

PROPOSED ADDITION IS IN COMPLIANCE

EXISTING RESIDENCE ENCROACHES ON SIDEYARD SETBACK 3'-5"

1

ARCHITECTURAL SITE PLAN

SCALE: 1" = 20'



RAVENSCROFT RESIDENCE

20 Pinewood Lane, Hudson, Ohio 44236

PROJECT #: 2511

ISSUE	ID	DATE
AHR	A	06/18/2025



RAVENS CROFT RESIDENCE



PROJECT INFORMATION

CITY HUDSON
COUNTY SUMMIT COUNTY
PARCEL NO 3202738
ZONING ZONE 3 - OUTER VILLAGE RESIDENTIAL NEIGHBORHOOD DISTRICT
LOT .54 ACRE

PROJECT ADDITION OFF THE REAR OF AN EXISTING RESIDENCE. ADDITION IS A SINGLE STORY FORM, FIBER CEMENT VERTICAL SIDING WITH A LOW SLOPE RUBBER ROOF TO ACCOMMODATE EXISTING SECOND FLOOR WINDOWS.

APPLICABLE CODE BUILDING: 2019 OHIO RESIDENTIAL BUILDING CODE
 ZONING: CITY OF HUDSON

DRAWING INDEX

G100	COVER SHEET
G101	GENERAL NOTES
D101	DEMOLITION PLAN
C100	ARCHITECTURAL SITE PLAN
A100	FOUNDATION PLAN
A101	FIRST FLOOR PLAN
A102	ROOF PLAN
A201	EXTERIOR ELEVATIONS
A202	EXTERIOR ELEVATIONS

haraarchitects.com

PROJECT TEAM:

ARCHITECT
HARA ARCHITECTS

STRUCTURAL
I A LEWIN

PROJECT AREA

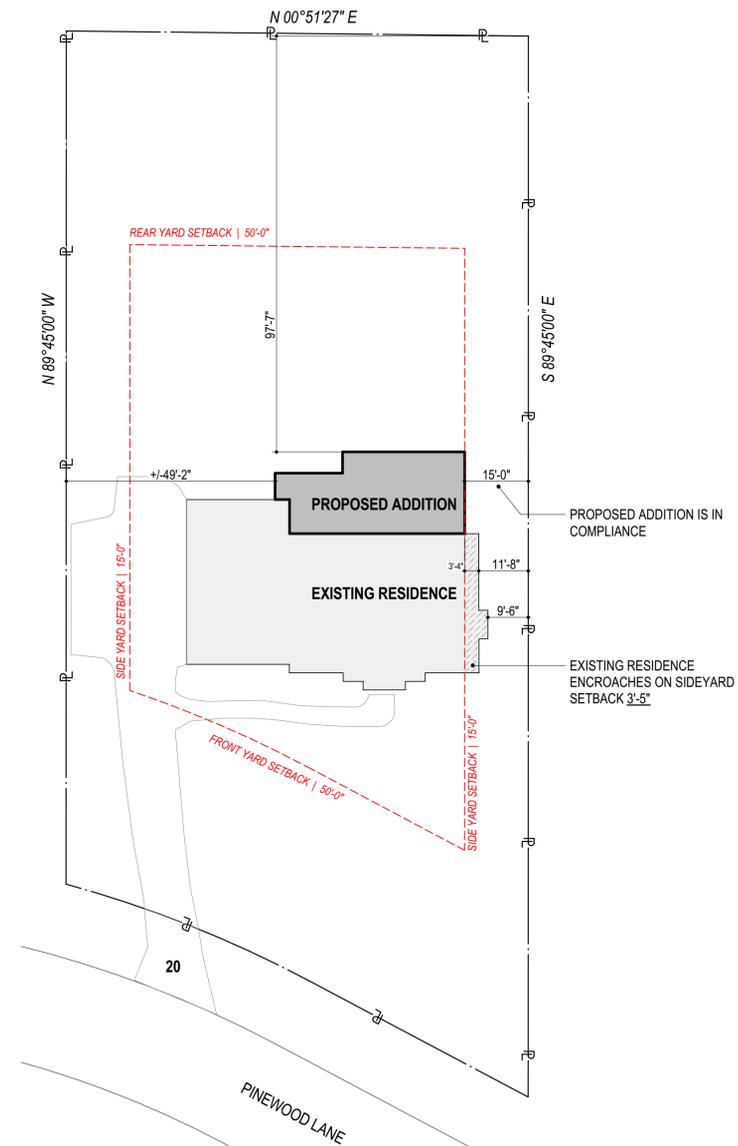
EXISTING RESIDENCE 3,700 SF
 ADDITION 812 SF
TOTAL 4,522 SF

PROJECT TEAM

ARCHITECT:

HARA ARCHITECTS
 HUDSON, OHIO
 P: 419.410.6241

CONTACT: NATE BAILEY



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 20 Pinewood Lane, Hudson, Ohio 44236

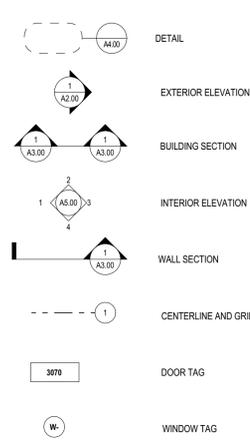
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ISSUE	ID	DATE
AHBR	A	06/16/2025

