

Barlow Court
Barlow Road, Hudson, Ohio
Revised Submittal 8/3/21

In General

On July 12, 2021 the Hudson Planning Commission took up the matter of the proposed Townhomes on Barlow Road. The project, known as Barlow Court, features 16 Townhomes with first floor master bedrooms and living space with garage doors facing the private drive running down the center of the property.

A list of outstanding issues and staff commentary sent to the Developer following the resubmittal is included as Appendix A.

Taking into consideration the questions and comments of the members of the Planning Commission, and staff comments, Triban Investments (“Developer”), submits the following commentary and proposed changes regarding the proposed site plan layout (“Site Plan”).

1. A 6’ privacy fence has been added to the south and west perimeters of the property providing greater buffer for noise and privacy with regards to surrounding neighbors. This also provides a measure of security between neighbors and the retention pond. Neither of these fences are required by Code.

The fence is designed to be vinyl and as part of the Site Plan Approval process various colors and styles will be submitted for consideration. Planning Staff suggested wood fencing instead of vinyl. However, given the choice and durability of vinyl fencing, the Site Plan continues to reflect vinyl.

2. Additional pine trees have been added to the perimeter of the property, enhancing the buffer provided by the numerous existing trees which will remain. Trees will be placed according to Bufferyard C and D placement standards and will be agreed upon as part of the Site Plan Approval process.
3. In the July 26 submission, the driveway entrance off of Barlow Road was moved 10’ to the west thus significantly reducing the impact of headlights on cars exiting the property on the house at the corner of Barlow and Argyle.

After further discussion with the Planning Staff, the drive will be moved an additional 5' to the west.

4. In the July 26th submittal, a 4' sidewalk has been added to the east side of the private drive (though sidewalks are not generally required on private drives). On a private drive, a sidewalks do not appear to be required. Planning Staff suggested 5' sidewalks on both sides of the private drive.

After discussion with the Planning Staff, the Developer will widen the sidewalk to 5' but will construct it on one side of the private drive. This is in keeping with Barlow Road in general which has sidewalks on one side.

5. Six (6) parking spaces have been added east and west of private drive. Planning Staff suggested more may be necessary.

When combined with the two (2) spaces in the drive at each Townhome, guest parking seems more than sufficient and additional spaces seems unnecessary while further adding impervious surface and reducing open space. Accordingly, the

6. The two Townhome buildings closest to Barlow Road (only one of which is within the designated 130' have been modified to include porches, doors and windows reflecting a more residential look facing Barlow. Strictly speaking, only one of the Townhome units is within the 130'.

Changing the directional orientation seems unwise, creating architectural and maintenance issues. Accordingly, in order to create a more architecturally pleasing entrance facing Barlow, Townhome units on both sides of the project (only one of which is within 130') will be changed to reflect an entrance door, and a porch and windows.

7. Additional landscaping was included in the July 26th submittal.

Following discussions with the Planning Staff, the landscaping has been further enhanced and will be finalized as part of the Site Plan Approval process.

8. The July 26th submittal explained that the Developer relied upon an Environmental Phase 1 Report which included the Subject Parcel in which no issues were identified regarding the Subject Parcel.

The Subject Parcel, which is undeveloped land, bears no environmental issues. After further discussion, the Developer has agreed to submit written confirmation of the

conclusion in a report from an Environmental Engineer to be submitted and approved as part of the Site Plan Approval process.

9. The Wetland Delineation was submitted July 26th. After review, the Planning Staff reduced the number of eligible Townhomes from 16 to 15. Planning Staff explained that the acreage is determined pre-development.

However, reducing to 15 would seem to be an incorrect application of the code given that necessary permits will be obtained for the wetland area and filled, together with the acquisition of offsetting credits, as required. Accordingly, the plan reflects 16 Townhomes.

10. The Planning Staff sought further information regarding Open Space. The Developer believes that the Plan reflects the required 25% of Open Space. However, the Developer agrees that the Plan will comply with the Open Space or cash-in-lieu requirements as part of the Site Plan Approval process.

The Basic Layout.

The layout continues to reflect garage doors facing the private drive on the interior of the property. The developer has chosen this layout for several reasons:

1. Placing garage doors in the rear or on the side of the Townhomes is an inferior solution for surrounding neighbors. If located in the rear or on the side of the Townhomes, both the garages and vehicles moving in and out as well as parking in the drives will be visible to the surrounding neighbors. The planned development offers views of the rear of the Townhomes and surrounding patios and landscaping. The development is on a cul-de-sac thus the garage doors will only be visible to the residents and guests of the Townhomes.
2. Placing garage doors on the side or rear of the Townhomes will result in greater impervious surface (i.e. private road and driveways with a wider turning radius) and require cutting down more trees. We estimate that the increase will range from 14-35% depending on the layout. Such an approach would be less desirable aesthetically and interfere with the ability to eliminate existing storm run-off issues.
3. Placing garage doors on the side or rear of the Townhomes will result in greater noise and light emanating to neighboring properties as well as increasing security issues for all concerned.

Accordingly, we encourage the Planning Commission and Architectural Review Board to adopt the recommendation of the Planning Staff made in January of 2018 to wit: that street facing garage doors (be it a private drive or public street) should be permitted, for amongst other reasons advanced, in neighborhoods where the surrounding area has homes with garage doors facing the street. Such is the case with Barlow Road. It was recommended because such an approach is both an equitable solution and one not seeking to introduce a new approach into an existing neighborhood.

