

REVISIONS:

1. Revised House Footprint - 9/21/18
2. Added Topo - 9/26/18
3. Added Grading - 10/2/18

TOPOGRAPHIC SURVEY & SITE PLAN

for
The Soulsby Residence
by
LDA Builders, Inc.

Situated in the City of Hudson, County of Summit and State of Ohio: And known as being part of Original Hudson Township Lot No. 86.



Know what's below.
Call before you dig.

#2178
Ex. Dwelling

C.P. & L.P. Behm
Parcel #30-03096

K.D. & H. Dawson
Parcel #30-00168

LEGEND

- - - - - 1000 - Ex. Contour
- 999 — PR. CONTOUR
- - - - - Ex. Tree Line
- - - - - PR. CLEARING
- - - - - PR. SILT FENCE
- PR. GRADE
Ex. Grade
- PR. DRAINAGE
- ✕ - TREE TO BE REMOVED
- CE - PR. CONST. ENTRANCE
- Ex. = Existing PR. = PROPOSED
- SA ST - Ex. San/Strm. MH.
- UCB - Ex. Pedestals
- Hydrant - Ex. Hydrant
- - Iron Pin Fnd./Set
- - Iron Pipe Fnd.
- - Mon. Fnd.

5/8" Rebar
Usd. at 30.00'

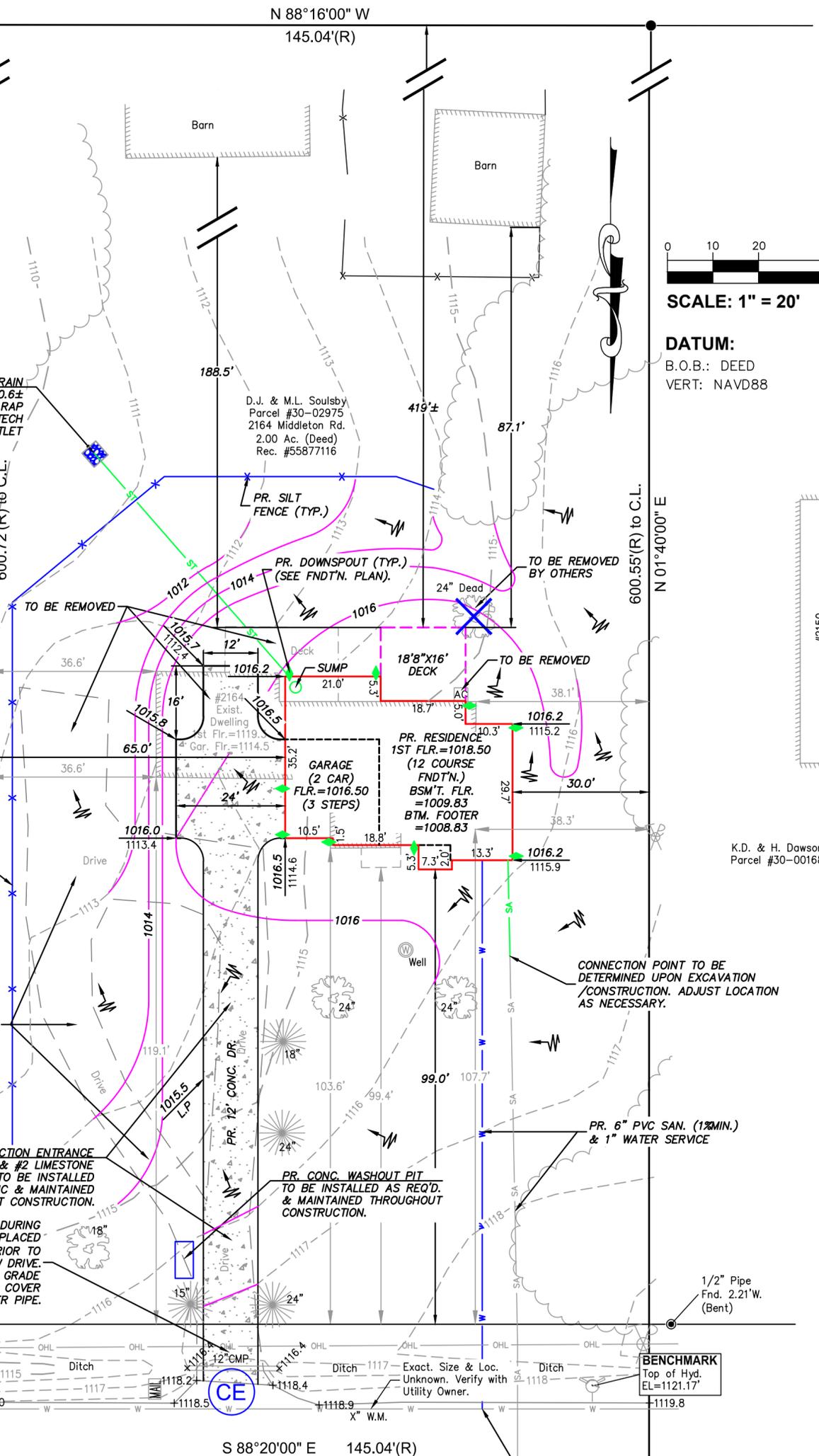
3/4" Pipe
Usd. at 30.00'
(3" Deep)

1/2" Pipe
Fnd. 2.21'W.
(Bent)

BENCHMARK
Top of Hyd.
EL=1121.17'

CONSTRUCTION NOTES:

1. The contractor must verify all foundation dimensions and proposed grades shown on this plan. Any errors resulting from failure to check or to notify the surveyor of any changes shall not be the responsibility of Apex Land Surveying.
2. All grades shall comply w/corresponding government office.
3. All swales must maintain a minimum slope of 1%.
4. Maintain positive yard drainage away from house.
5. Contractor to notify utilities protection services/ OUPS prior to construction.
6. Contractor shall verify location and depths of existing laterals & verify if proper connections can be made to house. Contact corresponding government office if discrepancies occur.
7. All sewer connections must maintain a minimum slope of 1%.
8. A foundation sump pump is required.
9. Silt fence must surround any excavation areas so that no silt escapes site.
10. There was no search for easements of record, right-of-ways, restrictive covenants, encumbrances, ownership title evidence, or any other facts that a title search may disclose.



SCALE: 1" = 20'

