

APPROVED: _____ DATE _____
 STAFF APPROVAL

APPROVED: _____ DATE _____
 ENGINEERING DEPT. APPROVAL

APPROVED: _____ DATE _____
 LANDSCAPE ARCHITECT APPROVAL

BUILDER: PULTE HOMES OF OHIO, LLC.
 ADDRESS: 387 MEDINA ROAD SUITE 1700, MEDINA, OHIO 44256
 PHONE: 330-239-1587

| CURVE | LENGTH | RADIUS | TANGENT | CHORD | BEARING | DELTA |
|-------|--------|--------|---------|--------|-------------|-----------|
| C1 | 47.12' | 30.00' | 30.00' | 42.43' | S45°26'29"E | 90°00'00" |

INITIAL SITE BENCHMARK:
 SUMMIT COUNTY GEODETIC MONUMENT HU 118
 STATE PLAN COORDINATE
 N 572,745.649
 E 2,250,912.641
 ELEVATION = 1006.912 NAVD 1988

PRIMARY BENCHMARK:
 TOC/BOC ELEV @ P/L
 IN FRONT OF SUBLOT'S 109/110
 ELEV. = 1008.04

SECONDARY BENCHMARK
 TOP STEM OF HYDRANT
 IN FRONT OF SUBLOT'S 115/116
 ON FOREST EDGE DRIVE
 ELEV. = 1010.91

**THE CONTRACTOR MUST CHECK THE
 BENCHMARK WITH THE CURB GRADES
 PRIOR TO DIGGING THE FOUNDATION.**

OWNER: _____
 ADDRESS: _____
 PHONE: _____

NOTE:
 ALL PROPOSED FOOTERS WILL REQUIRE SURVEY
 CERTIFICATION ONCE SET AND PRIOR TO THE
 COMPLETION OF HOME CONSTRUCTION

DIRT CALCULATION

_____ cu. yds. CUT/FILL

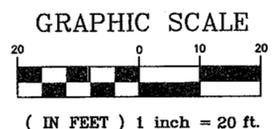
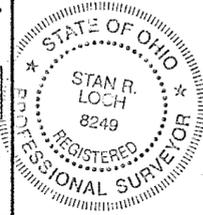
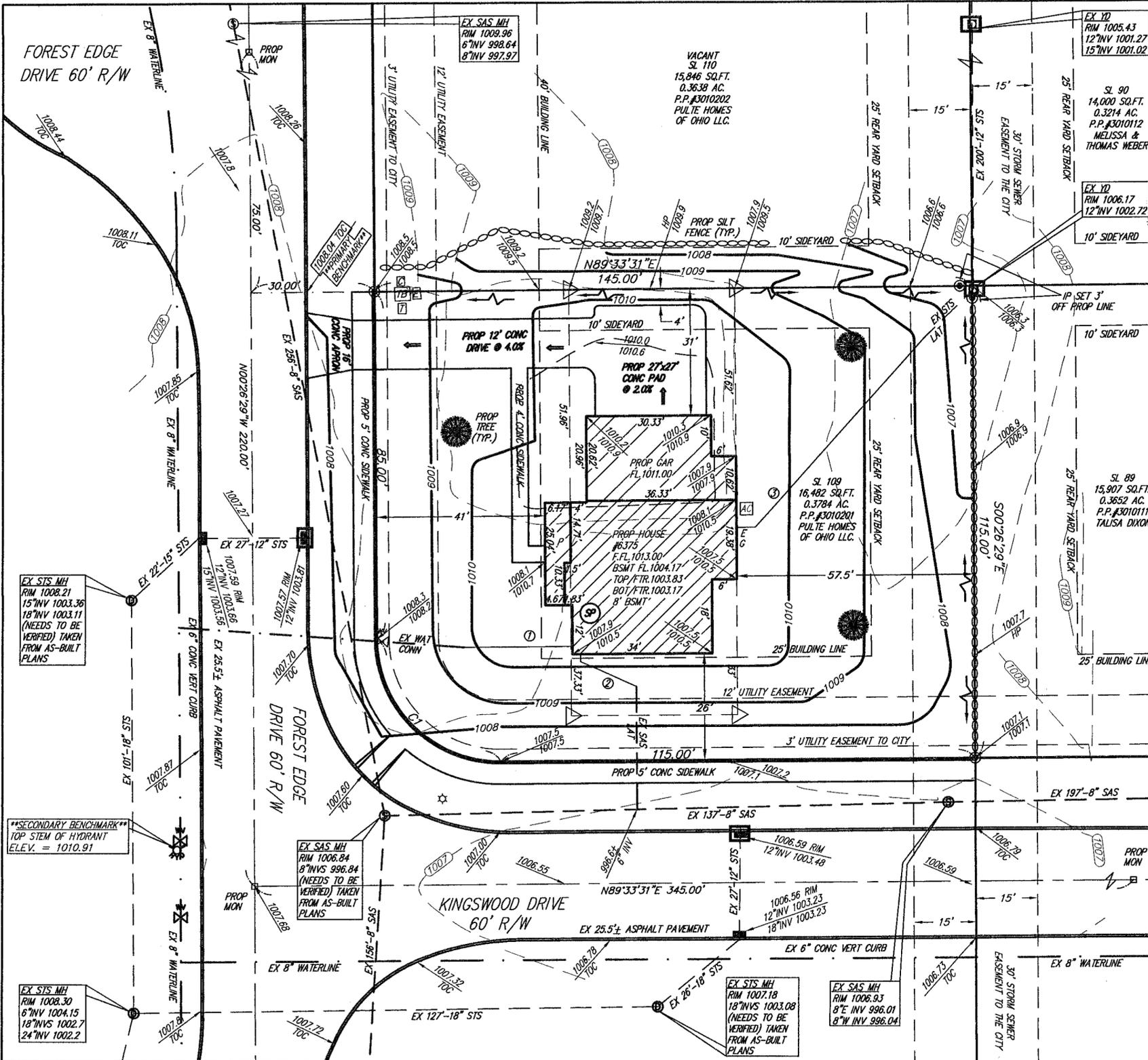
NOTE:
 FINAL LOCATION OF (3) TREES
 TO BE DETERMINED AND INSTALLED
 BY PURCHASER IN COMPLIANCE
 WITH CITY OF HUDSON LAND
 DEVELOPMENT CODE (1207.04J).

NOTES:
 DOWNSPOUTS TO BE CONNECTED TO
 STORM SEWER CONNECTION
 SUMP PUMP REQUIRED FOR FOOTER DRAINS

NOTE:
 PURCHASER TO INSTALL
 MINIMUM OF 3 TREES
 PER MUNICIPAL REQUIREMENTS

NOTE:
 PURCHASER TO INSTALL LANDSCAPING PER CITY
 OF HUDSON LANDSCAPING REQUIREMENTS.

NOTE:
 PER ARB, EGRESS WINDOW WELLS SHOULD BE NO
 MORE THAN 6" ABOVE FINISHED GRADE



PERCENTAGE OF
 LOT COVERAGE = 23.1%

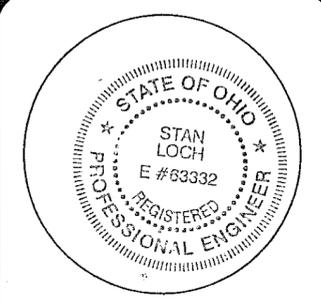
HOUSE COVERAGE = 2,238 SQ.FT.
 DRIVEWAY COVERAGE = 1,370 SQ.FT.
 WALKWAY COVERAGE = 206 SQ.FT.
 TOTAL COVERAGE = 3,814 SQ.FT.