Traffic.

Much of the commentary before the Planning Commission on July 12th related to traffic concerns.

As stated at that time, the Townhomes should have a minimal if imperceptible impact on traffic. In fact, much of the commentary centered on existing traffic concerns driven largely by the location of soccer and baseball fields further ¼ mile east on Barlow which draw hundreds of visitors daily, Little Tykes about ½ mile east on Barlow which employees approximately 500 people in 3 shifts, and the +/- 400 homes east of Rt. 91 and south of Stoney Hill, many of whom use Barlow as a means of ingress and egress.

This is something upon which the neighbors and Developer seem to agree. Accordingly, the Developer requests that the Planning Staff work with the neighbors to develop ways to reduce the amount of cut-through traffic (speed bumps, stop signs, signage) and encourage people to reduce their speed. Perhaps signs at each end that say 'Local Traffic Only' or 'No Outlet' or 'Cut-through Traffic Prohibited' can be considered.

Appendix A

Barlow Court

Staff Comments and Email Follow-Up

July 28, 2021

Planning Commission tabled the request with the following items to be addressed for the August 9th Meeting:

Building siting: Revise the street front units to incorporate the front entrance oriented towards Barlow Road

Land Development Code Orientation standards also require the front wall of the principal structure, or the front wall of at least one principal structure in a multi-building development, shall be parallel to the street or perpendicular to a radius of the curve of the street. Therefore, front building with units 14-16 should be parallel to Barlow Road.

Orientation: Revise the garage orientation to incorporate side or rear loaded entrances.

Will need approval from AHBR.

Parking: Provide additional parking along drive/at cul-de-sac

Staff would suggest studying if additional spaces could be included through the site plan review

Landscaping: Incorporate Bufferyard C along the east and south property lines with Bufferyard D along western property line. City standards can be accessed [Here](#)

Bufferyard D requires a planting width of 25'. This could be reduced to 20' with a 6' high brick or stone wall. The Bufferyard D shown along the western property line will need to be wider with plants distributed more evenly within the required bufferyard width. Would also suggest a wood fence in lieu of vinyl.

Sidewalks: Incorporate sidewalks along the private drive and along the Barlow Road frontage.

Add 5' sidewalk along Barlow Road across entire property frontage and around entire street/cul de sac.

Wetlands: Submit a delineation to verify the location and category of on-site wetlands

The submitted delineation identified .18 acres of wetlands. This affects your density calculation, only permitting 15 units. "Density, net" shall mean the measure of dwelling units permitted per acre of land area contained in the development, excluding streets, easements, public open space, land under water, and certified wetlands and floodplains.

Wetland and other sensitive area setbacks and private open space shall not be excluded in calculating net density. Unless otherwise indicated in this Code, any specified residential density shall be net density.

Acres (approx.)

Gross land area:

3.234

Streets (N/A - private drive)

0.0

Easements 1

0.0

Public Open Space dedication

TBD

Land under water

0.0

Certified Wetlands

0.18

Net Area

Max Townhome Units (Net area x 5)

15.25

Open Space: Demonstrate compliance with the applicable open space standards.

Identify open space on site plan.

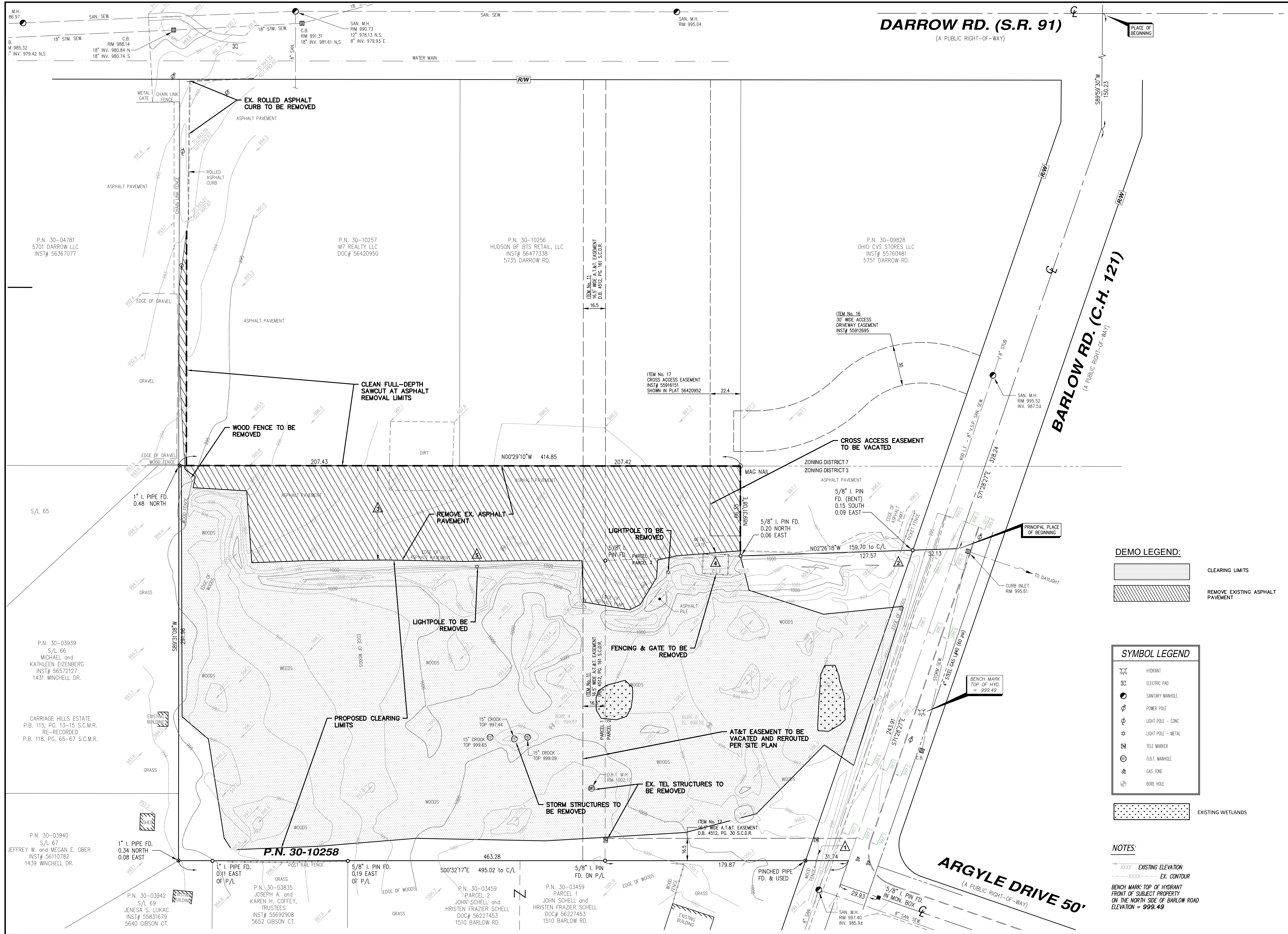
Was not shown on site plan. Would suggest providing a written statement that you would comply with the requirement for site plan review and would request funds-in-lieu for the public open space requirement.

