

# DOWNTOWN DEVELOPMENT PHASE 2A

SITUATED IN THE CITY OF HUDSON, COUNTY OF SUMMIT AND STATE OF OHIO AND KNOWN AS PART OF ORIGINAL HUDSON TOWNSHIP, LOT 55 IN  
RANGE 10 WEST, TOWNSHIP 4 NORTH OF THE CONNECTICUT WESTERN RESERVE SURVEY

AUGUST 2019

## UTILITY EASEMENTS:

WE, THE OWNERS OF THE WITHIN PLATTED LAND, DO HEREBY GRANT UNTO THE CITY OF HUDSON, SUMMIT COUNTY, FIRST ENERGY CORPORATION, CENTURY LINK, WINDSTREAM, AT&T AND THE DOMINION ENERGY, THEIR SUCCESSORS AND ASSIGNS (HEREIN AFTER REFERRED TO AS GRANTEEES) A PERMANENT EASEMENT PARALLEL WITH AND CONTIGUOUS TO ALL STREET LINES TO CONSTRUCT, PLACE AND OPERATE, MAINTAIN, REPAIR, RECONSTRUCT AND RELOCATE SUCH UNDERGROUND ELECTRIC, GAS, SANITARY, STORM, WATER, AND COMMUNICATIONS CABLES, DUCTS, CONDUITS, PIPES, SURFACE OR BELOW GROUND MOUNTED TRANSFORMERS AND PEDESTALS, CONCRETE PADS AND OTHER FACILITIES AS ARE DEEMED NECESSARY OR CONVENIENT BY THE GRANTEEES FOR DISTRIBUTING AND TRANSMITTING ELECTRICITY, GAS, COMMUNICATION SIGNALS, SANITARY, STORM AND WATER FOR PUBLIC AND PRIVATE USE. AT SUCH LOCATIONS AS THE GRANTEEES MAY DETERMINE, UPON, WITHIN AND ACROSS SAID EASEMENT PREMISES. SAID EASEMENT RIGHTS SHALL INCLUDE THE RIGHT, WITHOUT LIABILITY THEREFORE, TO REMOVE ANY AND ALL FACILITIES NOT CONTEMPLATED IN THE RIGHTS CONVEYED TO GRANTEEES BY THE EASEMENT GRANT WITHIN SAID EASEMENT PREMISES INCLUDING, BUT NOT LIMITED TO IRRIGATION SYSTEMS, ELECTRONIC ANIMAL FENCING, TREES AND LANDSCAPING INCLUDING LAWNS, FLOWERS OR SHRUBBERY AND LANDSCAPE LIGHTING WITHIN AND WITHOUT SAID EASEMENT PREMISES WHICH MAY INTERFERE WITH THE INSTALLATION, MAINTENANCE, REPAIR OR OPERATION OF SAID FACILITIES, THE RIGHT TO INSTALL, REPAIR, AUGMENT, AND MAINTAIN SERVICE CABLES OUTSIDE THE ABOVE DESCRIBED EASEMENT PREMISES, AND WITH THE RIGHT OF ACCESS, INGRESS AND EGRESS TO AND FROM ANY OF THE WITHIN DESCRIBED PREMISES FOR EXERCISING ANY OF THE PURPOSES OF THIS RIGHT-OF-WAY AND EASEMENT GRANT. ALL SUBLOTS AND ALL LANDS SHALL BE RESTRICTED TO UNDERGROUND UTILITY SERVICE.

GRANTOR:  
TESTA COMPANIES

JOEL TESTA, CHIEF OPERATING OFFICER

GRANTEES:

CITY OF HUDSON  
SIGN:  
PRINT:

FIRST ENERGY CORPORATION  
SIGN:  
PRINT:

CENTURY LINK  
SIGN:  
PRINT:

WINDSTREAM  
SIGN:  
PRINT:

AT&T  
SIGN:  
PRINT:

DOMINION EAST OHIO GAS COMPANY  
SIGN:  
PRINT:

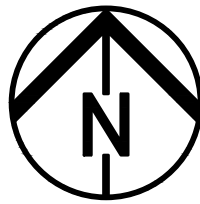
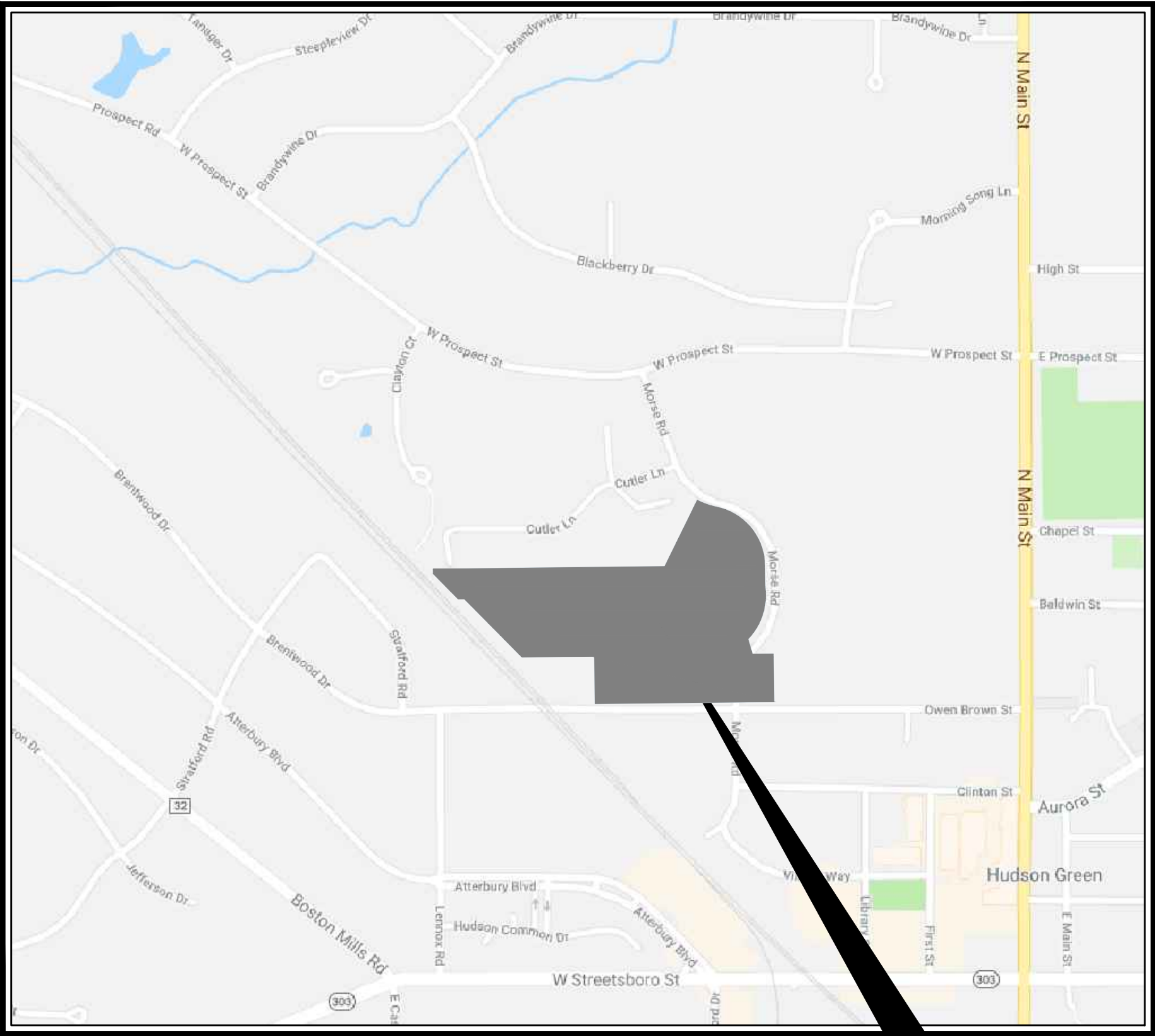
## SUBDIVISION AREA SUMMARY:

STREET R/W DEDICATION	3.3382 ACRES
BLOCKS C, D, E, F, G, H, I, K, N, AND O	7.6057 ACRES
LOTS (82)	5.6837 ACRES
TOTAL AREA	16.6276 ACRES

## CERTIFICATION:

I CERTIFY THAT THIS PLAT IS A CORRECT REPRESENTATION OF A SURVEY PERFORMED UNDER MY DIRECT SUPERVISION AND THAT THE IRON PINS AND MONUMENTS WERE FOUND OR SET AS SHOWN. DISTANCES SHOWN ARE EXPRESSED IN FEET AND DECIMAL PARTS THEREOF. THE BASIS OF BEARINGS ARE THE OHIO STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NAD 1983, 2011 ADJUSTMENT FROM GNSS OBSERVATIONS DERIVED THROUGH THE ODOT VRS NETWORK.

*Adam D. Treat*  
ADAM D. TREAT, P.S. DATE  
REGISTERED PROFESSIONAL SURVEYOR NO. 8058  
STATE OF OHIO



NOT TO SCALE

## LOCATION MAP

PROJECT LOCATION

## INDEX OF DRAWINGS

1	TITLE
2	BOUNDARY
3-8	PLAN

## PLANS PREPARED AND RECOMMENDED BY:

**Environmental Design Group**  
AKRON / CLEVELAND / COLUMBUS  
HQ 450 GRANT ST., AKRON, OH 44311  
P 330.375.1390 / T 800.835.1390  
W ENVDESIGNGROUP.COM



Know what's below.  
Call before you dig.

## ACCEPTANCE, DEDICATION, & EASEMENTS

WE THE UNDERSIGNED: TESTA COMPANIES

OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON DO HEREBY ASSENT TO AND ADOPT THIS SUBDIVISION PLAT AND ITS ESTABLISHED SETBACK LINES, AND ACKNOWLEDGE THAT THE SAME WAS MADE AT OUR REQUEST, AND HEREBY DEDICATE THE THOROUGHFARES TO PUBLIC USE AS SHOWN ON THIS PLAN AND ALSO HEREBY GRANT PERMANENT EASEMENTS AS SHOWN HEREON. ALL STORM WATER MANAGEMENT/RETENTION FACILITIES SHALL BE MAINTAINED BY AND LANDS FOR SUCH, INCLUDING ACCESS AND SECONDARY STORM DRAINAGE AREAS ARE HEREIN GRANTED TO THE PROPERTY OWNER'S ASSOCIATION AS SHOWN.

TESTA COMPANIES

JOEL TESTA, CHIEF OPERATING OFFICER

STATE OF OHIO  
COUNTY OF SUMMIT

BEFORE WE, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEAR, TESTA COMPANIES BY AND THROUGH JOEL TESTA, CHIEF OPERATING OFFICER, WHO EXECUTED THE FOREGOING INSTRUMENT IN BEHALF OF SAID TESTA COMPANIES, AND BY THE AUTHORITY OF SUCH ENTITY; AND THAT SUCH INSTRUMENT IS HIS FREE ACT AND DEED INDIVIDUALLY, AND AS SUCH OFFICER.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND OFFICIAL SEAL AT \_\_\_\_\_, OHIO,  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_\_

NOTARY PUBLIC

MY COMMISSION EXPIRES

## WETLAND NOTICE:

THE LAND DEPICTED HEREON ARE SUBJECT TO THE U.S. ARMY CORPS PERMIT NO. \_\_\_\_\_ DATED \_\_\_\_\_ AND GRANT OF SECTION 401 WATER QUALITY CERTIFICATION, OHIO EPA ID. NO. \_\_\_\_\_ DATED \_\_\_\_\_ ALL RELEVANT PROVISIONS OF THESE PERMITS SHALL APPLY.

## APPROVALS:

APPROVED BY THE PLANNING COMMISSION OF THE CITY OF HUDSON, OHIO, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_\_.

CHAIRMAN ROBERT KAGLER

APPROVED BY THE CITY MANAGER OF THE CITY OF HUDSON, OHIO, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_\_.

THOMAS J. SHERIDAN, ASSISTANT CITY MANAGER SECRETARY

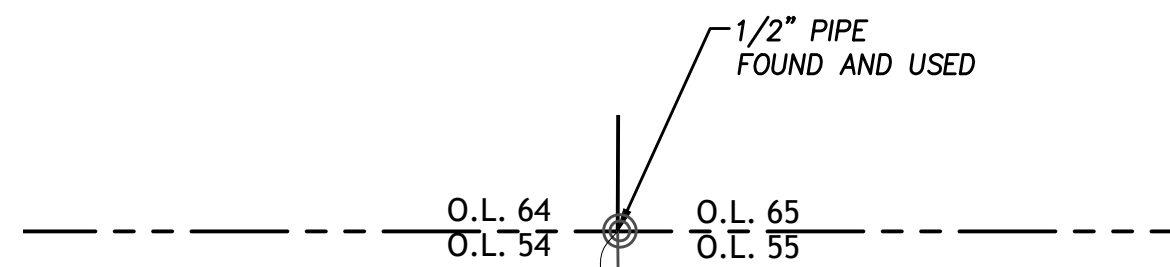
APPROVED BY THE ENGINEER FOR THE CITY OF HUDSON, OHIO, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_\_.

BRADLEY S. KOSCO, P.E., P.S., CITY ENGINEER

REVISED: 08-06-2019

PROJ. NUMBER 17-00257-020	TITLE
DESIGNED BY: AT	
DRAWN BY: RM	
FILE NO. _____	





PRIVATE OPEN SPACE 2  
CLAYTON COURT  
R.N. 5479411

3203880  
CLAYTON COURT  
HOMEOWNERS ASSOCIATION INC  
R.N. 55515050

CURVE TABLE						
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD	TANGENT
C1	235.61'	300.00'	44°59'54"	S21° 50' 31"W	229.60'	124.26'
C2	235.62'	300.00'	45°00'00"	N21° 50' 34"E	229.61'	124.26'
C3	408.02'	300.59'	77°46'22"	N39° 32' 37"W	377.41'	242.43'
C4	302.46'	300.00'	57°45'59"	S49° 32' 48"E	289.82'	165.49'
C6	212.06'	270.00'	45°00'01"	N21° 50' 34"E	206.65'	111.84'
C7	367.30'	270.59'	77°46'22"	N39° 32' 37"W	339.74'	218.23'

COMMON AREA IN VILLAS OF HUDSON SUBDIVISION  
PLAT CABINET N, SLIDES 291-293 OF SUMMIT COUNTY MAP RECORDS

3203717  
VILLAS OF HUDSON HOMEOWNERS ASSOCIATION  
R.N. 54556207

PPN 3201855  
VILLAGE OF HUDSON  
D.V. 5608, PG. 144

ORIGINAL PARCEL  
16.6276 AC.