DATE OF SURVEY:
 JANUARY 25th, 2019

TYPE OF HOUSE:
 PLAN# HOLBROOK
 ELEVATION: 1
 GAR: 3 CAR SIDE LEFT W/8' BASEMENT

- ① = PROP 1" WAT CONN
- ② = PROP 6" PVC SAS CONN @ 1.0% MIN 10% MAX
- ③ = PROP 6" PVC STS CONN @ 1.0% MIN 10% MAX

- LEGEND:**
- = PROPOSED TREE
 - = PROP MONUMENT
 - = EX CURB INLET
 - ⊙ = EX SANITARY MANHOLE
 - = EX YARD DRAIN
 - ⊙ = IRON PIN SET 5/8"x30" REBAR CAPPED "AZTECH #8249"
 - = EXISTING GRADE
 - - - = PROPOSED GRADE
 - ∞ = PROP SILT FENCE
 - = INLET PROTECTION
 - ⊕ = EX HYDRANT
 - ⊕ = EX WATER VALVE
 - ⊕ = SUMP PUMP
 - ⊕ = EX STORM MANHOLE
 - = SWALE
 - = FLOW ARROW
 - AC = AIR CONDITIONER
 - E = ELECTRIC CONNECTION
 - G = GAS CONNECTION
 - ▽ = OFFSET HUB
 - ⊕ = CABLE PEDESTAL
 - ⊕ = ELECTRIC BOX
 - ⊕ = TELEPHONE PEDESTAL



I CERTIFY THAT THIS PLAN WAS
 PREPARED BY ME AND IS CORRECT TO
 THE BEST OF MY KNOWLEDGE AND
 BELIEF.

STAN R. LOCH P.E. #63332 DATE 1-28-19

5425 WARNER ROAD - SUITE 12
 VALLEY VIEW, OHIO 44125
 440-602-9071



ENGINEERING and SURVEYING
 Civil Engineering · Land Surveying

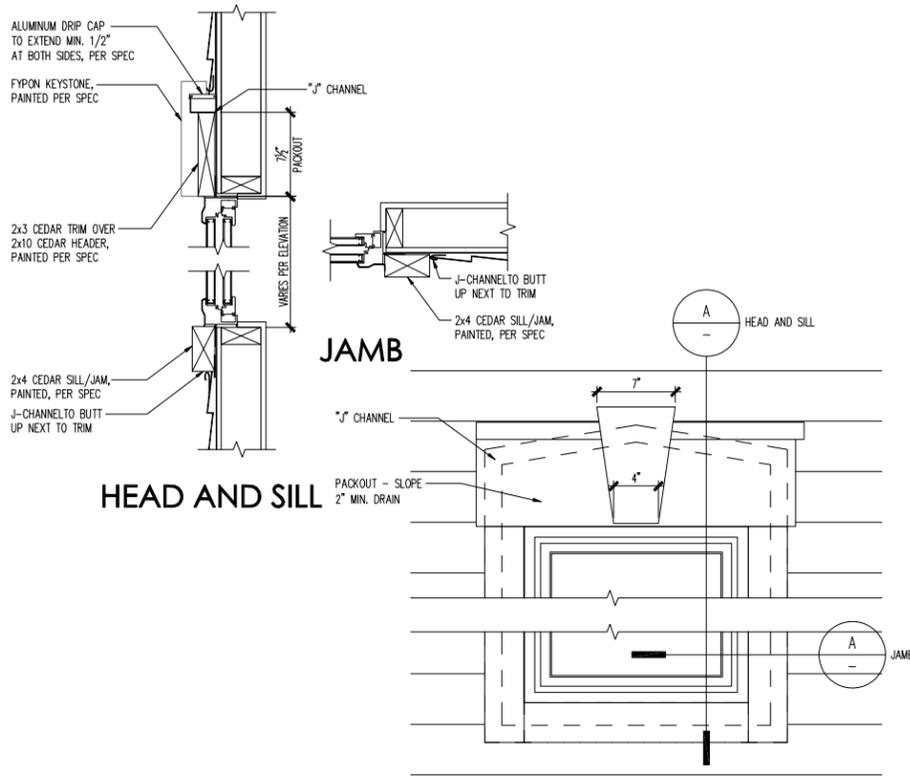
SHEET CONTENT

**SITE PLAN
 FOR
 PULTE HOMES
 SUBLOT 109
 6375 FOREST EDGE DRIVE
 IN THE
 RESERVE AT RIVER
 OAKS SUBDIVISION PH.3
 SITUATED IN THE
 CITY OF HUDSON
 COUNTY OF SUMMIT
 STATE OF OHIO**

| REVISIONS | | | |
|-----------|------|-------------|----|
| NO. | DATE | DESCRIPTION | BY |
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| HORIZ. SCALE | VERT. SCALE |
|-----------------------|---------------------------|
| 1" = 20' | |
| DRAWN BY KEG | DATE 1-28-2019 |
| CHECKED BY SRL | DRAWING NO. Site-Plans |
| JOB NO. 20142977-3 | SHEET 1 OF 1 |

A WNDW TRIM DETAIL
SCALE: 1 1/2" = 1'-0"



Cleveland Division
387 Medina Rd. Suite 1700
Medina, OH 44256



Front Elevation - 1
Front and Rear Elevations

PRODUCTION MANAGER
Jammy Hehzman
CURRENT RELEASE DATE: 01/17/2019

| REV # | DATE | DESCRIPTION |
|-------|------|-------------|
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ENGINEER OF RECORD: MULHERN & KULP ENGINEERING
ARCHITECT OF RECORD: GODDUCO DESIGN - ARCHITECTS