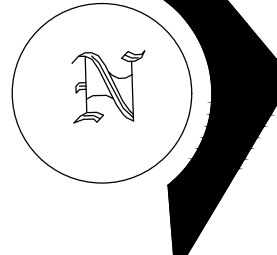
Provide copy of Phase 1 environmental report

Did not see in attachments. Please re-upload.

Reposition private drive entrance further to the west

Question if the drive entrance could be further moved to the west.






Ohio Utilities Protection Service
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THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN AS APPROXIMATE AND HAVE NOT BEEN VERIFIED BY MG CIVIL DESIGN, LLC. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION AND DEPTH OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THESE DRAWINGS ARE THE PROPERTY OF MG CIVIL DESIGN AND NO PRODUCTION OF THESE DRAWINGS SHALL OCCUR WITHOUT THE WRITTEN CONSENT OF MG CIVIL DESIGN, LLC.

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255 PARK PLACE
CHAGRIN FALLS, OHIO 44022
(216) 408-6074


M. NEFF
CONSULTANTS
planners • engineers • surveyors
matt@mneffconsultants.com
216.570.7981

BARLOW ROAD TOWNHOMES
HUDSON, SUMMIT COUNTY, OHIO

**EXISTING CONDITIONS &
DEMOLITION PLAN**

REVISIONS

04/28/21	OWNER REVIEW
05/07/21	REV1
06/17/21	PC SUB/M (COND. USE)
07/26/21	PC SUB/M #2

SCALE: 1" = 30 FEET

0 15 30

CLIENT NAME:
M. NEFF CONSULTANTS

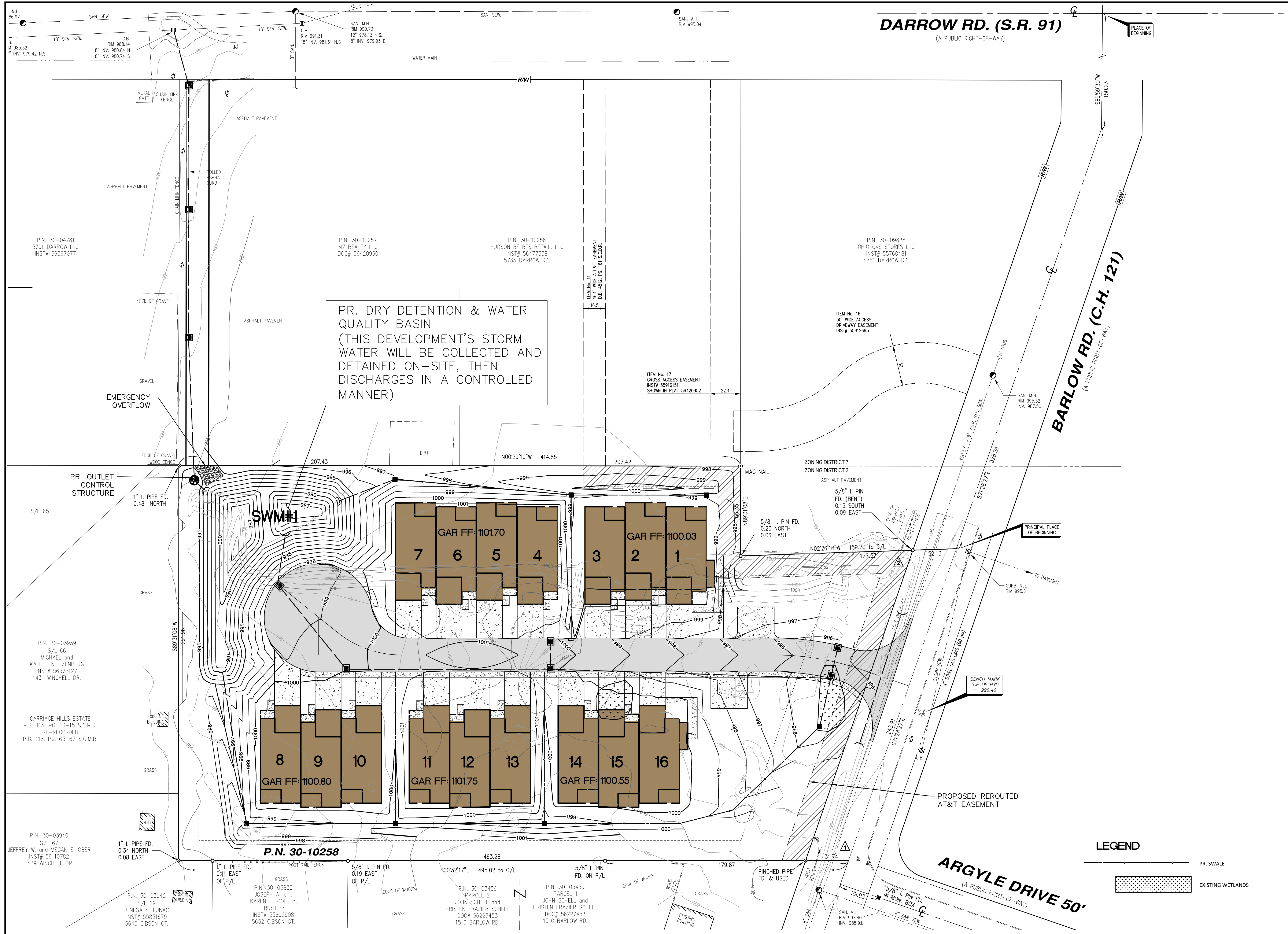
PROJECT NUMBER:
21014

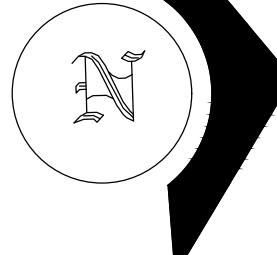
PARCEL #:
VACANT PARCEL BARLOW ROAD
P.N. 30-10258

DATE:
04-28-2021

SHEET NUMBER:

2.0






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BARLOW ROAD TOWNHOMES
HUDSON, SUMMIT COUNTY, OHIO

GRADING PLAN

REVISIONS

DATE	DESCRIPTION
04/28/21	OWNER REVIEW
05/07/21	REV1
06/17/21	PC SUB/M (COND. USE)
07/26/21	PC SUB/M #2

SCALE: 1" = 30 FEET

CLIENT NAME: M. NEFF CONSULTANTS

PROJECT NUMBER: 21014

PARCEL #: VACANT PARCEL BARLOW ROAD P.N. 30-10258

DATE: 04-28-2021

SHEET NUMBER:

4.0

OUTER VILLAGE
COMMERCIAL

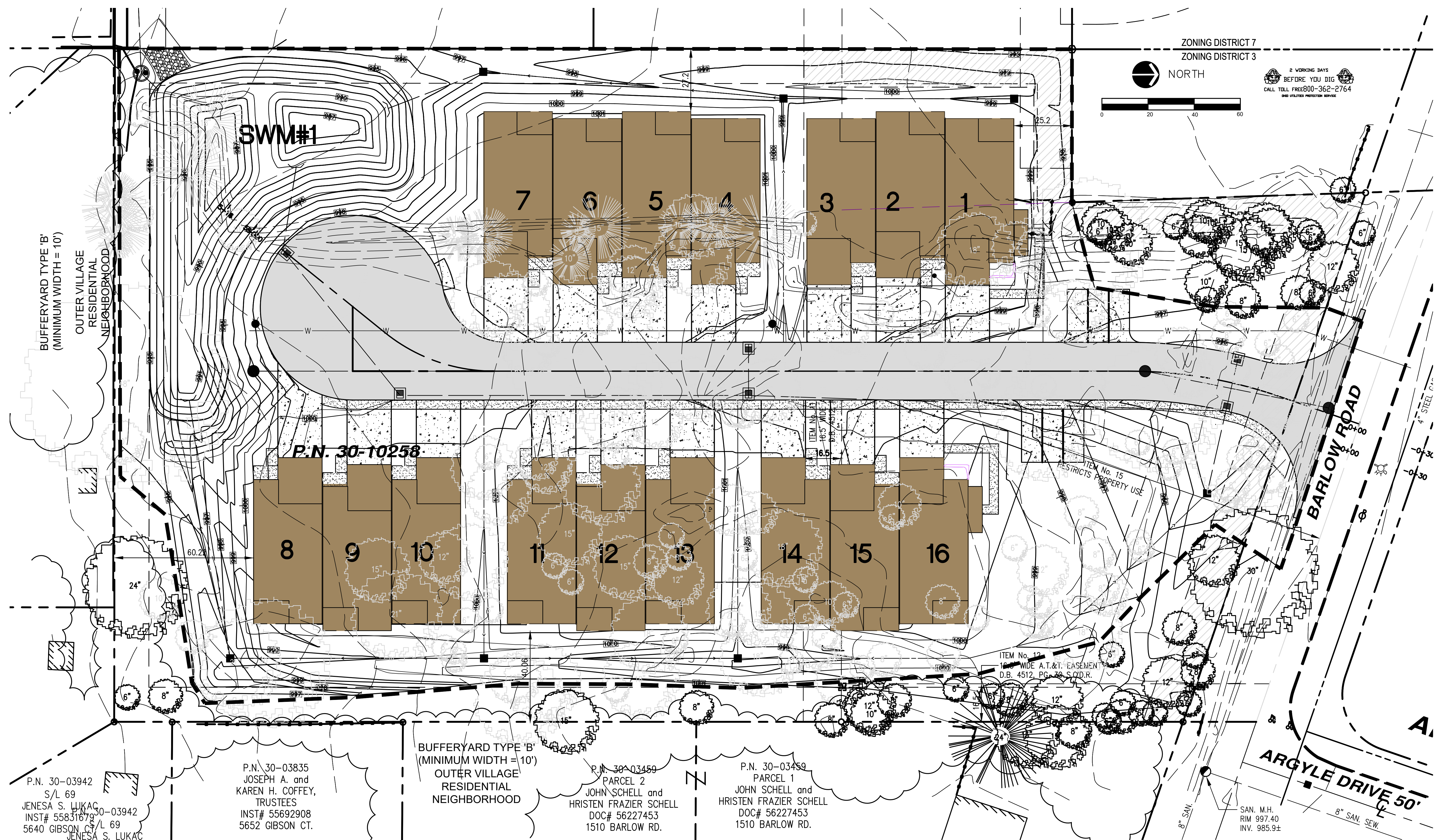
BUFFERYARD TYPE 'D'
(MINIMUM WIDTH = 25')

