LUMBER TO BE STRUCTURAL GRADE
- 3) SPACE FLOOR JOISTS OR HEADER OFF FLOOR JOISTS FOR TOILETS, CENTER OF TOILET 4" D DRAINS ARE 12" OFF WALL
- 4) FIRESTOP ALL AREAS AS REQUIRED BY MUNICIPALITY CODE

MASONRY NOTES

- 1) STEP DOWN FOOTINGS WHERE SLAB MEETS BASEMENT FOR DIRECT BEARING
- 2) FILL ALL VOIDS IN MASONRY WALLS PRIOR TO DAMP/WATERPROOFING
- 3) SEE ELEVATION DRAWINGS & TOPO FOR GARAGE FLOOR LEDGE & STEPPING OF BRICK/STONE VENEER

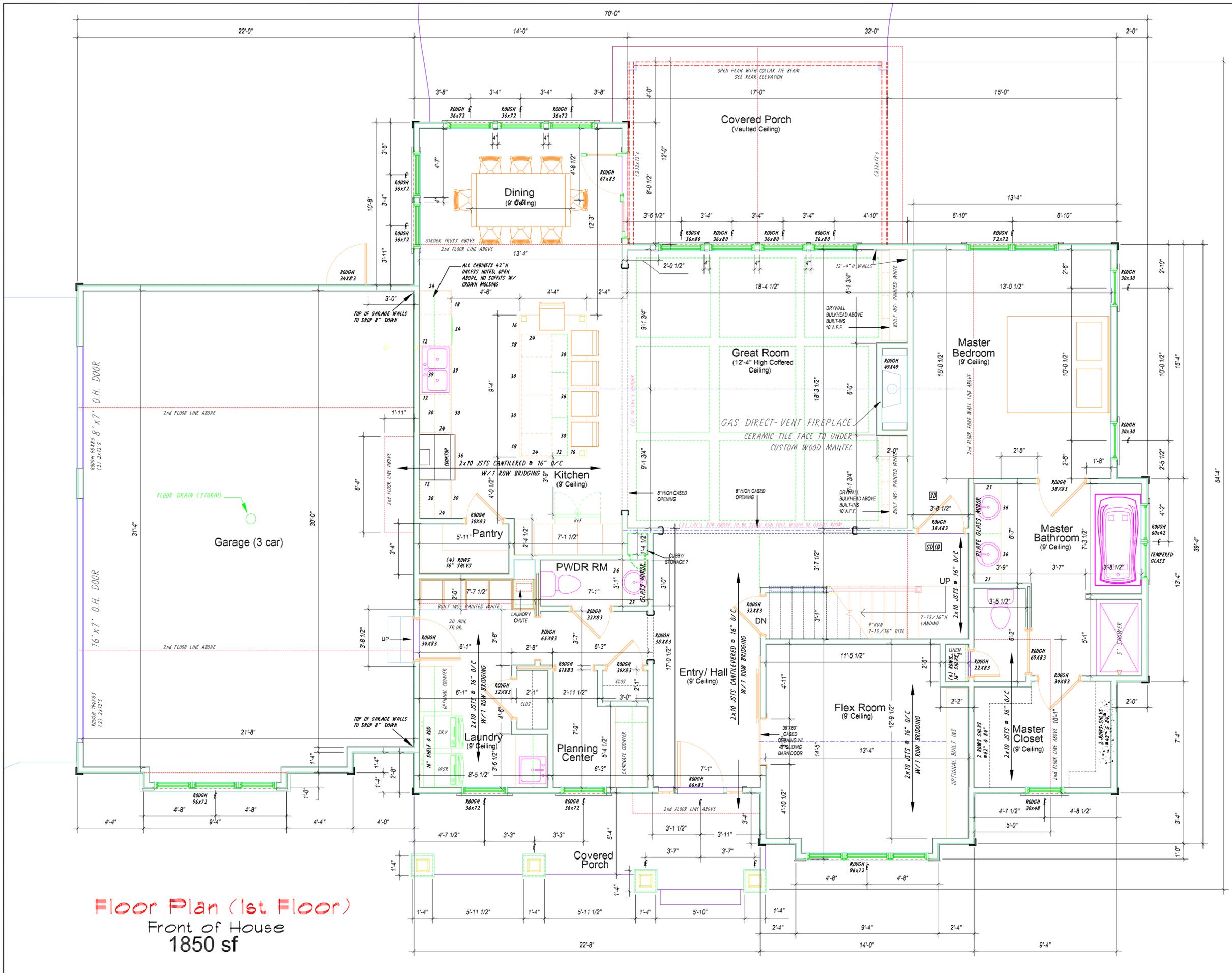
Foundation
Front of House

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No. 21-5018C-22

FOUNDATION PLAN
CUSTOMER: Joshua & Susan Drummond
TITLE: CUSTOM 1 1/2-STORY (2782 sq.ft.)