PROJECT TYPE
SINGLE FAMILY

COMMUNITY NAME
RIVER OAKS LOT 109
LAWSON COMMUNITY ID

GARAGE HANDING
GARAGE LEFT

SPECIFICATION LEVEL
TBD

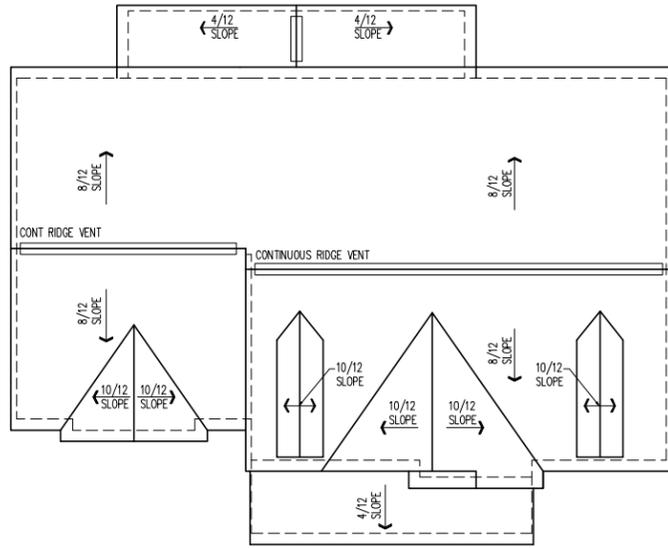
PLAN NAME
HOLBROOK
NPC PLAN NUMBER
TBD
LAWSON PLAN ID

LEGACY PLAN NUMBER / NAME
PLAN 3140

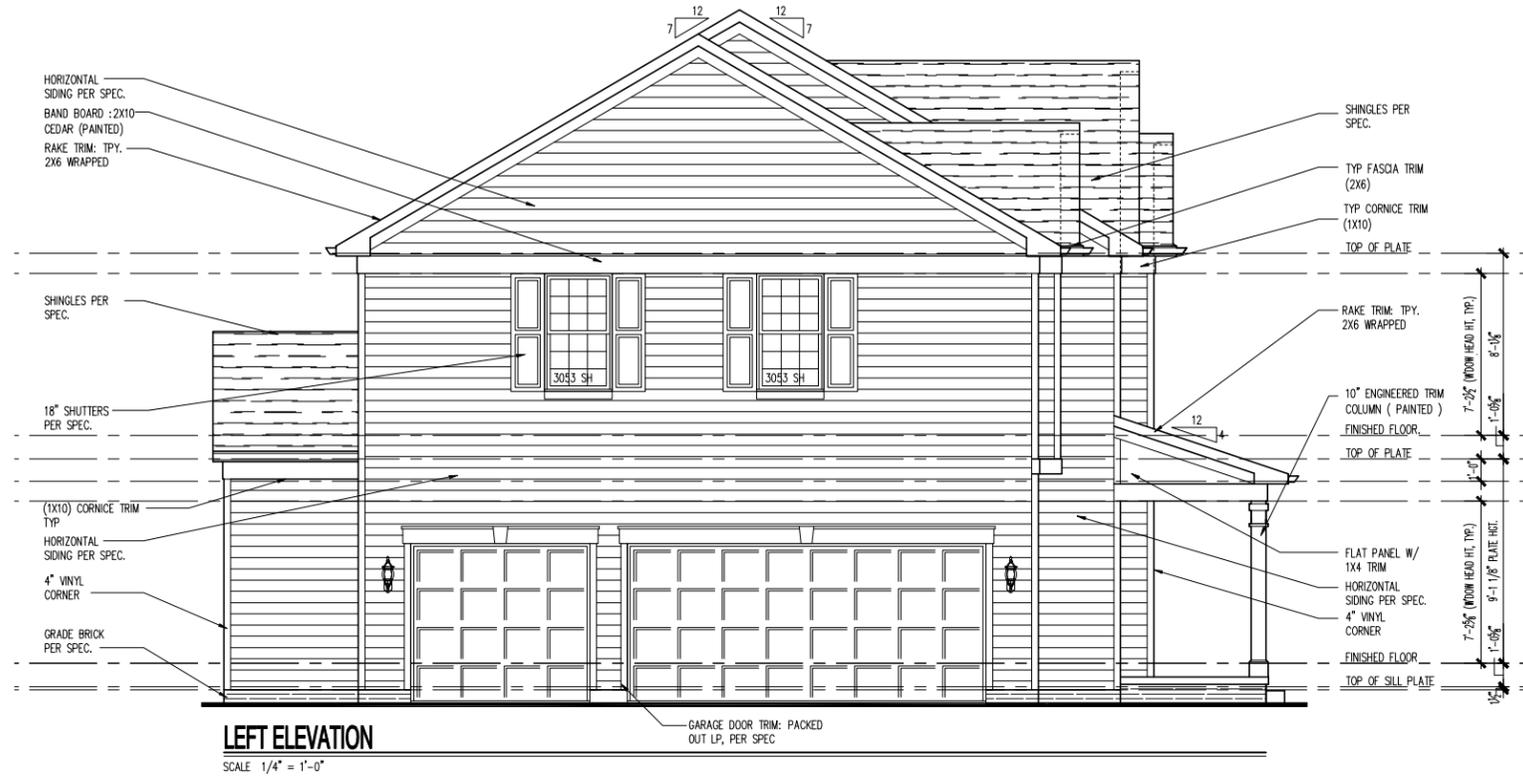
SHEET
7.01a1

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS
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| ATTIC VENTILATION SCHEDULE | | | | | | | | | | | | |
|----------------------------|----------------|------|------------|----------------|------------|-------|------------|------|------------|------|------------|--|
| 1 ELEVATION | 1ST FLOOR ROOF | | | 2ND FLOOR ROOF | | | N/A | | | N/A | | |
| | LOC | AREA | REQ'D SUPP | AREA | REQ'D SUPP | AREA | REQ'D SUPP | AREA | REQ'D SUPP | AREA | REQ'D SUPP | |
| RISE | 208 | 0.35 | 0.83 | 2078 | 3.47 | 7.38 | | | | | | |
| EAVE | | 0.35 | 0.83 | | 3.47 | 6.13 | | | | | | |
| TOTAL | | 0.70 | 1.66 | | 2.96 | 13.51 | | | | | | |



ROOF PLAN
SCALE 1/8" = 1'-0"



LEFT ELEVATION
SCALE 1/4" = 1'-0"



RIGHT ELEVATION
SCALE 1/4" = 1'-0"

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387 Medina Rd. Suite 1700
Medina, OH 44256



Front Elevation - 1
Side Elevations

PRODUCTION MANAGER
Jamey Hehzman
CURRENT RELEASE DATE: 01/17/2019

| REV # | DATE | DESCRIPTION |
|-------|------|-------------|
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PROJECT TYPE
SINGLE FAMILY

COMMUNITY NAME
RIVER OAKS LOT 109
LAWSON COMMUNITY ID

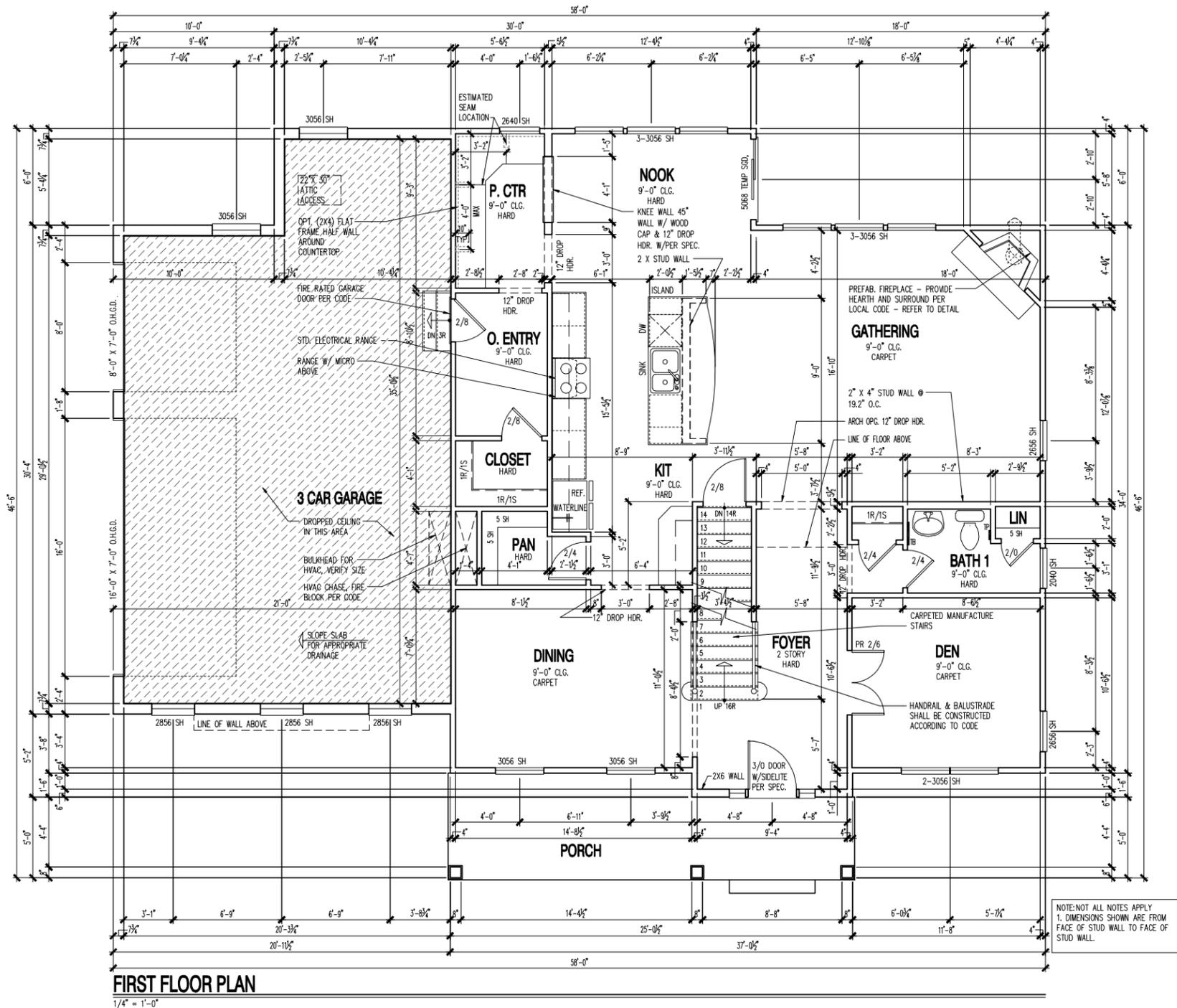
GARAGE HANDING
GARAGE LEFT

SPECIFICATION LEVEL
TBD

PLAN NAME
HOLBROOK
NPC PLAN NUMBER
TBD
LAWSON PLAN ID

LEGACY PLAN NUMBER / NAME
PLAN 3140

SHEET
7.01a2



FIRST FLOOR PLAN

1/4" = 1'-0"

NOTE: NOT ALL NOTES APPLY.
1. DIMENSIONS SHOWN ARE FROM FACE OF STUD WALL TO FACE OF STUD WALL.