Minimum Diameter at Breast Height of Trees to Remain	Number of Trees Credited
36" or greater	5
26-36"	3
9-25"	2
2-8"	1

* See Supplemental Spreadsheet Provided with tree calculations

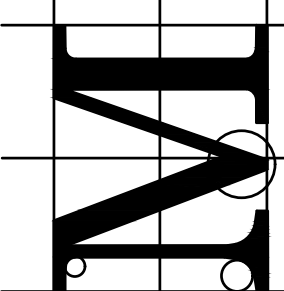
Trees to be credited to requirements

65



Design Group, LLC
LANDSCAPE ARCHITECTS
P.O. BOX 234
WILLOUGHBY, OHIO 44096

M c c u e



CONCEPTUAL TREE AND VEGETATION PLAN



BARLOW COURT TOWNHOMES

PPN 30-10258
3BARLOW ROAD, HUDSON, OHIO

DATE	NOTES
5.10.21	CLIENT REVIEW
5.10.21	PC SUBMITTAL (COND USE
6.18.21	PC SUBMITTAL (COND USE
7.26.21	PC SUBMITTAL (COND USE

LP.1

SHEET 1 OF 3



— PROPOSED
FENCE

OUTER VILLAGE
COMMERCIAL
BUFFERYARD TYPE 'D'
(MINIMUM WIDTH = 25')

OUTER VILLAGE
RESIDENTIAL
NEIGHBORHOOD

6' HEIGHT VIN
SCREEN
FENCE (TYP.)

JUNE 18, 2021

P.N. 30-03835
JOSEPH A. and
KAREN H. COFFEY,
TRUSTEES
INST# 55692908
5652 GIBSON CT.



BUFFERYARD TYPE
(MINIMUM WIDTH =
OUTER VILLAGE
RESIDENTIAL
NEIGHBORHOOD

P.M. 30-03459
PARCEL 2
JOHN SCHELL and
HRISTEN FRAZIER SCHELL
DOC# 56227453
1510 BARLOW RD.

P.N. 30-03459
PARCEL 1
JOHN SCHELL and
HRISTEN FRAZIER SCHELL
DOC# 56227453
1510 BARLOW RD.

ADDITIONAL EVERGREEN TREES
ADDED TO THE PLAN TO PROVIDE
A GREATER VISUAL BUFFER FOR THE
NEIGHBORS TO THE EAST AND SOUTH

JUNE 18, 2021	DESCRIPTION	CURRENT PLAN
14 TREES	CANOPY/EVERGREEN	16 TREES
4 TREES	UNDERSTORY	7 TREES
5 SHRUBS	SHRUB	23 SHRUBS

 2 WORKING DAYS 
BEFORE YOU DIG
CALL TOLL FREE 800-362-276


 NORTH

PPN 30-10258
BARLOW ROAD, HUDSON, OHIO

DATE	NOTES
5.10.21	CLIENT REVIEW
5.10.21	PC SUBMITTAL (COND USE)
6.18.21	PC SUBMITTAL (COND USE)
7.26.21	PC SUBMITTAL (COND USE)

LP.2

SHEET 2 OF 3



— PROPOSED
FENCE

JUNE 18, 2021	DESCRIPTION	CURRENT PLAN
16 TREES	CANOPY/EVERGREEN	56 TREES
5 TREES	UNDERSTORY	10 TREES
19 SHRUBS	SHRUB	34 SHRUBS

OUTER VILLAGE
COMMERCIAL
/ BUFFERYARD TYPE 'D'
(MINIMUM WIDTH = 25')

ADDITIONAL EVERGREEN TREES
ADDED TO THE PLAN TO PROVIDE
A GREATER VISUAL BUFFER FOR THE
NEIGHBORS TO THE EAST AND SOUTH

OUTER VILLAGE
RESIDENTIAL
NEIGHBORHOOD

6' HEIGHT VIN
SCREEN
FENCE (TYP.)

