

PAULEY RESIDENCE



EXISTING HOUSE



PROPOSED LOCATION



ARCHITECT

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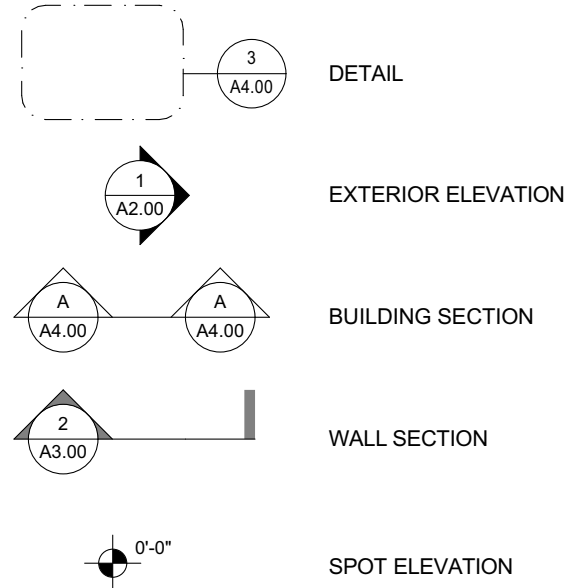
PROGRESS
NOT FOR
CONSTRUCTION

6/23/2025

ABBREVIATIONS

ABV	ABOVE	HC	HOLLOW CORE
A/C	AIR CONDITIONING	HW	HOLLOW METAL
ALT	ALTERNATE	HVAC	HEATING, VENTILATION, AND
AHJ	AUTHORITY HAVING JURISDICTION	HT	HEIGHT
ALUM	ALUMINUM	INSUL	INSULATION
APPROX.	APPROXIMATELY	JST	JOIST
ARCH	ARCHITECTURAL	LAM	LAMINATED
ASPH	ASPHALT	LF	LINEAR FOOT
BD	BOARD	MAS	MASONRY
BRG	BEARING	MATL	MATERIAL
BOTT	BOTTOM	MAX	MAXIMUM
BTW	BETWEEN	MECH	MECHANICAL
CF	CUBIC FEET	MFG	MANUFACTURER
CIP	CAST IN PLACE	MIN	MINIMUM
CJ	CONTROL JOINT	MISC	MISCELLANEOUS
CLG	CEILING	MO	MASONRY OPENING
CLR	CLEAR	MTD	MOUNTED
CMU	CONCRETE MASONRY UNIT	MTL	METAL
CONC	CONCRETE	NOM	NOMINAL
CO	CLEAN OUT	NTS	NOT TO SCALE
CONT	CONTINUOUS	O	OVER
DBL	DOUBLE	O.C.	ON CENTER
DEPT	DEPARTMENT	OPN	OPENING
DIA	DIAMETER	PREFAB	PREFABRICATED
DIM	DIMENSION	PLYWD	PLYWOOD
DN	DOWN	P.LAM	PLASTIC LAMINATE
DR	DOOR	PR	PAIR
DWS	DOWNSPOUT	PSI	POUNDS PER SQUARE INCH
DTL	DETAIL	REF	REFERENCE
DWG	DRAWING	RM	ROOM
EA	EACH	RO	ROUGH OPENING
ELEC	ELECTRICAL	REQ	REQUIRED
EQ	EQUAL	SC	SOLID CORE
EXH	EXHAUST	SECT	SECTION
EXIST	EXISTING	STRUC	STRUCTURAL
EXP	EXPOSED	TYP	TYPICAL
EXT	EXTERIOR	UNO	UNLESS NOTED OTHERWISE
FD	FLOOR DRAIN	W	WITH
FDN	FOUNDATION	WWF	WELED WIRE FABRIC
FIN	FINISHED		
FLR	FLOOR		
FT	FOOT		
FTG	FOOTING		
FUR	FURRING		
GALV	GALVANIZED		
GA	GAUGE		
GC	GENERAL CONTRACTOR		
GYP	GYPSUM BOARD		
GYP	GYPSUM		

SYMBOLS



MATERIALS LEGEND

	DIMENSIONAL LUMBER		GRAVEL
	PLYWOOD		CONCRETE
	FINISH WOOD		CONCRETE BLOCK
	GYPSUM BOARD		STEEL
	BRICK		RIGID INSULATION
	EARTH		SPRAY FOAM INSULATION
	STONE VENEER		MINERAL WOOL INSULATION
	BLOCKING		METAL DECK

PROJECT GENERAL NOTES

CONTRACTOR SHALL PROVIDE ALL MATERIALS AND WORKMANSHIP FOR ALL CONSTRUCTION REQUIRED HEREIN AND SHALL BE IN ACCORDANCE WITH THE:

2024 BUILDING CODE OF OHIO (IBC 2021 + AMENDMENTS)
2024 EXISTING BUILDING CODE OF OHIO (IEBC 2021 + AMENDMENTS)
2019 RESIDENTIAL BUILDING CODE OF OHIO (RBC 2019 + AMENDMENTS)
2024 MECHANICAL CODE OF OHIO (IMC 2021 + AMENDMENTS)

AMENDMENTS) 2023 ELECTRICAL CODE OF OHIO (NFPA 70, 2023 + AMENDMENTS)
2024 PLUMBING CODE OF OHIO (IPC 2021 + AMENDMENTS)
2021 ENERGY CONSERVATION CODE OF OHIO (IECC 2021 + AMENDMENTS)

THE CONTRACTOR WILL FURNISH ALL LABOR, MATERIAL, EQUIPMENT, PERMITS, TAXES, AND INSURANCE NECESSARY TO COMPLETE THE WORK INDICATED AND/OR IMPLIED IN THE CONSTRUCTION DOCUMENTS UNLESS NOTED OTHERWISE AND WILL COORDINATE THE WORK RESPONSIBILITIES OF ALL SUBCONTRACTORS. ALL LABOR AND MATERIALS TO CARRY OUT FULLY THE INTENTIONS OF THE PLANS AND SPECIFICATIONS ARE PART OF THE CONTRACT, WHETHER OR NOT SPECIFICALLY DOCUMENTED.

ALL WORK WILL CONFORM TO THE CURRENT OHIO BUILDING, MECHANICAL & PLUMBING CODES, AS WELL AS THE CURRENT NATIONAL BOARD OF FIRE UNDERWRITERS AND ALL OTHER APPLICABLE CITY CODES, LOCAL LAWS, AND AUTHORITIES HAVING JURISDICTION. CODE STANDARDS AND PUBLICATIONS OF PRIVATE AND PUBLIC BODIES MENTIONED WITHIN THE SPECIFICATIONS OR ON THE DRAWINGS, WILL BE CONSIDERED TO BE THOSE IN FORCE AT THE TIME OF THE CONTRACT AWARD.

THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONTROLLED INSPECTIONS AND ANY TECHNICAL TESTING REQUIRED FOR CONTROLLED INSPECTIONS AS STIPULATED BY ALL APPLICABLE CODES.