ABBREVIATIONS

ABV	ABOVE	HC	HOLLOW CORE
AC	AIR CONDITIONING	HDWR	HARDWARE
AFF	ABOVE FINISHED FLOOR	HM	HOLLOW METAL
ALT	ALTERNATE	HVAC	HEATING, VENTILATION, AND AIR
AHJ	AUTHORITY HAVING JURISDICTION	COND.	CONDITION
ALUM	ALUMINUM	HT	HEIGHT
APPROX.	APPROXIMATELY	INSUL	INSULATION
ARCH	ARCHITECTURAL	JST	JOIST
ASPH	ASPHALT	LAM	LAMINATED
BD	BOARD	LF	LINEAR FOOT
BLDG	BUILDING	LF	LINEAR FOOT
BOTT	BOTTOM OF	MAS	MASONRY
BRG	BEARING	MATL	MATERIAL
BOTT	BOTTOM	MAX	MAXIMUM
BTW	BETWEEN	MECH	MECHANICAL
CF	CUBIC FEET	MFG.	MANUFACTURER
CP	CAST IN PLACE	MIN.	MINIMUM
CJ	CONTROL JOINT	MISC	MISCELLANEOUS
CLG	CEILING	MO	MASONRY OPENING
CLR	CLEAR	MTD	MOUNTED
CMJ	CONCRETE MASONRY UNIT	MTL	METAL
CONC	CONCRETE	NOM	NOMINAL
CAN OUT	CLEAN OUT	NTS	NOT TO SCALE
CONT	CONTINUOUS		
DBL	DOUBLE	O/	OVER
DEPT	DEPARTMENT	O.C.	ON CENTER
DIA	DIAMETER	OPN	OPENING
DIM	DIMENSION		
DN	DOWN	PREFAB	PREFABRICATED
DR	DOOR	PLYWD	PLYWOOD
DS	DOWNSPOUT	P LAM	PLASTIC LAMINATE
DTL	DETAIL	FR	PAIR
DWG	DRAWING	PSI	POUNDS PER SQUARE INCH
EA	EACH	REF	REFERENCE
ELEC	ELECTRICAL	RM	ROOM
EQ	EQUAL	RO	ROUGH OPENING
EXH	EXHAUST	REQ	REQUIRED
EXIST	EXISTING		
EXP	EXPOSED	SC	SOLID CORE
EXT	EXTERIOR	SECT	SECTION
		SIM.	SIMILAR
FD	FLOOR DRAIN	STRUC	STRUCTURAL
FDN	FOUNDATION		
FIN.	FINISHED		
FLR	FLOOR		
FT	FOOT	TYP	TYPICAL
FTG	FOOTING	UNO	UNLESS NOTED OTHERWISE
FUR	FURRING		
		W/	WITH
		WWF	WELDED WIRE FABRIC
GALV	GALVANIZED		
GA	GAUGE		
GC	GENERAL CONTRACTOR		
GYP. BD.	GYPSUM BOARD		
GYP	GYPSUM		

DRAWING SYMBOLS



PROJECT GENERAL NOTES

THE CONTRACTOR WILL FURNISH ALL LABOR, MATERIAL, EQUIPMENT, PERMITS, TAXES, AND INSURANCE NECESSARY TO COMPLETE THE WORK INDICATED AND/OR IMPLIED IN THE CONSTRUCTION DOCUMENTS UNLESS NOTED OTHERWISE AND WILL COORDINATE THE WORK RESPONSIBILITIES OF ALL SUBCONTRACTORS. ALL LABOR AND MATERIALS TO CARRY OUT FULLY THE INTENTIONS OF THE PLANS AND SPECIFICATIONS ARE PART OF THE CONTRACT, WHETHER OR NOT SPECIFICALLY DOCUMENTED.

ALL WORK WILL CONFORM TO THE CURRENT OHIO BUILDING, MECHANICAL & PLUMBING CODES, AS WELL AS THE CURRENT NATIONAL BOARD OF FIRE UNDERWRITERS AND ALL OTHER APPLICABLE CITY CODES, LOCAL LAWS, AND AUTHORITIES HAVING JURISDICTION. CODE STANDARDS AND PUBLICATIONS OF PRIVATE AND PUBLIC BODIES MENTIONED WITHIN THE SPECIFICATIONS OR ON THE DRAWINGS, WILL BE CONSIDERED TO BE THOSE IN FORCE AT THE TIME OF THE CONTRACT AWARD.

THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONTROLLED INSPECTIONS AND ANY TECHNICAL TESTING REQUIRED FOR CONTROLLED INSPECTIONS AS STIPULATED BY ALL APPLICABLE CODES.

ALL MANUFACTURED ARTICLES, MATERIALS, AND EQUIPMENT WILL BE NEW AND FREE OF DEFECTS AND WILL BE SUPPLIED, INSTALLED, CONNECTED, ERECTED, USED, CLEANED, AND CONDITIONED AS DIRECTED BY THE RESPECTIVE MANUFACTURERS, UNLESS SPECIFIED OTHERWISE.