JUNE 18, 2021	DESCRIPTION	CURRENT PLAN
15 TREES	CANOPY/EVERGREEN	15 TREES
0 TREES	UNDERSTORY	0 TREES
3 SHRUBS	SHRUB	15 SHRUBS

P.N. 30-03942
S/L 69
JENESA S. LUKAC
INST# 55831679
5640 GIBSON CT.

P.N. 30-03835
JOSEPH A. and
KAREN H. COFFEY,
TRUSTEES
INST# 55692908
5652 GIBSON CT.



BUFFERYARD TYPE
(MINIMUM WIDTH =
OUTER VILLAGE
RESIDENTIAL
NEIGHBORHOOD

P.M. 30-03459
PARCEL 2
JOHN SCHELL and
HRISTEN FRAZIER SCHELL
DOC# 56227453
1510 BARLOW RD

P.N. 30-03459
PARCEL 1
JOHN SCHELL and
HRISTEN FRAZIER SCHELL
DOC# 56227453
1510 BARLOW RD.

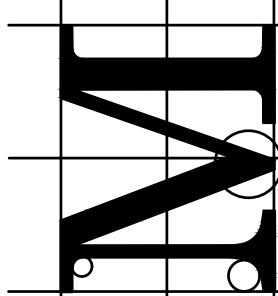
ADDITIONAL EVERGREEN TREES
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JUNE 18, 2021	DESCRIPTION	CURRENT PLAN
14 TREES	CANOPY/EVERGREEN	16 TREES
4 TREES	UNDERSTORY	7 TREES
5 SHRUBS	SHRUB	23 SHRUBS

 2 WORKING DAYS
BEFORE YOU DIG 
CALL TOLL FREE 800-362-2761

 NORTH

M c C u e Design Group, LLC
LANDSCAPE ARCHITECTS
P.O. BOX 234
WILLoughBY, OHIO 44096



CONCEPTUAL LANDSCAPE AND BUFFER YARD PLAN

BARLOW COURT TOWNHOMES

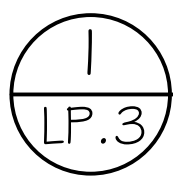
PPN 30-10258

PPN 30-10258
BARLOW ROAD HUDSON OHIOPPN 30-10258
BARLOW ROAD HUDSON OHIO

DATE	NOTES
5.10.21	CLIENT REVIEW
5.10.21	PC SUBMITTAL (COND USE)
6.18.21	PC SUBMITTAL (COND USE)
7.26.21	PC SUBMITTAL (COND USE)

LP.2

SHEET 2 OF 3



6' HEIGHT VINYL SCREEN FENCE

NTS

WEST PROPERTY LINE

West Bufferyard Length = 414.85 lf
West Bufferyard Width = +/-27.2' (25' width minimum required)

Bufferyard Required = D (at 25' width)	Required	Proposed
4 Canopy per 100 lf	17	0
8 Understory per 100 lf	33	10
8 Evergreen Trees per 100 lf	33	56
18 Shrubs per 100 lf	75	34

Tree Credit Utilized 17

EAST PROPERTY LINE

East Bufferyard Length = 463.28 lf
East Bufferyard Width = +/-40' (15' width minimum required)

Bufferyard Required = C (at 40' width)	Required	Proposed
2 Canopy/Evergreen per 100 lf	9	16
4 Understory per 100 lf	19	7
5 Shrubs per 100 lf	23	23

Tree Credit Utilized 5

SOUTH PROPERTY LINE

South Bufferyard Length = 291.96 lf
South Bufferyard Width = 60.22' (15' width minimum required)

Bufferyard Required = B (at 60' width)	Required	Proposed
2 Canopy/Evergreen per 100 lf	6	15
4 Understory per 100 lf	12	0
5 ShrubS per 100 lf	15	15

Tree Credit Utilized 3

RESIDENTIAL LANDSCAPE REQUIREMENTS

Total number of units = 16 attached townhomes

Front Yard Bufferyard Plantings	Required	Proposed
2 Trees (minimum 1" DBH) per unit	32	3