PPN 3203132  
VILLAGE OF HUDSON  
D.V. 2445, PG. 52

PPN 3200823  
HUDSON LOCAL SCHOOL DISTRICT  
D.V. 5608, PG. 146

MORSE ROAD 60' R/W  
(DEDICATED IN PLAT CABINET L, SLIDE 421)

PPN 3203133  
CITY OF HUDSON VILLAGE  
O.R. 1933, PG. 1700

PPN 3202880  
CITY OF HUDSON  
D.V. 2445, PG. 52

PPN 3203133  
LIZBETH L. WRIGHT  
R.N. 55337438

BRENTWOOD DRIVE

LENNOX DRIVE

OWEN BROWN ST. 40' R/W

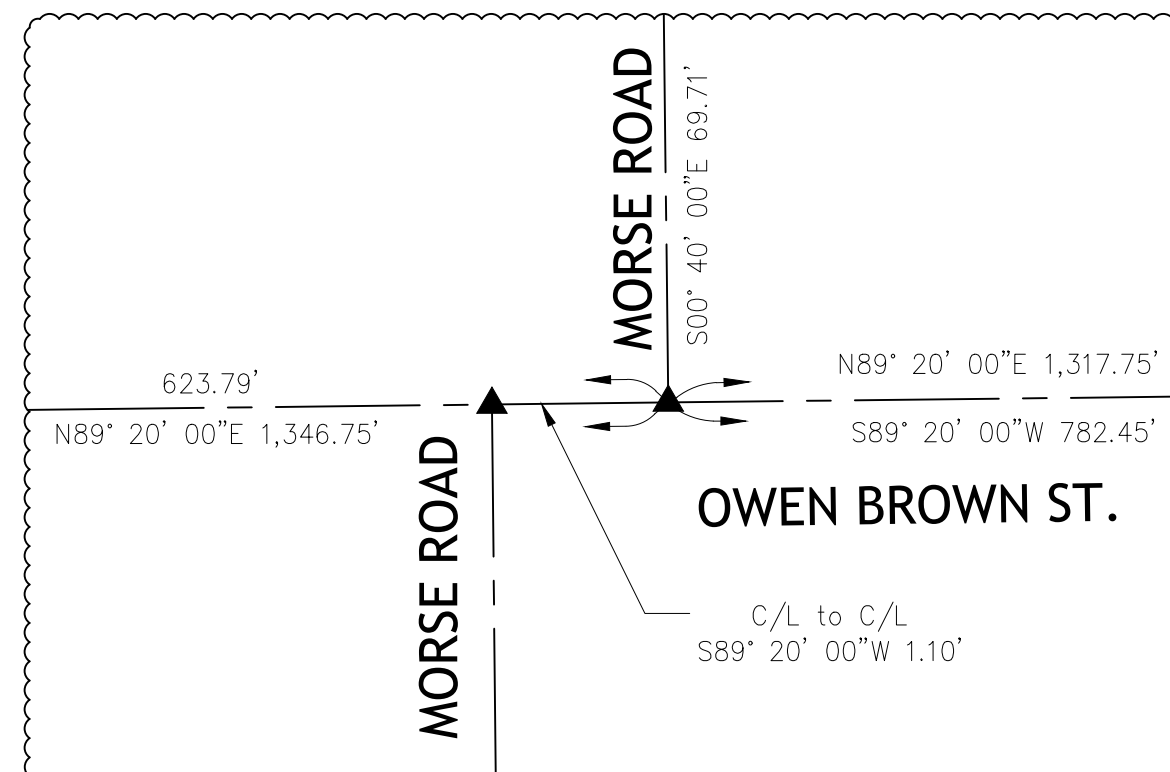
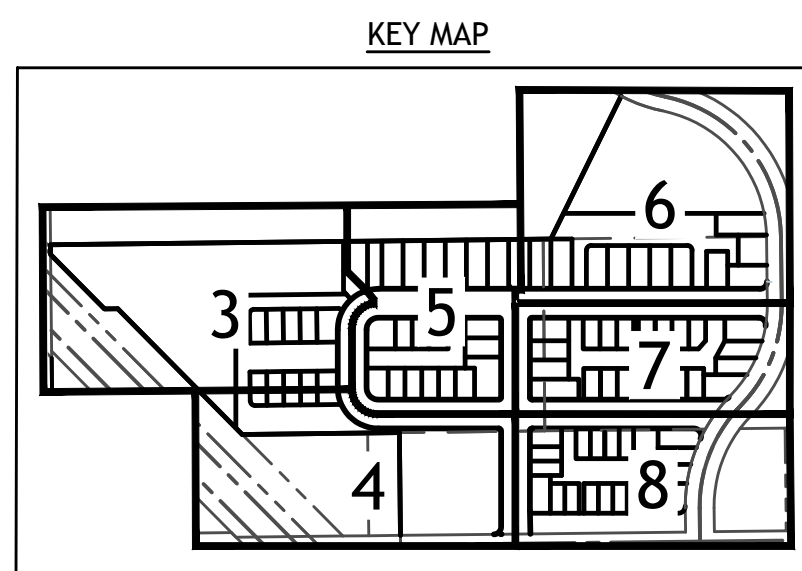
OWEN BROWN ST. 40' R/W

FIRST ST

N. MAIN ST S.R. 91

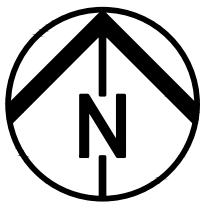
#### NOTES:

- ALL BUILDING LINES AND UTILITY EASEMENTS ADJOINING STREET R/W ARE PARALLEL WITH AND CONTIGUOUS TO ALL STREET LINES UNLESS NOTED OTHERWISE.
- THE LAND DEPICTED HEREON ARE SUBJECT TO THE U.S. ARMY CORPS PERMIT NO. \_\_\_\_\_ DATED \_\_\_\_\_ AND GRANT OF SECTION 401 WATER QUALITY CERTIFICATION, OHIO EPA ID. NO. \_\_\_\_\_ DATED \_\_\_\_\_ ALL RELEVANT PROVISIONS OF THESE PERMITS SHALL APPLY.
- ACCESS & UTILITY EASEMENTS ARE GRANTED OVER THE ENTIRETY OF BLOCKS D, E, F, G, H, AND O.
- LOT 82 SHALL NOT BE DEVELOPED UNTIL THE GAS WELL HAS BEEN ABANDONED AND PLUGGED PER STATE REGULATIONS.