REVISIONS	BY	DATE

SCALE: .25" = 1'
DATE: 05/11/21
DRN: /Z
APP'VD: /



Floor Plan (1st Floor)
 Front of House
 1850 sf

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 TITLE CUSTOM 1 1/2 - STORY (2782 sq.ft.) NO. 21-508C-23
 FLOOR PLAN (1ST FLOOR)

REVISIONS	BY	DATE

CUSTOMER: **Joshua & Susan Drummond**

SCALE: .25" = 1'
 DATE: 05/11/21
 DRN: /Z
 AP'VD: /

ELECTRICAL NOTES

- 1) ALL ELECTRICAL TO BE INSTALLED PER CURRENT N.E.C. & LOCAL CODES
- 2) MAIN SERVICE PANEL AMPS SHOWN ON PLAN
- 3) ALL OUTLETS ARE TAMPERPROOF
- 4) ALL OUTLETS ARE ARCH FAULT PROTECTED EXCEPT COUNTER TOP, GARAGE, 220's AND BASEMENT GFI
- 5) ACTUAL DEVICE LOCATIONS MAY VARY FROM PLAN DUE TO SITE CONDITIONS

- ⊥ SINGLE POLE SWITCH
- ⊥ 3 WAY SWITCH
- ⊥ 4 WAY SWITCH
- ⊕ SINGLE OUTLET
- ⊕ DUPLEX OUTLET
- ⊕ HALF SWITCHED DUPLEX OUTLET
- ⊕ GFI OUTLET
- ⊕ WP WEATHERPROOF GFI OUTLET

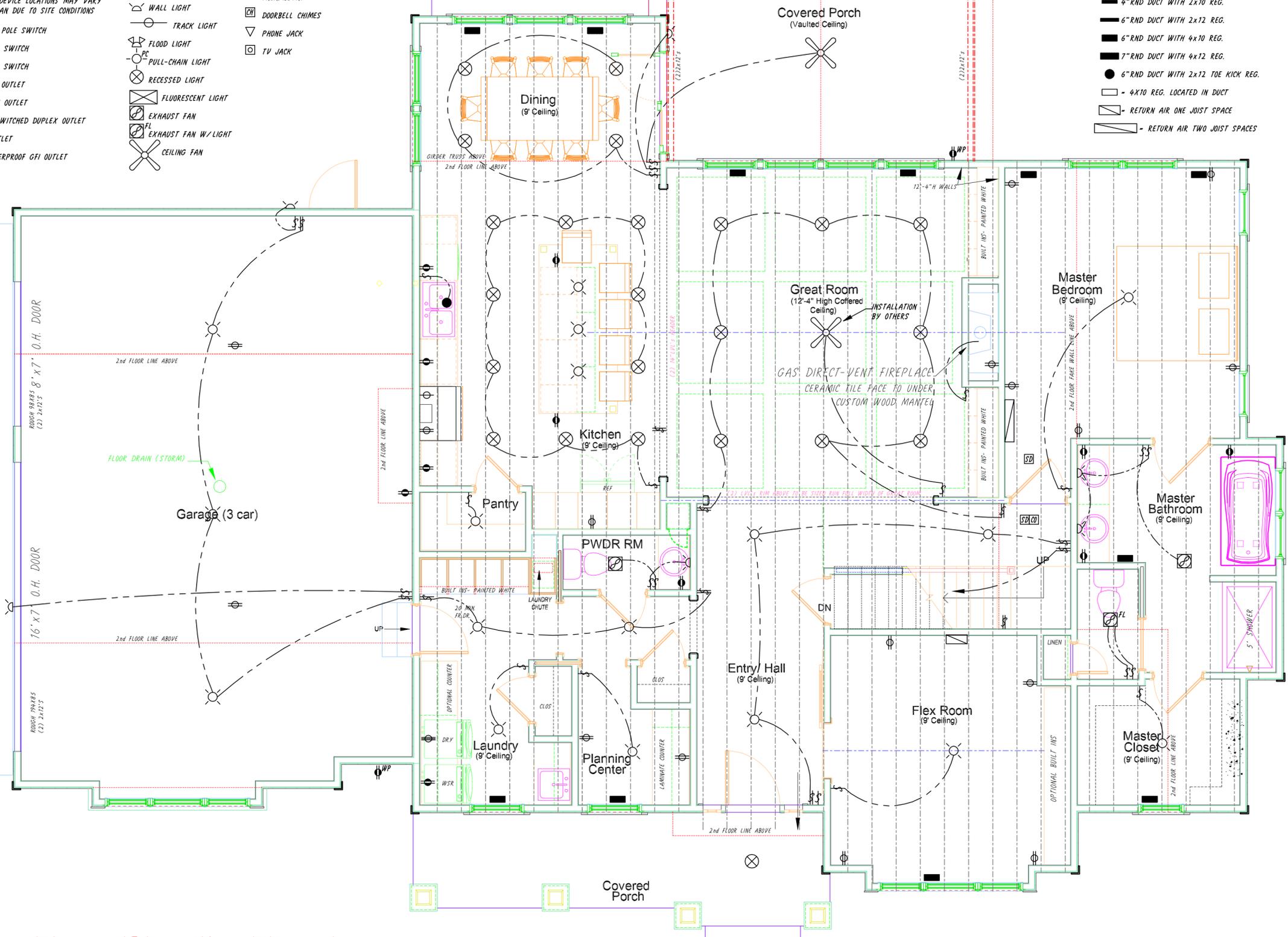
- ⊕ FLOOR OUTLET
- ⊕ 220V OUTLET
- ⊕ AC 220V AC DISCONNECT 40 AMPS
- ⊕ CEILING LIGHT
- ⊕ WALL LIGHT
- ⊕ TRACK LIGHT
- ⊕ FLOOD LIGHT
- ⊕ AC PULL-CHAIN LIGHT
- ⊕ RECESSED LIGHT
- ⊕ FLUORESCENT LIGHT
- ⊕ EXHAUST FAN
- ⊕ FL EXHAUST FAN W/LIGHT
- ⊕ CEILING FAN