Tree Credit Utilized 29

FRONT YARD/FRONT SETBACKS

Front Yard length = 242.78 lf

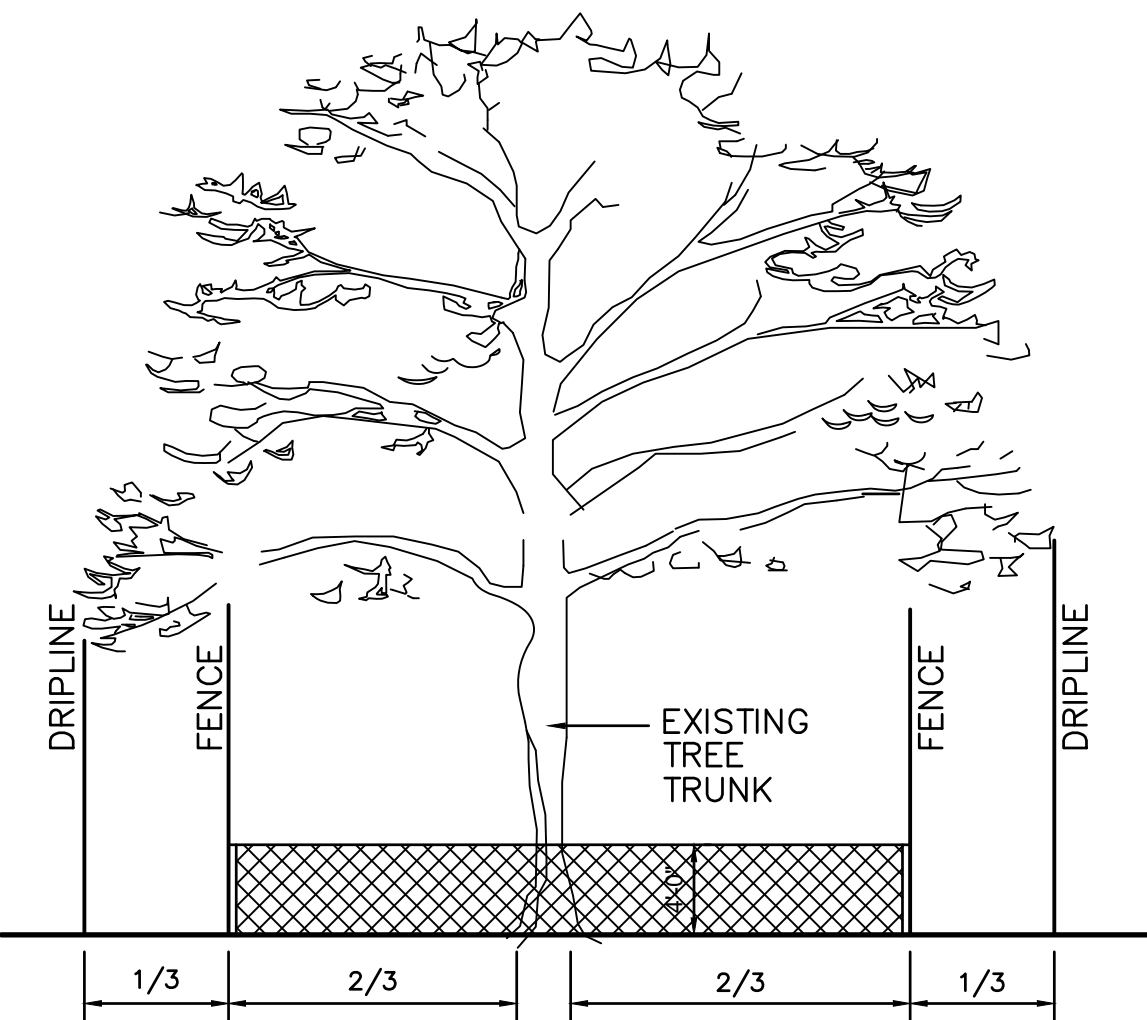
Front Yard Bufferyard Plantings	Required	Proposed
4 Small per 100 lf	10	0
2 Large or Medium per 100 lf	5	4