DATUM:
B.O.B.: DEED
VERT: NAVD88

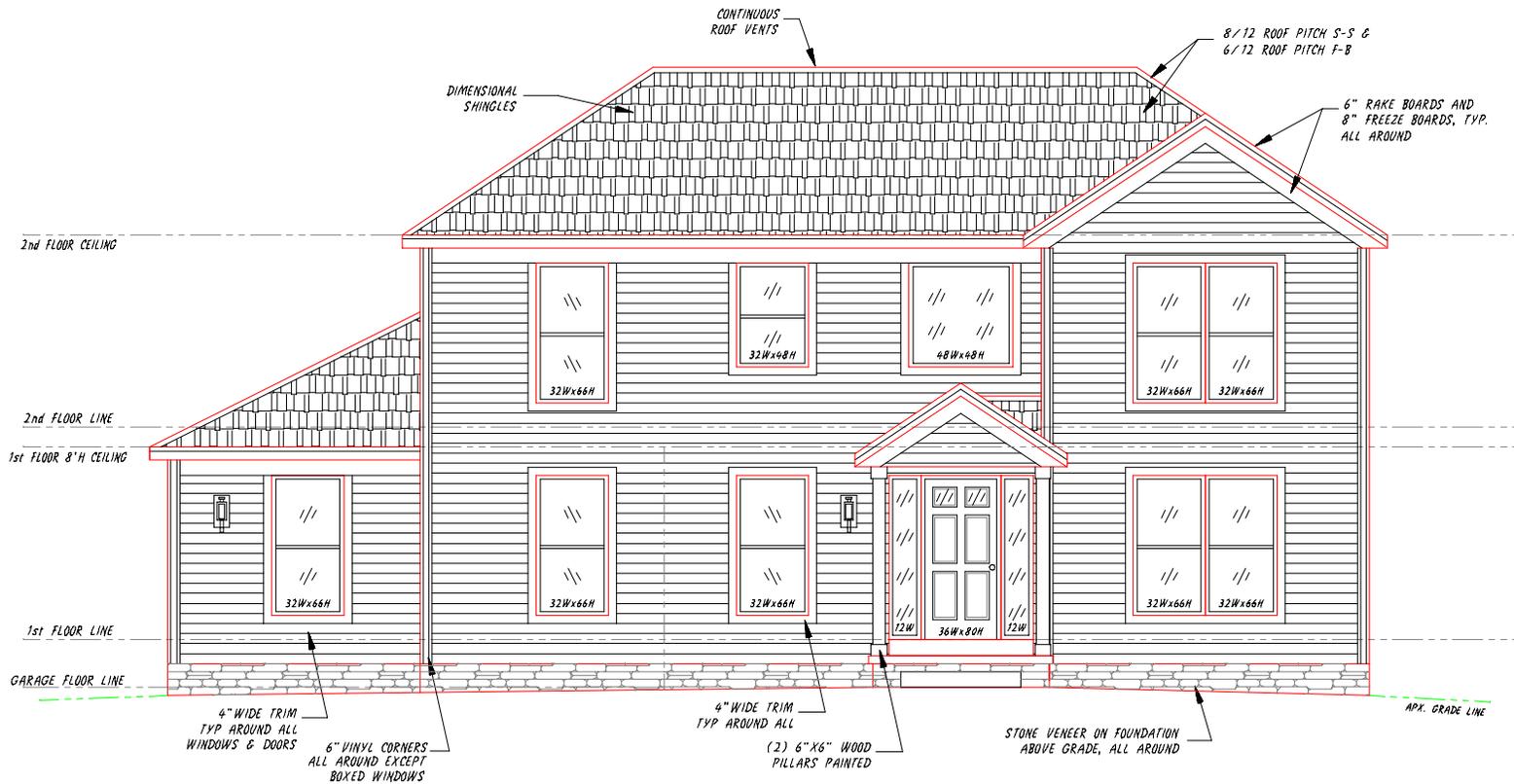
MIDDLETON ROAD (60' R/W)

SURVEYED BY:



KELLY D. DUNFORD, P.S. 8182
2858 FULMER DR., SILVER LAKE, OH
(330) 928-7750
ps8182@sbcglobal.net
www.apexlandsurveying.com

TITLE: TOPO & SITE PLAN	DATE: SEPT. 2018
CLIENT: LDA BUILDERS	PROJ.: 2018082
SCALE: 1" = 20'	FILE: 2018082.dwg
DRAWN BY: KDD	CHECKED BY: KDD
CREW: KDD	SHEET: 1 OF 1
SHEET SIZE: 17" X 22"	



Front Elevation (2164 Middleton Rd)

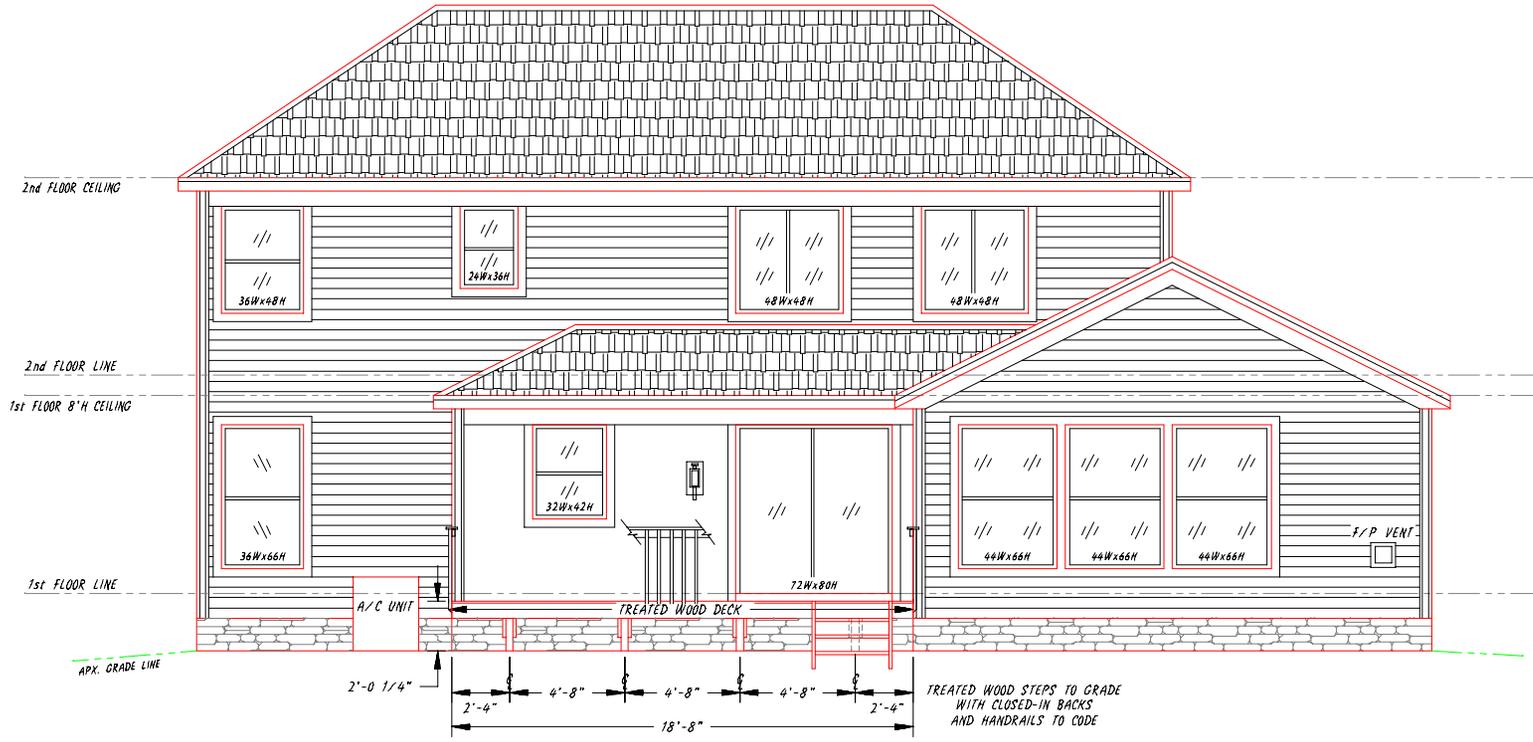
PARCEL #30-02975
 2164 Middleton, Rd., Hudson, Ohio
 Apx. Lot Size - 14.5' Frontage x 600' Deep, apx. 2 acres
 Overall House Size - 50'Wx40'D, 1694.81 sq ft on lot
 2234 Sq ft Living Area,
 (Apx. 1197 Sq ft on First floor & 1037 Sq ft on Second floor)
 1197 Sq ft Basement and 460 Sq ft of Garage