ALL MANUFACTURED ARTICLES, MATERIALS, AND EQUIPMENT WILL BE NEW AND FREE OF DEFECTS AND WILL BE SUPPLIED, INSTALLED, CONNECTED, ERECTED, USED, CLEANED, AND CONDITIONED AS DIRECTED BY THE RESPECTIVE MANUFACTURERS, UNLESS SPECIFIED OTHERWISE.

THE CONTRACTOR WILL NOTIFY THE ARCHITECT OF ANY ERRORS, OMISSIONS, CONFLICTS, OR AMBIGUITIES IN AND BETWEEN THE DRAWINGS AND THE SPECIFICATIONS PRIOR TO PROCEEDING WITH THE WORK. IF SUCH NOTICE IS NOT FURNISHED TO THE ARCHITECT, THE CONTRACTOR WILL BE DEEMED TO HAVE INSPECTED THE DRAWINGS AND SPECIFICATIONS AND TO HAVE FOUND THEM IN PROPER FORM FOR EXECUTION.

THE CONTRACTOR REPRESENTS THAT HE HAS HAD ADEQUATE ACCESS TO THE JOB SITE AND BUILDING AREA IN WHICH THE WORK IS TO BE PERFORMED, THAT HE HAS SATISFIED HIMSELF AT TO THE NATURE AND LOCATION OF WORK, INCLUDING ANY OBSTRUCTIONS, SCOPE OF WORK, ACTUAL LEVELS, THE EQUIPMENT AND FACILITIES NEEDED PRELIMINARY TO AND DURING THE EXECUTION OF THE WORK AND ALL OTHER MATTERS, WHICH CAN IN ANY WAY AFFECT THE WORK OR THE COST THEREOF UNDER THIS CONTRACT, AND THAT HE HAS STUDIED THE CONTRACT DOCUMENTS AND ALL OTHER DOCUMENTS PERTAINING TO THE INSTALLATION OF OTHER TRADES WHICH MAY INFLUENCE HIS WORK.

THE CONTRACTOR WILL ASSUME FULL RESPONSIBILITY, INCLUDING RESPONSIBILITY FOR ALL RELATED COSTS FOR ANY AND ALL WORK DONE WITHOUT THE APPROVAL OF THE ARCHITECT IF SUCH WORK IS IN CONFLICT WITH THE CONTRACT, DRAWINGS, OR SPECIFICATIONS.

THE CONTRACTOR WILL BE RESPONSIBLE FOR THE SAFE WORKING CONDITIONS AT THE SITE, THE ARCHITECT AND OWNER WILL NOT BE DEEMED TO HAVE ANY RESPONSIBILITY OR LIABILITY IN CONNECTION HEREWITH.

CONSTRUCTION OPERATIONS WILL NOT INVOLVE INTERRUPTION OF HEATING, WATER, ELECTRICAL, OR OTHER SERVICES TO ANY PORTION OF THE BUILDING OUTSIDE THE LIMITS OF THE CONSTRUCTION SITE.

THE CONTRACTOR WILL BE RESPONSIBLE FOR CORRECTING ANY DEFICIENCIES CAUSED BY DEFECTIVE OR ILL-TIMED WORK AT NO ADDITIONAL COST TO THE OWNER.

NO SUBSTITUTIONS ARE PERMITTED EXCEPT WHERE THE TERM "APPROVED EQUAL" APPEARS. ALL SUBSTITUTIONS MUST BE APPROVED IN WRITING BY THE ARCHITECT. THE CONTRACTOR IS TO SUBMIT SAMPLES OR CATALOG CUTS OF ALL VISIBLE MATERIALS AND EQUIPMENT FOR THE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION.

CONTRACTOR TO MAINTAIN FULL SET OF PLANS AND INSTALLATION INSTRUCTIONS ON SITE.

PERFORM VISUAL INSPECTION OF ENVELOPE AND INSULATION TO MEET 2021 IECC, 402.5.1.5 "BUILDING ENVELOPE PERFORMANCE VERIFICATION" ITEM 2

PROJECT INFORMATION

TWO STORY SINGLE FAMILY RESIDENCE

CITY: HUDSON
COUNTY: SUMMIT COUNTY

SQUARE FOOTAGES

ADDITION	188 SF
COVERED PATIO	361 SF

DRAWING INDEX

* DENOTES SHEETS PRINTED IN COLOR

*G1.00	COVER SHEET 30x42
AS1.00	SITE PLAN
AD1.00	DEMOLITION PLANS AND ELEVATIONS
A1.00	FLOOR PLANS
A3.00	EXTERIOR ELEVATIONS
4.00	BUILDING AND WALL SECTIONS