THE CONTRACTOR WILL NOTIFY THE ARCHITECT OF ANY ERRORS, OMISSIONS, CONFLICTS, OR AMBIGUITIES IN AND BETWEEN THE DRAWINGS AND THE SPECIFICATIONS PRIOR TO PROCEEDING WITH THE WORK. IF SUCH NOTICE IS NOT FURNISHED TO THE ARCHITECT, THE CONTRACTOR WILL BE DEEMED TO HAVE INSPECTED THE DRAWINGS AND SPECIFICATIONS AND TO HAVE FOUND THEM IN PROPER FORM FOR EXECUTION.

THE CONTRACTOR REPRESENTS THAT HE HAS HAD ADEQUATE ACCESS TO THE JOB SITE AND BUILDING AREA IN WHICH THE WORK IS TO BE PERFORMED, THAT HE HAS SATISFIED HIMSELF AS TO THE NATURE AND LOCATION OF WORK, INCLUDING ANY OBSTRUCTIONS, SCOPE OF WORK, ACTUAL LEVELS, THE EQUIPMENT AND FACILITIES NEEDED PRELIMINARY TO AND DURING THE EXECUTION OF THE WORK AND ALL OTHER MATTERS, WHICH CAN IN ANY WAY AFFECT THE WORK OR THE COST THEREOF UNDER THIS CONTRACT, AND THAT HE HAS STUDIED THE CONTRACT DOCUMENTS AND ALL OTHER DOCUMENTS PERTAINING TO THE INSTALLATION OF OTHER TRADES WHICH MAY INFLUENCE HIS WORK.

THE CONTRACTOR WILL ASSUME FULL RESPONSIBILITY, INCLUDING RESPONSIBILITY FOR ALL RELATED COSTS FOR ANY AND ALL WORK DONE WITHOUT THE APPROVAL OF THE ARCHITECT IF SUCH WORK IS IN CONFLICT WITH THE CONTRACT, DRAWINGS, OR SPECIFICATIONS.

THE OWNER WILL ESTABLISH THE LIMITS OF THE CONSTRUCTION SITE IN ADDITION TO ANY CONTRACT LIMIT LINES SHOWN IN THE DRAWINGS. THE CONTRACTOR WILL CONTINUE HIS OPERATIONS WITHIN THESE LIMITS, UNLESS UPON WRITTEN REQUEST AND REPLY, A VARIANCE IS AGREED TO BY THE OWNER. THE CONTRACTOR WILL BE RESPONSIBLE FOR TRESPASS ON AND/OR DAMAGE TO OTHER PROPERTY BY ANY OF HIS EMPLOYEES OR HIS SUBCONTRACTORS EMPLOYEES.

THE CONTRACTOR WILL BE RESPONSIBLE FOR THE SAFE WORKING CONDITIONS AT THE SITE. THE ARCHITECT AND OWNER WILL NOT BE DEEMED TO HAVE ANY RESPONSIBILITY OR LIABILITY IN CONNECTION HEREWITH.

CONSTRUCTION OPERATIONS WILL NOT INVOLVE INTERRUPTION OF HEATING, WATER, ELECTRICAL OR OTHER SERVICES TO ANY PORTION OF THE BUILDING OUTSIDE THE LIMITS OF THE CONSTRUCTION SITE DESCRIBED IN NOTE 9.

THE CONTRACTOR WILL BE RESPONSIBLE FOR CORRECTING ANY DEFICIENCIES CLAUSED BY DEFECTIVE OR ILL TIMED WORK AT NO ADDITIONAL COST TO THE OWNER.

NO SUBSTITUTIONS ARE PERMITTED EXCEPT WHERE THE TERM "APPROVED EQUAL" APPEARS. ALL SUBSTITUTIONS MUST BE APPROVED IN WRITING BY THE ARCHITECT. THE CONTRACTOR IS TO SUBMIT SAMPLES OR CATALOG CUTS OF ALL VISIBLE MATERIALS AND EQUIPMENT FOR THE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION.