S2164

LIDA BUILDERS INCORPORATED
 Boston Hts., Ohio U.S.A. • Phone/Fax Cleveland (330) 928-3800 • Akron (330) 342-4240
 "Riverwine" modified 2182 sq. ft.
 FRONT ELEVATION
 NO. 18-52164-10

SCALE	1/8" = 1'
DATE	09/18
DRN	CS
APP'VD	
REVISIONS	
BY	DATE

CUSTOMER
Daniel & Melinda Soulesby



Rear Elevation

CUSTOMER

Daniel & Melinda Soulesby

SCALE 1/2" = 1'

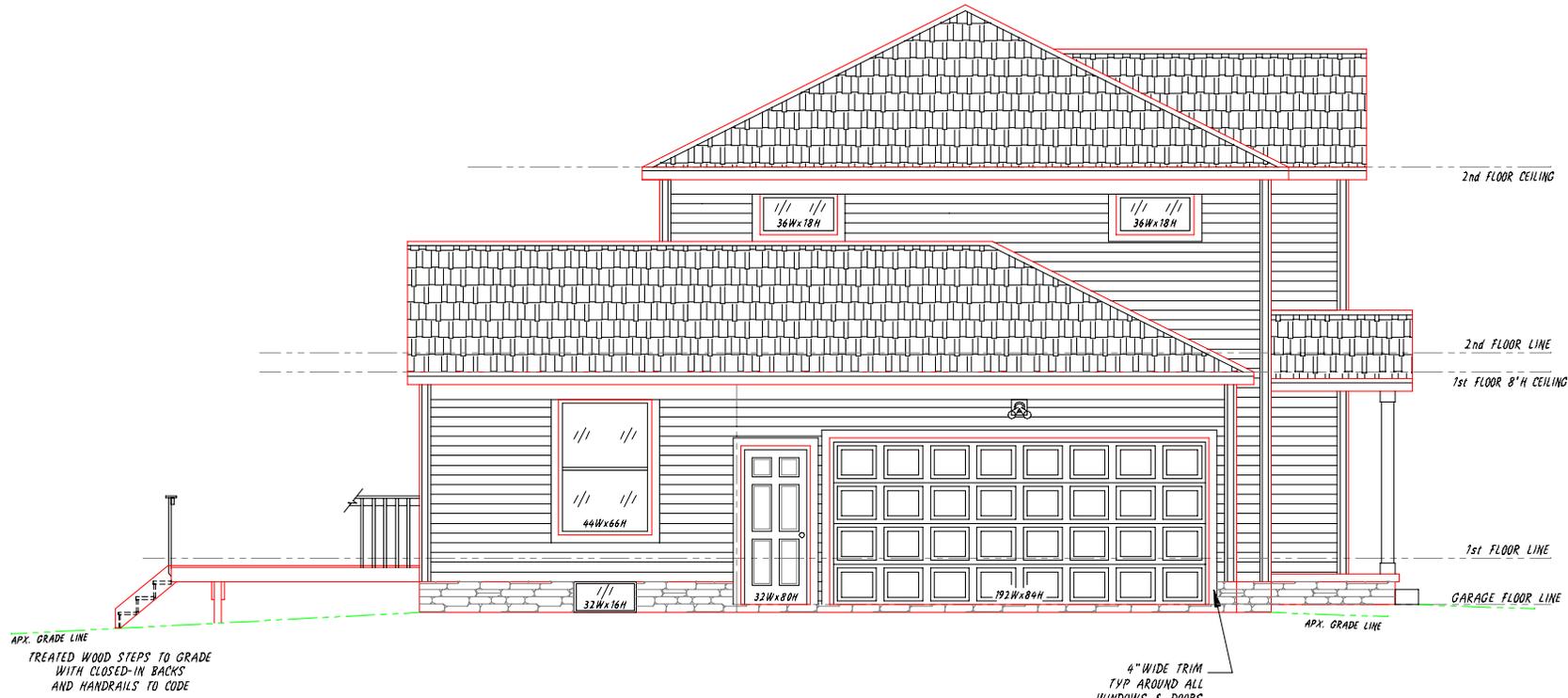
DATE 09/18
 DRN C
 APR 09

REVISIONS

BY DATE



LIDA BUILDERS
 INCORPORATED
 BOSTON HTS., OHIO U.S.A. • PHONE/FAX CLEVELAND (330) 528-3800 • AIRTEL (330) 342-4240
 TITLE "Riverwine" modified 2182 sq. ft. NO. 18-52164-12
 REAR ELEVATION

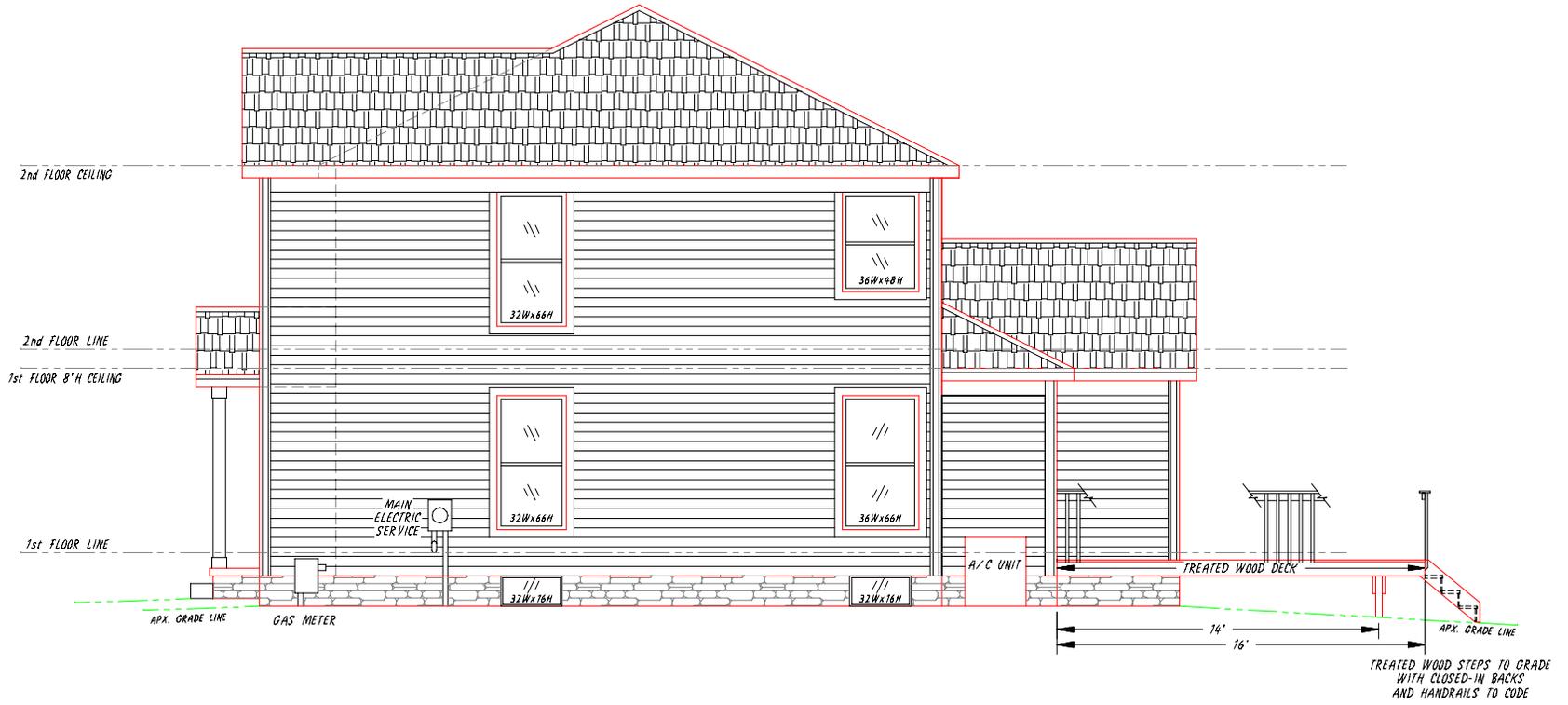


Left Side Elevation

LIDA BUILDERS
INCORPORATED
Boston Hts., Ohio U.S.A. • Phone/Fax Cleveland (330) 928-3800 • Akron (330) 342-4240
TITLE "Riverwine" modified 2182 sq. ft. NO. 18-62164-11