- ⊕ CEILING FAN W/LIGHT
- ⊕ SMOKE DETECTOR (IONIZATION TYPE)
- ⊕ CO² DETECTOR (PHOTOELECTRIC TYPE)
- ⊕ THERMOSTAT
- ⊕ DOORBELL CHIMES
- ⊕ PHONE JACK
- ⊕ TV JACK

HVAC NOTES

ALL HVAC TO BE INSTALLED PER LOCAL CODES
ACTUAL SUPPLY & RETURN AIR LOCATIONS
MAY VARY WITH SITE CONDITIONS

- - SUPPLY LOCATED ON FIRST FLOOR
- ▣ - SUPPLY LOCATED ON SECOND FLOOR
- ▢ - SUPPLY LOCATED IN BASEMENT
- 4" RND DUCT WITH 2x10 REG.
- 6" RND DUCT WITH 2x12 REG.
- 6" RND DUCT WITH 4x10 REG.
- 7" RND DUCT WITH 4x12 REG.
- 6" RND DUCT WITH 2x12 TOE KICK REG.
- - 4x10 REG. LOCATED IN DUCT
- ▤ - RETURN AIR ONE JOIST SPACE
- ▥ - RETURN AIR TWO JOIST SPACES



Floor Plan (1st Floor)
Front of House
1850 sf

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NO. 21-5018C-23
ELEC & HVAC LAYOUT

TITLE CUSTOM 1 1/2- STORY (2782 sq.ft.)
FLOOR PLAN (1ST FLOOR)

REVISIONS	BY	DATE

SCALE .25" = 1'
DATE 05/11/21
DRN GK/D
AP'VD /Z

CUSTOMER **Joshua & Susan Drummond**

ELECTRICAL NOTES

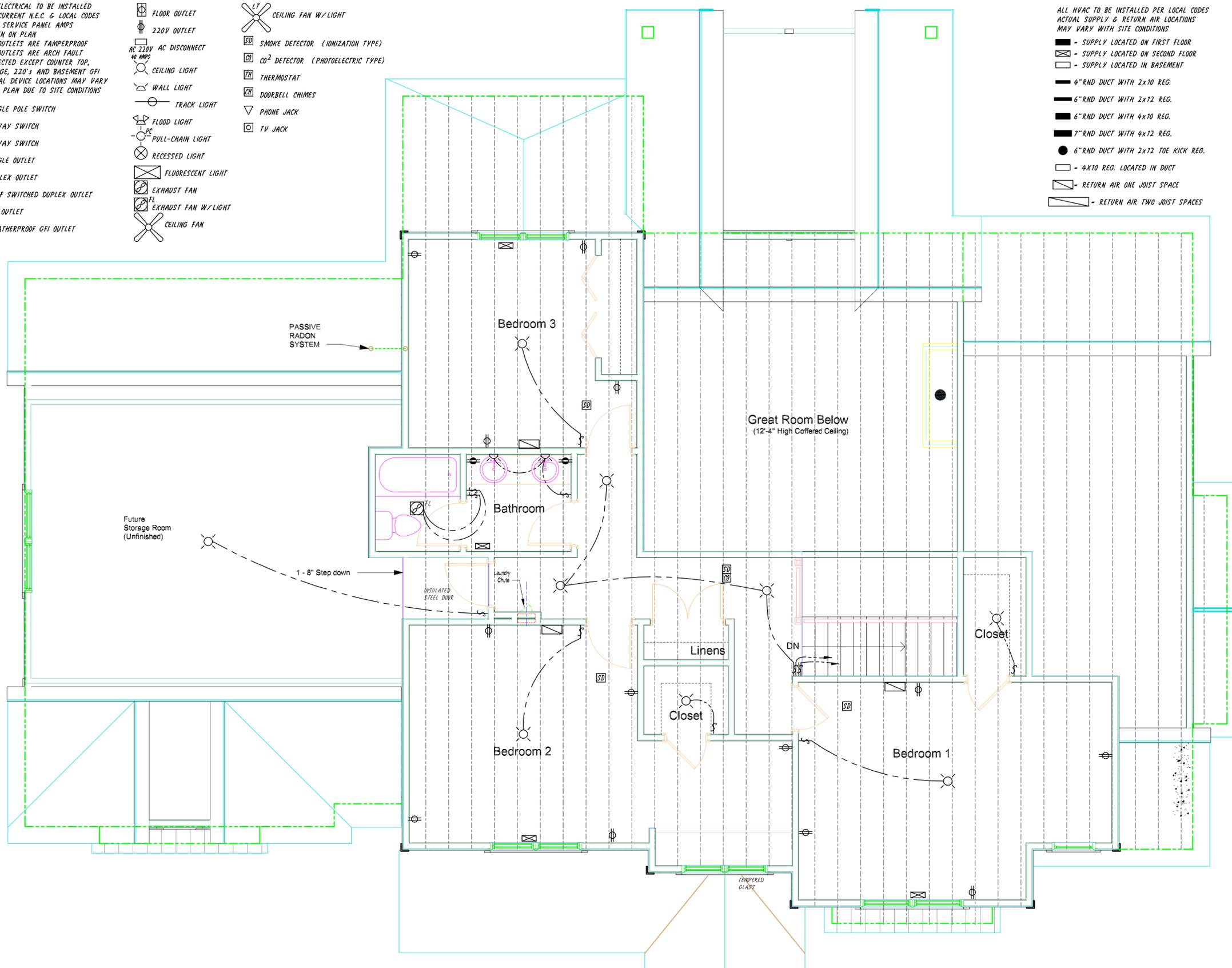
- 1) ALL ELECTRICAL TO BE INSTALLED PER CURRENT N.E.C. & LOCAL CODES
 - 2) MAIN SERVICE PANEL AMPS SHOWN ON PLAN
 - 3) ALL OUTLETS ARE TAMPERPROOF PROTECTED EXCEPT COUNTER TOP, GARAGE, 220's AND BASEMENT GFI
 - 4) ALL OUTLETS ARE ARCH FAULT PROTECTED EXCEPT COUNTER TOP, GARAGE, 220's AND BASEMENT GFI
 - 5) ACTUAL DEVICE LOCATIONS MAY VARY FROM PLAN DUE TO SITE CONDITIONS
- SINGLE POLE SWITCH
 - 3 WAY SWITCH
 - 4 WAY SWITCH
 - SINGLE OUTLET
 - DUPLEX OUTLET
 - HALF SWITCHED DUPLEX OUTLET
 - GFI OUTLET
 - WP WEATHERPROOF GFI OUTLET