**Environmental Design Group**  
AKRON / CLEVELAND / COLUMBUS  
HQ 450 GRANT ST., AKRON, OH 44311  
P 330.375.1390 / TF 800.855.1390  
W ENVDESIGNGROUP.COM





0 20 40  
GRAPHIC SCALE IN FEET

LEGEND

- 5/8" REBAR FOUND W/I.D. CAP UNLESS NOTED OTHERWISE
- 5/8" REBAR W/I.D. CAP TO BE SET AFTER HOME CONSTRUCTION
- MONUMENT BOX FOUND OR SET
- MAG NAIL SET

COMMON AREA IN VILLAS OF HUDSON SUBDIVISION  
PLAT CABINET N, SLIDES 291-293 OF SUMMIT COUNTY MAP RECORDS

BLOCK N  
2.3192 AC.  
101,026 S.F.  
OPEN SPACE

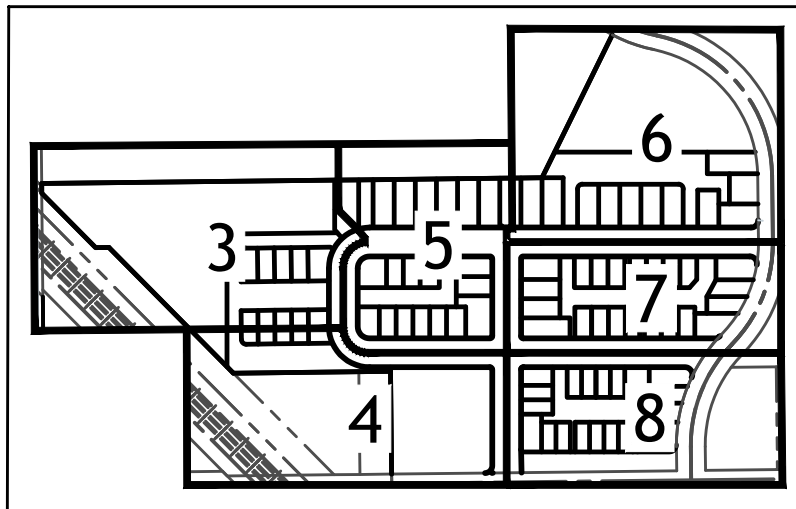
EXISTING WETLAND  
SEE NOTE 3

PUBLIC DRAINAGE EASEMENT  
TO THE CITY OF HUDSON

BLOCK G  
0.8985 AC.  
39,137 S.F.  
(ACCESS & UTILITY EASEMENT)

ROAD A  
60' R/W

KEY MAP



NOTES:

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CURVE TABLE						
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD	TANGENT
C10	86.39'	55.00'	90°00'00"	S45° 00' 00"W	77.78'	55.00'
C11	133.52'	85.00'	90°00'02"	S45° 00' 00"W	120.21'	85.00'
C12	39.44'	85.00'	26°35'10"	N61° 05' 41"E	39.09'	20.08'
C54	15.71'	10.00'	90°00'00"	S44° 19' 57"W	14.14'	10.00'

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- 5/8" REBAR FOUND W/I.D. CAP  
UNLESS NOTED OTHERWISE
- 5/8" REBAR W/I.D. CAP TO BE SET  
AFTER HOME CONSTRUCTION
- MONUMENT BOX FOUND OR SET
- ▲ MAG NAIL SET

PUBLIC DRAINAGE EASEMENT  
TO THE CITY OF HUDSON

Ex. WELL  
N 2257563.0  
E 576484.3

EXISTING WETLANDS  
/ SEE NOTE #3

SEE SHEET 5

100' 00" W

34.96'

7' 0" EAS. 12' B.L.

C53

33 0.0704 AC. 3,068 S.F.

34 0.0562 AC. 2,450 S.F.

35 0.0562 AC. 2,450 S.F.

36 0.0562 AC. 2,450 S.F.

82 0.0558 AC. 2,429 S.F.

35.00' 35.00' 35.00' 35.00' 43.00'

70.00' 70.00' 70.00' 70.00'

S89° 19' 57"W 183.00'

S00° 40' 03"E

25.00' 35.00' 35.00' 49.71'

S89° 19' 57"W 179.71'

C55

60.00'

N00° 40' 03"W

BLOCK G  
0.8961 AC.  
39,034 S.F.  
(ACCESS & UTILITY EASEMENT)

ROAD B 60' R/W

207.04' R

7' UTIL. ESMT.  
-----  
12' B.L.

BLOCK C  
1.0698 AC.  
46,601 S.F.

ROAD C 50' R/W

SEE SHEET 8

OWEN BROWN ST 40' R/W

S89° 20' 00"W 239.22'

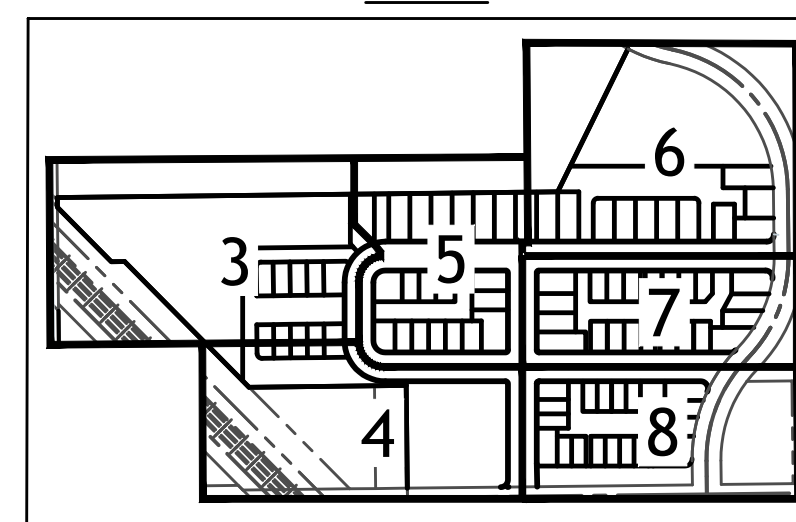
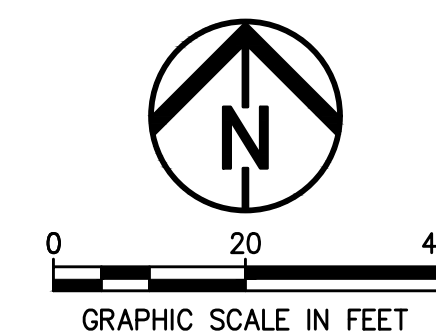
N00° 00' 00"E  
20.00'

LENNOX RD (FORMERLY WEST ST.)