SCALE	DATE	BY	DATE	REVISIONS
1/2" = 7'	09/18			
		DRN	CHK'D	
		APR'09		

CUSTOMER
Daniel & Melinda Soulesby



Right Side Elevation

CUSTOMER

Daniel & Melinda Soulesby

SCALE 1/8" = 1'

DATE 09/18

DRN C

APR'09

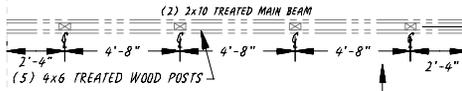
REVISIONS

BY DATE



LIDA BUILDERS
INCORPORATED
Boston Hts., Ohio U.S.A. • Phone/Fax Cleveland(330) 528-3800 • Akron(330) 342-4240
TITLE "Riverwine" modified 2182 sq. ft.
NO. 18-02164-13
RIGHT SIDE ELEVATION

TREATED WOOD STEPS TO GRADE
WITH CLOSED-IN BACKS
AND HANDRAILS TO CODE



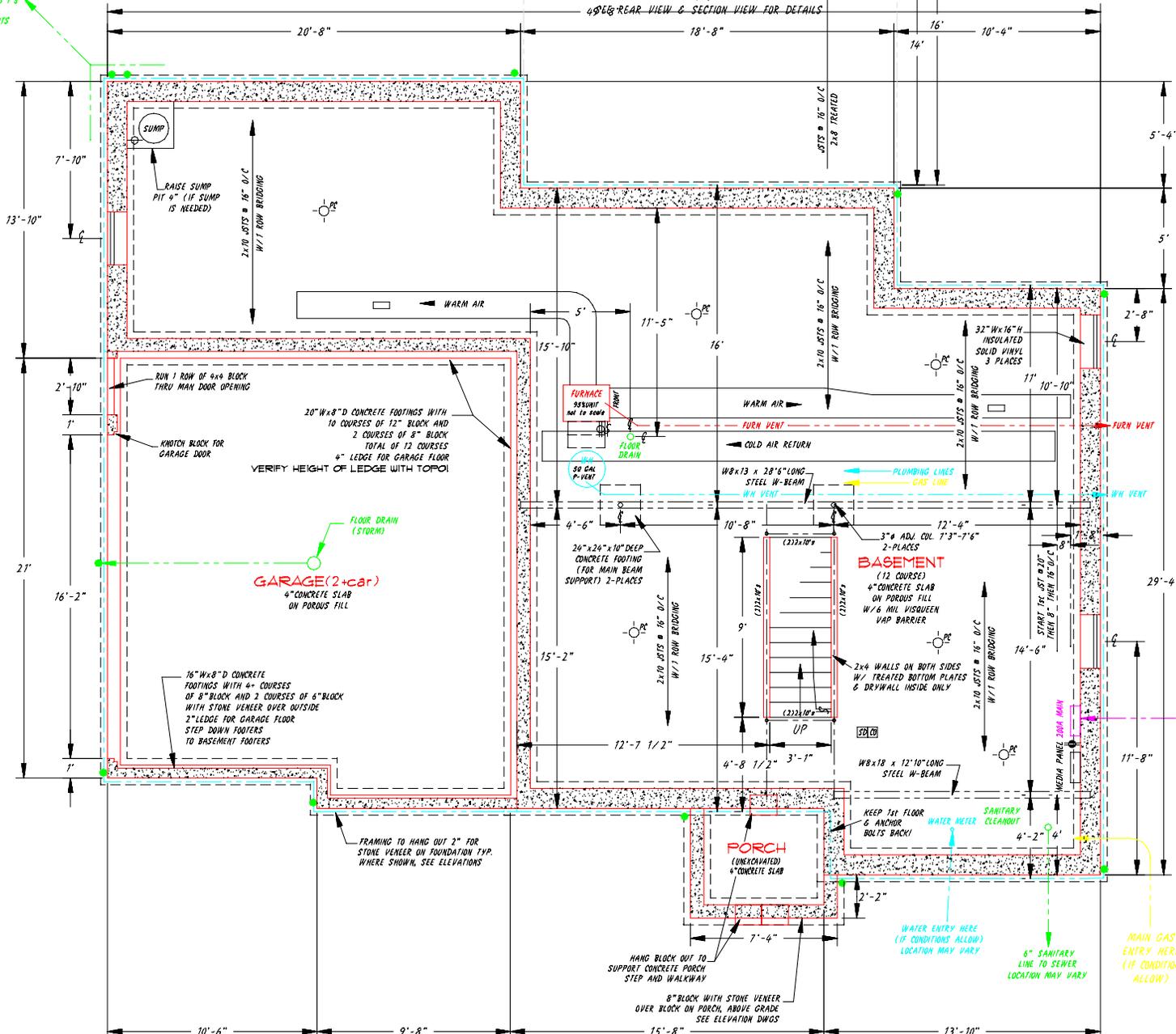
WOOD DECK
ABOVE

49# REAR VIEW & SECTION VIEW FOR DETAILS

6" STORM LINE OUT BACK
USE 3" S ONLY, NO 7"s
● DOWNSPOUTS UPRIGHTS

- MASONRY NOTES**
- STEP DOWN FOOTINGS WHERE SLAB MEETS BASEMENT FOR DIRECT BEARING
 - FILL ALL VOIDS IN MASONRY WALLS PRIOR TO DAMP/WATERPROOFING
 - SEE ELEVATION DRAWINGS & TOP OF FOR GARAGE FLOOR LEDGE & STEPPING OF BRICK/STONE VENEER

- FRAMING NOTES**
- PROVIDE DOUBLE JOIST AND CROSS BLOCKING UNDER ALL PARALLEL WALLS
 - ALL FRAMING LUMBER TO BE STRUCTURAL GRADE
 - SPACE FLOOR JOISTS OR HEADER OFF FLOOR JOISTS FOR TOILETS, CENTER OF TOILET 4" D DRAINS ARE 12" OFF WALL
 - FIRESTOP ALL AREAS AS REQUIRED BY MUNICIPALITY CODE