1 ARCHITECTURAL SITE PLAN

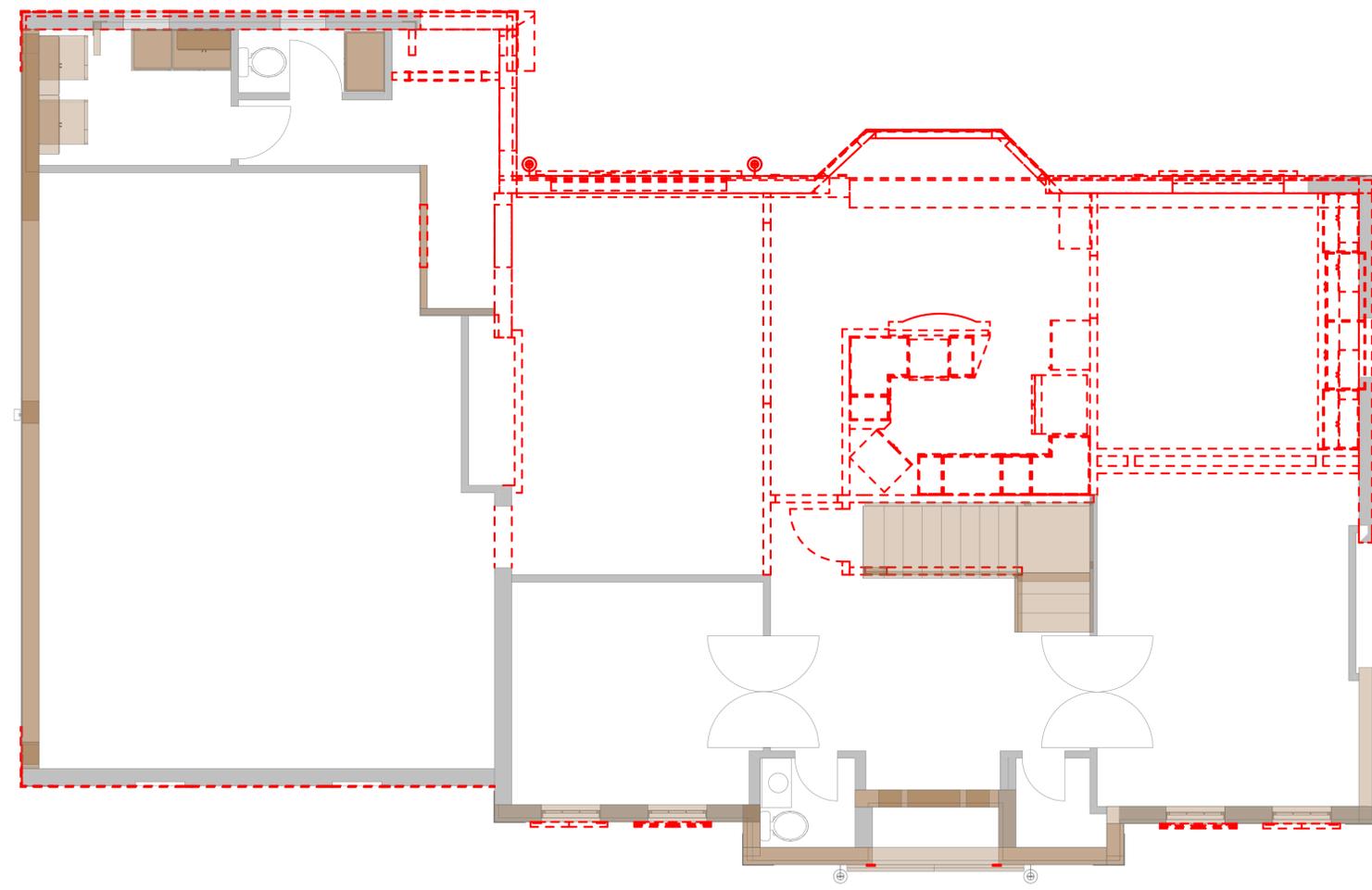
SCALE: 1" = 20'