— 3/4" IRON PIN  
IN MON. BOX  
FOUND & USED

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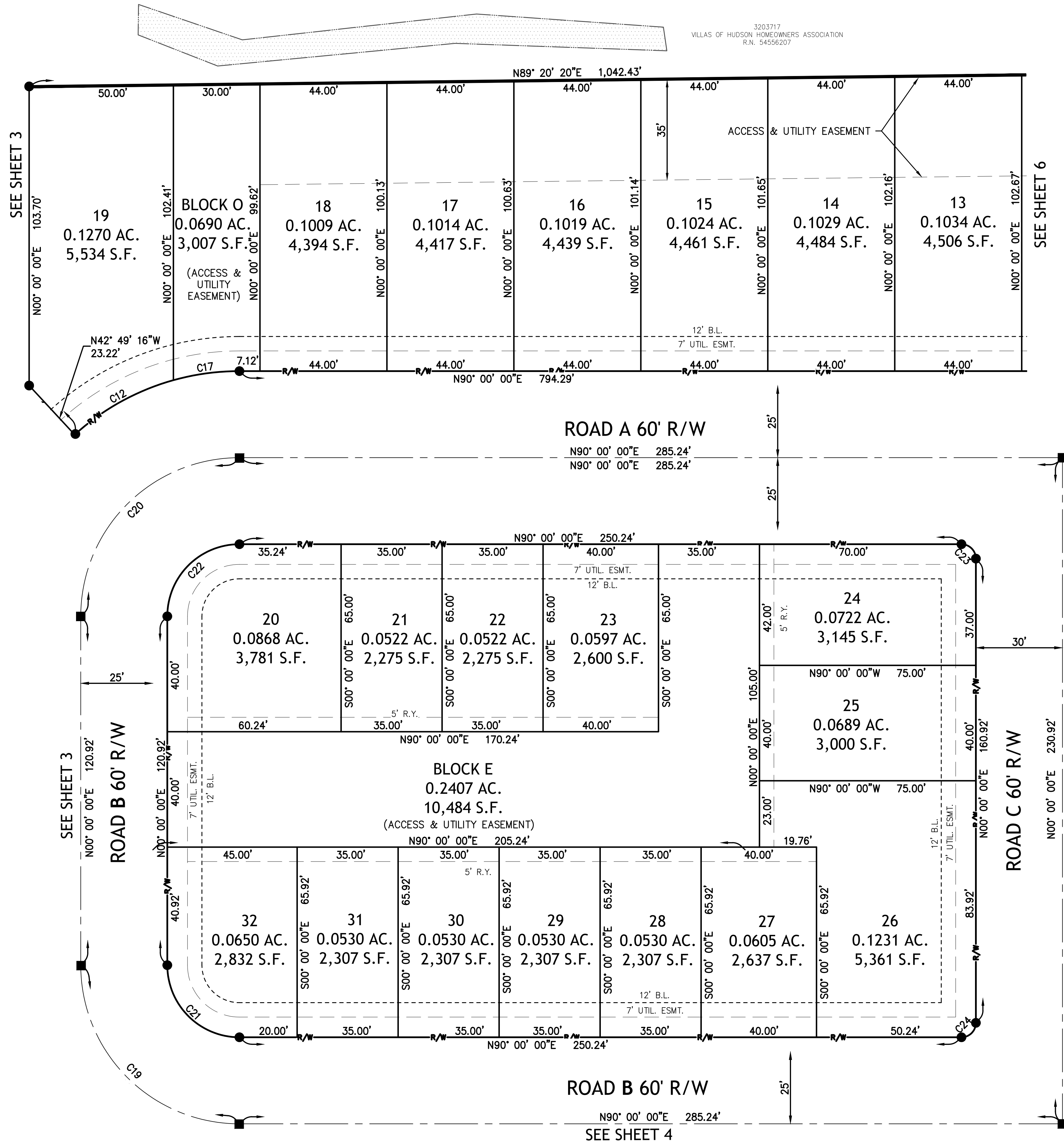
CURVE TABLE						
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD	TANGENT
C13	97.49'	85.00'	65°42'47"	S57° 08' 36"E	92.23'	54.90'
C14	7.85'	5.00'	90°00'00"	N45° 00' 00"W	7.07'	5.00'
C15	23.38'	15.00'	89°17'19"	N44° 41' 21"E	21.08'	14.81'
C16	86.39'	55.00'	90°00'00"	S45° 00' 00"E	77.78'	55.00'
C53	36.03'	85.00'	24°17'13"	S12° 08' 36"E	35.76'	18.29'
C55	15.71'	10.00'	90°00'00"	S45° 40' 03"E	14.14'	10.00'



BLOCK N

COMMON AREA IN VILLAS OF HUDSON SUBDIVISION  
PLAT CABINET N, SLIDES 291-293 OF SUMMIT COUNTY MAP RECORDS

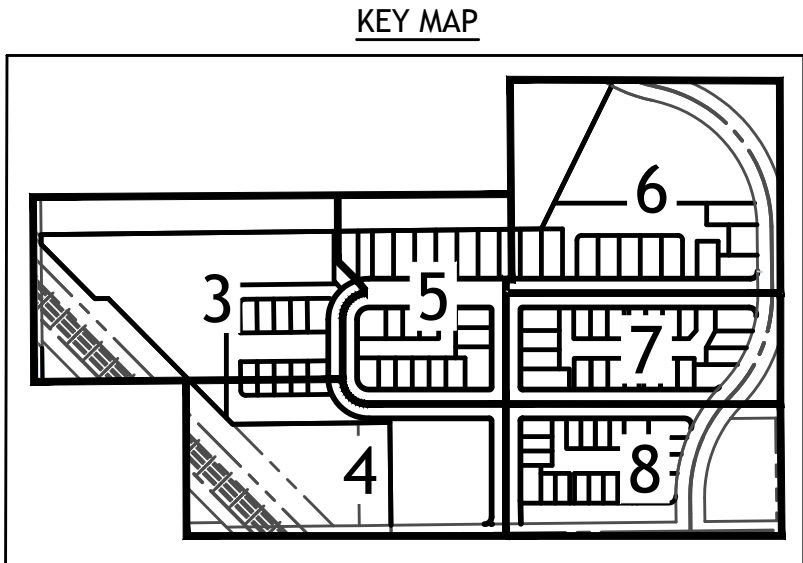
3203717  
VILLAS OF HUDSON HOMEOWNERS ASSOCIATION  
R.N. 54556207



CURVE TABLE						
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD	TANGENT
C17	23.16'	85.00'	15°36'45"	N82° 11' 39"E	23.09'	11.65'
C18	41.98'	85.00'	28°17'41"	N14° 08' 50"E	41.55'	21.43'
C19	86.39'	55.00'	90°00'00"	S45° 00' 00"E	77.78'	55.00'
C20	86.39'	55.00'	90°00'00"	S45° 00' 00"W	77.78'	55.00'
C21	39.27'	25.00'	90°00'00"	S45° 00' 00"E	35.36'	25.00'
C22	39.27'	25.00'	90°00'00"	N45° 00' 00"E	35.36'	25.00'
C23	7.85'	5.00'	90°00'00"	N45° 00' 00"W	7.07'	5.00'
C24	7.85'	5.00'	90°00'00"	N45° 00' 00"E	7.07'	5.00'
C52	28.94'	85.00'	19°30'26"	N38° 02' 53"E	28.80'	14.61'