- FLOOR OUTLET
- 220V OUTLET
- AC 220V AC DISCONNECT 40 AMPS
- CEILING LIGHT
- WALL LIGHT
- TRACK LIGHT
- FLOOD LIGHT
- AC PULL-CHAIN LIGHT
- RECESSED LIGHT
- FLUORESCENT LIGHT
- EXHAUST FAN
- FL EXHAUST FAN W/LIGHT
- CEILING FAN

- LT CEILING FAN W/LIGHT
- SD SMOKE DETECTOR (IONIZATION TYPE)
- CO² DETECTOR (PHOTOELECTRIC TYPE)
- THERMOSTAT
- DB DOORBELL CHIMES
- P PHONE JACK
- TV JACK

HVAC NOTES

- ALL HVAC TO BE INSTALLED PER LOCAL CODES
ACTUAL SUPPLY & RETURN AIR LOCATIONS MAY VARY WITH SITE CONDITIONS
- - SUPPLY LOCATED ON FIRST FLOOR
 - - SUPPLY LOCATED ON SECOND FLOOR
 - - SUPPLY LOCATED IN BASEMENT
 - 4" RND DUCT WITH 2x10 REG.
 - 6" RND DUCT WITH 2x12 REG.
 - 6" RND DUCT WITH 4x10 REG.
 - 7" RND DUCT WITH 4x12 REG.
 - 6" RND DUCT WITH 2x12 TOE KICK REG.
 - - 4x10 REG. LOCATED IN DUCT
 - - RETURN AIR ONE JOIST SPACE
 - - RETURN AIR TWO JOIST SPACES



Floor Plan (2nd Floor)
Front of House
936 sf

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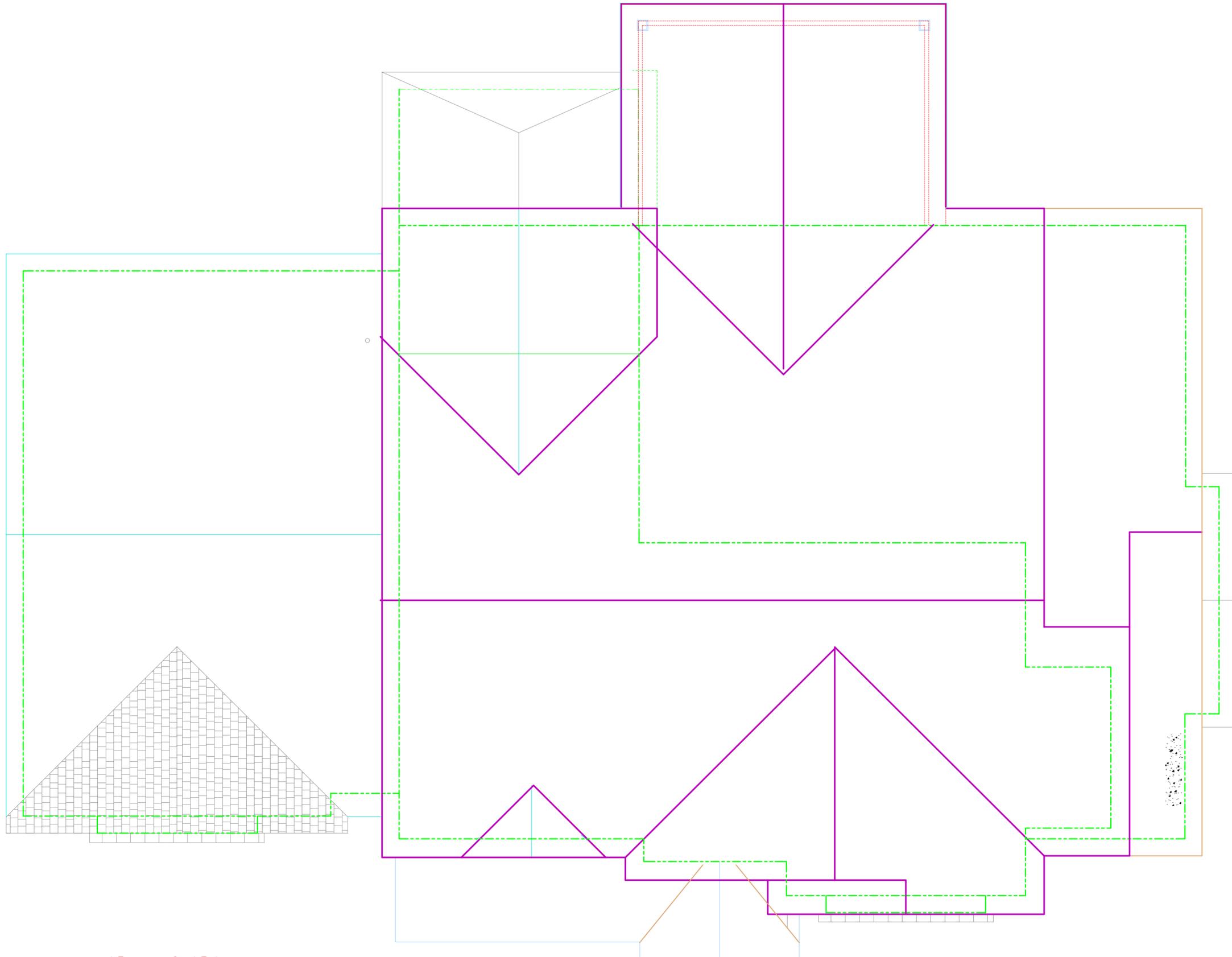
NO. **21-8018C-24**
ELEC & HVAC LAYOUT