PAULEY RESIDENCE
2827 Hudson Aurora Road, Hudson, Ohio 44236

PROJECT #: 2424

ISSUE:	
SD MEETING	09-30-2024
SD	10-02-2024
PRICING	10-29-2024
PRICING UPDATE	06-23-2025

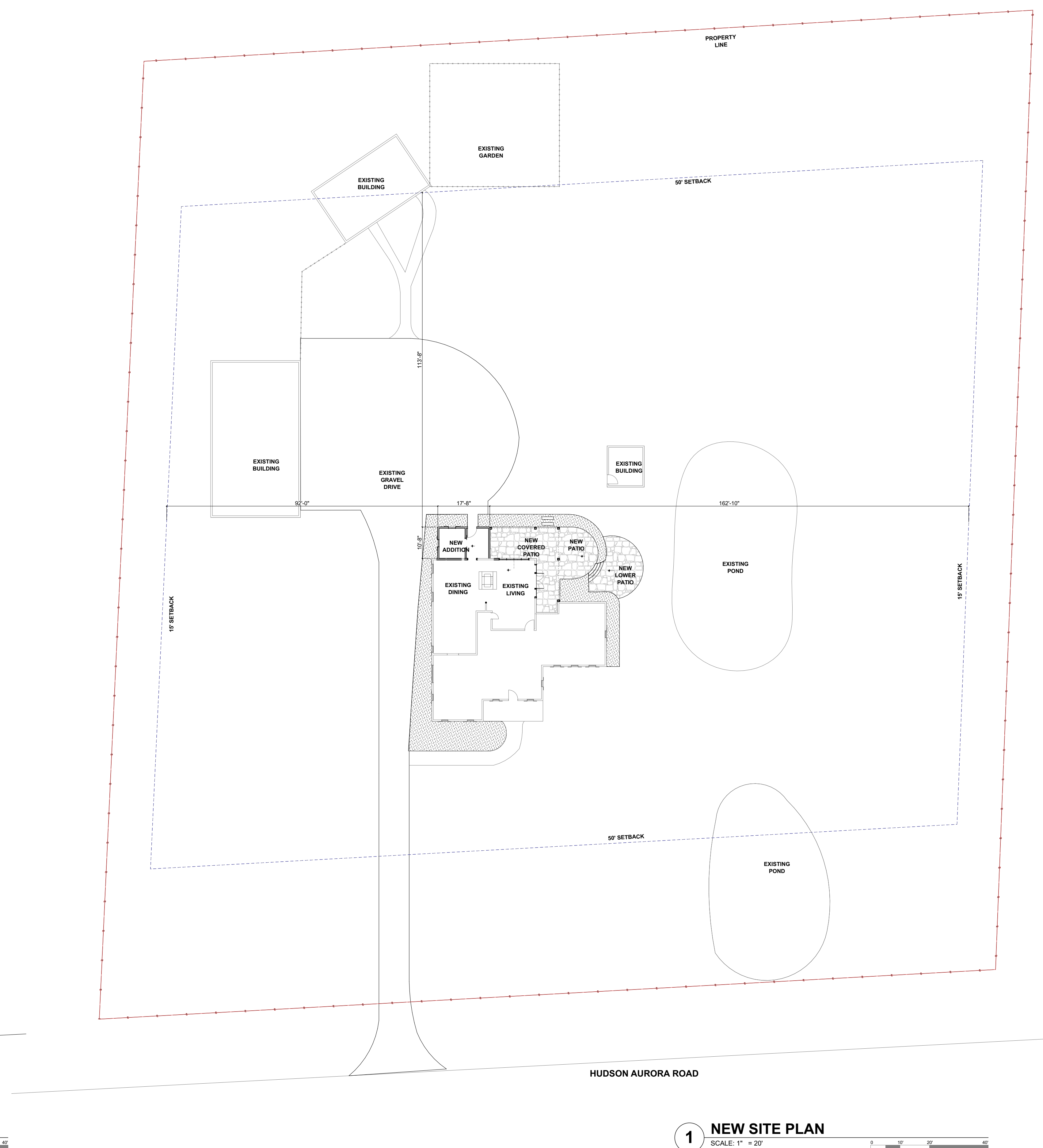
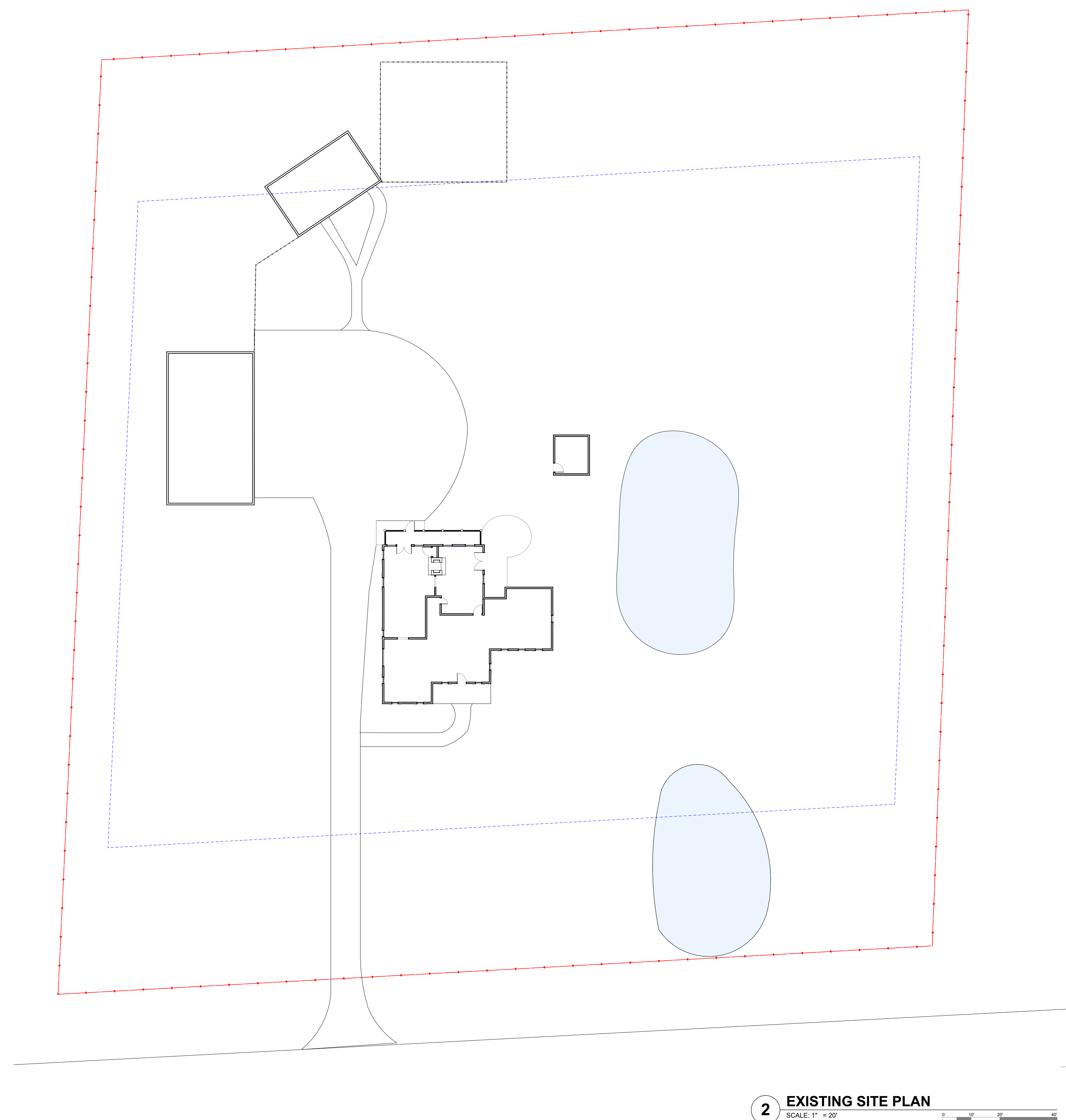
COVER SHEET 30x42

*G1.00

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**PROGRESS
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8/11/2025



PROJECT #: 2424	
ISSUE:	
SD MEETING	09-30-2024
SD	10-02-2024
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PRICING UPDATE	06-23-2025

[illegible]

SITE PLAN

AS1.00

DEMOLITION GENERAL NOTES

FIELD VERIFY EXISTING FLOOR JOISTS AND FRAMING.