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387 Medina Rd. Suite 1700
Medina, OH 44256



First Floor Plan

| REV # | DATE | DESCRIPTION |
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PROJECT TYPE
SINGLE FAMILY

COMMUNITY NAME
RIVER OAKS LOT 109
LAWSON COMMUNITY ID

GARAGE HANDING
GARAGE LEFT

SPECIFICATION LEVEL
TBD

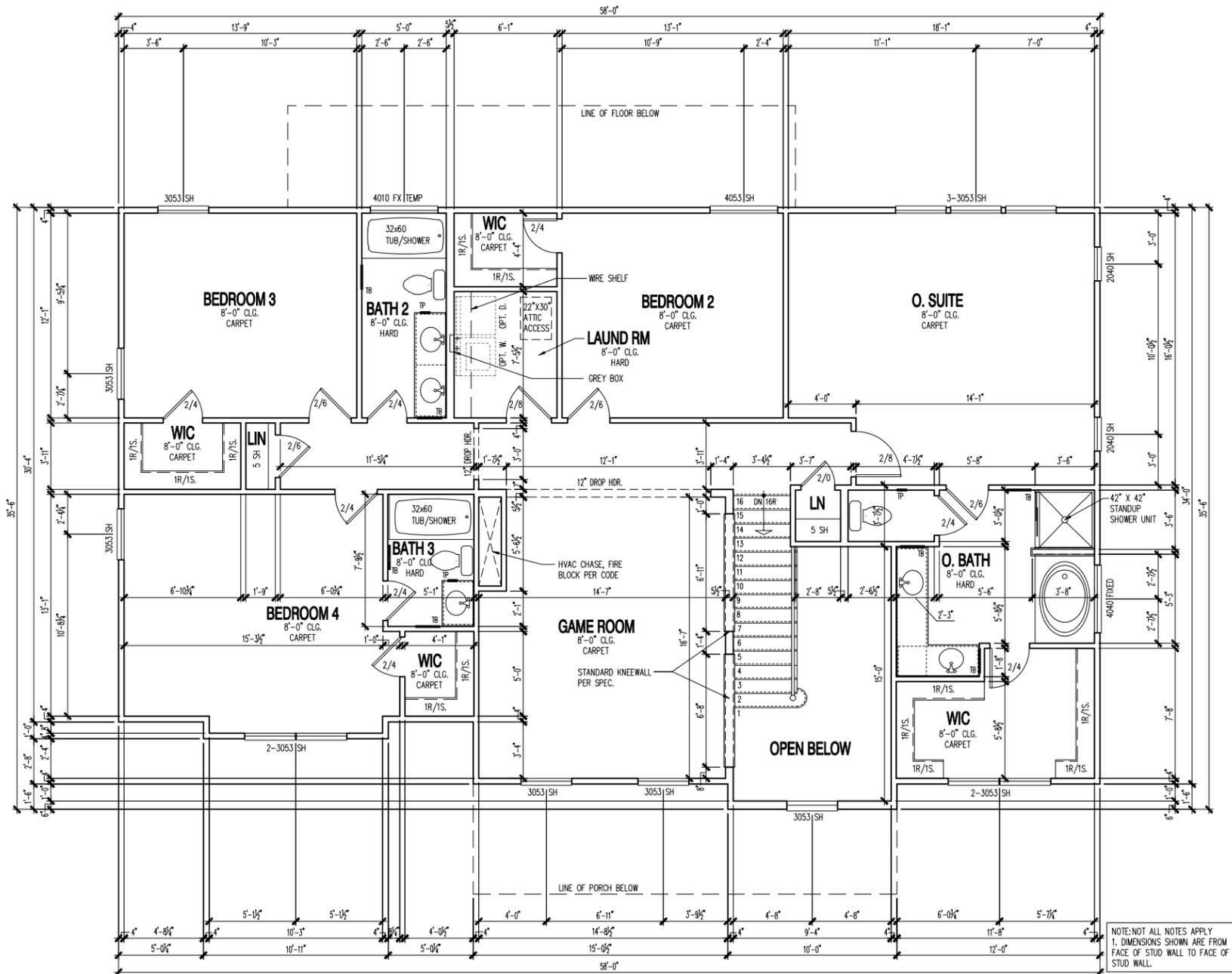
PLAN NAME
HOLBROOK
NPC PLAN NUMBER
TBD
LAWSON PLAN ID

LEGACY PLAN NUMBER / NAME
PLAN 3140

SHEET
2.10a

ENGINEER OF RECORD: MULHORN & KULP ENGINEERING
ARCHITECT OF RECORD: GODOLICO DESIGN - ARCHITECTS

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS



SECOND FLOOR PLAN

1/4" = 1'-0"



Second Floor Plan

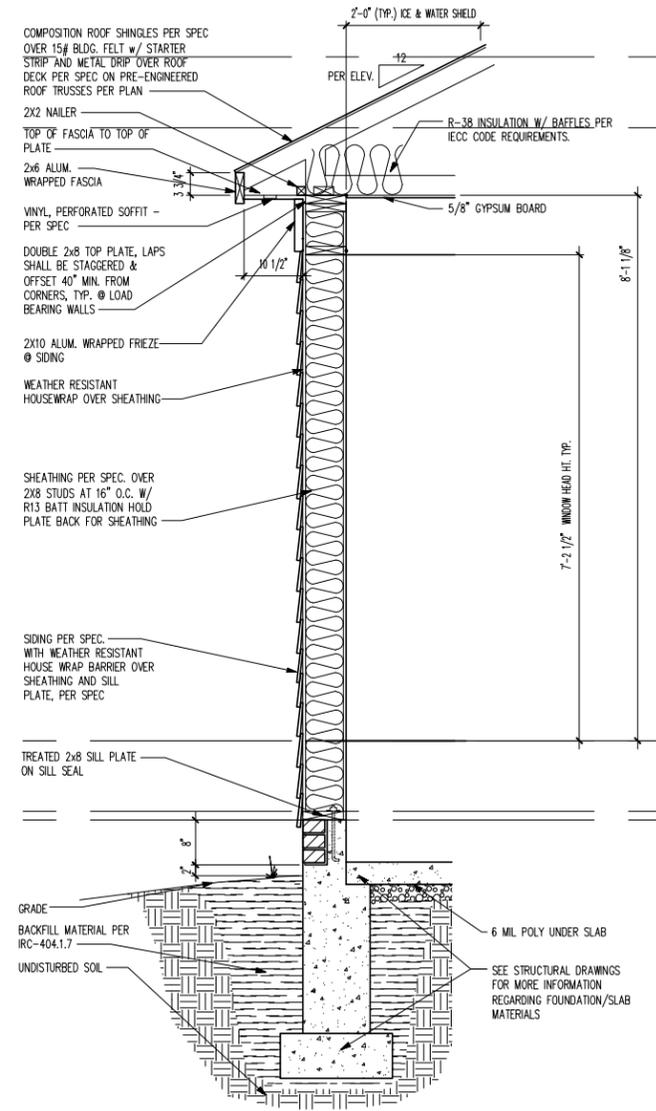
PRODUCTION MANAGER
 Jamey Heinzman
 CURRENT RELEASE DATE: 01/17/2019

| REV # | DATE | DESCRIPTION |
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NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

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|---------------------------|---------------------------|
| PROJECT TYPE | SINGLE FAMILY |
| COMMUNITY NAME | RIVER OAKS LOT 109 |
| LAWSON COMMUNITY ID | |
| GARAGE HANDING | GARAGE LEFT |
| SPECIFICATION LEVEL | TBD |
| PLAN NAME | HOLBROOK |
| NPS PLAN NUMBER | TBD |
| LAWSON PLAN ID | |
| LEGACY PLAN NUMBER / NAME | PLAN 3140 |
| SHEET | 2.20a |

ENGINEER OF RECORD: MULHERN & KULP, ENGINEERING
 ARCHITECT OF RECORD: GODDUCO DESIGN - ARCHITECTS



TYPICAL WALL SECTION - garage

SCALE 1/2" = 1'-0"

Cleveland Division
387 Medina Rd. Suite 1700
Medina, OH 44256



Typical Wall Sections

| PRODUCTION MANAGER Jeremy Heshzman | |
|---------------------------------------|--------------------|
| CURRENT RELEASE DATE: 01/17/2019 | |
| REV # | DATE / DESCRIPTION |
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PROJECT TYPE
SINGLE FAMILY