TITLE **CUSTOM 1 1/2- STORY (2782 sq.ft.)**
FLOOR PLAN (2nd Floor)

SCALE	DATE	DRN	CHK'D	AP'VD
.25" = 1'	05/11/21	JZ		

REVISIONS	BY	DATE

Customer
Joshua & Susan Drummond



Roof Plan
Front of House

CUSTOMER

Joshua & Susan
Drummond

SCALE .25" = 1'

DATE 05/12/17

DRN /Z

AP'VD

REVISIONS

BY

DATE



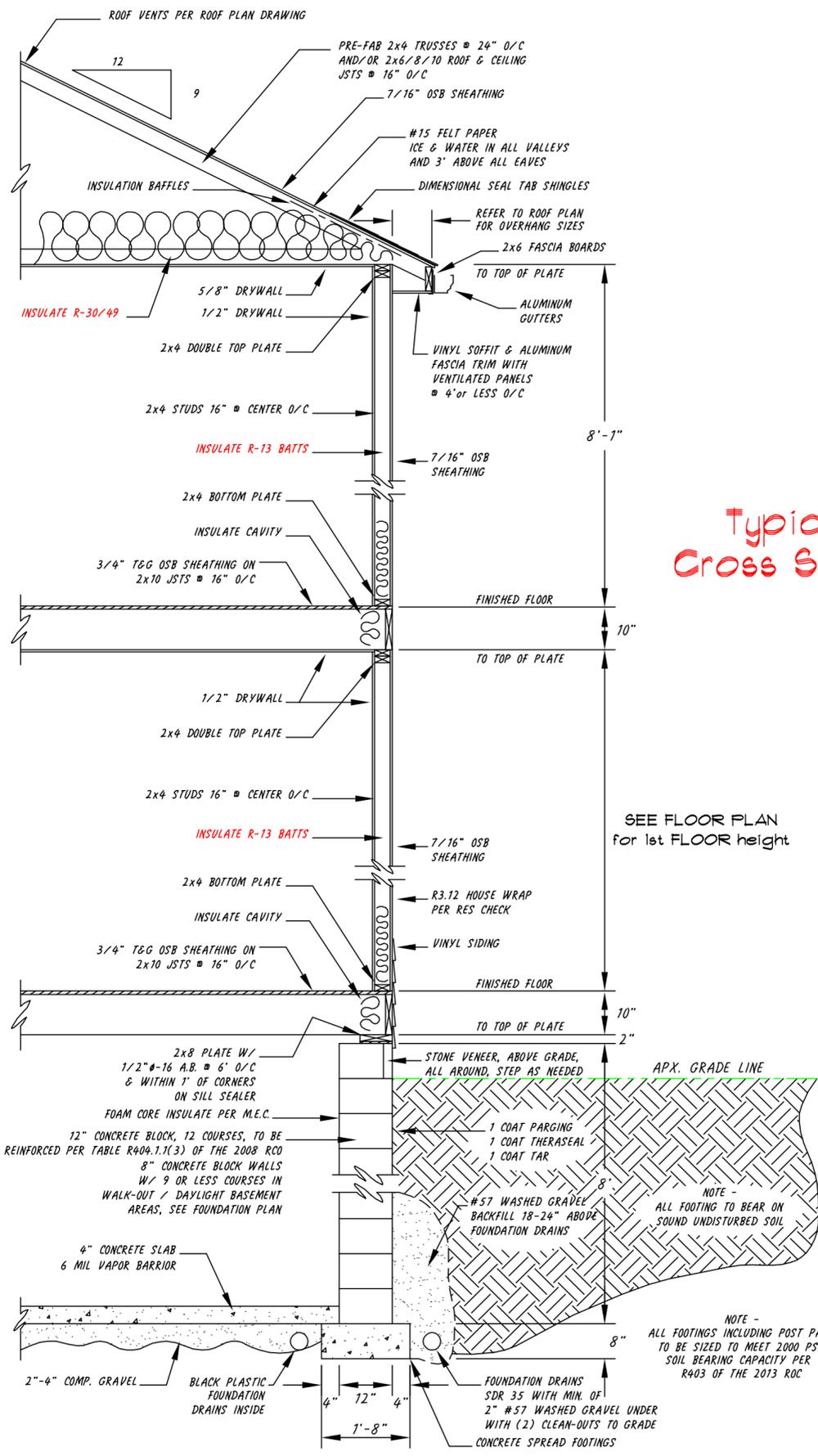
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INCORPORATED

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TITLE CUSTOM 1 1/2- STORY (2782 sq.ft.) NO.