ITEMS TO BE REMOVED SHOWN DASHED, TYPICAL

WHERE WINDOWS AND DOORS TO BE REMOVED AND NOT REPLACED, INFILL WALLS WITH FINISHES TO MATCH SURROUNDING AREAS

COORDINATE WITH FLOOR PLANS FOR NEW DOOR AND WINDOW OPENINGS

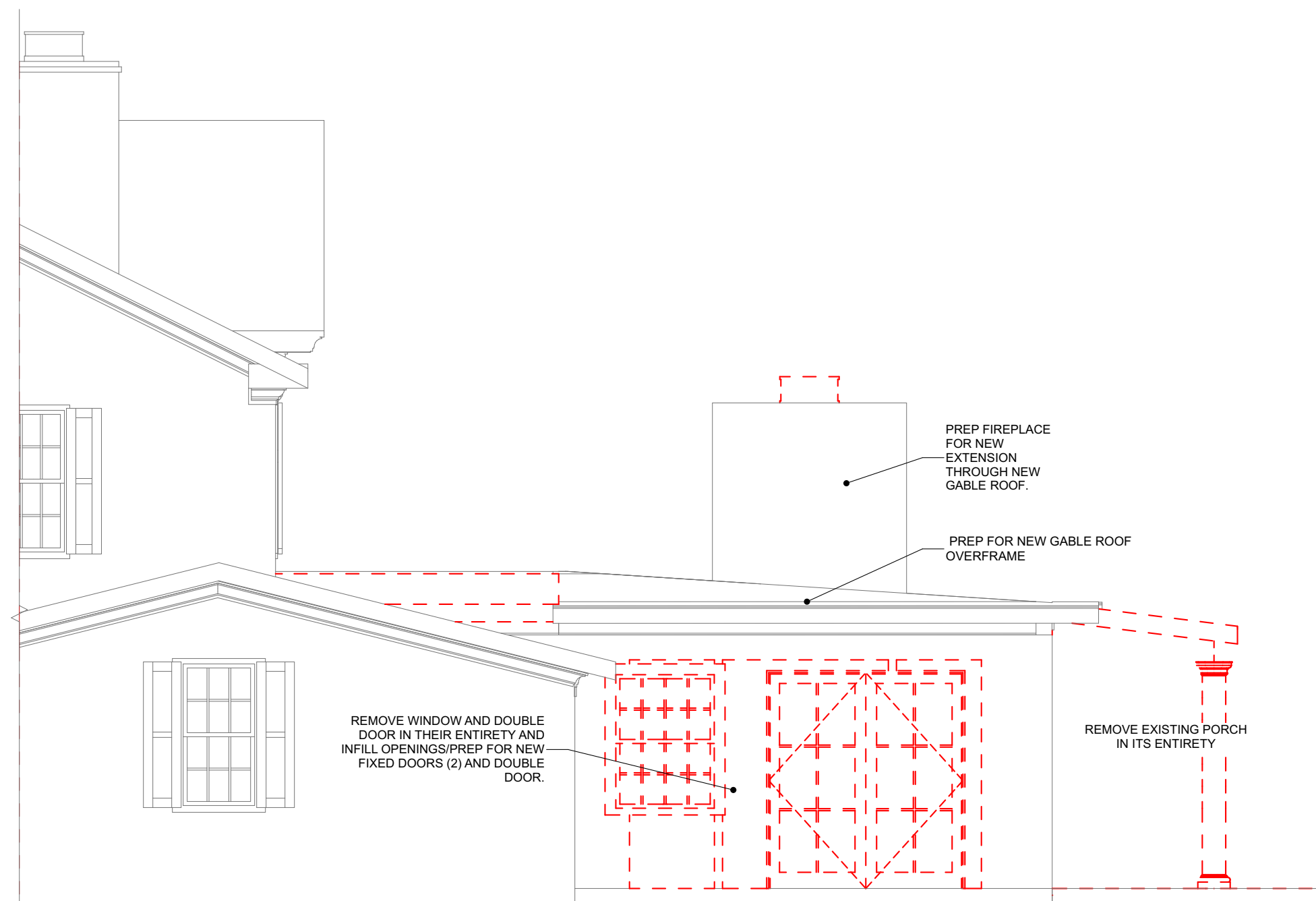
PROVIDE TEMPORARY SHORING FOR FLOOR AND ROOF FRAMING OF REMAIN