COMMUNITY NAME
**RIVER OAKS
LOT 109**
LAWSON COMMUNITY ID

GARAGE HANDING
GARAGE LEFT

SPECIFICATION LEVEL
TBD

PLAN NAME
HOLBROOK
NPC PLAN NUMBER
TBD
LAWSON PLAN ID

LEGACY PLAN NUMBER / NAME
PLAN 3140

SHEET
3.31b

ENGINEER OF RECORD: MULHERN & KULP ENGINEERING
ARCHITECT OF RECORD: GODOLICO DESIGN - ARCHITECTS

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS



OHIO DIVISION - LOT 109

River Oaks

HOLBROOK

PLAN SHEET INDEX

| SHT. | DESCRIPTION |
|--------|---|
| 0.00 | COVER SHEET |
| 1.30a | FULL BASEMENT FOUNDATION PLAN |
| 2.10a | FIRST FLOOR PLAN |
| 2.11a | PLAN DETAILS |
| 2.11b | PLAN DETAILS |
| 2.11c | PLAN DETAILS |
| 2.20a | SECOND FLOOR PLAN |
| 3.30a | TYPICAL BUILDING SECTIONS |
| 3.31a | TYPICAL WALL SECTIONS |
| 3.31b | TYPICAL WALL SECTIONS |
| AD 3.7 | ARCHITECTURAL DETAILS |
| 6.10 | FIRST FLOOR ELECTRICAL PLAN |
| 6.11 | SECOND FLOOR ELECTRICAL PLAN |
| 7.01a | FRONT ELEVATION "1" - FRONT AND REAR ELEVATIONS |
| 7.01a2 | FRONT ELEVATION "1" - SIDE ELEVATIONS AND ROOF PLAN |
| S-1.0 | 1ST FLOOR FRAMING PLAN |
| S-1.1 | 1ST FLOOR FRAMING PLAN |
| S-1.2 | 1ST FLOOR FRAMING PLAN |
| S-1.3 | 1ST FLOOR FRAMING PLAN |
| S-1.4 | 1ST FLOOR FRAMING PLAN |
| S-2.0 | 2ND FLOOR FRAMING PLAN |
| S-2.1 | 2ND FLOOR FRAMING PLAN |
| S-2.2 | 2ND FLOOR FRAMING PLAN |
| S-2.3 | 2ND FLOOR FRAMING PLAN |
| S-3.0 | ROOF FRAMING PLAN |
| S-3.0A | ROOF FRAMING PLAN |
| S-3.1 | ROOF FRAMING PLAN |
| S-3.2 | ROOF FRAMING PLAN |
| S-4.0 | LATERAL BRACING DETAILS |
| S-4.1 | LATERAL BRACING DETAILS |

1 - GENERAL BUILDING & DESIGN REQUIREMENTS

1) THE ATTACHED PLANS & SPECIFICATIONS ARE THE SOLE PROPERTY OF PULTE HOMES INC. ANY UNAUTHORIZED USE OF THESE PLANS WITHOUT PRIOR WRITTEN CONSENT OF PULTE HOMES INC IS STRICTLY PROHIBITED.

2) PULTE HOMES INC. DESIGNS & BUILDS HOUSING AS SET FORTH BY THE FORMAT AND PROVISIONS OF THE RESIDENTIAL CODE OF OHIO (RCO), AND THE NATIONAL ELECTRIC CODE (NEC). ANY NON-CONFORMING DOCUMENTS DISCOVERED BY THE CONTRACTOR OR HIS AGENTS SHALL BE CALLED TO THE IMMEDIATE ATTENTION OF PULTE HOMES INC. BY CALLING (651) 452-5200.

3) THESE PLANS ARE SUBJECT TO MODIFICATIONS TO MEET CODE REQUIREMENTS AND/OR TO FACILITATE MECHANICAL/ ELECTRICAL/ PLUMBING INSTALLATION AND/OR TO IMPLEMENT DESIGN IMPROVEMENTS. ANY INTENTION TO MODIFY THESE PLANS MUST BE APPROVED IN WRITING BY PULTE HOMES INC.

4) CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AFFECTING CONTRACTOR'S PRODUCTS, INSTALLATIONS, OR FABRICATIONS IN THE FIELD PRIOR TO EXPEDITING THE CONSTRUCTION OF SUCH WORK. FIELD VERIFY ALL DIMENSIONS - DO NOT SCALE DRAWINGS!! CONTRACTOR IS RESPONSIBLE FOR SURVEYING THE PROJECT AND BECOMING FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK INCLUDING BUT NOT LIMITED TO SITE AND SOIL BEARING CONDITIONS.

5) ERRORS AND OMISSIONS WHICH MAY OCCUR IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, IN WRITING, AND WRITTEN INSTRUCTION SHALL BE OBTAINED PRIOR TO PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY ERRORS, DISCREPANCIES, OR OMISSIONS FOR WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT PRIOR TO CONSTRUCTION AND/ OR FABRICATION OF THE WORK.

2 - SITE CONSTRUCTION

1) SOIL BEARING CALCULATIONS BASED ON 2500 PSF MIN

2) BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS.

3) BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS BACKFILL TO NOT DAMAGE THE FOUNDATION WALLS OR ANY WATERPROOFING/ DAMPROOFING MATERIALS.

3 - CONCRETE

1) ALL CONCRETE EXPOSED TO EXTERIOR ELEMENTS SHOULD BE AIR ENTRAINED 4-6%.

2) SLOPE ON DRIVE SHALL BE NO LESS THAN 2% OR 1/4" PER FOOT- PREFERABLY 4% OR 1/2" PER FOOT. THE FRONT STOOP SHALL HAVE SLOPE EQUAL TO 1" PER FOOT. THE RAISED WALK IN GARAGE SHALL HAVE A 1/2" PER FOOT SLOPE AND DRIVE SLAB SHALL BE SLOPED MIN. 1/4" PER FOOT.

3) SOME COLUMN DIMENSIONS ARE FROM CENTER OF COLUMN TO EXTERIOR FACE OF BASEMENT WALL.

4) BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS.

5) BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS TO NOT DAMAGE THE FOUNDATION WALLS OR WATERPROOFING / DAMPROOFING MATERIALS.

6) MUD SILLS SHALL BE TREATED MEMBERS AND SECURED BY ANCHOR BOLTS AND/OR STRAPS AS SPECIFIED IN THE DRAWINGS, DETAILS, AND SPECIFICATIONS.

7) CALCULATIONS FOR COLUMN PADS BASED ON 2500 PSF SOIL BEARING.

4 - MASONRY

1) ALL EXTERIOR BRICK MUST MEET ASTM C-216 FOR "SM" CONDITIONS

2) MASONRY VENEER SHALL BE ATTACHED TO SUPPORTING WALLS w/ 22GA x 7/8" CORRUGATED METAL TIES AT 24" O.C.

3) FLASHING BEHIND MASONRY SHALL BE 14# BUILDING PAPER OR FELT OR APPROVED EQUAL ATTACHED TO THE SHEATHING TO PREVENT MOISTURE PENETRATION.

4) WEEPHOLES SHALL BE PROVIDED ALONG THE OUTSIDE WYTHE OF EXTERIOR MASONRY WALLS AT 33" O.C. MAX. SHALL BE A MIN. OF 3/16" IN DIAMETER, AND LOCATED IMMEDIATELY ABOVE THE FLASHING

5 - METALS

6 - WOOD AND PLASTICS

7 - THERMAL & MOISTURE PROTECTION

1) INSTALL FIRE STOPPING AND/ OR DRAFT STOPPING AS REQUIRED.

2) ATTIC VENTILATION SHALL BE PROVIDED AT 1/150th OF THE AREA OF THE SPACE VENTILATED. CROSS VENTILATION WITH HALF OF THE VENTILATED AREA SHALL BE PROVIDED BY RIDGE OR GABLE VENTS AND THE OTHER HALF BY EAVE OR CORNICE VENTS. VENTS SHALL BE PLACED SO AS TO NOT ALLOW INFILTRATION OF RAIN OR SNOW.

3) PROVIDE APPROVED TILE BACKER BOARD FOR ALL SHOWER AND BATH SPACE

4) PROVIDE ICE-SHIELD PER CODE

5) ROOF VENTING TO BE PROVIDED AS SHOWN. SOFFIT, RIDGE, AND OTHER ROOF VENTS TO BE INSTALLED AS NOTED ON THE DRAWINGS & AS PER MANUFACTURERS RECOMMENDATIONS.

6) HOUSE WRAP & FLASHING TO BE INSTALLED PER PULTE BEST PRACTICES.