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- LEGEND
- 5/8" REBAR FOUND W/I.D. CAP UNLESS NOTED OTHERWISE
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  - MONUMENT BOX FOUND OR SET
  - MAG NAIL SET





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3203717  
VILLAS OF HUDSON HOMEOWNERS ASSOCIATION  
R.N. 54556207

BLOCK K  
1.5173 AC.  
66,095 S.F.  
OPEN SPACE

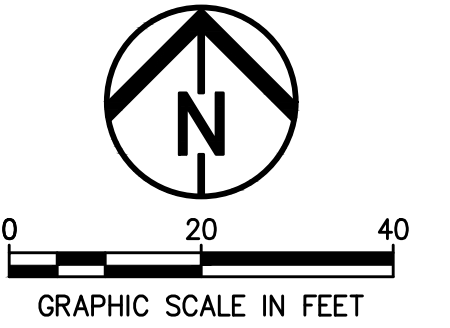
BLOCK H  
0.6819 AC.  
29,703 S.F.  
(ACCESS & UTILITY EASEMENT)

SEE SHEET 5

ROAD A 60' R/W

SEE SHEET 7

- LEGEND**
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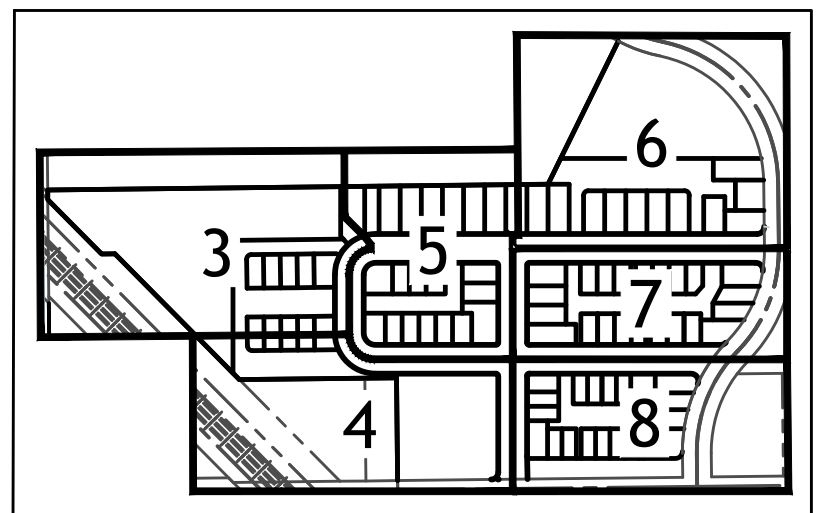


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C7	367.30'	270.59'	77°46'22"	N39° 32' 37"W	339.74'	218.23'
C25	318.43'	270.59'	67°25'31"	S44° 43' 02"E	300.37'	180.55'
C26	45.32'	270.59'	9°35'45"	S06° 12' 24"E	45.27'	22.71'
C27	23.73'	15.00'	90°39'26"	N44° 40' 17"E	21.33'	15.17'
C56	15.71'	10.00'	90°00'00"	S45° 00' 00"W	14.14'	10.00'
C57	15.71'	10.00'	90°00'00"	N45° 00' 00"W	14.14'	10.00'

KEY MAP



**Environmental Design Group**  
AKRON / CLEVELAND / COLUMBUS  
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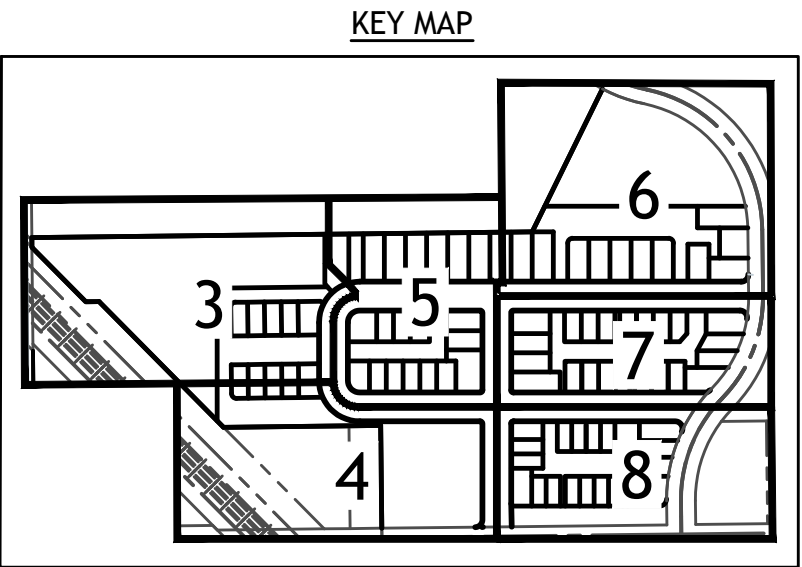
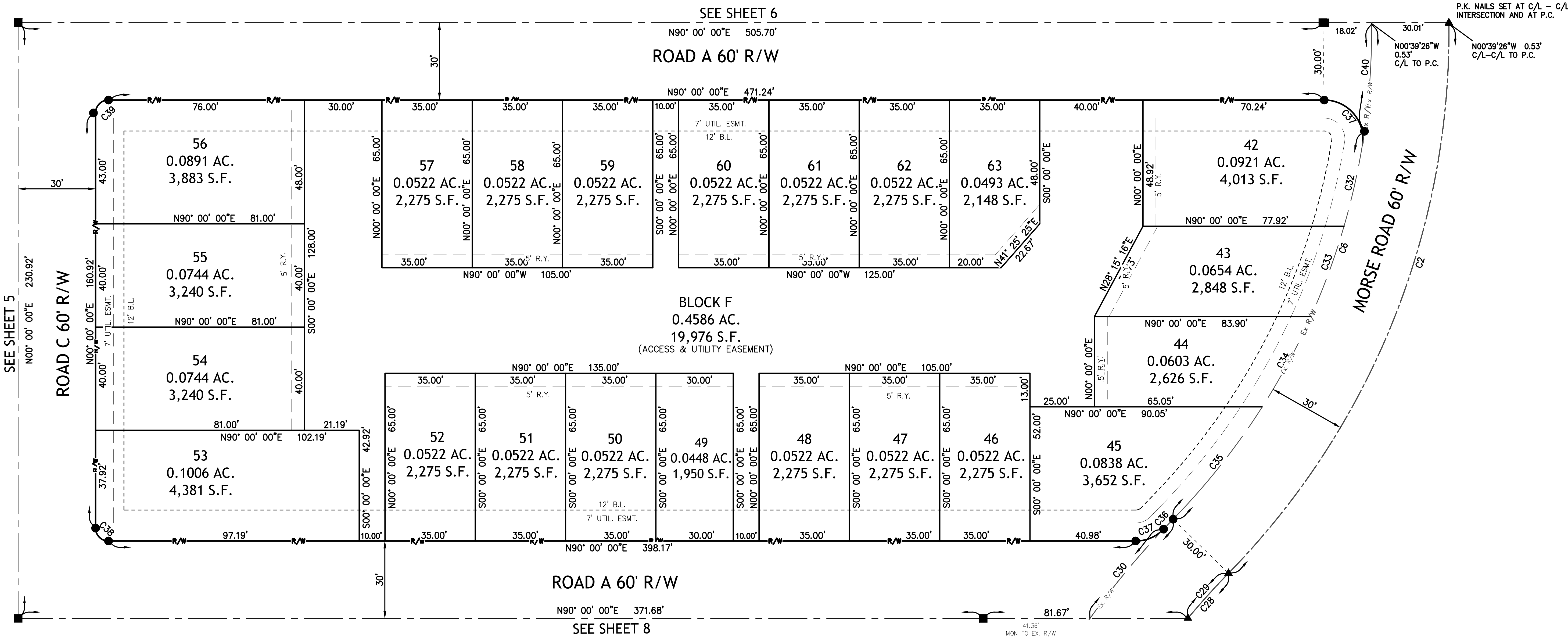
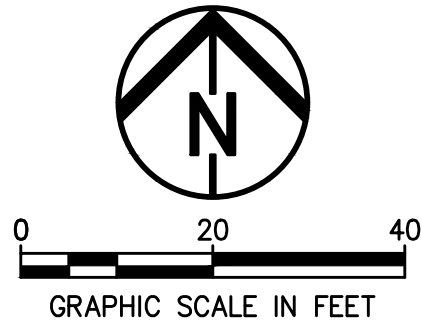
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CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD	TANGENT
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C28	235.61'	300.00'	44°59'54"	S21° 50' 31"W	229.60'	124.26'
C29	23.58'	300.00'	4°30'14"	S42° 05' 21"W	23.58'	11.80'
C30	44.89'	330.00'	7°47'39"	S39° 30' 53"W	44.86'	22.48'
C32	32.31'	270.00'	6°51'20"	N12° 44' 24"E	32.29'	16.17'
C33	37.31'	270.00'	7°55'00"	N20° 07' 33"E	37.28'	18.68'
C34	39.79'	270.00'	8°26'37"	N28° 18' 21"E	39.75'	19.93'
C35	55.68'	270.00'	11°48'55"	N38° 26' 07"E	55.58'	27.94'
C37	26.00'	15.00'	99°18'44"	N40° 20' 38"W	22.87'	17.66'
C38	7.85'	5.00'	90°00'00"	S45° 00' 00"E	7.07'	5.00'
C39	7.85'	5.00'	90°00'00"	S45° 00' 00"W	7.07'	5.00'
C40	46.98'	270.00'	9°58'10"	N04° 19' 39"E	46.92'	23.55'