PERFORM PARTIAL WALL DEMOLITION IN ORDER TO ACCOMMODATE NEW HEADERS, BEAMS, AND POSTS/COLUMNS

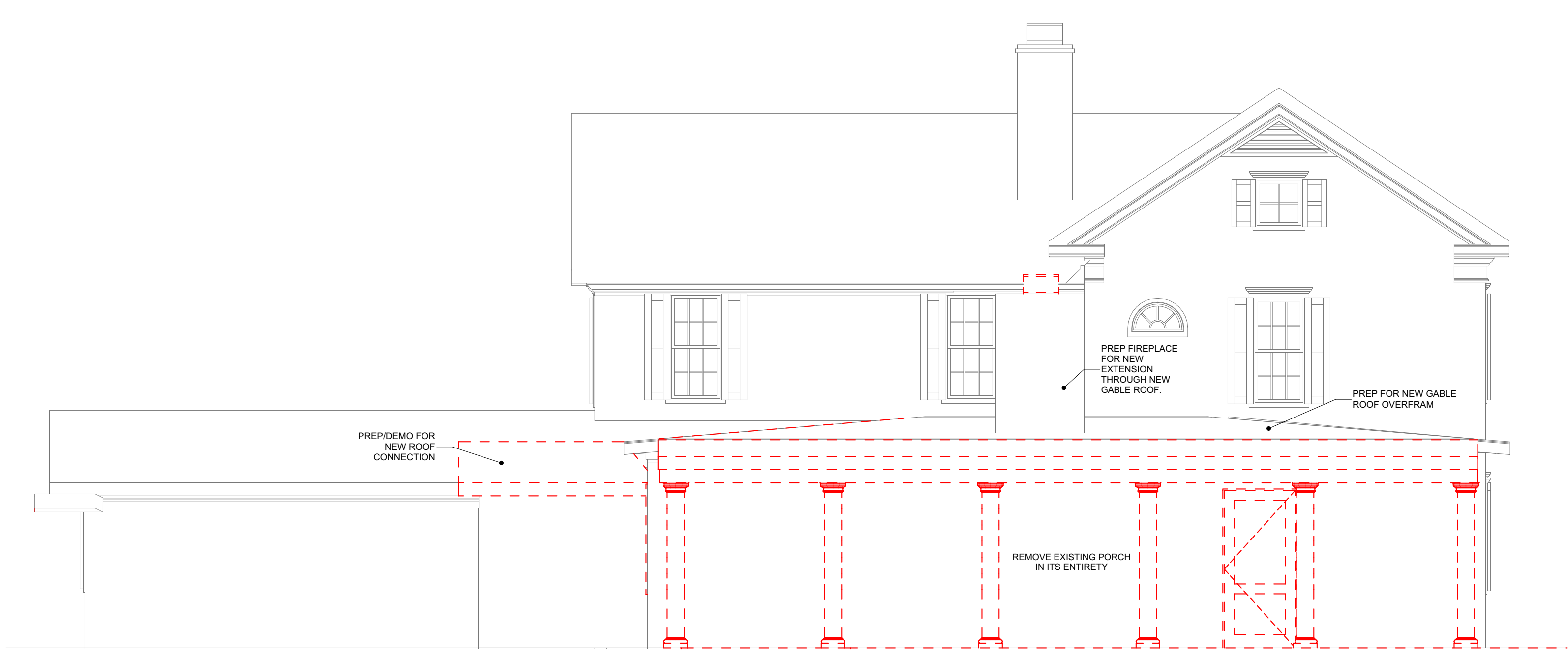
DEMOLITION LEGEND

EXISTING TO REMAIN

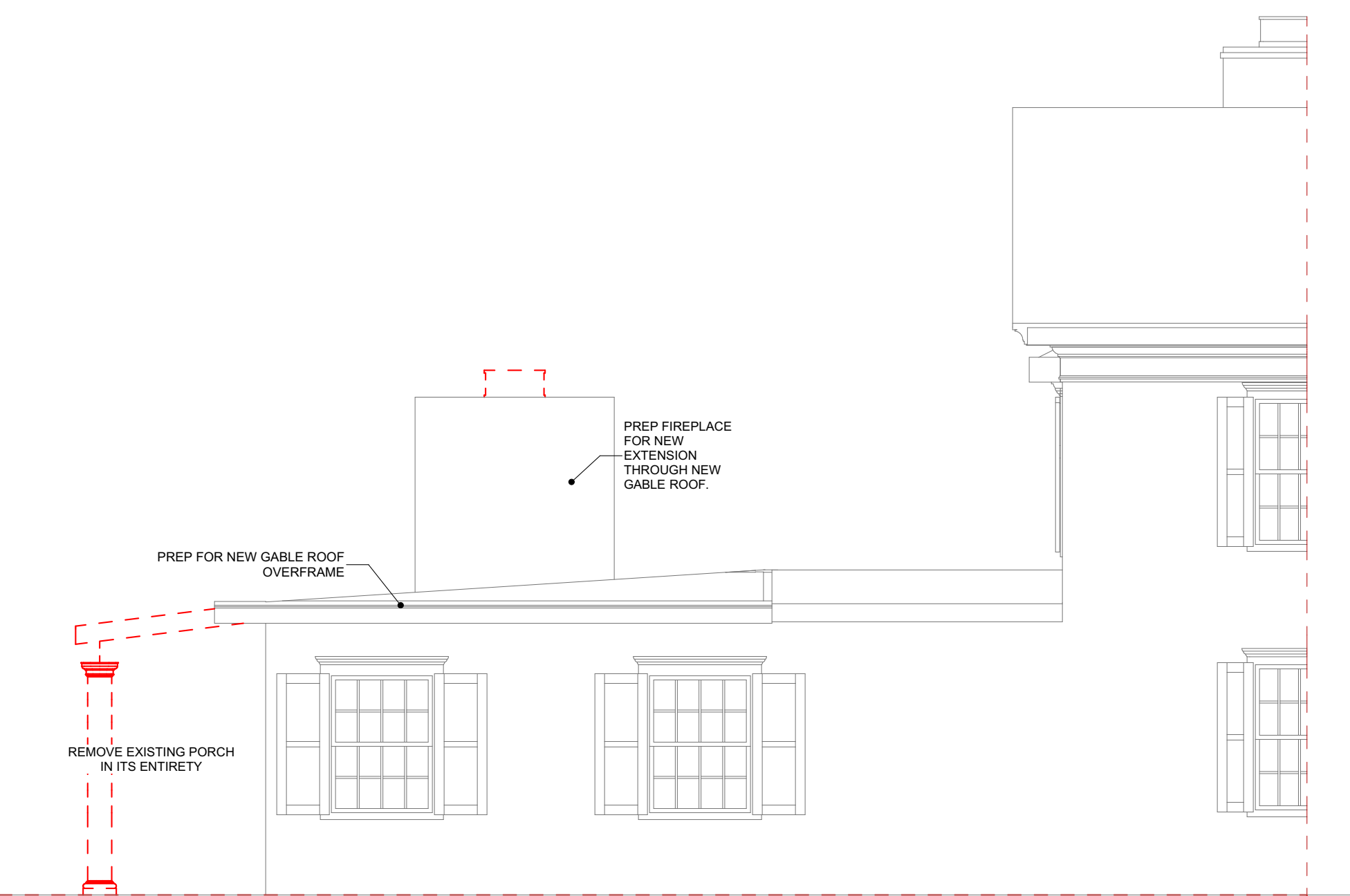
TO BE DEMOLISHED



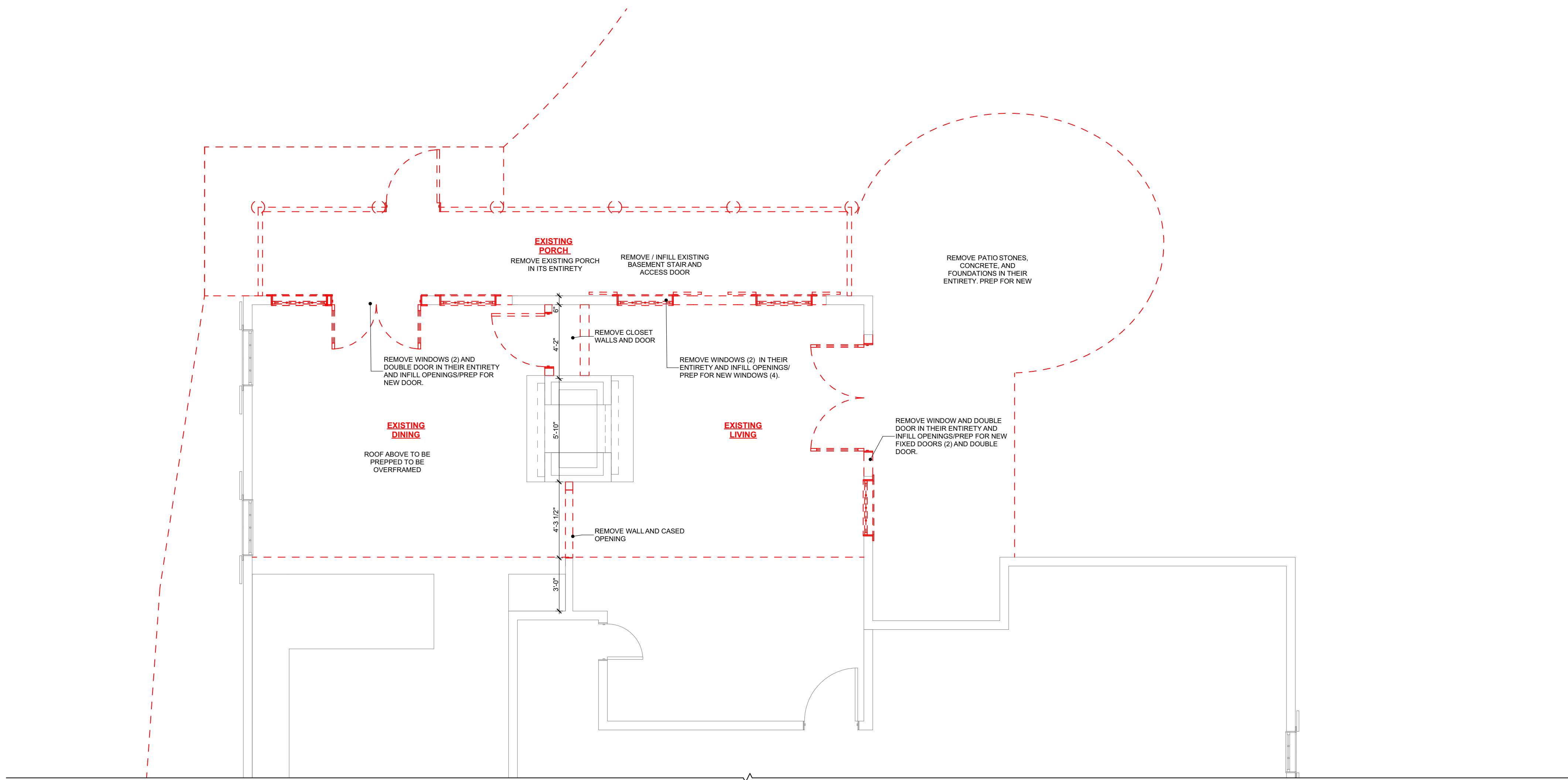
3 EAST DEMO EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



