



# BRUBAKER RESIDENCE



## PROJECT INFORMATION

CITY HUDSON  
 COUNTY SUMMIT COUNTY  
 PARCEL NO 3004359  
 ZONING ZONE 1 - SUBURBAN RESIDENTIAL NEIGHBORHOOD  
 LOT .6921 ACRE, 30,148 SF

PROJECT FIRST FLOOR ADDITION OFF NORTH SIDE OF EXISTING RESIDENCE

APPLICABLE CODE BUILDING: 2019 OHIO RESIDENTIAL BUILDING CODE  
 ZONING: CITY OF HUDSON

## PROJECT AREA

EXISTING RESIDENCE 1,892 SF  
 FIRST FLOOR ADDITION 678 SF  
 TOTAL 2,570 SF

## PROJECT TEAM

ARCHITECT: HARA ARCHITECTS  
 HUDSON, OHIO  
 P: 419.410.6241  
 CONTACT: NATE BAILEY

BUILDER: WC GOTTS  
 HUDSON, OHIO  
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 CONTACT: BILL GOTTS

## DRAWING INDEX

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haraarchitects.com

## PROJECT TEAM:

ARCHITECT  
 HARA ARCHITECTS

MEP  
 L - EMENT

## ABBREVIATIONS

ABV	ABOVE	HC	HOLLOW CORE
AC	AIR CONDITIONING	HDWR	HARDWARE
AFF	ABOVE FINISHED FLOOR	HM	HOLLOW METAL
ALT	ALTERNATE	HVAC	HEATING, VENTILATION, AND AIR
AHJ	AUTHORITY HAVING JURISDICTION	COND.	CONDITION
ALUM	ALUMINUM	HT	HEIGHT
APPROX.	APPROXIMATELY	INSUL	INSULATION
ARCH	ARCHITECTURAL	JST	JOIST
ASPH	ASPHALT	LAM	LAMINATED
BD	BOARD	LF	LINEAR FOOT
BLDG	BUILDING	MAS	MASONRY
BOTT	BOTTOM OF	MATL	MATERIAL
BRG	BEARING	MAX	MAXIMUM
BOTT	BOTTOM	MECH	MECHANICAL
BTW	BETWEEN	MFG	MANUFACTURER
CF	CUBIC FEET	MIN	MINIMUM
CIP	CAST IN PLACE	MISC	MISCELLANEOUS
CJ	CONTROL JOINT	MO	MASONRY OPENING
CLG	CEILING	MTD	MOUNTED
CLR	CLEAR	MTL	METAL
CMU	CONCRETE MASONRY UNIT	NOM	NOMINAL
CONC	CONCRETE	NTS	NOT TO SCALE
CO	CLEAN OUT	O/	OVER
CONT	CONTINUOUS	O.C.	ON CENTER
DBL	DOUBLE	OPN	OPENING
DEPT	DEPARTMENT	PREFAB	PREFABRICATED
DIA	DIAMETER	PLYWD	PLYWOOD
DIM	DIMENSION	P LAM	PLASTIC LAMINATE
DN	DOWN	PR	PAIR
DR	DOOR	PSI	POUNDS PER SQUARE INCH
DS	DOWNSPOUT	REF	REFERENCE
DTL	DETAIL	RM	ROOM
DWG	DRAWING	RO	ROUGH OPENING
EA	EACH	REQ	REQUIRED
ELEC	ELECTRICAL	SC	SOLID CORE
EQ	EQUAL	SECT	SECTION
EXH	EXHAUST	SIM.	SIMILAR
EXIST	EXISTING	STRUC	STRUCTURAL
EXP	EXPOSED	TYP	TYPICAL
EXT	EXTERIOR	UNO	UNLESS NOTED OTHERWISE
FD	FLOOR DRAIN	W/	WITH
FDN	FOUNDATION	WWF	WELDED WIRE FABRIC
FIN.	FINISHED		
FLR	FLOOR		
FT	FOOT		
FTG	FOOTING		
FUR	FURRING		
GALV	GALVANIZED		
GA	GAUGE		
GC	GENERAL CONTRACTOR		
GYP. BD.	GYPSUM BOARD		
GYP	GYPSUM		

## DRAWING SYMBOLS

	DETAIL
	EXTERIOR ELEVATION
	BUILDING SECTION
	INTERIOR ELEVATION
	WALL SECTION
	CENTERLINE AND GRID
	DOOR TAG
	WINDOW TAG

## PROJECT GENERAL NOTES

THE CONTRACTOR WILL FURNISH ALL LABOR, MATERIAL, EQUIPMENT, PERMITS, TAXES, AND INSURANCE NECESSARY TO COMPLETE THE WORK INDICATED AND/OR IMPLIED IN THE CONSTRUCTION DOCUMENTS UNLESS NOTED OTHERWISE AND WILL COORDINATE THE WORK RESPONSIBILITIES OF ALL SUBCONTRACTORS. ALL LABOR AND MATERIALS TO CARRY OUT FULLY THE INTENTIONS OF THE PLANS AND SPECIFICATIONS ARE PART OF THE CONTRACT, WHETHER OR NOT SPECIFICALLY DOCUMENTED.

ALL WORK WILL CONFORM TO THE CURRENT OHIO BUILDING, MECHANICAL & PLUMBING CODES, AS WELL AS THE CURRENT NATIONAL BOARD OF FIRE UNDERWRITERS AND ALL OTHER APPLICABLE CITY CODES, LOCAL LAWS, AND AUTHORITIES HAVING JURISDICTION. CODE STANDARDS AND PUBLICATIONS OF PRIVATE AND PUBLIC BODIES MENTIONED WITHIN THE SPECIFICATIONS OR ON THE DRAWINGS, WILL BE CONSIDERED TO BE THOSE IN FORCE AT THE TIME OF THE CONTRACT AWARD.

THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONTROLLED INSPECTIONS AND ANY TECHNICAL TESTING REQUIRED FOR CONTROLLED INSPECTIONS AS STIPULATED BY ALL APPLICABLE CODES.

ALL MANUFACTURED ARTICLES, MATERIALS, AND EQUIPMENT WILL BE NEW AND FREE OF DEFECTS AND WILL BE SUPPLIED, INSTALLED, CONNECTED, ERECTED, USED, CLEANED, AND CONDITIONED AS DIRECTED BY THE RESPECTIVE MANUFACTURERS, UNLESS SPECIFIED OTHERWISE.

THE CONTRACTOR WILL NOTIFY THE ARCHITECT OF ANY ERRORS, OMISSIONS, CONFLICTS, OR AMBIGUITIES IN AND BETWEEN THE DRAWINGS AND THE SPECIFICATIONS PRIOR TO PROCEEDING WITH THE WORK. IF SUCH NOTICE IS NOT FURNISHED TO THE ARCHITECT, THE CONTRACTOR WILL BE DEEMED TO HAVE INSPECTED THE DRAWINGS AND SPECIFICATIONS AND TO HAVE FOUND THEM IN PROPER FORM FOR EXECUTION.

THE CONTRACTOR REPRESENTS THAT HE HAS HAD ADEQUATE ACCESS TO THE JOB SITE AND BUILDING AREA IN WHICH THE WORK IS TO BE PERFORMED, THAT HE HAS SATISFIED HIMSELF AT TO THE NATURE AND LOCATION OF WORK, INCLUDING ANY OBSTRUCTIONS, SCOPE OF WORK, ACTUAL LEVELS, THE EQUIPMENT AND FACILITIES NEEDED PRELIMINARY TO AND DURING THE EXECUTION OF THE WORK AND ALL OTHER MATTERS, WHICH CAN IN ANY WAY AFFECT THE WORK OR THE COST THEREOF UNDER THIS CONTRACT, AND THAT HE HAS STUDIED THE CONTRACT DOCUMENTS AND ALL OTHER DOCUMENTS PERTAINING TO THE INSTALLATION OF OTHER TRADES WHICH MAY INFLUENCE HIS WORK.

THE CONTRACTOR WILL ASSUME FULL RESPONSIBILITY, INCLUDING RESPONSIBILITY FOR ALL RELATED COSTS FOR ANY AND ALL WORK DONE WITHOUT THE APPROVAL OF THE ARCHITECT IF SUCH WORK IS IN CONFLICT WITH THE CONTRACT, DRAWINGS, OR SPECIFICATIONS.

THE OWNER WILL ESTABLISH THE LIMITS OF THE CONSTRUCTION SITE IN ADDITION TO ANY CONTRACT LIMIT LINES SHOWN IN THE DRAWINGS. THE CONTRACTOR WILL CONTINUE HIS OPERATIONS WITHIN THESE LIMITS, UNLESS UPON WRITTEN REQUEST AND REPLY, A VARIANCE IS AGREED TO BY THE OWNER. THE CONTRACTOR WILL BE RESPONSIBLE FOR TRESPASS ON AND/OR DAMAGE TO OTHER PROPERTY BY ANY OF HIS EMPLOYEES OR HIS SUBCONTRACTORS EMPLOYEES.

THE CONTRACTOR WILL BE RESPONSIBLE FOR THE SAFE WORKING CONDITIONS AT THE SITE. THE ARCHITECT AND OWNER WILL NOT BE DEEMED TO HAVE ANY RESPONSIBILITY OR LIABILITY IN CONNECTION HEREWITH.

CONSTRUCTION OPERATIONS WILL NOT INVOLVE INTERRUPTION OF HEATING, WATER, ELECTRICAL, OR OTHER SERVICES TO ANY PORTION OF THE BUILDING OUTSIDE THE LIMITS OF THE CONSTRUCTION SITE DESCRIBED IN NOTE 9.

THE CONTRACTOR WILL BE RESPONSIBLE FOR CORRECTING ANY DEFICIENCIES CAUSED BY DEFECTIVE OR ILL TIMED WORK AT NO ADDITIONAL COST TO THE OWNER.

NO SUBSTITUTIONS ARE PERMITTED EXCEPT WHERE THE TERM "APPROVED EQUAL" APPEARS. ALL SUBSTITUTIONS MUST BE APPROVED IN WRITING BY THE ARCHITECT. THE CONTRACTOR IS TO SUBMIT SAMPLES OR CATALOG CUTS OF ALL VISIBLE MATERIALS AND EQUIPMENT FOR THE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION.