NOTES:

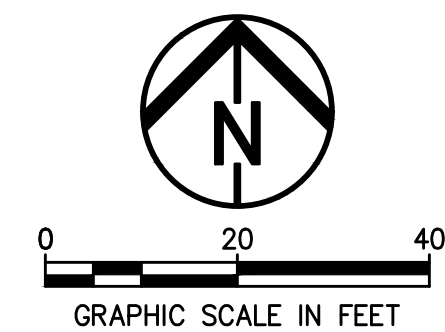
1. ALL BUILDING LINES AND UTILITY EASEMENTS ADJOINING STREET R/W ARE PARALLEL WITH AND CONTIGUOUS TO ALL STREET LINES UNLESS NOTED OTHERWISE.
2. THE LAND DEPICTED HEREON ARE SUBJECT TO THE U.S. ARMY CORPS PERMIT NO. \_\_\_\_\_ DATED \_\_\_\_\_ AND GRANT OF SECTION 401 WATER QUALITY CERTIFICATION, OHIO EPA ID. NO. \_\_\_\_\_ DATED \_\_\_\_\_ ALL RELEVANT PROVISIONS OF THESE PERMITS SHALL APPLY.
3. ACCESS & UTILITY EASEMENTS ARE GRANTED OVER THE ENTIRETY OF BLOCKS D, E, F, G, H, AND O.
4. LOT 82 SHALL NOT BE DEVELOPED UNTIL THE GAS WELL HAS BEEN ABANDONED AND PLUGGED PER STATE REGULATIONS.

LEGEND

- ⊙ 5/8" REBAR FOUND W/I.D. CAP UNLESS NOTED OTHERWISE
- 5/8" REBAR W/I.D. CAP TO BE SET AFTER HOME CONSTRUCTION
- MONUMENT BOX FOUND OR SET
- ▲ MAG NAIL SET