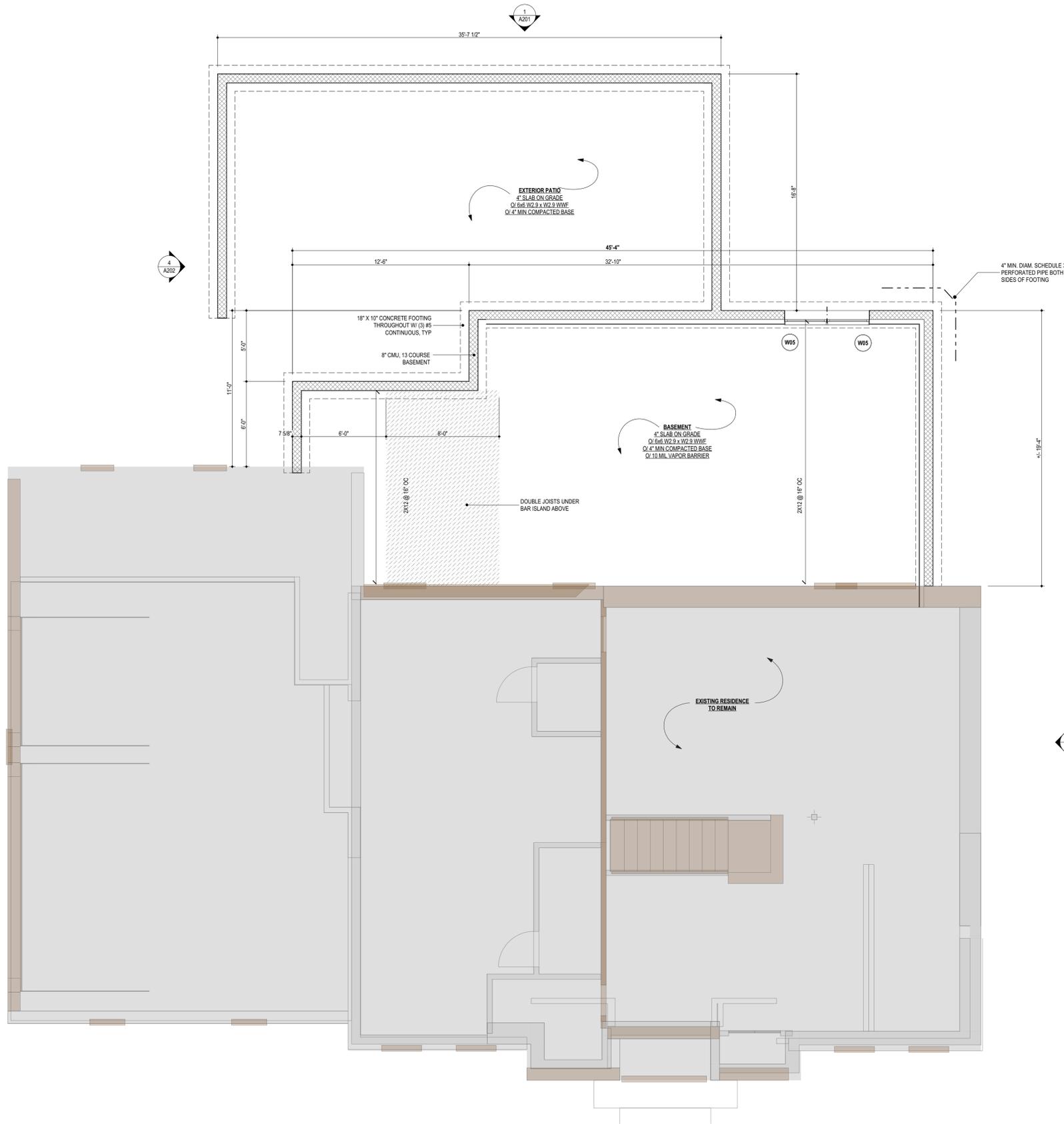


COVER SHEET

G100

ISSUE	ID	DATE
AHR	A	06/19/2025





FOUNDATION PLAN GENERAL NOTES

SUBSTITUTION CHART:

LVL SIZE	WF STEEL SIZE
(2) 12" LVL	W10 x 15
(2) 14" LVL	W12 x 16
(2) 16" LVL	W14 x 22
(2) 18" LVL	W16 x 26
(3) 12" LVL	W10 x 17
(3) 14" LVL	W12 x 18
(3) 16" LVL	W14 x 22
(3) 18" LVL	W16 x 26
(2) 18" LVL W/ 1/2" PL	W16 x 26
(2) 18" LVL W/ (2) 1/2" PL	W16 x 40

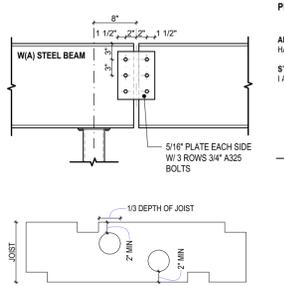
GENERAL NOTES

BLOCK WEBS SOLID AT BEARING WALL LOCATIONS ABOVE
CONTRACTOR TO EXTEND ALL POSTS DOWN TO SOUND FOUNDATION.
INSTALL FULL DEPTH SOLID BLOCKING AT ALL POINT LOAD LOCATIONS
ALL FOOTINGS TO EXTEND DOWN TO FROST LEVEL MIN.
INDICATES LOCATION OF POINT LOAD ABOVE
INDICATES LOCATION OF BEARING WALL ABOVE
COORDINATE EXACT LOCATIONS OF FLOOR DRAIN WITH MECH CONTRACTOR

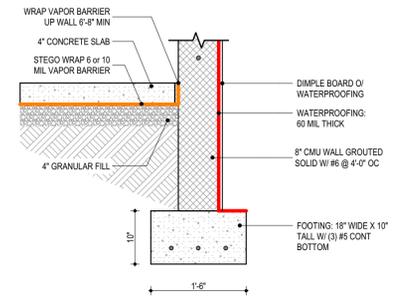
SECTION 502.8
NOTCHES IN THE TOP OR BOTTOM OF JOISTS SHALL NOT EXCEED ONE-SIXTH THE DEPTH OF THE JOIST AND SHALL NOT BE LOCATED IN THE MIDDLE THIRD OF THE SPAN. WHERE JOISTS ARE NOTCHED ON THE ENDS FOR A LEDGER, THE NOTCH SHALL NOT EXCEED ONE-FOURTH THE JOIST DEPTH. CANTILEVERED JOISTS SHALL NOT BE NOTCHED UNLESS THE REDUCED SECTION PROPERTIES AND LUMBER DEFECTS ARE CONSIDERED IN THE DESIGN.
HOLES DRILLED OR BORED IN JOISTS SHALL NOT BE WITHIN 2 INCHES OF THE TOP OR BOTTOM OR THE JOISTS AND THEIR DIAMETER SHALL NOT EXCEED ONE-THIRD THE DEPTH OF THE JOIST.

SECTION 502.6
ANY STUD IN AN EXTERIOR BEARING PARTITION MAY BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25% OF ITS WIDTH. STUDS IN NON-BEARING PARTITIONS MAY BE NOTCHED TO A DEPTH NOT TO EXCEED 40% OF A SINGLE STUD WIDTH. ANY STUD MAY BE BORED OR DRILLED, PROVIDED THAT THE DIAMETER OF THE RESULTING HOLES IS NO GREATER THAN 40% OF THE STUD WIDTH. THE EDGE OF THE HOLE IS NO CLOSER THAN 5/8 INCH TO THE EDGE OF THE STUD, AND THE HOLE IS NOT LOCATED IN THE SAME SECTION AS A CUT OR NOTCH.