BRUBAKER RESIDENCE  
 7593 PARTRIDGE DRIVE, HUDSON, OHIO 44236

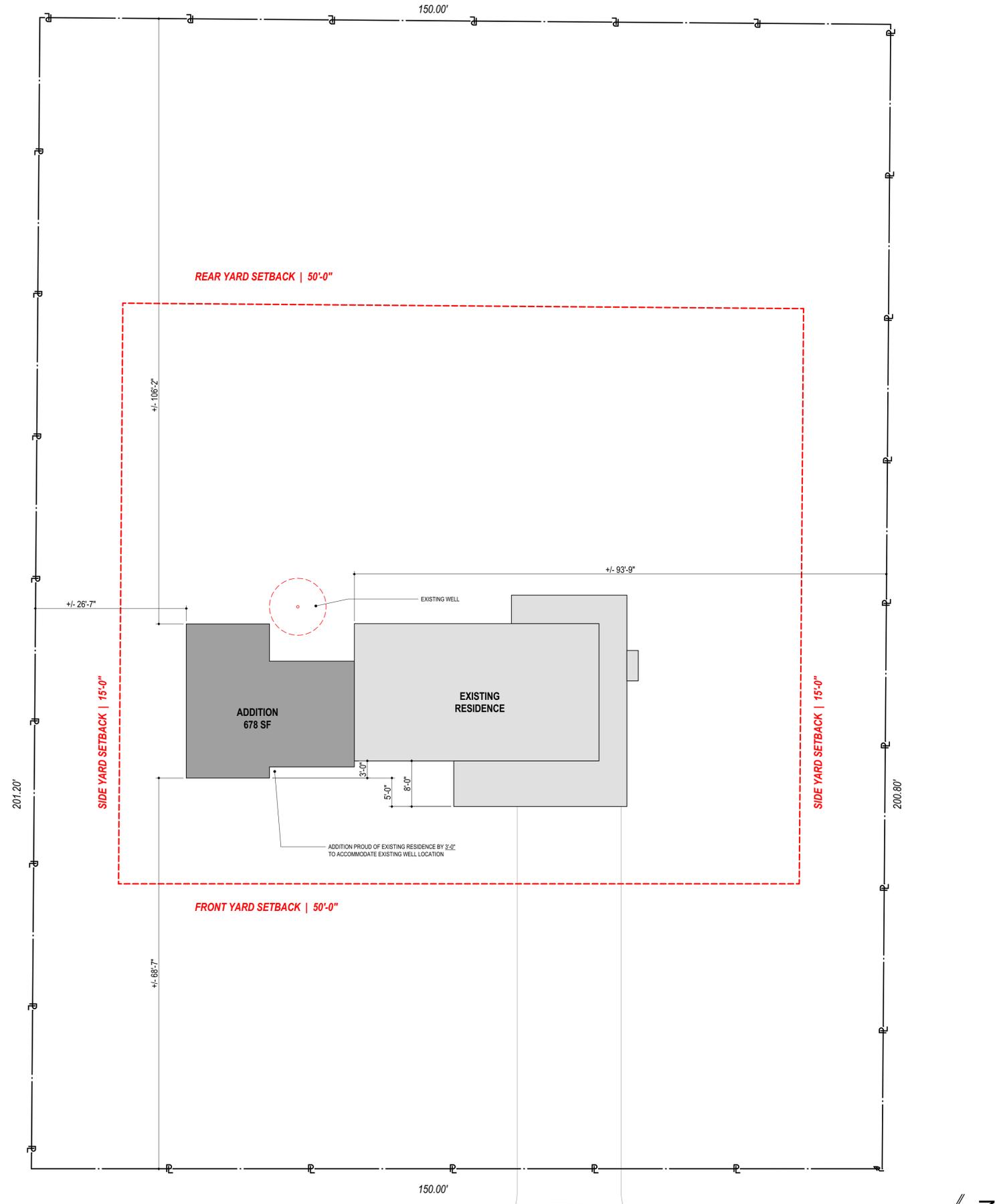
PROJECT #: 2506

ISSUE	ID	DATE