2 NORTH DEMO EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



4 WEST DEMO EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



1 FIRST FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

FOUNDATION PLAN GENERAL NOTES

SUBSTITUTION CHART:

LVL SIZE	WF STEEL SIZE
(2) 12" LVL	W10 x 15
(2) 14" LVL	W12 x 16
(2) 16" LVL	W14 x 22
(2) 18" LVL	W16 x 26
(2) 12" LVL	W10 x 17
(2) 14" LVL	W12 x 16
(2) 16" LVL	W14 x 22
(2) 18" LVL	W16 x 26
(2) 12" LVL W/ 1/2" PL	W10 x 28
(2) 16" LVL W/ (2) 1/2" PL	W16 x 40

GENERAL NOTES

BLOCK WEBS SOLID AT BEARING WALL LOCATIONS ABOVE
CONTRACTOR TO EXTEND ALL POSTS DOWN TO SOUND FOUNDATION, INSTALL FULL DEPTH SOLID BLOCKING AT ALL POINT LOAD LOCATIONS

ALL FOOTINGS TO EXTEND DOWN TO FROST LEVEL MIN.
INDICATES LOCATION OF BEARING WALL ABOVE

INDICATES LOCATION OF POINT LOAD ABOVE
COORDINATE EXACT LOCATIONS OF FLOOR DRAIN WITH MECH CONTRACTOR

IN ORDER TO REMAIN EXPOSED, WEBS OF T/J'S MUST BE PROTECTED WITH APPLIED FIRE PROTECTION (I.E. GYPSUM BOARD, FIBER BLANKET, INTUMESCENT COATING)

FORM INSULATION (BOARD OR SPRAY) MUST BE CLASS ONE RATED OR COVERED BY A THERMAL BARRIER (I.E. GYPSUM BOARD, INTUMESCENT COATING)

1/3 DEPTH OF JOIST
JOIST

SECTION 802.8

NOTCHES IN THE TOP OR BOTTOM OF JOISTS SHALL NOT EXCEED ONE-SIXTH THE DEPTH OF THE JOIST AND SHALL NOT BE LOCATED IN THE MIDDLE THIRD OF THE SPAN. WHERE JOISTS ARE NOTCHED ON THE BASIS FOR A LEDGER, THE NOTCH SHALL NOT EXCEED ONE-FOURTH THE JOIST DEPTH. CANTILEVERED JOISTS SHALL NOT BE NOTCHED UNLESS THE REDUCED SECTION PROPERTIES AND LUMBER DEFECTS ARE CONSIDERED IN THE DESIGN

Holes drilled or bored in joists shall not be within 2 inches of the top or bottom or the joists and their diameter shall not exceed one-third the depth of the joist

SECTION 802.6

ANY STUD IN AN EXTERIOR BEARING PARTITION MAY BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25% OF ITS WIDTH. STUDS IN NON-BEARING PARTITIONS MAY BE NOTCHED TO A DEPTH NOT TO EXCEED 40% OF A SINGLE STUD WIDTH. ANY STUD MAY BE BORED OR DRILLED, PROVIDED THAT THE DIAMETER OF THE RESULTING HOLES IS NO GREATER THAN 40% OF THE STUD WIDTH. THE EDGE OF THE HOLE IS NO CLOSER THAN 6 INCH TO THE EDGE OF THE STUD, AND THE HOLE IS NOT LOCATED IN THE SAME SECTION AS A CUT OR NOTCH.

FLOOR PLAN GENERAL NOTES

VERIFY DIMENSIONS AND CONDITIONS IN FIELD. WHEN DIMENSIONS AND/OR CONDITIONS AS INDICATED ON DRAWINGS CONFLICT WITH ACTUAL, CONTACT ARCHITECT FOR CLARIFICATION

PROVIDE SOUND DEADENING INSULATION AROUND BEDROOMS, BATHROOMS, MECHANICAL ROOMS, AND PLUMBING STACKS

BLOCK WEBS SOLID AT BEARING WALL LOCATIONS ABOVE
CONTRACTOR TO EXTEND ALL POSTS DOWN TO SOUND FOUNDATION, INSTALL FULL DEPTH SOLID BLOCKING AT ALL POINT LOAD LOCATIONS

ALL FOOTINGS TO EXTEND DOWN TO FROST LEVEL MIN.
COORDINATE EXACT LOCATIONS OF FLOOR DRAIN WITH MECH CONTRACTOR

PROVIDE 5/8" GYP BOARD TYPE "X" ON GARAGE CEILINGS

ALL INTERIOR DOORS TO BE 1" PB SOLID CORE WOOD DOORS. COORDINATE WITH FINISH PLANS FOR FINAL FINISH SELECTIONS

ALL INTERIOR TRIM TO BE POPLAR OR APPROVED EQUAL. COORDINATE WITH INTERIOR ELEVATIONS AND MILLWORK DRAWINGS FOR SELECT TYPES AND PROFILES

ALL MILLWORK TO BE CUSTOM PER DRAWINGS

REFER TO CONSULTANT DRAWINGS IF APPLICABLE FOR COORDINATION OF WORK BETWEEN TRADES

FLOOR TRUSS CRITERIA
TCL= 30 PSF
TCL= 15 PSF
BCPL= 10 PSF
NET UPLIFT= 15 PSF

WOOD HEADERS (U.N.O.)
OPENING HEADERS NON BEARING BEARING

UP TO 4'-0" (2) 2 X 8 1 JACK, 1 KING 1 JACK, 1 KING
4'-0" - 6'-0" (2) 2 X 10 1 JACK, 1 KING 2 JACK, 1 KING
6'-1" - 8'-0" (2) 2 X 12 1 JACK, 1 KING 2 JACK, 1 KING
8'-1" - 10'-0" (2) 11 1/4 LVL 2 JACK, 1 KING 3 JACK, 1 KING

SUBSTITUTION CHART:
LVL SIZE WF STEEL SIZE

LVL SIZE	WF STEEL SIZE
(2) 12" LVL	W10 x 15
(2) 14" LVL	W12 x 16
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(2) 12" LVL W/ 1/2" PL	W10 x 28
(2) 16" LVL W/ (2) 1/2" PL	W16 x 40

INDICATES WEB STIFFENING BELOW BEARING WALL ABOVE

INDICATES AREA OF ADDITIONAL FRAMING REQUIRED

INDICATES POINT LOAD FROM ABOVE

INDICATES LOCATION OF BEARING WALL ABOVE

INDICATES BEARING WALL

ROOF PLAN GENERAL NOTES

OVERHANG DIMENSIONS ARE NOTED FROM THE EXTERIOR FACE OF SHEATHING TO THE EXTERIOR FACE OF THE 1X FASCIA BOARD

ALL BEARING ELEVATIONS NOTED ARE FROM THE INSIDE FACE OF THE 2X FRAMING U.N.O.