BEAM SPLICE DETAILS

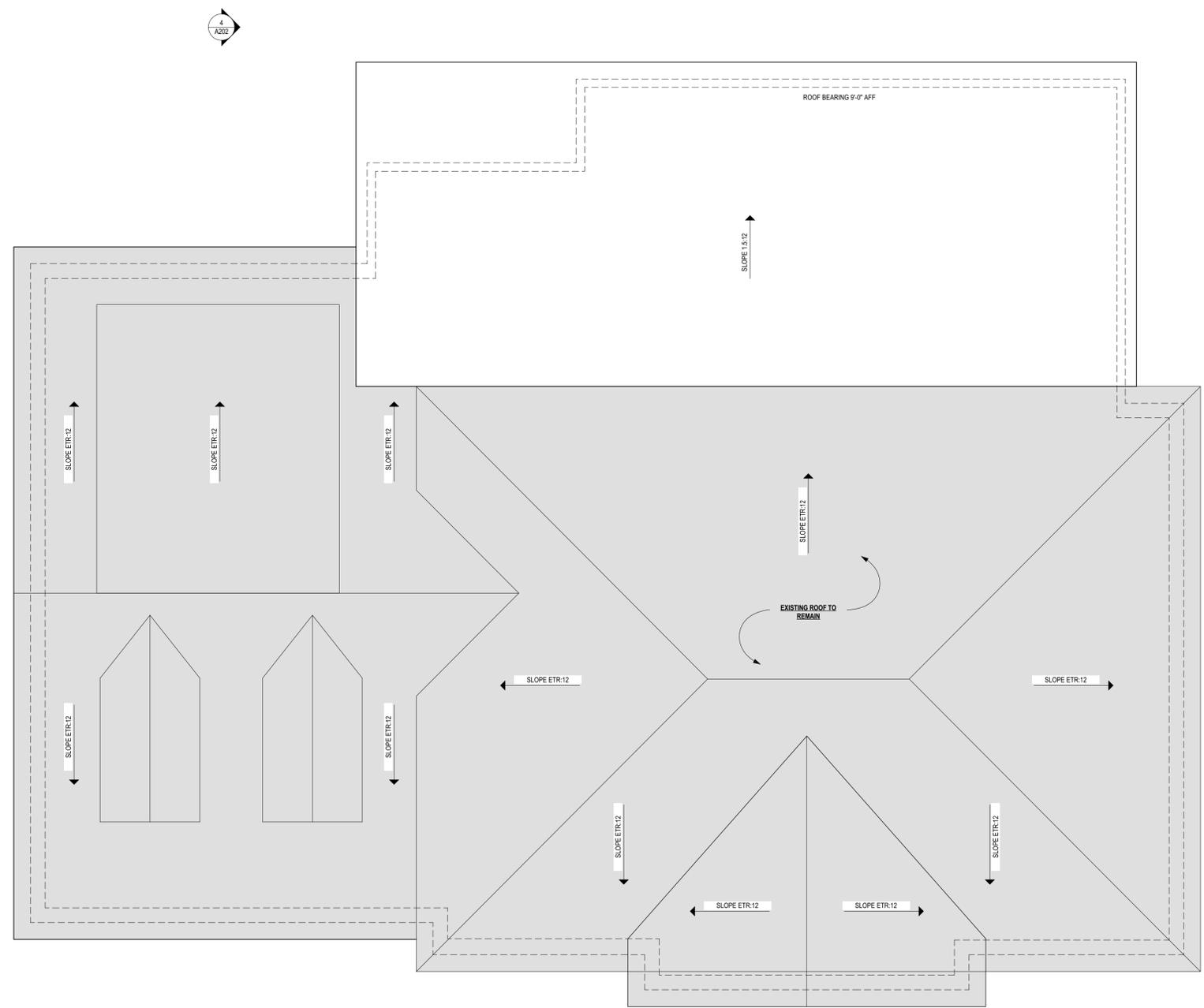


TYPICAL FOUNDATION



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EXTERIOR ELEVATION GENERAL NOTES

ALL TRIM AT WINDOWS AND DOORS TO AZEK, PAINTED.
 ALL EXPOSED WOOD ELEMENTS AND TONGUE AND GROOVE CEILINGS IS TO BE PINE, STAINED AND SEALED. COORDINATE FINAL COLOR WITH OWNER.
 ALL ROOF PENETRATIONS TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION TO ENSURE AESTHETIC EXPECTATIONS ARE MAINTAINED.

PROJECT TEAM:

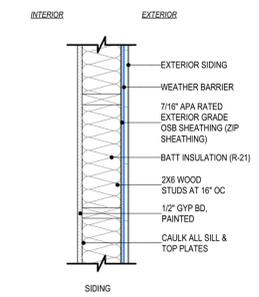
ARCHITECT
 HARA ARCHITECTS
 STRUCTURAL
 JALEWIN

MATERIAL SCHEDULE

SIDING 01 VERTICAL SIDING
 FIBER CEMENT BOARD AND BATTEN SIDING (JAMES HARDIE OR APPROVED ALTERNATE)
 COLOR: BY OWNER
SIDING 02
 NOT USED
 COLOR: BY OWNER
ROOF 01 RUBBER ROOF MEMBRANE
MASONRY 01
 CONCRETE MASONRY UNIT, EXPOSED
 PAINTED OR PARGED

EXTERIOR WALL TYPES

NOTE: WALL INFORMATION IS DEMONSTRATED IN PLAN VIEW



WINDOW COUNT PROVIDED FOR REFERENCE. CONTRACTOR RESPONSIBLE FOR COORDINATING FINAL WINDOW COUNT WITH DRAWINGS, OWNER, & ARCHITECT.