AHBR	A	06/12/2025

COVER SHEET

G100

ISSUE	ID	DATE
AHR	A	06/12/2025

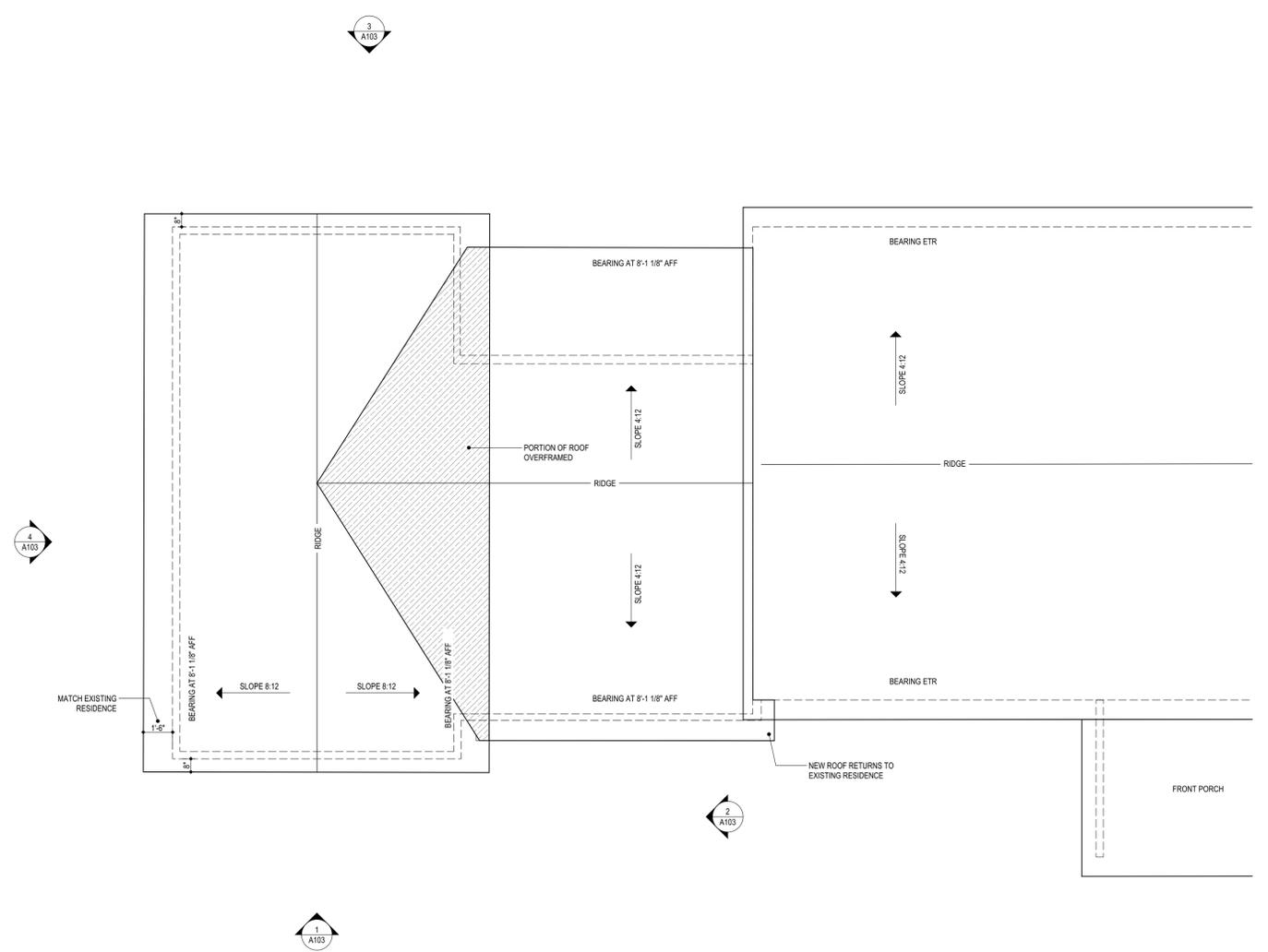
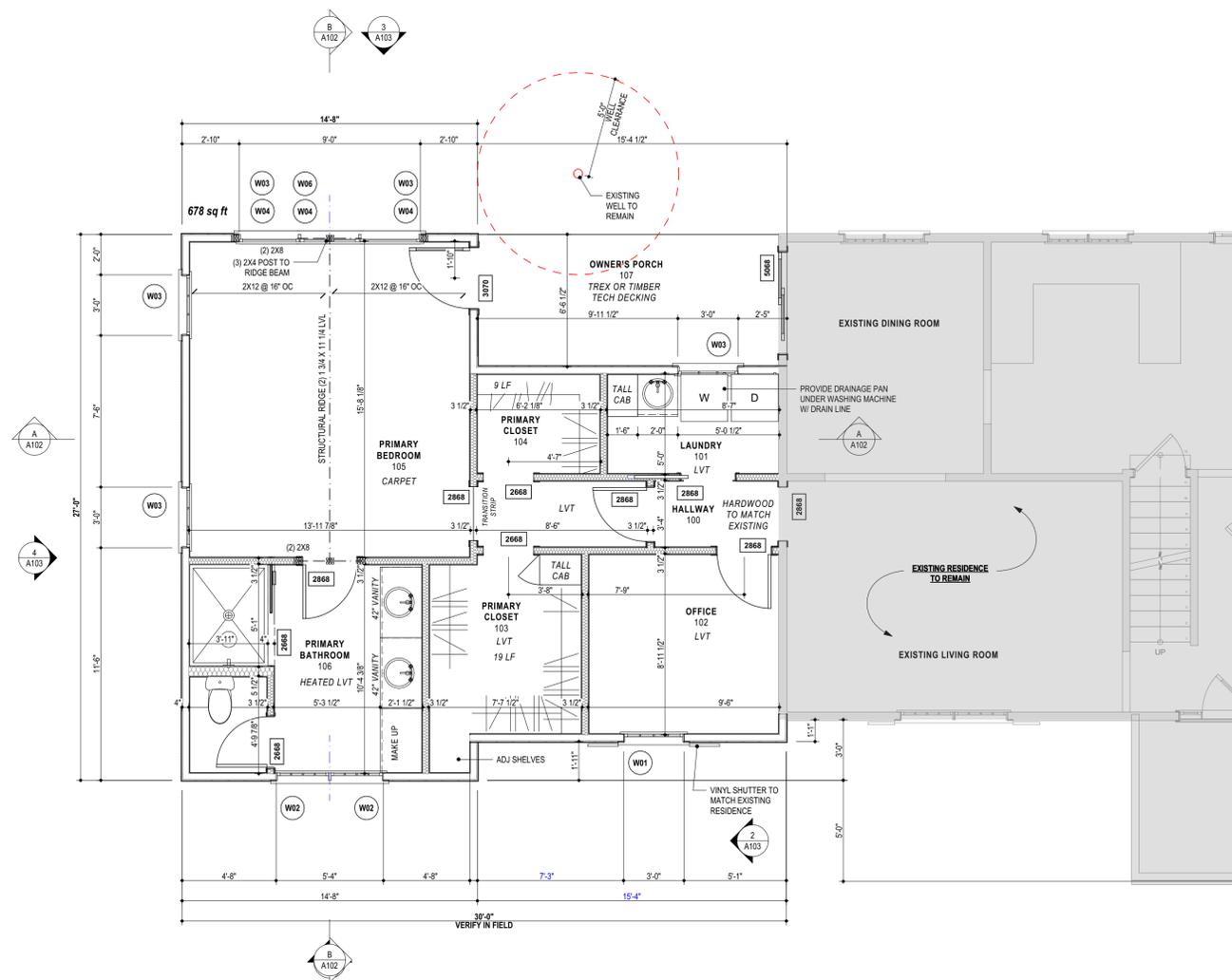