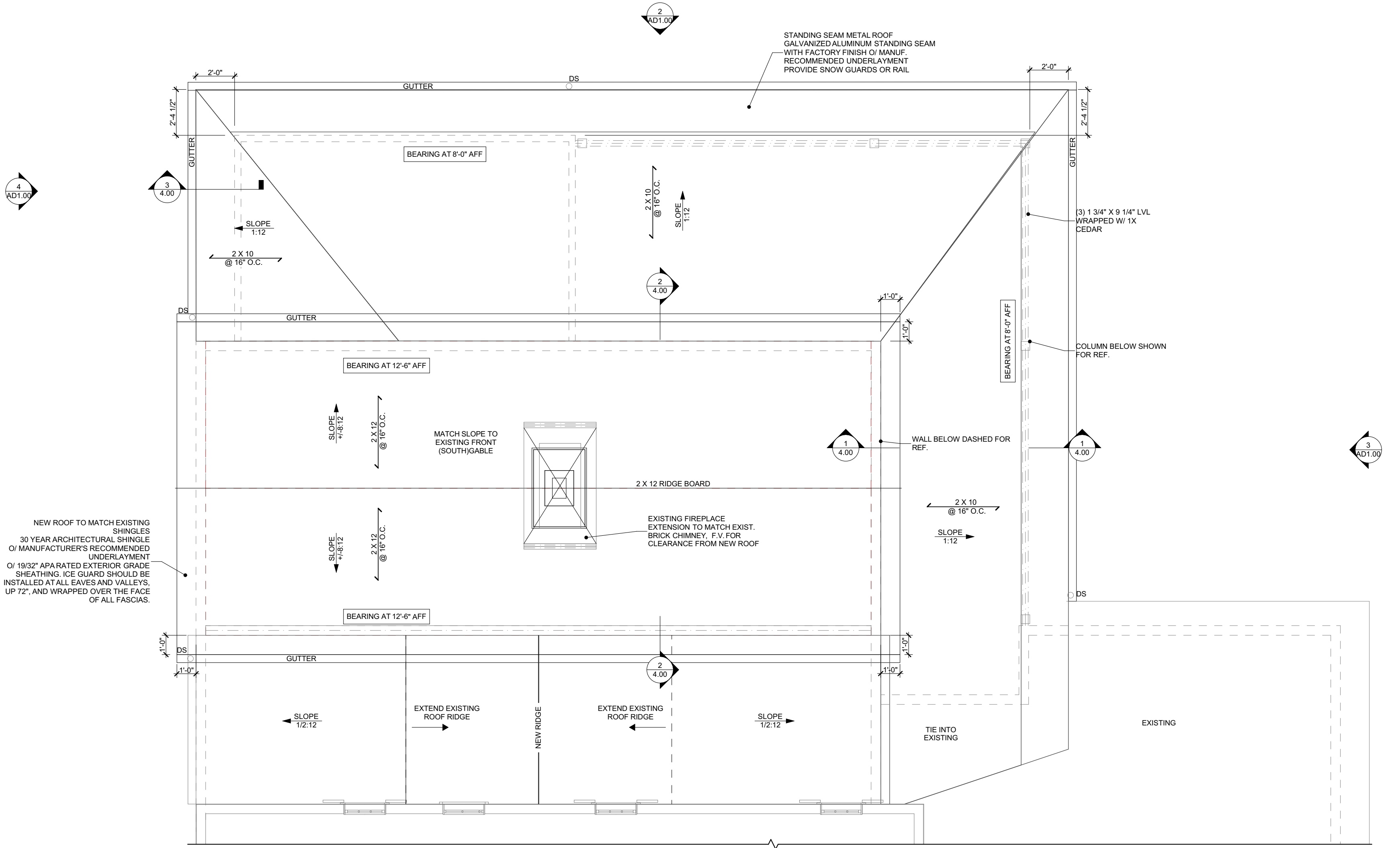
OVERFRAMING AND CRICKETS TO BE CONSTRUCTED OF A MINIMUM 2 X 8 FRAMING

ALL ROOF PENETRATIONS TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION TO ENSURE AESTHETIC EXPECTATIONS ARE MAINTAINED

FLASH AND TERMINATE ALL ROOF PENETRATIONS PER MANUFACTURERS RECOMMENDATIONS U.N.O.

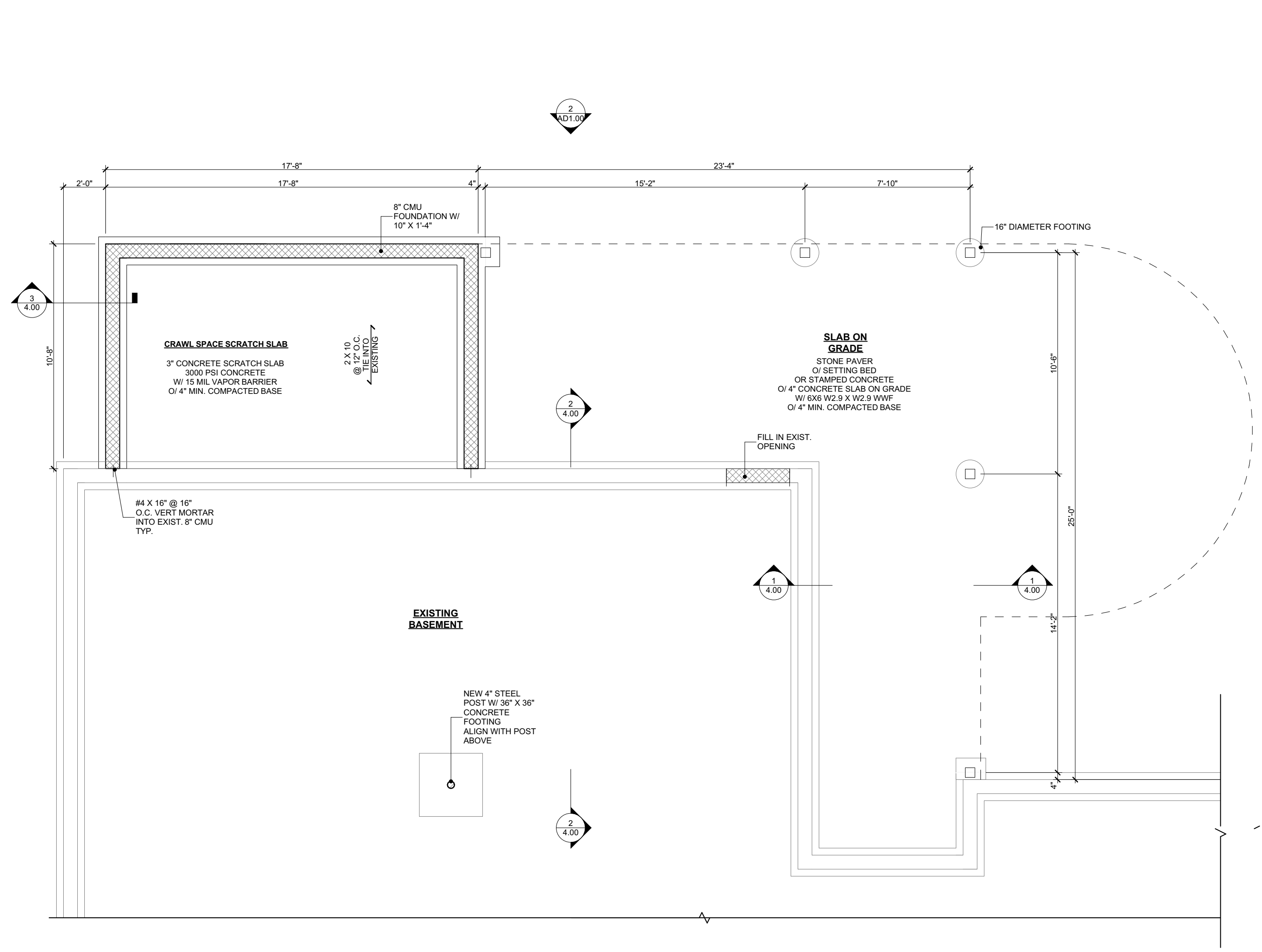
IN THE EVENT THAT A LIGHTNING PROTECTION SYSTEM IS TO BE PROVIDED, O.C. TO COORD. W/ E.C.