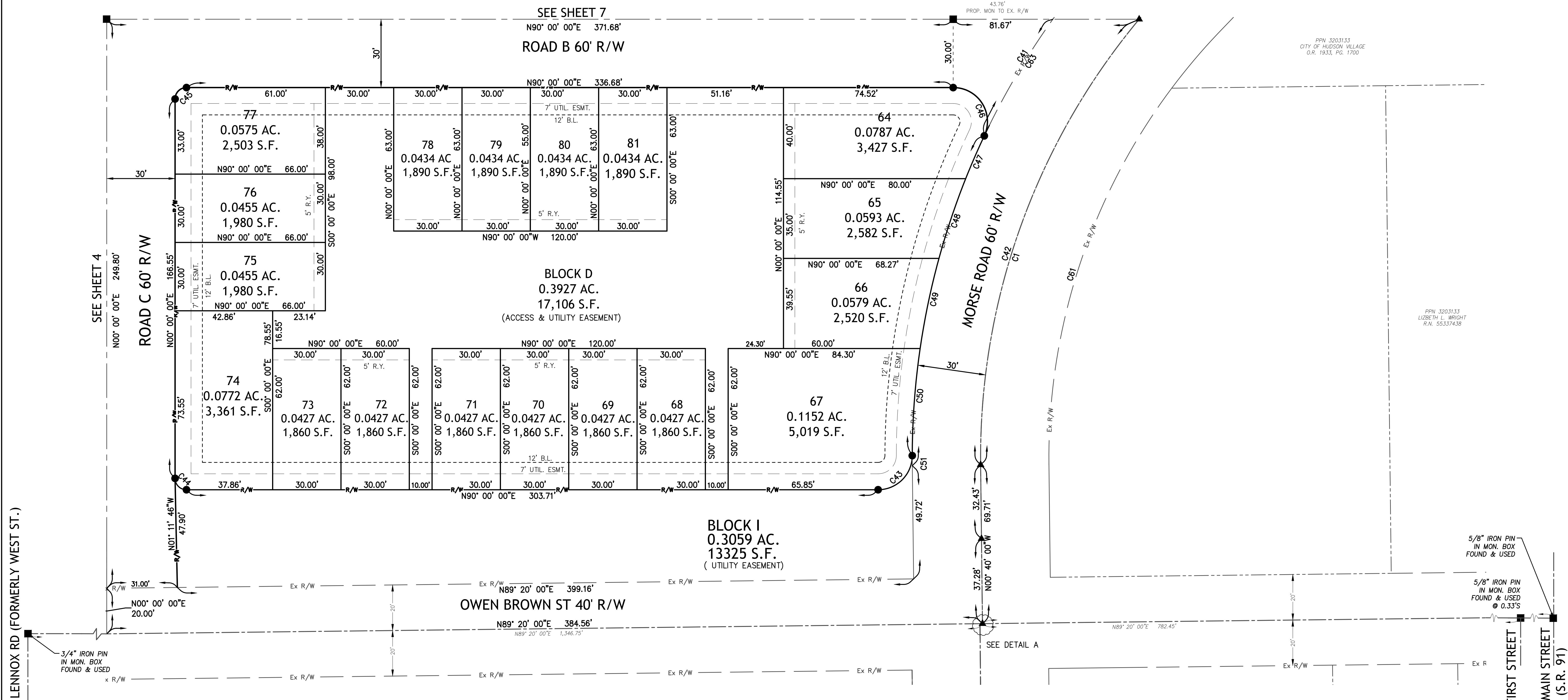






PPN 3203133  
CITY OF HUDSON VILLAGE  
O.R. 1933, PG. 1700

PPN 3203133  
LIZBETH L. WRIGHT  
R.N. 55337438



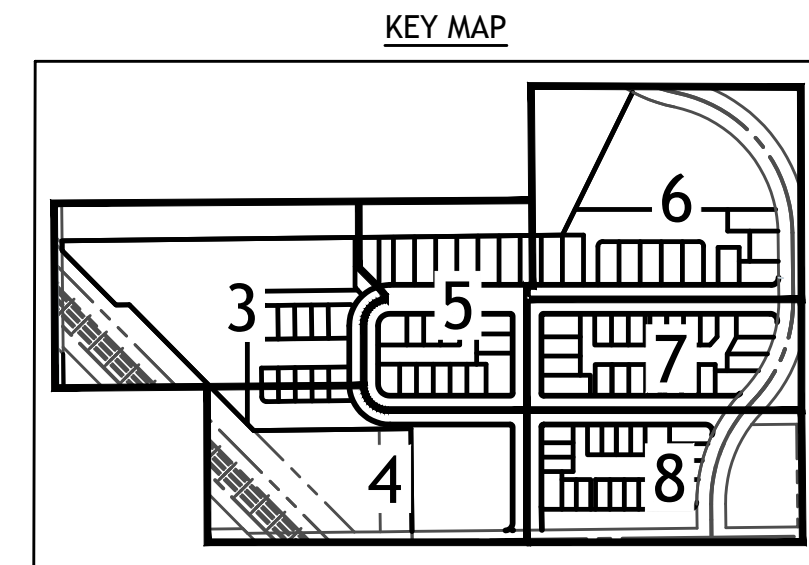
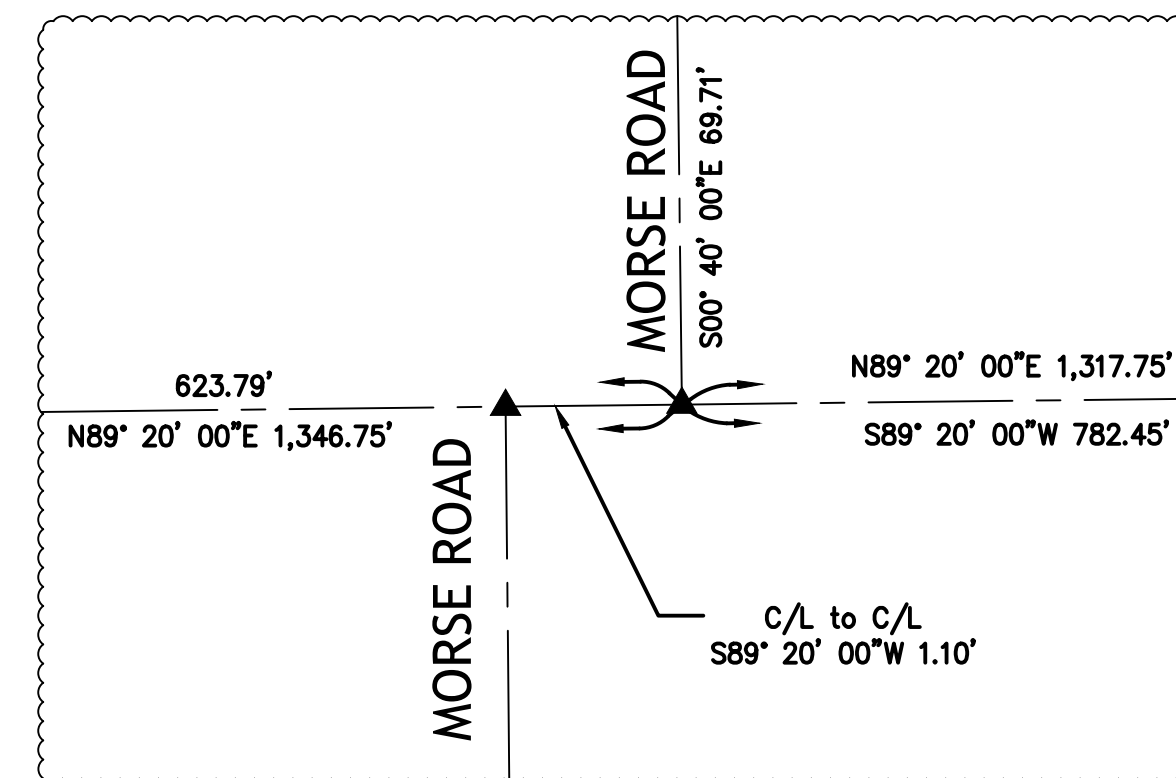
#### NOTES:

- ALL BUILDING LINES AND UTILITY EASEMENTS ADJOINING STREET R/W ARE PARALLEL WITH AND CONTIGUOUS TO ALL STREET LINES UNLESS NOTED OTHERWISE.
- THE LAND DEPICTED HEREON ARE SUBJECT TO THE U.S. ARMY CORPS PERMIT NO. \_\_\_\_\_ DATED \_\_\_\_\_ AND GRANT OF SECTION 401 WATER QUALITY CERTIFICATION, OHIO EPA ID. NO. \_\_\_\_\_ DATED \_\_\_\_\_ ALL RELEVANT PROVISIONS OF THESE PERMITS SHALL APPLY.
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#### LEGEND

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CURVE TABLE						
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD	TANGENT
C1	235.61'	300.00'	44°59'54"	S21° 50' 31"W	229.60'	124.26'
C41	59.70'	330.00'	10°21'52"	S30° 26' 07"W	59.61'	29.93'
C42	212.03'	300.00'	40°29'40"	S19° 35' 24"W	207.64'	110.66'
C43	23.53'	15.00'	89°53'42"	N45° 03' 09"E	21.19'	14.97'
C44	7.85'	5.00'	90°00'00"	S45° 00' 00"E	7.07'	5.00'
C45	7.85'	5.00'	90°00'00"	S45° 00' 00"W	7.07'	5.00'
C46	30.03'	14.92'	115°17'34"	N32° 48' 52"W	25.22'	23.56'
C51	4.39'	330.00'	0°45'47"	S00° 16' 33"E	4.39'	2.20'



**Environmental Design Group**  
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