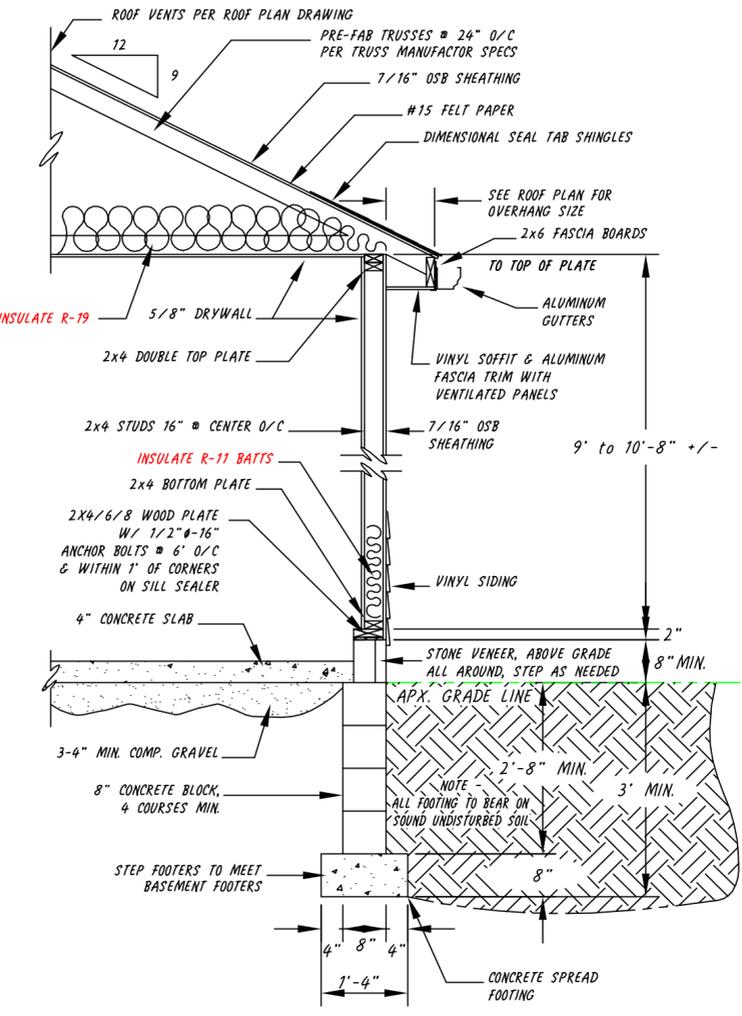
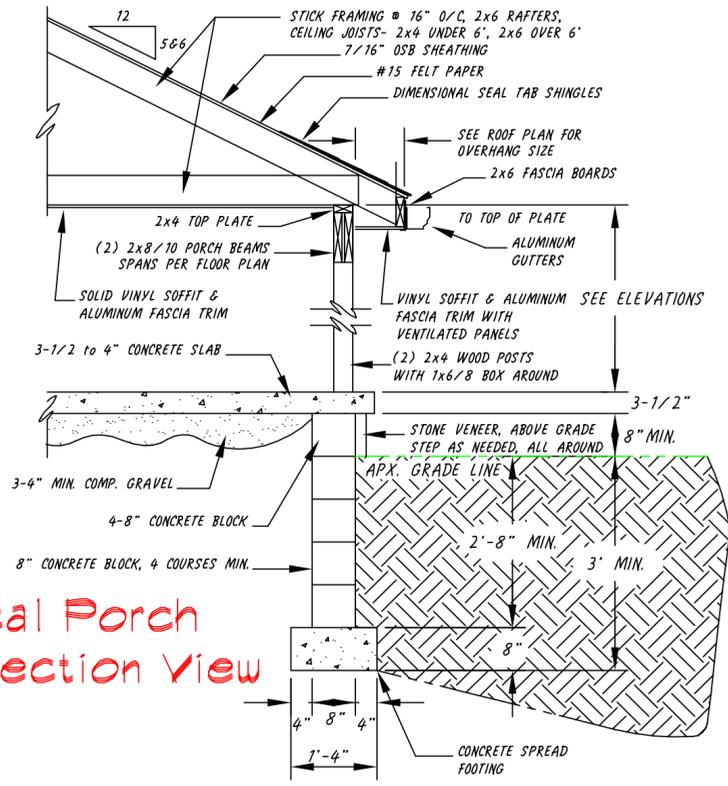
21-5018C-25

ROOF PLAN

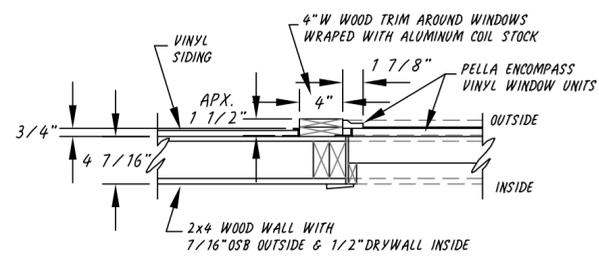


Main House Wall Cross Section View

Typical Porch Cross Section View



Garage Wall Cross Section View



Typical Window Section View (Scale 1" = 1')