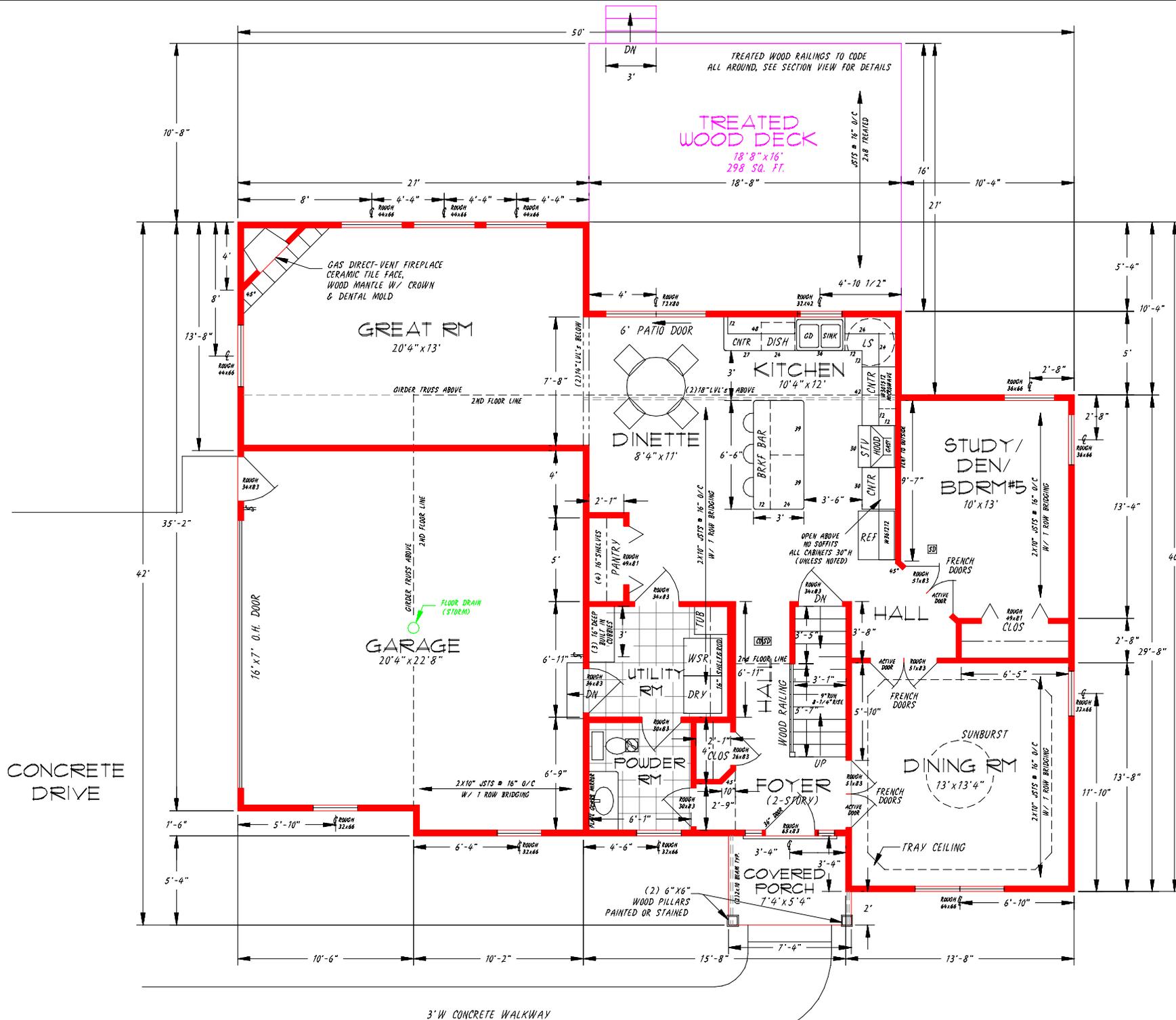
Foundation
Front of House

LIDA BUILDERS
CORPORATED
1212
Boston Hts., Ohio U.S.A. • Phone/Fax Cleveland (330) 958-3800 • Aircon(330) 342-4200
NO. 18-52164-22
TITLE "Riverwine" modified 2/18/24 ft. FOUNDATION PLAN

DATE	BY	REVISIONS
09/18	DN	1
		2
		3
		4

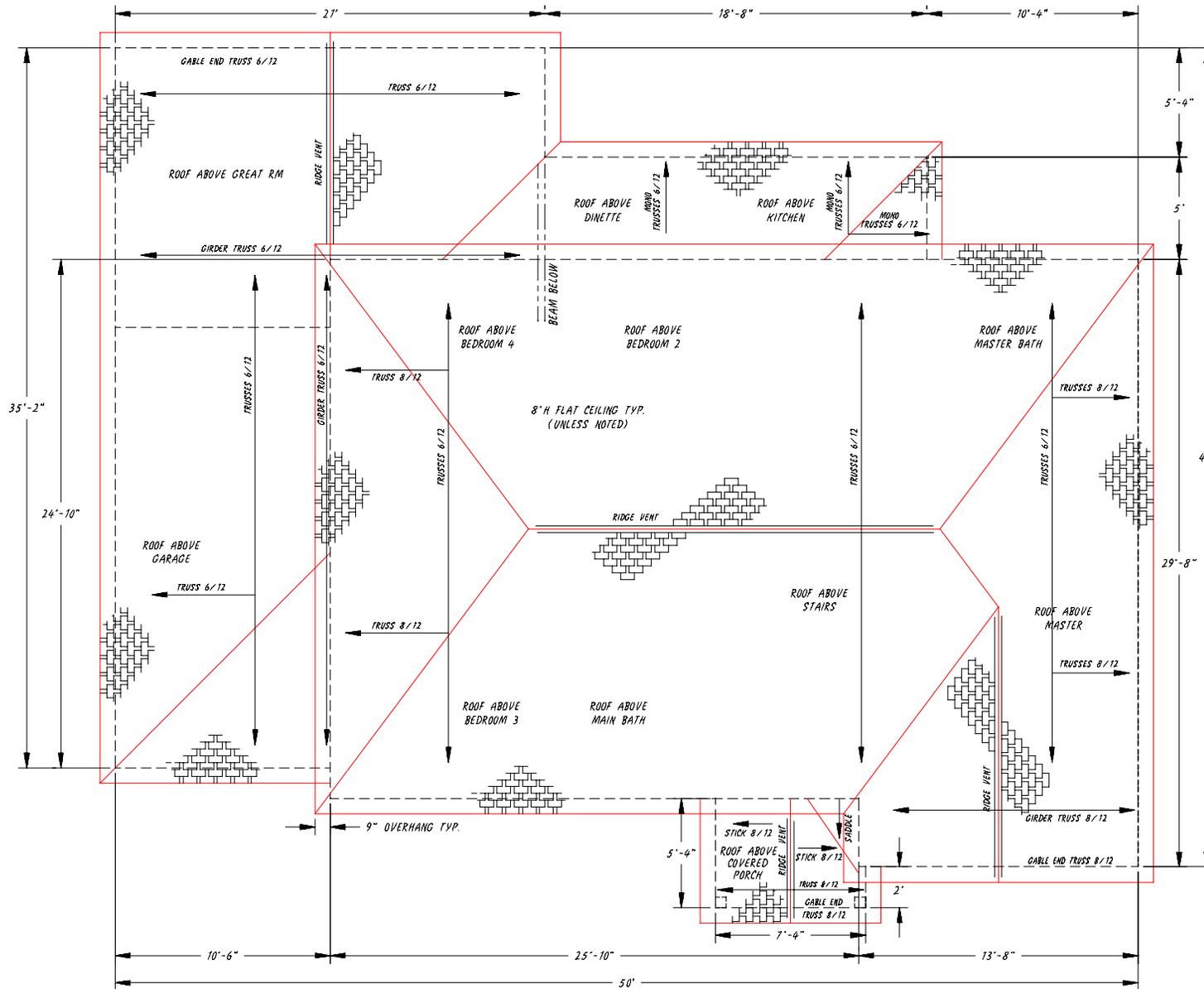
SCALE 1/8" = 1'-0"
DATE 09/18
DRN /
AP/08