**1** ARCHITECTURAL SITE PLAN  
SCALE: 1" = 10'





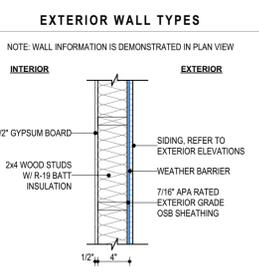
ISSUE	ID	DATE
AHR	A	06/12/2025



**1 FIRST FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

**2 ROOF PLAN**  
 SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE			
ID	QTY	W x H	REMARKS
W01	1	3'-0" x 5'-0"	
W02	2	2'-6" x 5'-0"	
W03	5	3'-0" x 3'-0"	
W04	3	3'-0" x 5'-6"	
W06	1	3'-0" x 4'-0"	



**FLOOR PLAN GENERAL NOTES**

VERIFY DIMENSIONS AND CONDITIONS IN FIELD. WHEN DIMENSIONS AND/OR CONDITIONS AS INDICATED ON DRAWINGS CONFLICT WITH ACTUAL, CONTACT ARCHITECT FOR CLARIFICATION

PROVIDE SOUND DEADENING INSULATION AROUND BEDROOMS, BATHROOMS, MECHANICAL ROOMS, AND PLUMBING STACKS

BLOCK WEBS SOLID AT BEARING WALL LOCATIONS ABOVE

CONTRACTOR TO EXTEND ALL POSTS DOWN TO SOUND FOUNDATION. INSTALL FULL DEPTH SOLID BLOCKING AT ALL POINT LOAD LOCATIONS.

ALL FOOTINGS TO EXTEND DOWN TO FROST LEVEL MINIMUM.

COORDINATE EXACT LOCATIONS OF FLOOR DRAINS WITH MECHANICAL CONTRACTOR.

PROVIDE 5/8" GYP. BOARD TYPE "X" ON GARAGE CEILINGS.

ALL INTERIOR DOORS TO BE 1 7/8" SOLID CORE WOOD DOORS. COORDINATE WITH FINISH PLANS FOR FINAL FINISH SELECTIONS

ALL INTERIOR TRIM TO BE POPLAR OR APPROVED EQUAL. COORDINATE WITH INTERIOR ELEVATIONS AND MILLWORK DRAWINGS FOR SELECT TYPES AND PROFILES.

ALL MILLWORK TO BE PER DRAWINGS.

REFER TO CONSULTANT DRAWINGS IF APPLICABLE FOR COORDINATION OF WORK BETWEEN TRADES

**FLOOR TRUSS CRITERIA**  
 TCCL= 30 PSF  
 TCCL= 10 PSF  
 BCDL= 10 PSF  
 NET UPLIFT= 15 PSF  
 19/32" APA RATED EXPOSURE 1 OSB

**ROOF TRUSS CRITERIA**  
 TCCL= 25 PSF  
 TCCL= 10 PSF  
 ECDL= 10 PSF  
 NET UPLIFT= 10 PSF  
 ATTIC CL= 40 PSF  
 ATTL < L/240

**WOOD HEADERS (U.N.O.)**

OPENING	HEADERS	NON BEARING	BEARING
UP TO 4'-0"	(2) 2 X 8	1 JACK, 1 KING	1 JACK, 1 KING
4'-0" - 6'-0"	(2) 2 X 10	1 JACK, 1 KING	2 JACK, 1 KING
6'-0" - 8'-0"	(2) 2 X 12	1 JACK, 1 KING	2 JACK, 1 KING
8'-0" - 10'-0"	(2) 11 1/4 LVL	2 JACK, 1 KING	3 JACK, 1 KING

INDICATES WEB STIFFENING BELOW BEARING WALL ABOVE

INDICATES AREA OF ADDITIONAL FRAMING REQUIRED

INDICATES POINT LOAD FROM ABOVE

INDICATES LOCATION OF BEARING WALL ABOVE

INDICATES BEARING WALL

**ROOF PLAN GENERAL NOTES**

OVERHANG DIMENSIONS ARE NOTED FROM THE EXTERIOR FACE OF SHEATHING TO THE EXTERIOR FACE OF THE 1X FASCIA BOARD

ALL BEARING ELEVATIONS NOTED ARE FROM THE INSIDE FACE OF THE 2X FRAMING U.N.O.

OVERFRAMING AND CRICKETS TO BE CONSTRUCTED OF A MINIMUM 2 X 8 FRAMING.

ALL ROOF PENETRATIONS TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION TO INSURE AESTHETIC EXPECTATIONS ARE MAINTAINED.

FLASH AND TERMINATE ALL ROOF PENETRATIONS PER MANUFACTURERS RECOMMENDATIONS U.N.O.

GUTTER PROFILES SHALL BE SUBMITTED FOR APPROVAL PRIOR TO ORDERING.