GUTTER PROFILES SHALL BE SUBMITTED FOR APPROVAL. PROVIDE A MINIMUM OF 3/8" ICE GUARD AT ALL EAVES. WRAP OVER FASCIA AND UP VALLEY 8"



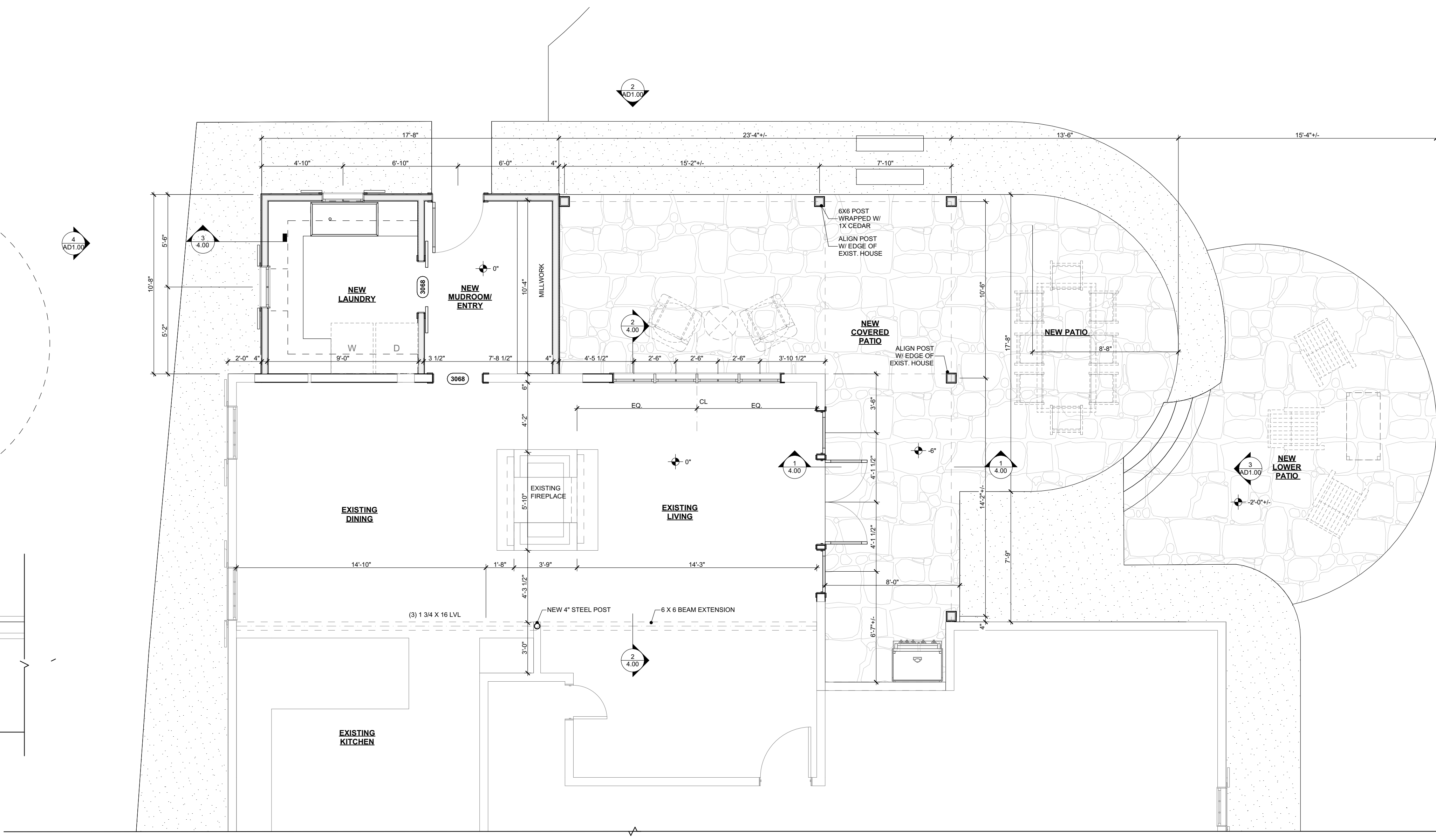
3 ROOF PLAN

SCALE: 1/4" = 1'-0"



2 FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



1 FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

ALL FIBER CEMENT EXTERIOR TRIM TO BE AZEK OR BORAL, PAINTED, OR APPROVED EQUAL.

ALL EXPOSED WOOD ELEMENTS AND TONGUE AND GROOVE CEILINGS IS TO BE DOUG FIR, STAINED AND SEALED. COORDINATE FINAL COLOR WITH ARCHITECT AND OWNER

GUTTER PROFILES SHALL BE SUBMITTED FOR APPROVAL PRIOR TO ORDERING

SAFETY GLAZING TO BE IN ACCORDANCE WITH THE 2019 RESIDENTIAL
CODE OF OHIO (SECTION R308)

BEDROOM EGRESS WINDOWS TO COMPLY WITH THE 2019 RESIDENTIAL
CODE OF OHIO (SECTION R310)

The diagram shows four window types with their labels below them:

- FIXED:** A simple rectangular window with a hexagonal label 'W' in the top-left corner.
- CASEMENT:** A rectangular window with dashed lines forming a triangle inside, indicating the sash can swing outwards.
- AWNING:** A rectangular window with dashed lines forming a triangle inside, indicating the sash can swing outwards from the top.
- DOUBLE HUNG:** Two stacked rectangular windows. The top window has a dashed line and a downward arrow, and the bottom window has a dashed line and an upward arrow, indicating they can move vertically.

ALL WINDOWS ARE TO BE PELLA ARCHITECT SERIES
CONTEMPORARY ALUMINUM CLAD WOOD WINDOW OR APPROVED EQUAL.
WINDOW HEAD GIVEN ABOVE FIRST AND SECOND FLOOR, CONFIRM
WINDOW QUANTITIES WITH ELEVATIONS.

** WINDOW COUNT PROVIDED FOR GENERAL REFERENCE AND VERIFICATION ONLY. CONTRACTOR TO VERIFY TOTAL NUMBER OF WINDOWS WITH DOCUMENTS.