- CONSTRUCTION NOTES (2013 CODE)
- 1) ALL ROOF PITCHES TO BE A 9/12 SIDE TO SIDE & A 9/12 FRONT TO BACK, UNLESS NOTED, INCLUDING GARAGES, PORCHES & CANTILEVERS
 - 2) ALL PARALLEL WALLS TO HAVE DOUBLE JOISTS AND CROSS BLOCKING UNDER THEM
 - 3) GARAGE WALLS, BETWEEN GARAGE & HOUSE, AND GARAGE CEILING TO HAVE 5/8" FIRECODE DRYWALL
 - 4) BLOCK WALLS TO REINFORCED PER TABLE R404.1.1(4) OF THE 2013 RCO AND HAVE HORIZONTAL DURAWALL EVERY APX. 3 COURSES
 - 5) ALL HEADERS TO BE A MIN. OF (2) 2x10'S WITH 7/16" OSB CENTER, OR LARGER AS INDICATED ON FLOOR PLANS
 - 6) ALL ROOF STICK FRAMING & OVERBUILDS TO BE A MIN. OF 2x6 FOR SPANS UNDER 14', A MIN. OF 2x8 FOR SPANS 14' TO 18' AND INCLUDE 2x8 SHOE PLATES, 2x8 RIDGE BOARDS AND 2x4 COLLAR TIES
 - 7) TRUSS ANCHORS TO BE INSTALLED PER SECTION R802.10.5 OF THE 2013 RCO.
 - 8) ALL DEAD AND LIVE LOADS TO BE PER THE 2013 RCO, AND MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS TO BE PER TABLE R301.5
 - 9) THE MAIN DOOR BETWEEN THE HOUSE AND GARAGE IS TO COMPLY WITH SECTION R309.1 OF THE 2013 RCO.

LDA BUILDERS
 INCORPORATED
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 NO. 21-5018C-29
 TITLE CUSTOM 1 1/2 STORY (2782 sq.ft.)
 CROSS SECTION VIEW & DETAILS
 SCALE 1/2" = 1'
 DATE 4/30/21
 DRN /Z
 APY/D
 REVISIONS
 CUSTOMER **Joshua & Susan Drummond**

5839 Londonairy Blvd.

5-4-21

ArcGIS Web Map





5847 Londonnary – 1st lot left (east) of subject property



5839 Londonairy Dr. - Subject property



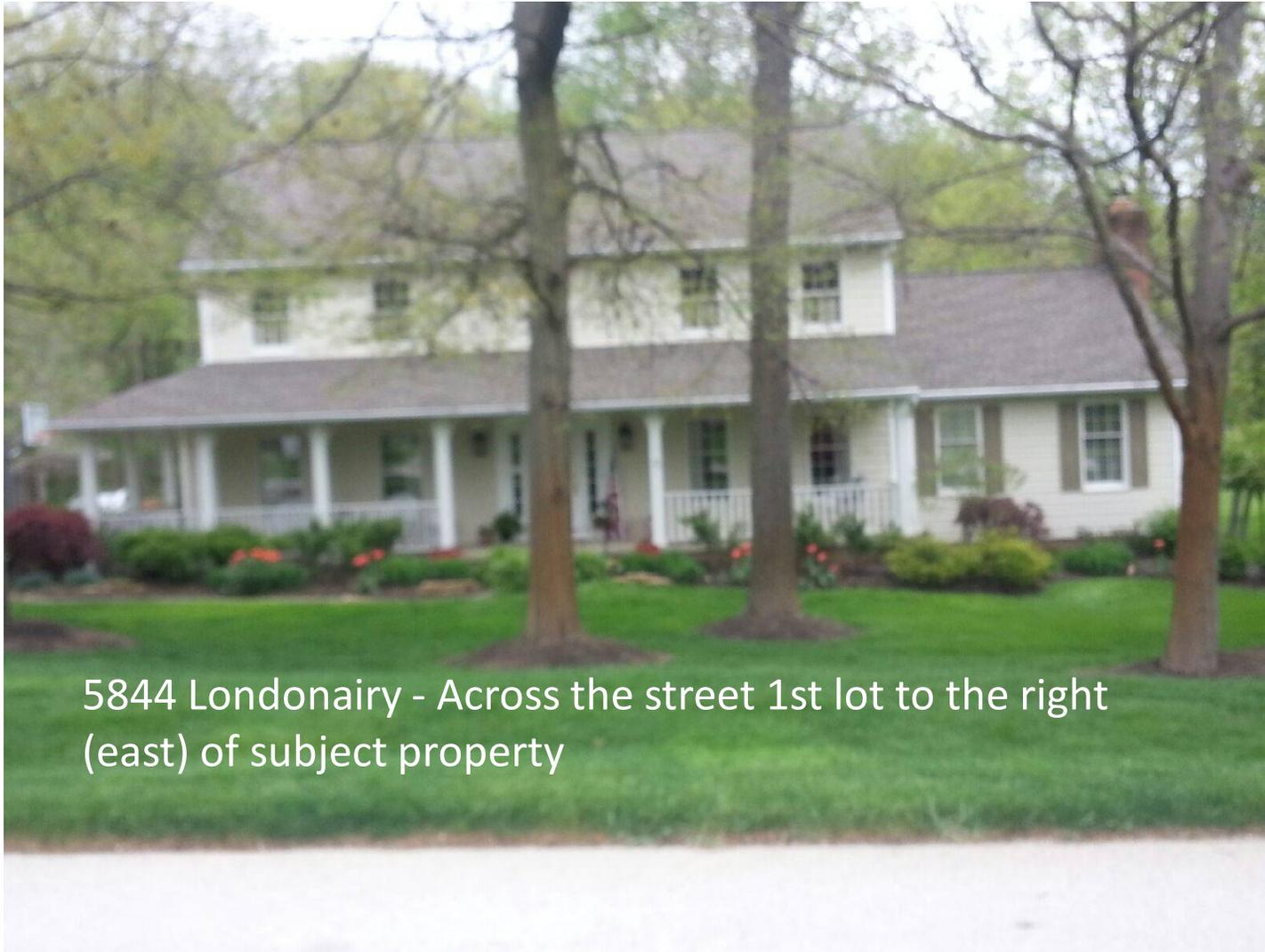
5836 Londonairy - Across the street of subject property