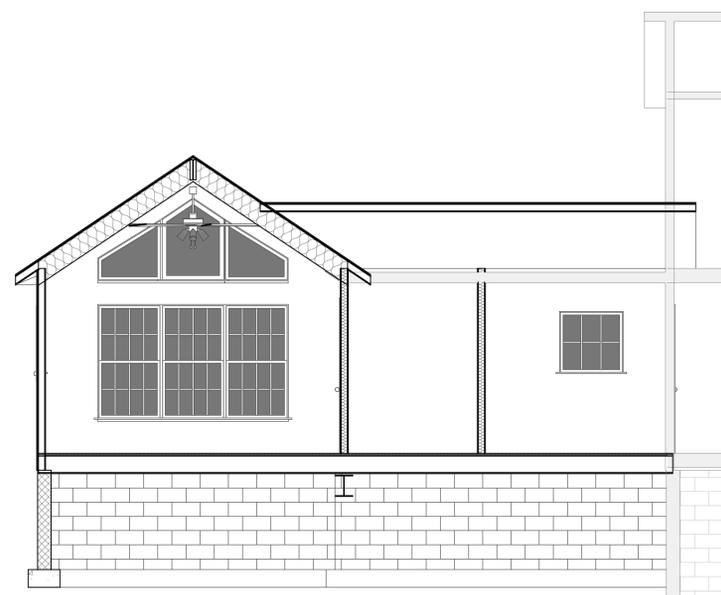
INDICATES DOWNSPOUT AND GUTTER LOCATION

DS ○  
 GUTTER □ □ □

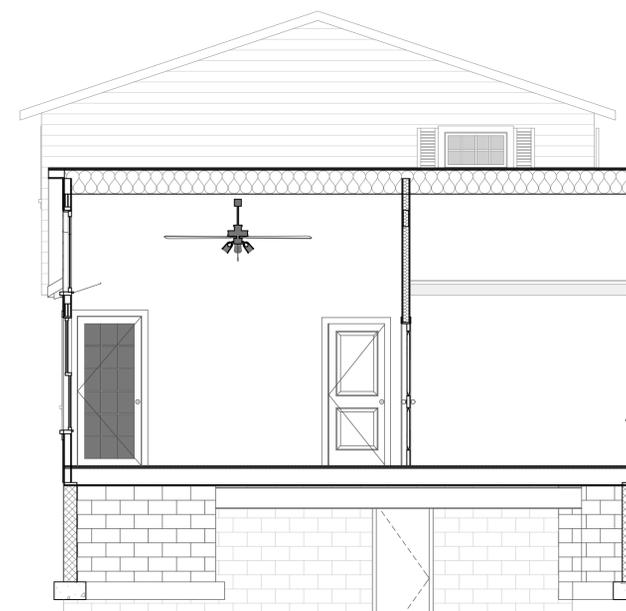
**MATERIAL SCHEDULE**

**ASPHALT SHINGLE ROOF (R-1)**  
 30 YEAR ARCHITECTURAL SHINGLE  
 OF MANUFACTURER'S RECOMMENDED UNDERLAYMENT  
 OF 17/32" APA RATED EXTERIOR GRADE SHEATHING. ICE GUARD SHOULD BE INSTALLED AT ALL EAVES AND VALLEYS, UP 7", AND WRAPPED OVER THE FACE OF ALL FASCIAS.