8 - DOORS AND WINDOWS

1) WINDOW CALL OUT PER WINDOW SCHEDULE VERIFY WINDOW MANUFACTURER WITH PROJECT MANAGER

2) REVIEW ALL WINDOW HDR HEIGHTS PER PLATE HT. AND VERIFY W/ ELEVATIONS AND CORNICE DETAILS

3) TEMPERED GLASS SHALL BE USED IN ALL HAZARDOUS AREAS

4) FRONT DOOR WIDTH AS REQUIRED BY CODE

5) GARAGE DOOR AS REQUIRED BY CODE

6) EMERGENCY - SLEEPING ROOMS SHALL HAVE AT LEAST ONE EGRESS OPENING OF NOT LESS THAN 5.7 SF AND A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR.

15 - MECHANICALS

1) FACTORY BUILT CHIMNEYS AND FIREPLACES SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS, AND ARE SUBJECT TO MECHANICAL INSPECTION

2) PROVIDE EXTERIOR AIR INTAKE FOR COMBUSTION AIR.

16 - ELECTRICAL

1) ALL ELECTRICAL INSTALLATION SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRIC CODE (NEC), ALL MATERIAL AND EQUIPMENT SHALL BEAR THE LABEL OF APPROVAL OF THE UNDERWRITERS LABORATORIES, INC.

2) ELECTRICAL CONTRACTOR SHALL VERIFY SPACE REQUIRED FOR METER INSTALLATION BEFORE CONSTRUCTION AND SHALL NOTIFY GENERAL CONTRACTOR OF ANY DISCREPANCIES.

3) VERIFY LOCATION OF ALL RECEPTACLES FOR APPLIANCES WITH MANUFACTURER SPECIFICATIONS.

4) GROUND FAULT INTERRUPTS SHALL BE LOCATED PER THE NEC.

5) ALL SWITCHES SHALL BE INSTALLED AT 3'-2" ABOVE FINISHED FLOOR TO CENTERLINE OF SWITCH UNLESS NOTED OTHERWISE.

6) ALL CONVENIENCE OUTLETS SHALL BE INSTALLED W/ CENTERLINE OF OUTLET LOCATED 1'-3" ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE.

7) ALL CONVENIENCE OUTLETS WITH SWITCHES TO BE SWITCH AT TOP ONLY.

8) ALL EXTERIOR WALL BRACKET FIXTURES SHALL BE INSTALLED AT 5'-6" ABOVE ADJACENT DOOR SILL HEIGHT TO CENTERLINE OF FIXTURE.

9) APPROVED SMOKE DETECTORS SHALL BE LOCATED ON EVERY STORY OF THE DWELLING UNIT AS PER CODE (SEE SHEET 6.XXX FOR LOCATIONS). WHERE MORE THAN ONE DETECTOR IS REQUIRED THEY SHALL BE INTERCONNECTED. POWER SOURCE SHALL BE BUILDING POWER W/ BATTERY BACKUP.

GENERAL FRAMING SPECS AND CONSTRUCTION NOTES STAIRS:

1) THE MAXIMUM RISER HEIGHT SHALL BE 7 3/4 INCHES (210 MM) AND THE MINIMUM TREAD DEPTH SHALL BE 10 INCHES (229 MM).

2) HANDRAILS HAVING MINIMUM AND MAXIMUM HEIGHTS OF 34 INCHES AND 38 INCHES SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS.

3) HANDRAIL AND BALUSTRADE (WHERE PRESENT) SHALL BE CONSTRUCTED PER CODE

4) ALL REQUIRED HAND RAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS W/ 2 OR MORE RISERS FROM A POINT ABOVE THE TOP RISER OF A FLIGHT TO A POINT ABOVE THE LOWEST RISER OF THE FLIGHT. ENDS SHALL BE RETURNED OR SHALL TERMINATE AT WELLS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1.5" BETWEEN THE WALL AND HAND RAIL.

WALLS:

1) ALL STUDS TO BE 2x4 SPF OR EQUAL UNLESS NOTED OTHERWISE.

2) USE DBL TOP PLATES 16" OC ON BOTH FIRST AND SECOND FLOOR AT ALL EXTERIOR AND LOAD BEARING CONDITIONS ALL OTHER PARTITION WALL USE SINGLE TOP PLATE 24"OC.

FLOORS:

1) STRUCTURAL FLOOR MEMBERS SHALL NOT BE CUT, BORED, OR NOTCHED IN EXCESS OF THE LIMITATIONS SPECIFIED PER CODE

2) THE ENDS OF EACH JOIST, BEAM, OR GIRDER SHALL HAVE NOT LESS THAN 1.5 INCHES (38MM) OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3 INCHES (76MM) ON MASONRY OR CONCRETE OR AS OTHERWISE SPECIFIED PER CODE

3) ANY CONVENTIONAL FLOOR JOISTS SHOWN DOUBLED ON PLANS TO BE GLUED AT INSTALLATION AND NAILED W/ 3-16d NAILS @ 16" O.C. MULTIPLE PLIES OF ENGINEERED LUMBER TO BE ASSEMBLED PER MANUF. RECOMM.

4) SHOP DRAWINGS FOR ANY AND ALL ENGINEERED FLOOR SYSTEMS TO BE SUBMITTED TO ARCHITECT TO REVIEW IN CONFORMANCE WITH THESE CONSTRUCTION DOCUMENTS. WHERE THE CONSTRUCTION DOCUMENTS DO NOT ADDRESS METHODOLOGY, CONTRACTOR TO BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

FRAMING:

1) ALL FRAMING DIMENSIONS TO FACE OF MEMBER/SHEATHING.

2) ALL BEARING HEADERS TO BE 2 X 8 #2 OR EQUAL UNLESS NOTED OTHERWISE.

3) ALL 2x10 & 2x12 HEADERS TO BE DOUGLAS FIR LARCH (NORTH) - #2 UNLESS NOTED OTHERWISE.

4) ALL 2x8 HEADERS TO BE #2 UNLESS NOTED OTHERWISE.

5) PROVIDE 1x4 BLOCKING UNDER ALL EXTERIOR SLIDING DOORS.

6) ALL BEAMS & HEADERS SHALL HAVE A MINIMUM OF (1) 2x JACK STUD & (1) 2x KING STUD. THE NUMBER OF STUDS LABELED ON PLANS INDICATES THE NUMBER OF JACK STUDS ONLY (UNLESS NOTED OTHERWISE).

7) TWO-PLY CONVENTIONAL BEAMS TO BE FACE-NAILED W/2 ROWS 16d COMMON NAILS STAGGERED @16" O.C. UNLESS NOTED OTHERWISE. THREE-PLY CONVENTIONAL BEAMS TO BE NAILED AS ABOVE FROM EACH SIDE. MULTIPLE PLIES OF ENGINEERED LUMBER TO BE ASSEMBLED PER MANUF. RECOMM.

8) JOIST HANGERS, WHERE REQUIRED, SHALL BE USED WITHOUT ANGLES.

9) INSTALL FIRE STOPPING AND/ OR DRAFT STOPPING AS REQUIRED.

ROOF:

1) HIP AND VALLEY RAFTERS SHALL BE SUPPORTED AT RIDGE DOWN TO BEARING PARTITION. CUT ENDS OF RAFTERS SHALL BE FULLY SUPPORTED WALL AND RIDGE.