CUSTOMER **Daniel & Melinda Souleby**



Floor Plan (1st Floor)
Front of House





NOTE-
 ROOF CONSTRUCTION TO BE
 TRUSSES @ 24" O/C & STICK FRAMING @ 16" O/C
 6/12 SIDETO SIDE & 8/12 FRONT TO BACK
 (UNLESS NOTED)

Roof Plan
 Front of House

CUSTOMER

Daniel & Melinda
Souleby

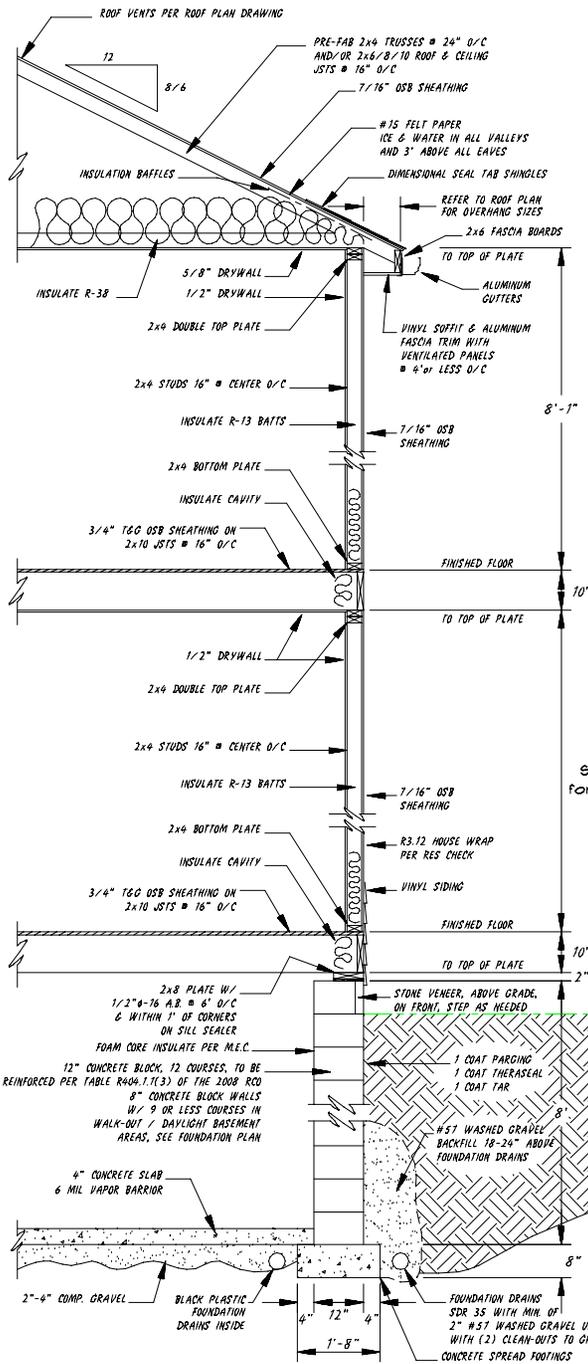
SCALE 1/8" = 1'

REVISIONS

BY DATE

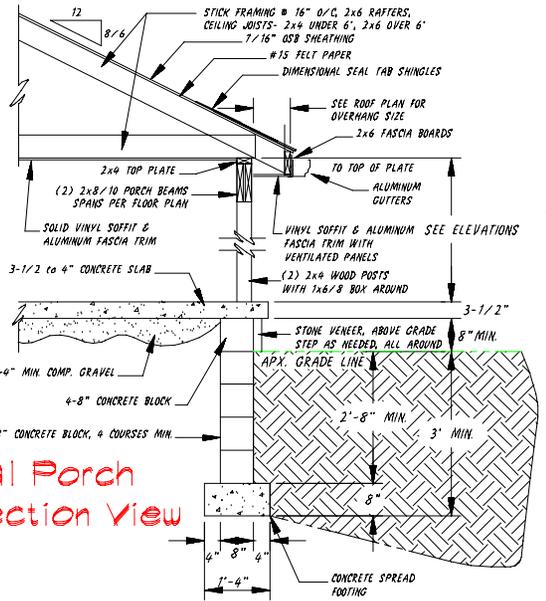


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 INCORPORATED
 Boston Hts., Ohio U.S.A. • Phone/Fax Cleveland (330) 928-3800 • Akron (330) 342-4240
 TITLE "Riverwine" modified 2182 sq. ft. NO. 18-52164-25
 ROOF PLAN

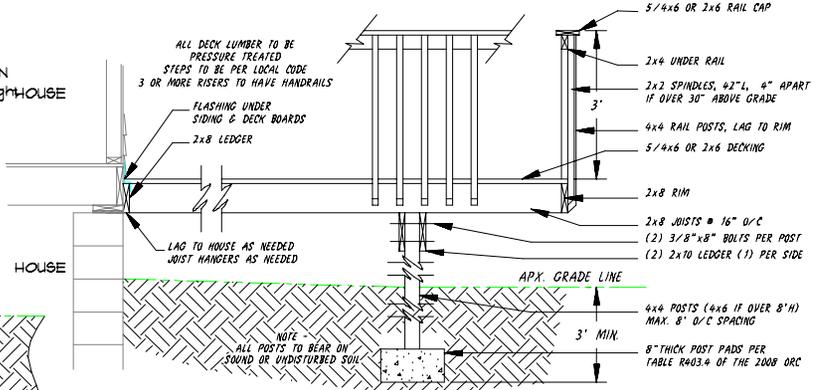


Main House Wall Cross Section View

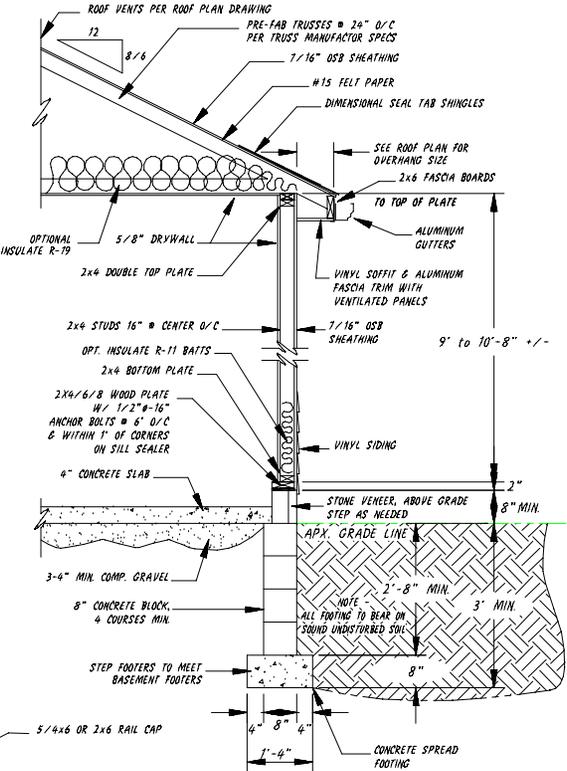
Typical Porch Cross Section View



Deck Cross Section View (if applicable)



Typical Window Section View (Scale 1" = 1')