X REPRESENTS EXISTING WINDOWS TO BE REPLACED IN KIND TO MATCH COLOR, STYLE AS PROPOSED ADDITION.

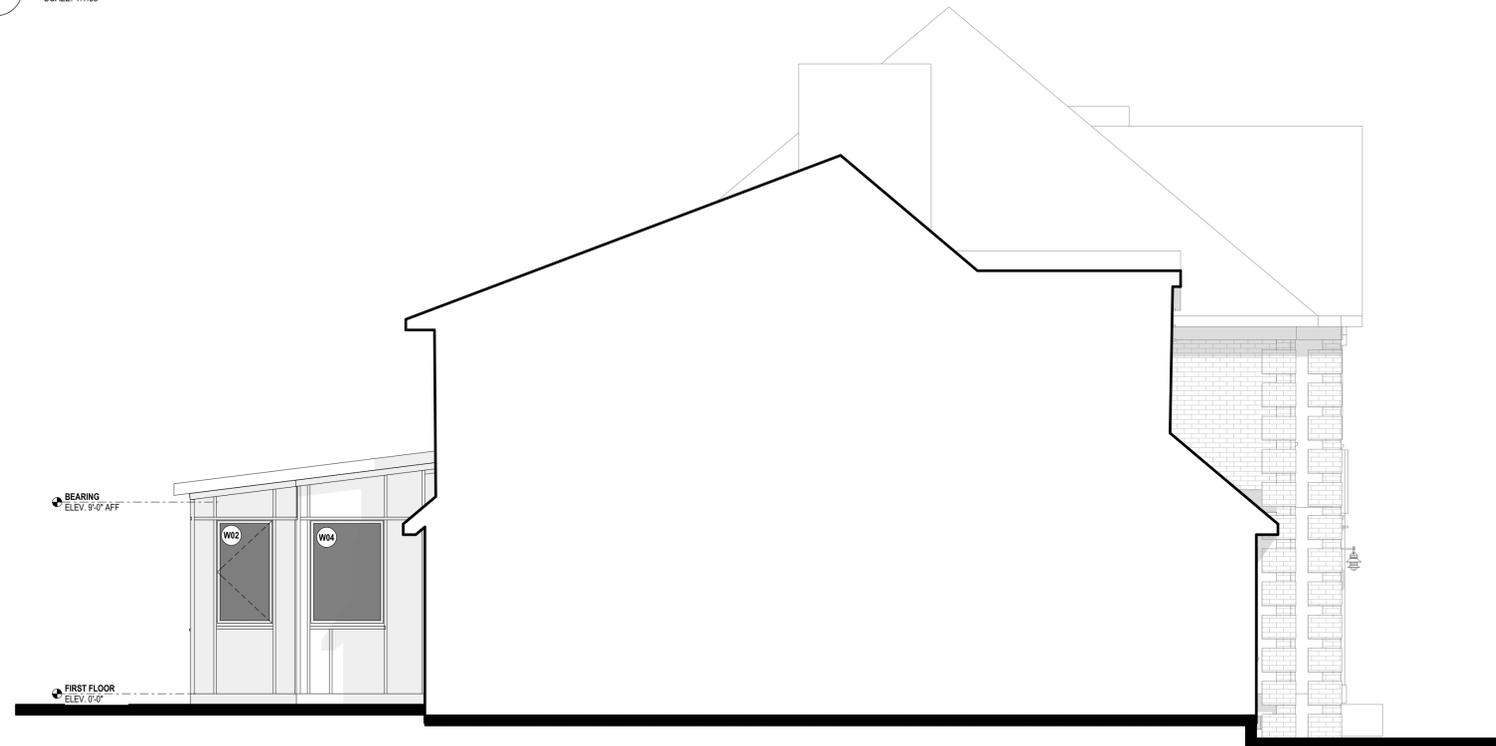
WINDOW SCHEDULE		
ID	QTY	W x H
W01	1	3'-6\"/>

RAVENSCROFT RESIDENCE
 20 Pinewood Lane, Hudson, Ohio 44126

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1 FRONT OF HOUSE
 SCALE: 1:1.38



4 SIDE OF HOUSE ELEVATION (SOUTH)
 SCALE: 1/4\"/>



EXTERIOR ELEVATIONS

EXTERIOR ELEVATION GENERAL NOTES

ALL TRIM AT WINDOWS AND DOORS TO AZEK, PAINTED.
ALL EXPOSED WOOD ELEMENTS AND TONGUE AND GROOVE CEILINGS IS TO BE PINE, STAINED AND SEALED. COORDINATE FINAL COLOR WITH OWNER.
ALL ROOF PENETRATIONS TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION TO ENSURE AESTHETIC EXPECTATIONS ARE MAINTAINED.