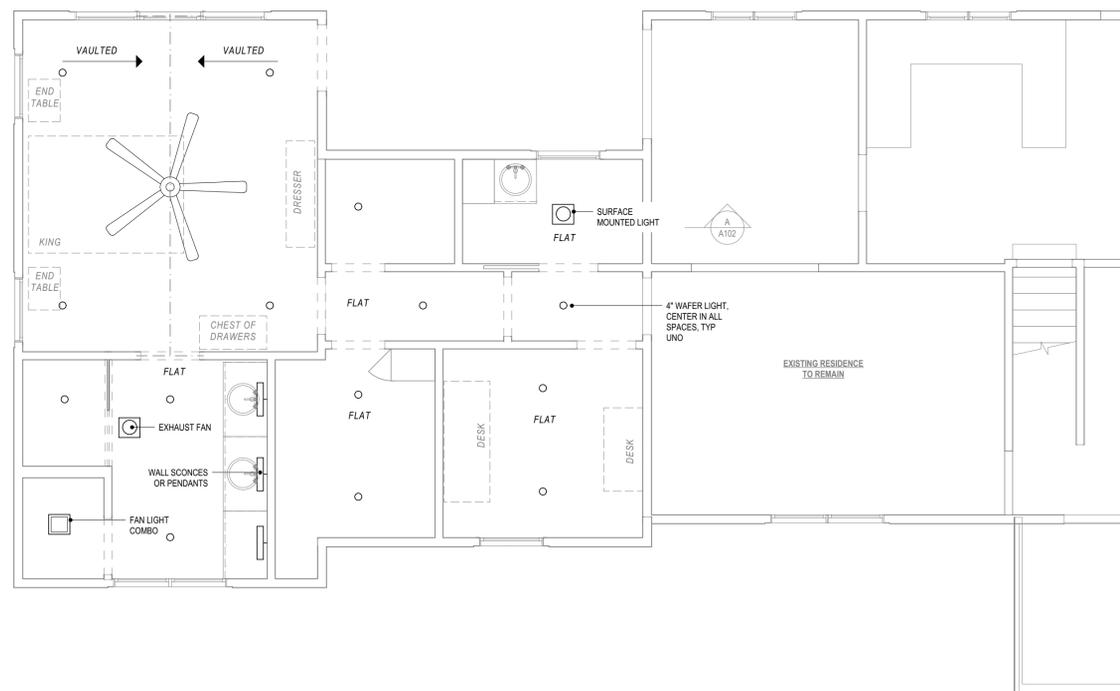
BASIS OF DESIGN: GAF TIMBERLINE HDZ SHINGLES



**A** BUILDING SECTION A  
SCALE: 1/4" = 1'-0"

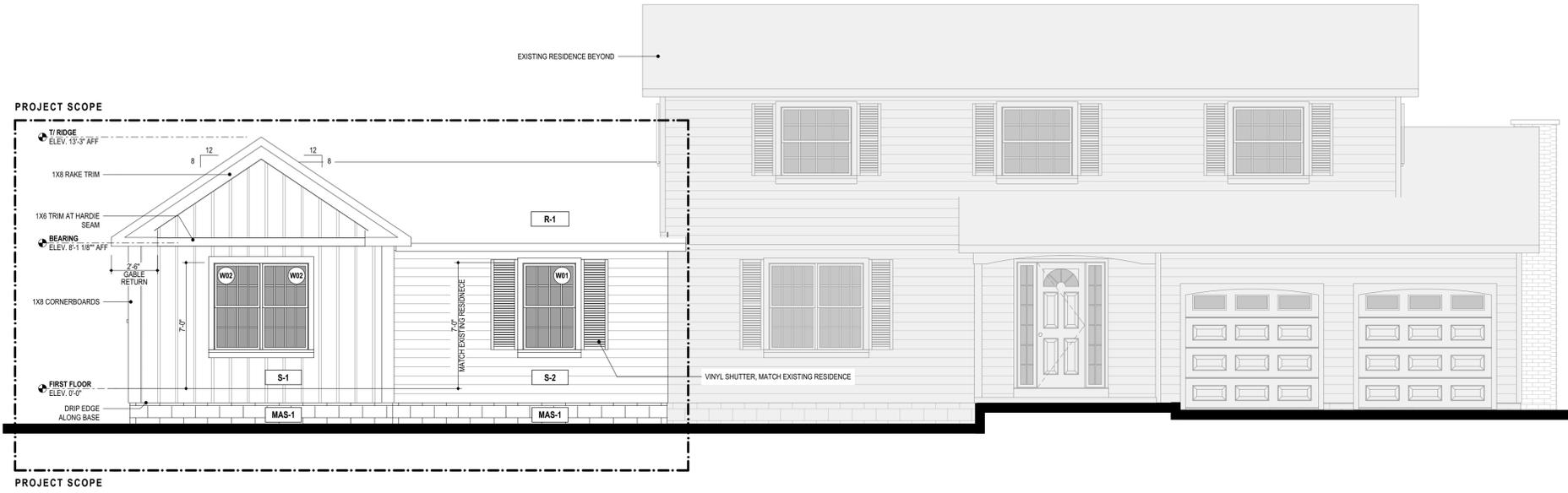


**B** BUILDING SECTION B  
SCALE: 1/4" = 1'-0"

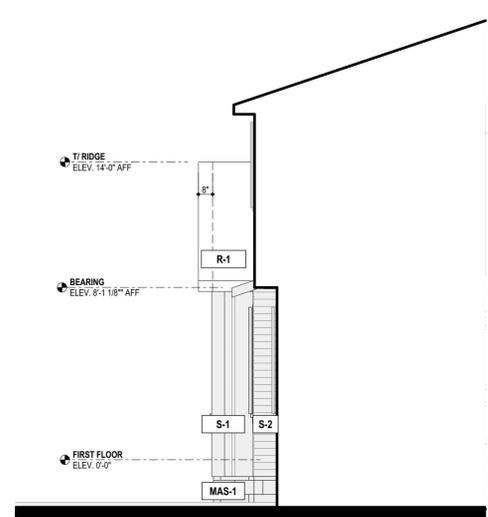


**1** FIRST FLOOR CEILING PLAN  
SCALE: 1/4" = 1'-0"

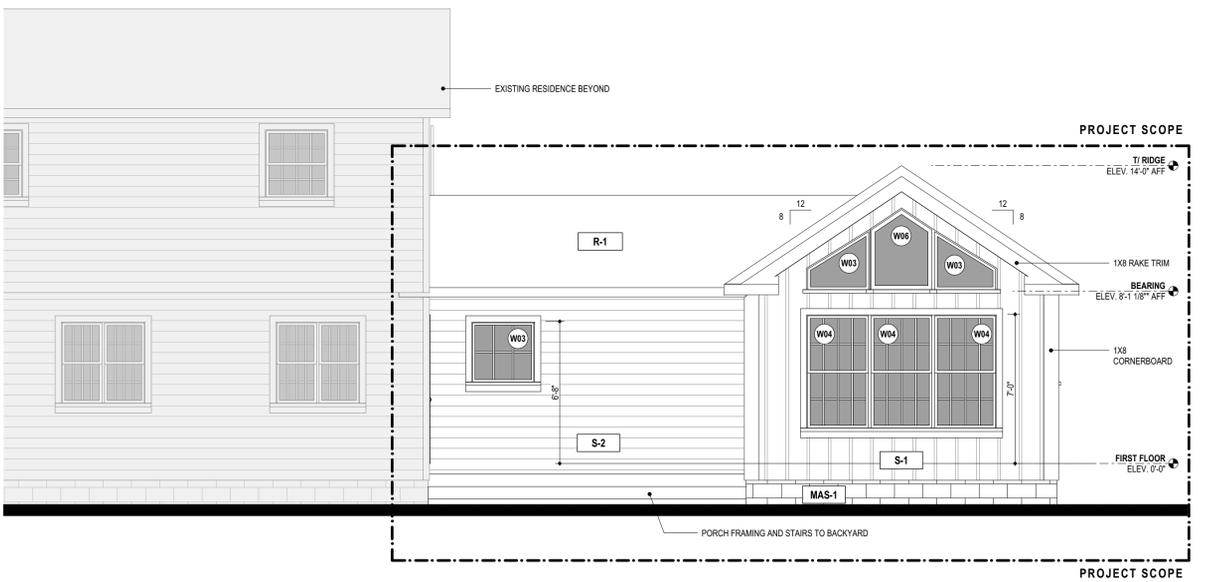




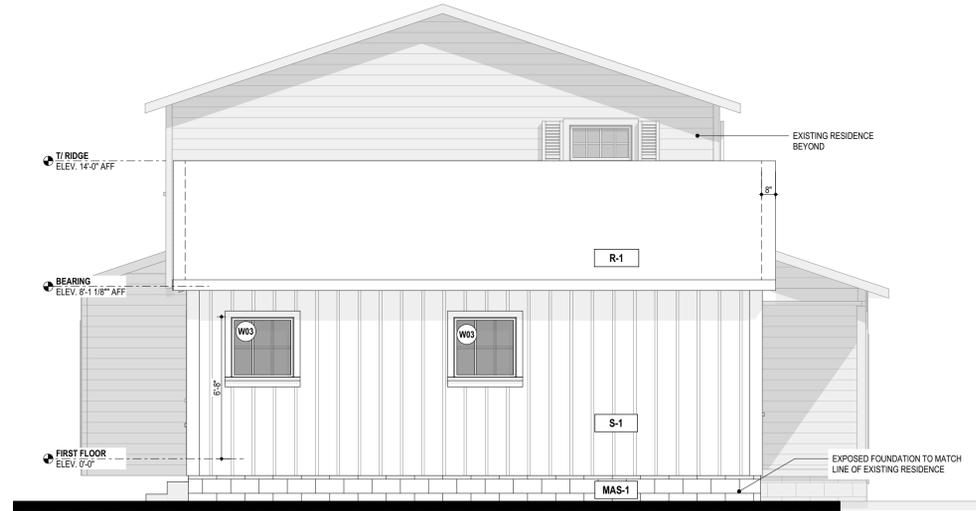
**1 WEST ELEVATION (FRONT OF ADDITION)**  
 SCALE: 1/4" = 1'-0"



**2 SOUTH ELEVATION (SIDE OF ADDITION)**  
 SCALE: 1/4" = 1'-0"



**3 EAST ELEVATION (REAR OF ADDITION)**  
 SCALE: 1/4" = 1'-0"



**4 NORTH ELEVATION (SIDE OF ADDITION)**  
 SCALE: 1/4" = 1'-0"

**EXTERIOR ELEVATION GENERAL NOTES**

- ROOF SOFFITS, GABLE RETURNS, AND TRIM PROFILES TO MATCH EXISTING RESIDENCE UNLESS NOTED OTHERWISE.
- ROOF SOFFITS TO BE PERFORATED ALUMINUM SOFFIT OR APPROVED EQUAL.
- ALL FIBER CEMENT EXTERIOR TRIM TO BE AZEK OR BORAL, PAINTED, OR APPROVED EQUAL.
- ALL ROOF PENETRATIONS TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION TO ENSURE AESTHETIC EXPECTATIONS ARE MAINTAINED.
- GUTTER PROFILES SHALL BE SUBMITTED FOR APPROVAL PRIOR TO ORDERING.
- SAFETY GLAZING TO BE IN ACCORDANCE WITH THE 2019 RESIDENTIAL CODE OF OHIO (SECTION R308)
- BEDROOM EGRESS WINDOWS TO COMPLY WITH THE 2019 RESIDENTIAL CODE OF OHIO (SECTION R310)

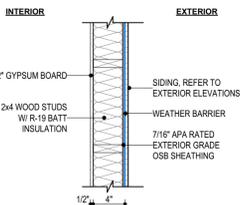