Garage Wall Cross Section View

- CONSTRUCTION NOTES (2013 CODE)
- 1) ALL ROOF PITCHES TO BE AN 8/12 SIDE TO SIDE & A 6/12 FRONT TO BACK, UNLESS NOTED, INCLUDING GARAGES, PORCHES & CHIMNEYS
 - 2) ALL PARALLEL WALLS TO HAVE DOUBLE JOISTS AND CROSS BLOCKING UNDER THEM
 - 3) GARAGE WALLS, BETWEEN GARAGE & HOUSE AND GARAGE CEILING TO HAVE 5/8" FIRECODE DRYWALL
 - 4) BLOCK WALLS TO BE REINFORCED PER TABLE R404.1.1(4) OF THE 2013 RCO AND HAVE HORIZONTAL DOWEL WALL EVERY APX. 3 COURSES
 - 5) ALL HEADERS TO BE A MIN. OF (2) 2x10'S WITH 7/16" OSB CENTER, OR LARGER AS INDICATED ON FLOOR PLANS
 - 6) ALL ROOF STICK FRAMING & OVERBUILDS TO BE A MIN. OF 2x6 FOR SPANS UNDER 16', A MIN. OF 2x8 FOR SPANS 16' TO 18' AND INCLUDE 2x8 SIDE PLATES, 2x8 RIDGE BOARDS AND 2x4 COLLAR TIES
 - 7) TRUSS ANCHORS TO BE INSTALLED PER SECTION R802.10.5 OF THE 2013 RCO
 - 8) ALL DEAD AND LIVE LOADS TO BE PER THE 2013 RCO, AND MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS TO BE PER TABLE R301.3
 - 9) THE MAIN DOOR BETWEEN THE HOUSE AND GARAGE IS TO COMPLY WITH SECTION R301.1 OF THE 2013 RCO

LIDA BUILDERS
 LIDA BUILDERS CORPORATION
 1200 W. 12TH ST. #100
 BOSTON HTS., OHIO U.S.A. • Phone/Tel: (513) 598-3800 • Fax: (513) 542-4240
 NO. 18-92164-29
 "RIVERWINE" MODIFIED 2.18.22 SQ. FT.
 TITLE "RIVERWINE" MODIFIED 2.18.22 SQ. FT.
 CROSS SECTION VIEW & DETAILS
 DATE 10/27/18
 SCALE 1/4" = 1'
 REVISIONS
 BY DATE
 CUSTOMER Daniel & Melinda Souleby
 DRAWN BY
 CHECKED BY
 APPROVED BY



MIDDLETON RD.