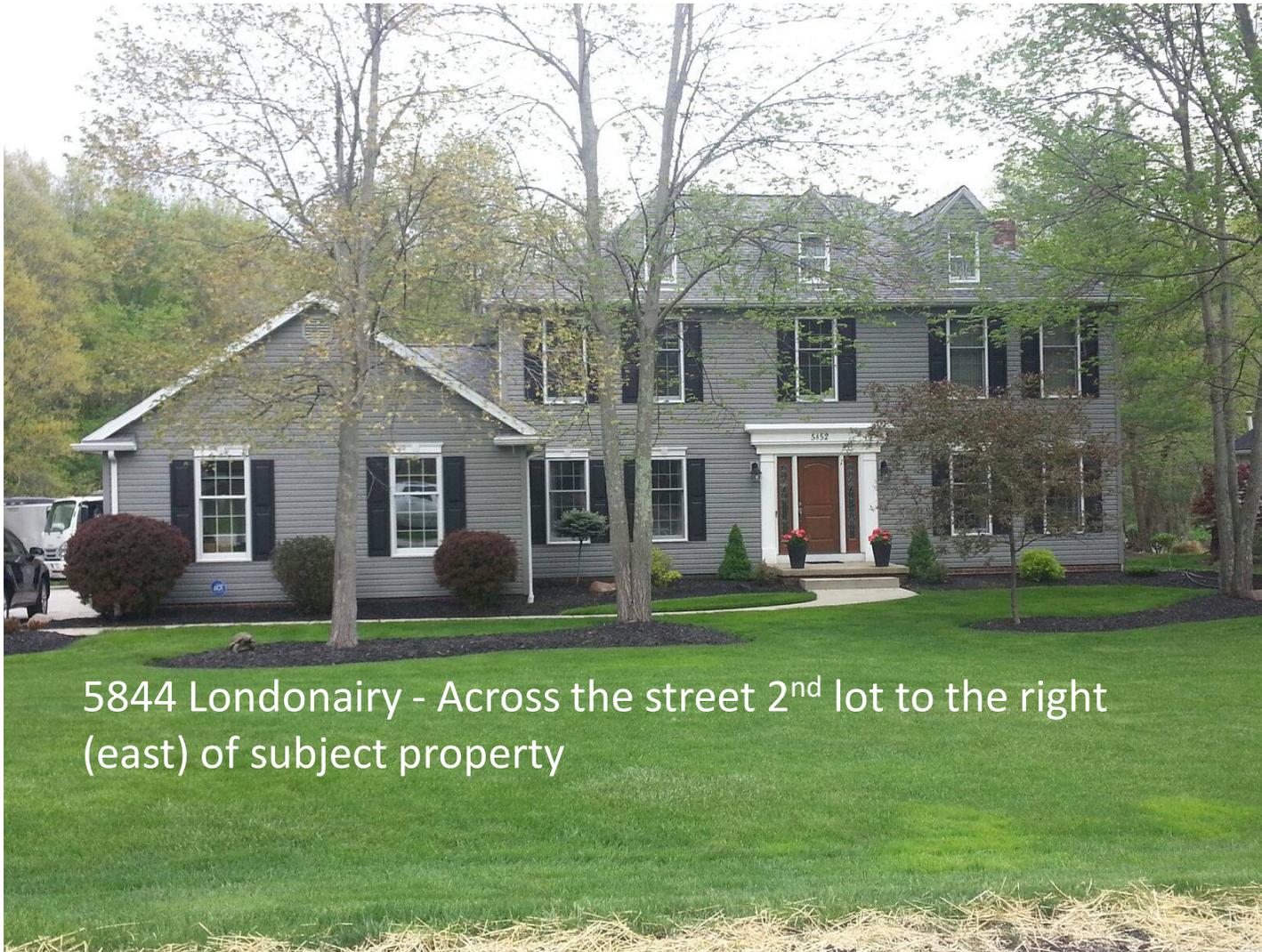
5828 Londnairy - Across the street 1st lot to the left (west)
of subject property



5816 Londnairy - Across the street 2nd lot to the left
(west) of subject property



5844 Londnairy - Across the street 1st lot to the right
(east) of subject property



5844 Londnairy - Across the street 2nd lot to the right
(east) of subject property



228 Oldham Way - Across the street lot on opposite corner
(west) of subject property



234 Oldham Way - Across the street lot 2nd lot (south)
of subject property



241 Oldham Way – Behind (south) of subject property



5863 Londonairy – 3rd lot to the left (east) of subject property



5855 Londonairy – 2nd lot to the left (east) of subject property