**MATERIAL SCHEDULE**

- ALL MATERIAL ASSEMBLIES LISTED BELOW TO OCCUR OVER THE FOLLOWING UNLESS NOTED OTHERWISE:
- OS WEATHER BARRIER
  - OS APA RATED EXTERIOR GRADE OSB SHEATHING
  - OS 2X6 STUDS W/ R-19 BATT INSULATION
- EXPOSED FOUNDATIONS (MAS-1)**  
 NEW FOUNDATION WALLS TO BE MATCH EXISTING RESIDENCE WITH PAINTED CMU
- VERTICAL SIDING (S-1)**  
 VERTICAL FIBER CEMENT SIDING, BOARD AND BATTEN  
 JAMES HARDIE OR APPROVED ALTERNATE  
 COLOR: BY OWNER
- HORIZONTAL SIDING (S-2)**  
 HORIZONTAL ALUMINUM OR FIBER CEMENT LAP SIDING  
 JAMES HARDIE OR APPROVED ALTERNATE, PAINTED TO MATCH EXISTING RESIDENCE.  
 EXPOSURE TO MATCH EXISTING RESIDENCE, 6" SHOWN.  
 COLOR: BY OWNER
- ASPHALT SHINGLE ROOF (R-1)**  
 30 YEAR ARCHITECTURAL SHINGLE  
 OS MANUFACTURER'S RECOMMENDED UNDERLAYMENT  
 OS 17/32" APA RATED EXTERIOR GRADE SHEATHING. ICE GUARD SHOULD BE INSTALLED AT ALL EAVES AND VALLEYS, UP 72", AND WRAPPED OVER THE FACE OF ALL FASCIAS.

- WINDOWS**  
 VINYL WINDOW, WHITE, GRIDS TO MATCH EXISTING RESIDENCE
- GUTTERS & DOWNSPOUTS**  
 ALUMINUM 1 1/2" STYLE GUTTER & DOWNSPOUT  
 COLOR: WHITE

**EXTERIOR WALL TYPES**

NOTE: WALL INFORMATION IS DEMONSTRATED IN PLAN VIEW



WINDOW SCHEDULE			
ID	QTY	W x H	REMARKS
W01	1	3'-0" x 5'-0"	
W02	2	2'-8" x 5'-0"	
W03	5	3'-0" x 3'-0"	
W04	3	3'-0" x 5'-6"	
W06	1	3'-0" x 4'-0"	

BRUBAKER RESIDENCE

7593 PARTRIDGE DRIVE, HUDSON, OHIO 44236

PROJECT #: 2506

ISSUE	ID	DATE
AHR	A	06/12/2025

**EXTERIOR ELEVATIONS**