1

Club House

Pro Shop

2069

2085

2199

2222

2217

2223

2231

2076

2092

2106

2122

2160

2150

2164

2178

2196

2206

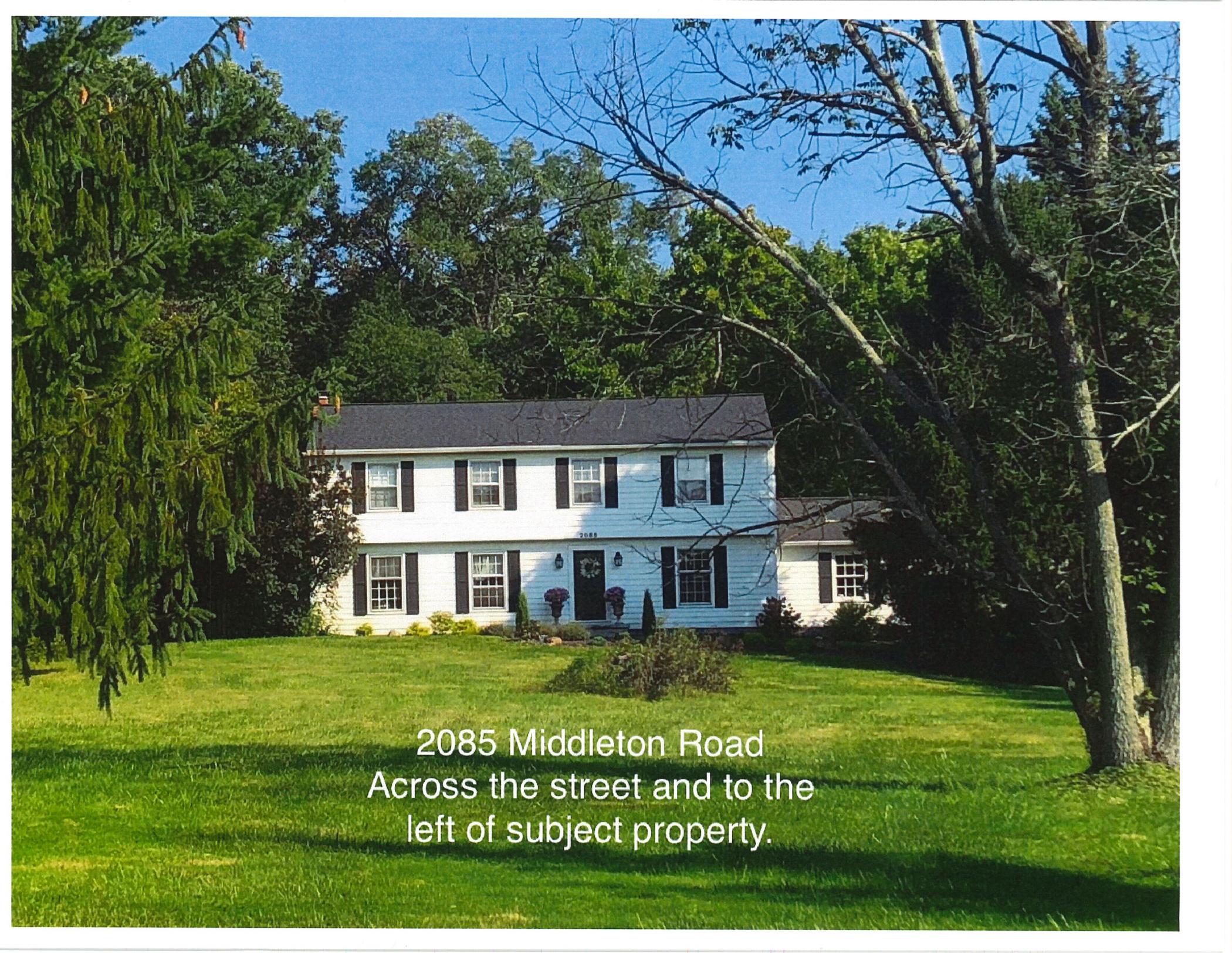
2208

2234

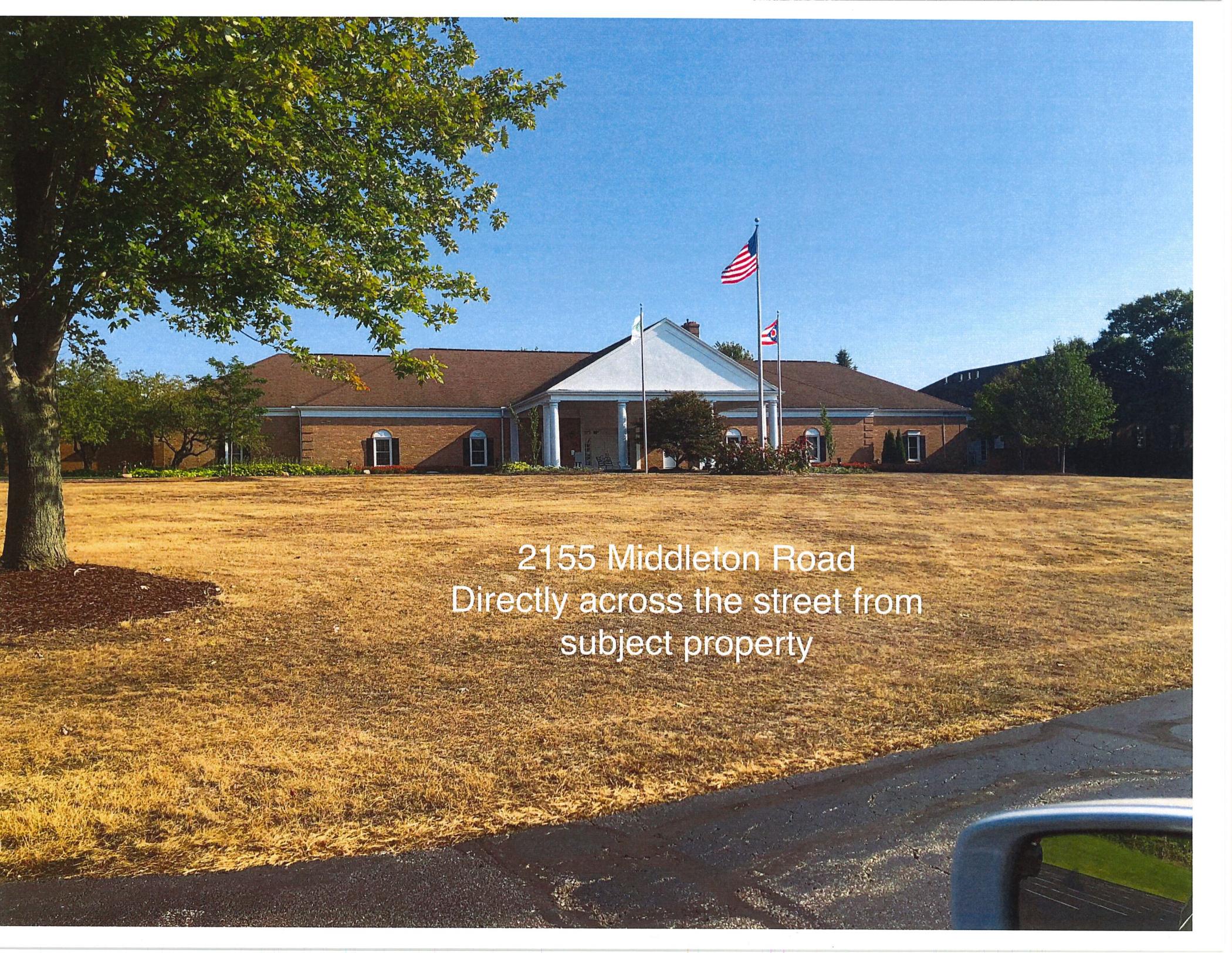
2235



2150 Middleton Rd.
Next door, to the right of
subject property

A two-story white house with black shutters and a dark roof, situated on a green lawn with large trees in the background. The house has a central door with a wreath and two flower boxes. The address number '2085' is visible above the door. The house is surrounded by lush greenery, including a large evergreen tree on the left and a large deciduous tree on the right. The sky is clear and blue.

2085 Middleton Road
Across the street and to the
left of subject property.



2155 Middleton Road
Directly across the street from
subject property



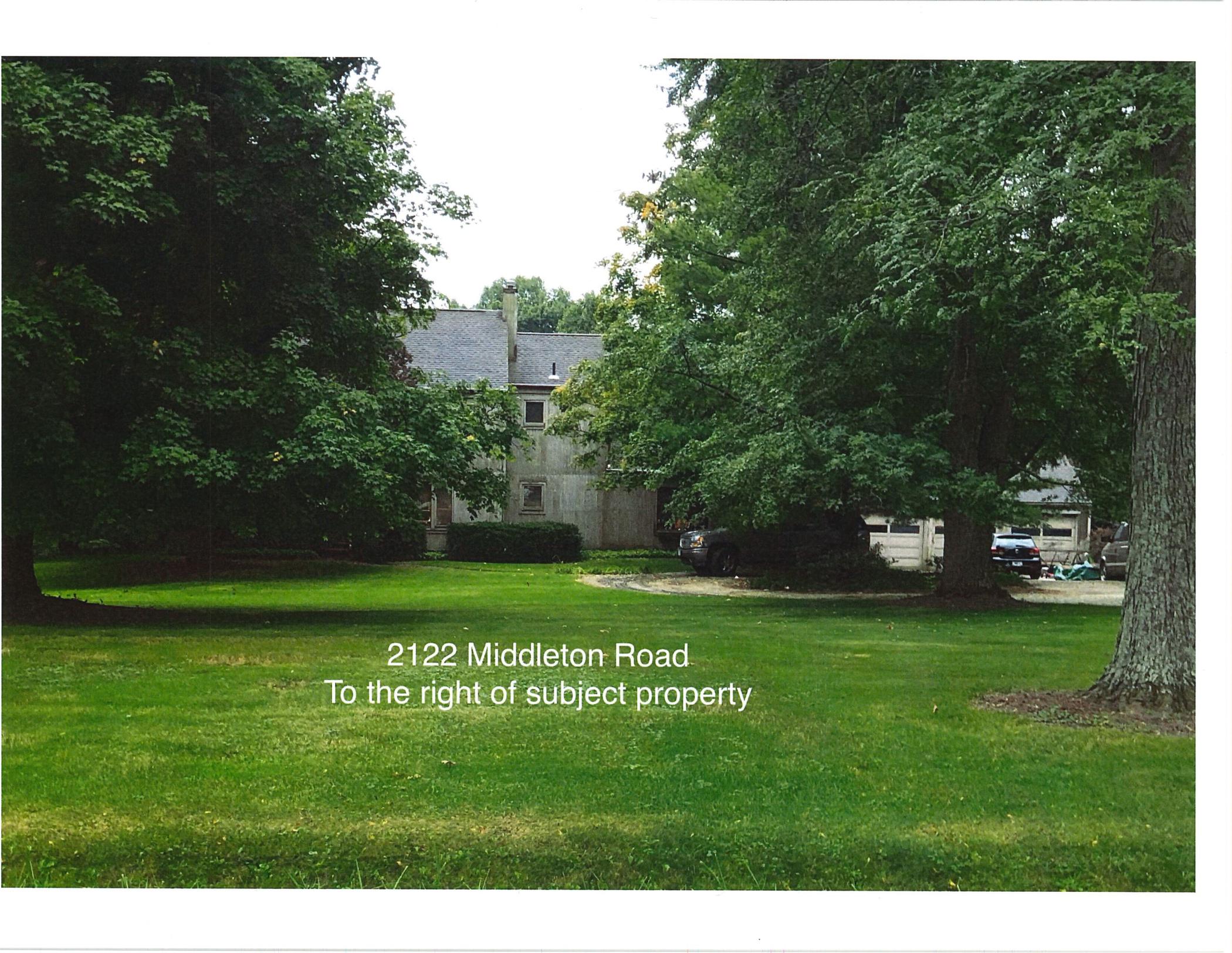
2160 Middleton Rd
2 over to the right of
subject property



2178 Middleton Road
To the left of subject property



2199 Middleton Road
Across the street and to the right
of subject property



2122 Middleton Road
To the right of subject property



2206 Middleton Road
To the left of subject property



2217 Middleton Road
Across the street and to the right of
subject property