2) SHOP DRAWINGS FOR ANY AND ALL ENGINEERED ROOF TRUSS SYSTEMS TO BE SUBMITTED TO ARCHITECT TO REVIEW IN CONFORMANCE WITH THESE CONSTRUCTION DOCUMENTS. WHERE THE CONSTRUCTION DOCUMENTS DO NOT ADDRESS METHODOLOGY, CONTRACTOR TO BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

WINDOW DATA:

| SIMONTON WINDOWS PERFORMANCE DATA | | | | | |
|-----------------------------------|---------|----------|------|------|--|
| WINDOWS | | | | | |
| | R VALUE | U FACTOR | SHGC | VT | |
| ARGON WITHOUT GRIDS | | | | | |
| 3/4" LOW-E 270/CLEAR | 3.13 | 0.32 | 0.28 | 0.54 | |
| ARGON WITH GRIDS | | | | | |
| 3/4" LOW-E/270 CLEAR | 3.03 | 0.33 | 0.26 | 0.48 | |
| SLIDING GLASS DOORS | | | | | |
| ARGON WITHOUT GRIDS | | | | | |
| 3/4" LOW-E 270/CLEAR | 3.45 | 0.29 | 0.29 | 0.57 | |
| ARGON WITH GRIDS | | | | | |
| 3/4" LOW-E 270/CLEAR | 3.23 | 0.31 | 0.26 | 0.50 | |

LIGHT & VENT CALCULATIONS:

| ROOM | SQ. FT. | LIGHT REQ'D | LIGHT SUPP | VENT REQ'D | VENT SUPP | NOTES |
|------------------|---------|-------------|------------|------------|-----------|-------|
| PLAN CENTER | 55 | 4.40 | 5.20 | 2.20 | 2.10 | |
| KITCHEN/NOOK | 325 | 26.00 | 64.94 | 13.00 | 31.62 | |
| GATHERING | 287 | 22.96 | 46.30 | 11.48 | 19.80 | |
| POWDER ROOM | 36 | N/A | 5.20 | 39.6 | 50.00 | |
| DEN | 123 | 9.84 | 46.30 | 4.92 | 19.80 | |
| DINING ROOM | 161 | 12.88 | 24.80 | 6.44 | 10.60 | |
| OWNER'S SUITE | 274 | 21.92 | 66.20 | 10.96 | 26.60 | |
| OWNER'S BATHROOM | 104 | N/A | 12.40 | 114.40 | 150 | |
| TOILET ENCLOSURE | 15 | N/A | N/A | 16.5 | 50 | |
| BEDROOM 2 | 158 | 12.64 | 16.30 | 6.32 | 6.90 | |
| BEDROOM 3 | 166 | 13.28 | 23.40 | 6.64 | 9.80 | |
| BEDROOM 4 | 205 | 16.40 | 35.10 | 8.20 | 14.70 | |
| BATH 2 | 60 | N/A | N/A | 66.00 | 100.00 | |
| GAME ROOM | 242 | 19.36 | 23.40 | 9.68 | 9.80 | |

APPLICABLE CODES:

2006 RESIDENTIAL CODE OF OHIO
 2006 INTERNATIONAL PLUMBING CODE
 2006 INTERNATIONAL MECHANICAL CODE
 2008 NATIONAL ELECTRIC CODE
 2006 INTERNATIONAL FIRE CODE
 2006 INTERNATIONAL ENERGY CONSERVATION CODE

Cleveland Division
 387 Medina Rd. Suite 1700
 Medina, OH 44256



Cover Sheet
 Specifications & General Notes

| REV # | DATE | DESCRIPTION |
|-------|------|-------------|
| △ | | |
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PROJECT TYPE
SINGLE FAMILY