MATERIAL SCHEDULE

SIDING 01 VERTICAL SIDING
FIBER CEMENT BOARD AND BATTEN SIDING (JAMES HARDIE OR APPROVED ALTERNATE)
COLOR: BY OWNER

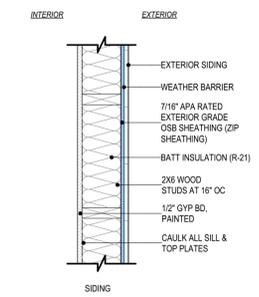
SIDING 02
NOT USED
COLOR: BY OWNER

ROOF 01 RUBBER ROOF MEMBRANE

MASONRY 01
CONCRETE MASONRY UNIT, EXPOSED
PAINTED OR PARGED

EXTERIOR WALL TYPES

NOTE: WALL INFORMATION IS DEMONSTRATED IN PLAN VIEW



WINDOW COUNT PROVIDED FOR REFERENCE. CONTRACTOR RESPONSIBLE FOR COORDINATING FINAL WINDOW COUNT WITH DRAWINGS, OWNER, & ARCHITECT.

X REPRESENTS EXISTING WINDOWS TO BE REPLACED IN KIND TO MATCH COLOR, STYLE AS PROPOSED ADDITION.

WINDOW SCHEDULE		
ID	QTY	W x H
W01	1	3'-6" x 3'-6"
W02	2	2'-8" x 5'-0"
W03	1	3'-0" x 4'-0"
W04	1	3'-6" x 5'-0"
W05	3	3'-0" x 5'-0"
W06	2	4'-6" x 5'-0"
W07	1	3'-0" x 2'-0"
W08	1	3'-0" x 6'-0"
W09	1	6'-0" x 2'-0"
W10	1	6'-0" x 6'-0"
X01	1	3'-0" x 3'-0"
X02	4	3'-0" x 4'-0"

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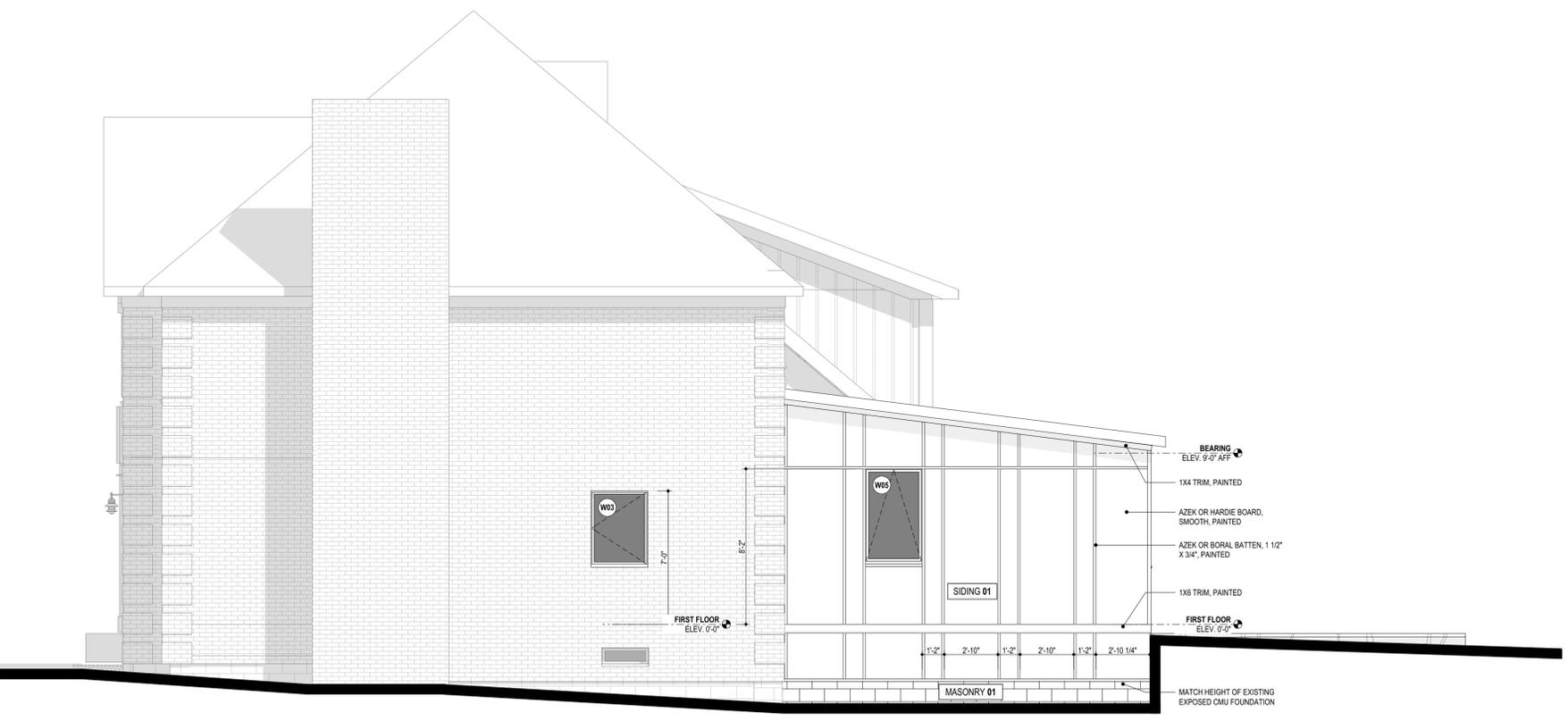
EXTERIOR ELEVATIONS

A201



1 REAR ELEVATION OF HOUSE (WEST)

SCALE: 1/4" = 1'-0"



2 SIDE OF HOUSE ELEVATION (NORTH)

SCALE: 1/4" = 1'-0"