COMMUNITY NAME
RIVER OAKS LOT 109
 LAWSON COMMUNITY ID

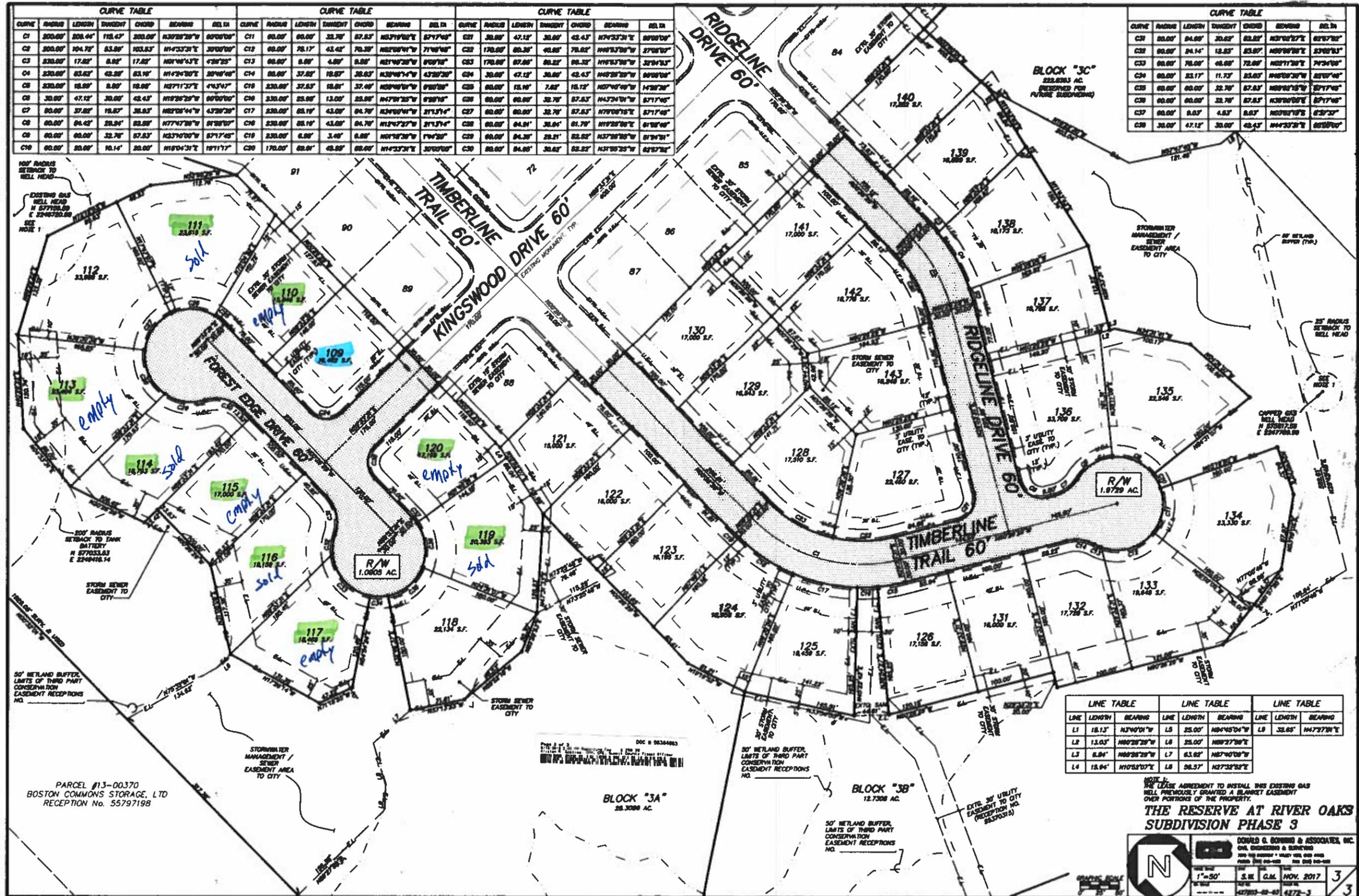
GARAGE HANDING
GARAGE LEFT

SPECIFICATION LEVEL
TBD

PLAN NAME
HOLBROOK
 NPS PLAN NUMBER
TBD
 LAWSON PLAN ID

LEGACY PLAN NUMBER / NAME
PLAN 3140

SHEET
0.00



| CURVE TABLE | | | | | | CURVE TABLE | | | | | | CURVE TABLE | | | | | |
|-------------|---------|---------|---------|---------|--------------|-------------|---------|--------|---------|--------|-------------|-------------|---------|--------|---------|--------|-------------|
| CURVE | RADIUS | LENGTH | TANGENT | CHORD | BEARING | CURVE | RADIUS | LENGTH | TANGENT | CHORD | BEARING | CURVE | RADIUS | LENGTH | TANGENT | CHORD | BEARING |
| C1 | 300.00' | 306.44' | 118.47' | 300.00' | N107°28'29"W | C11 | 60.00' | 60.00' | 32.76' | 67.53' | N57°19'31"E | C21 | 30.00' | 47.12' | 30.00' | 42.43' | N74°33'31"E |
| C2 | 300.00' | 306.44' | 118.47' | 300.00' | N14°53'31"E | C12 | 60.00' | 78.17' | 43.43' | 70.30' | N82°08'41"W | C22 | 170.00' | 60.30' | 40.00' | 78.00' | N40°37'30"W |
| C3 | 300.00' | 17.80' | 8.80' | 17.80' | N01°46'43"E | C13 | 60.00' | 6.80' | 4.80' | 6.80' | N87°46'30"E | C23 | 170.00' | 67.80' | 60.00' | 66.30' | N16°53'30"W |
| C4 | 300.00' | 63.63' | 42.80' | 63.16' | N14°24'30"E | C14 | 60.00' | 37.80' | 18.87' | 38.63' | N32°46'41"W | C24 | 30.00' | 47.12' | 30.00' | 42.43' | N40°28'29"W |
| C5 | 300.00' | 18.80' | 9.80' | 18.80' | N27°11'37"E | C15 | 300.00' | 37.83' | 18.81' | 37.40' | N89°48'01"W | C25 | 60.00' | 18.16' | 7.80' | 18.12' | N07°40'40"W |
| C6 | 30.00' | 47.12' | 30.00' | 42.43' | N16°53'30"E | C16 | 300.00' | 28.00' | 13.00' | 25.00' | N47°31'23"W | C26 | 60.00' | 60.00' | 32.76' | 67.53' | N43°34'01"W |
| C7 | 60.00' | 37.80' | 18.87' | 38.63' | N82°08'41"W | C17 | 300.00' | 68.19' | 43.00' | 64.70' | N34°08'41"W | C27 | 60.00' | 60.00' | 32.76' | 67.53' | N70°01'16"E |
| C8 | 300.00' | 64.42' | 38.94' | 62.80' | N77°47'38"W | C18 | 300.00' | 68.19' | 43.00' | 64.70' | N14°47'27"W | C28 | 60.00' | 64.81' | 38.64' | 61.79' | N19°28'30"E |
| C9 | 60.00' | 60.00' | 32.76' | 67.53' | N37°40'00"W | C19 | 300.00' | 6.80' | 4.80' | 6.80' | N07°46'30"E | C29 | 60.00' | 64.30' | 38.21' | 62.02' | N37°28'30"W |
| C10 | 60.00' | 30.00' | 16.14' | 30.00' | N18°04'31"E | C20 | 170.00' | 68.80' | 60.00' | 66.00' | N14°33'31"E | C30 | 60.00' | 64.80' | 38.62' | 62.02' | N37°28'30"W |

| CURVE TABLE | | | | | |
|-------------|--------|--------|---------|--------|-------------|
| CURVE | RADIUS | LENGTH | TANGENT | CHORD | BEARING |
| C31 | 60.00' | 64.00' | 30.61' | 62.81' | N07°02'27"E |
| C32 | 60.00' | 64.14' | 18.83' | 63.00' | N00°00'00"E |
| C33 | 60.00' | 78.00' | 40.00' | 72.00' | N07°13'01"E |
| C34 | 60.00' | 63.17' | 11.73' | 62.03' | N48°08'30"W |
| C35 | 60.00' | 60.00' | 32.76' | 67.53' | N00°00'00"E |
| C36 | 60.00' | 60.00' | 32.76' | 67.53' | N30°00'00"E |
| C37 | 60.00' | 6.03' | 4.63' | 6.03' | N00°00'00"E |
| C38 | 30.00' | 47.12' | 30.00' | 42.43' | N44°33'31"E |

| LINE TABLE | | LINE TABLE | | LINE TABLE | |
|------------|--------|-------------|------|------------|-------------|
| LINE | LENGTH | BEARING | LINE | LENGTH | BEARING |
| L1 | 18.13' | N13°00'11"W | L5 | 25.00' | N44°45'04"W |
| L2 | 13.03' | N00°28'29"W | L6 | 25.00' | N00°27'30"E |
| L3 | 8.04' | N00°28'29"W | L7 | 63.60' | N07°40'00"W |
| L4 | 18.04' | N10°58'07"E | L8 | 98.57' | N07°32'52"E |

THE RESERVE AT RIVER OAKS SUBDIVISION PHASE 3
 DONALD G. BOWING & ASSOCIATES, INC.
 CIVIL ENGINEERING & SURVEYING
 700 W. BROADWAY • SUITE 1000 • NEW YORK, NY 10036
 PHONE: (212) 693-6000 FAX: (212) 693-6001
 DATE: NOV. 2017
 SHEET: 3 OF 3
 PROJECT: 447203-02-03 4472-3

PARCEL #13-00370
 BOSTON COMMONS STORAGE, LTD
 RECEPTION No. 55797198

BLOCK "3A"
 28,300 AC.

BLOCK "3B"
 12,738 AC.

BLOCK "3C"
 22,883 AC.
 RESERVED FOR
 FUTURE SUBDIVISION

10a



110



111

Cleveland Division
387 Medina Rd. Suite 1700
Medina, OH 44256

Pulte
HOMES

Front Elevation-3
Front and Rear Elevations

| | |
|--------------|--------------------|
| PROJECT NO. | 387 MEDINA |
| DATE | 11/08/2008 |
| PROJECT TYPE | SINGLE FAMILY |
| PROJECT NAME | RIVER OAKS LOT 111 |
| LOT AREA | 1.11 AC |
| OWNER | UNION COUNTY |

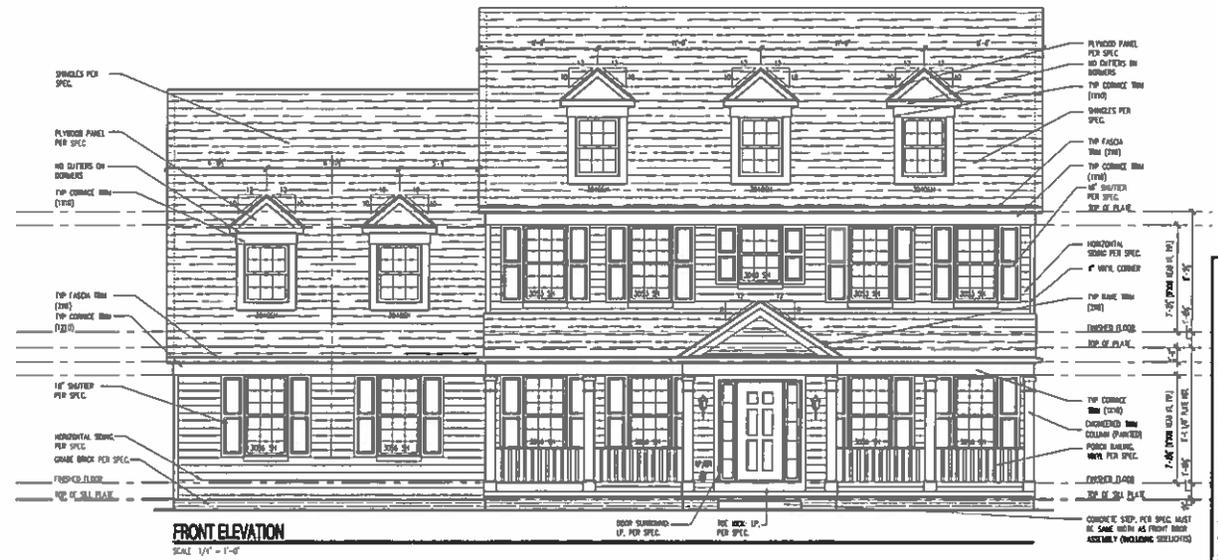
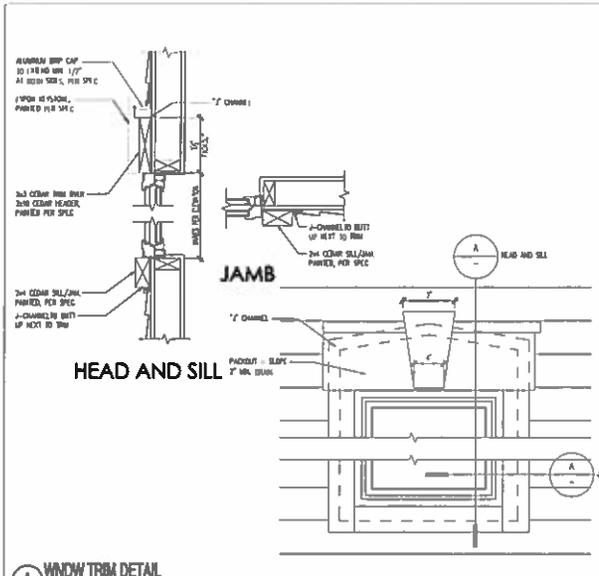
DESIGNED BY
TRB

DRAWN BY
ELLIOTT

DATE
1/14/09

PROJECT NO.
PLAN 3840

7.03a2



PULTE, MEDINA, OH 44130

CONTRACTOR: BROWN, B. & SONS, INC. 1001 STATE STREET, MEDINA, OH 44130

113

Pulte
AVAILABLE
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