Tree Credit Utilized 11

Total Tree Credits Utilized 65

GENERAL NOTES

- MODIFICATIONS TO THE DESIGNS MAY BE REQUIRED TO ACCOMMODATE VARYING FIELD CONDITIONS OR MODIFIED PLANT ARRANGEMENTS.
- LANDSCAPE ARCHITECT TO BE THE AUTHORITY FOR INTERPRETATION OF PLAN AND QUALITY OF WORK.
- ALL SUBSTITUTIONS SUBJECT TO APPROVAL OF LANDSCAPE ARCHITECT.
- ALL MEASUREMENTS, ELEVATIONS, & PROPERTY LINE TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION. ANY VARIATIONS OR DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- IF NO DISCREPANCIES ARE REPORTED PRIOR TO CONSTRUCTION AND THE OWNER OR CONTRACTOR DOES NOT EMPLOY THE LANDSCAPE ARCHITECT FOR THE CONSTRUCTION PHASE OF THE PROJECT, THE LANDSCAPE ARCHITECT SHALL BE HELD HARMLESS AND NOT RESPONSIBLE FOR MISINTERPRETATIONS, ERRORS, OR CHANGES MADE BY THE OWNER OR CONTRACTOR.
- ALL SITE INFORMATION BASED ON CIVIL SITE AND GRADING PLAN PROVIDED BY MG CIVIL DESIGN, 255 PARK PLACE, CHAGRIN FALLS, OHIO, 44022, (216) 408-6074, DATED MAY 8, 2021, REVISED JUNE 17, 2021, REVISED JULY 21, 2021.
- ALL WALL ELEVATIONS, PATIO ELEVATIONS, FINISHED GRADES, AND DRAIN LINE ELEVATIONS TO BE FINALIZED IN THE FIELD.
- DEPTH OF ALL FOOTERS TO BE 3'-6" OR MEET ALL LOCAL BUILDING CODES.
- CONTRACTOR IS RESPONSIBLE FOR ALL BUILDING PERMITS AND INSPECTIONS.
- CONTRACTOR TO LOCATE ALL UNDERGROUND UTILITIES, SEPTIC SYSTEMS, IRRIGATION SYSTEMS, AND PROVIDE PROPER UTILITY PROTECTION PRIOR TO CONSTRUCTION. CALL APPROPRIATE STATE AUTHORITIES FOR MARKING. IF UNDERGROUND UTILITIES, CONSTRUCTION, OR SOLID ROCK LEDGES ARE ENCOUNTERED, OTHER LOCATIONS FOR PLANTINGS MAY BE SELECTED BY THE CONTRACTOR WITH THE OWNER/LANDSCAPE ARCHITECT'S APPROVAL.
- CONTRACTOR IS RESPONSIBLE FOR ALL CLEAN-UP ASSOCIATED WITH HIS CONSTRUCTION PROCEDURES.
- QUALITY AND SIZES OF PLANTS TO MEET AMERICAN ASSOCIATION OF NURSERYMAN STANDARDS.
- ALL SUBSTITUTIONS OF PLANT SIZES AND VARIETIES SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- IF QUANTITIES LISTED IN PLANT LIST DO NOT CORRELATE WITH THE PLANTINGS INDICATED ON THE PLAN, THE QUANTITIES INDICATED ON THE PLAN SHALL GOVERN.
- CONTRACT SHALL CONSIST OF TOTAL UNITS AUTHORIZED BY THE OWNER.
- THIS PROPERTY MAY BE LOCATED IN AN AREA WITH A DENSE DEER POPULATION. IF DEER ARE HUNGRY ENOUGH THEY WILL EAT ALMOST ANYTHING, INCLUDING PLANTS NOT NORMALLY EATEN BY DEER. IF OWNER SHOULD NOTICE ANY DEER GRAZING ON THEIR PROPERTY, THEY SHOULD TAKE IMMEDIATE ACTION IN PROTECTING THE PLANTS IN THEIR YARD.
- FOR PLANTING BED PREPARATION, LOOSEN EXISTING SOIL TO A DEPTH OF 6", ADD TOPSOIL IN SUFFICIENT QUANTITY TO RAISE BED 4" ABOVE FINISHED LAWN GRADE. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND AROUND OR AWAY FROM PLANTING BEDS TO PREVENT PONDING OF WATER. DO NOT RAISE BED GRADE ABOVE THE FINISHED FLOOR ELEVATION OR WATER-PROOFING LINE ON FOUNDATION.
- PREPARE PLANTING BEDS BY APPLYING ROUND-UP AS PER LABEL DIRECTIONS TO WEEDS OR GRASS GROWTH IN PLANTING AREAS ON-SITE. ALLOW SUFFICIENT TIME FOR HERBICIDE TO TAKE EFFECT. SCARIFY PLANTING AREAS TO A MINIMUM DEPTH OF SIX INCHES. TILL IN TOPSOIL, SANDY LOAM, AND ORGANIC MATERIAL (BED MIX). ADD 4 INCHES OF BED MIX TOPSOIL TO PLANTING AREAS. TILL IN SOIL TO CREATE A MIX OF EXISTING SOIL AND BED MIX. BRING BEDS TO GRADE AND RAKE TO REMOVE WEEDS, CLODS, ROCKS WITH A DIAMETER OF GREATER THAN ONE INCH. EXISTING TURF AREAS, IF ANY, THAT HAVE BEEN DAMAGED OR SCARRED DURING THE PLANTING OPERATIONS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION.
- LEAF HUMUS TO BE MIXED INTO BED AREAS WHERE PERENNIAL PLANTINGS WILL BE LOCATED.
- APPROPRIATE QUANTITIES OF 12-12-12 AGRIFORM SOLID FERTILIZER TABLETS (OR EQUAL) TO BE APPLIED TO ALL PLANTINGS.
- ALL BEDS SHALL BE EDGED WITH A DEFINED, CUT EDGE.
- ALL NYLON ROPING AND TWINE SHALL BE REMOVED PRIOR TO PLANTINGS. ALL NON-TREATED BURLAP AND/OR NON-ROT BURLAP TO BE REMOVED FROM THE TOP HALF OF THE ROOTBALL.
- MULCH ALL PLANTINGS, BEDS, AND DISTURBED AREAS WITH A 3" DEPTH OF DOUBLE SHREDDED BARK MULCH.
- ALL PLANT MATERIALS AND GROUNDCOVERS TO BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT BEFORE FINAL ACCEPTANCE OF WORK.
- ALL SHRUBS AND TREES TO BE GUARANTEED FOR ONE YEAR FROM DATE OF FINAL ACCEPTANCE.
- LAWN INSTALLATION: SHADED LAWN AREAS TO BE SEEDDED WITH A PREMIUM SHADE MIX. ENTIRE LAWN AREAS TO BE SEEDDED WITH DELUXE SUN MIX (INCLUDING OVERSEEDING SHADE AREAS). AREAS TO BE SEEDDED TO BE WITHOUT CONSTRUCTION DEBRIS, WEEDS, OR ROCKS GREATER THAN 3/4" DIAMETER. APPLY A MINIMUM 2" OF TOPSOIL TO ALL LAWN AREAS.
- RESEED ALL DISTURBED AREAS WITH THE APPROPRIATE SEED MIX.
- ALL SEEDDED AREAS TO BE COVERED WITH A 1-1/2" THICK LAYER OF NON-COMPACTED STRAW.
- CONTRACTOR IS RESPONSIBLE FOR WATERING NEW PLANT MATERIAL UNTIL FINAL ACCEPTANCE OF WORK.
- CONTRACTOR TO REMOVE TREE STAKING ONE YEAR FROM DATE OF FINAL ACCEPTANCE AS PART OF ORIGINAL LANDSCAPE CONTRACT.



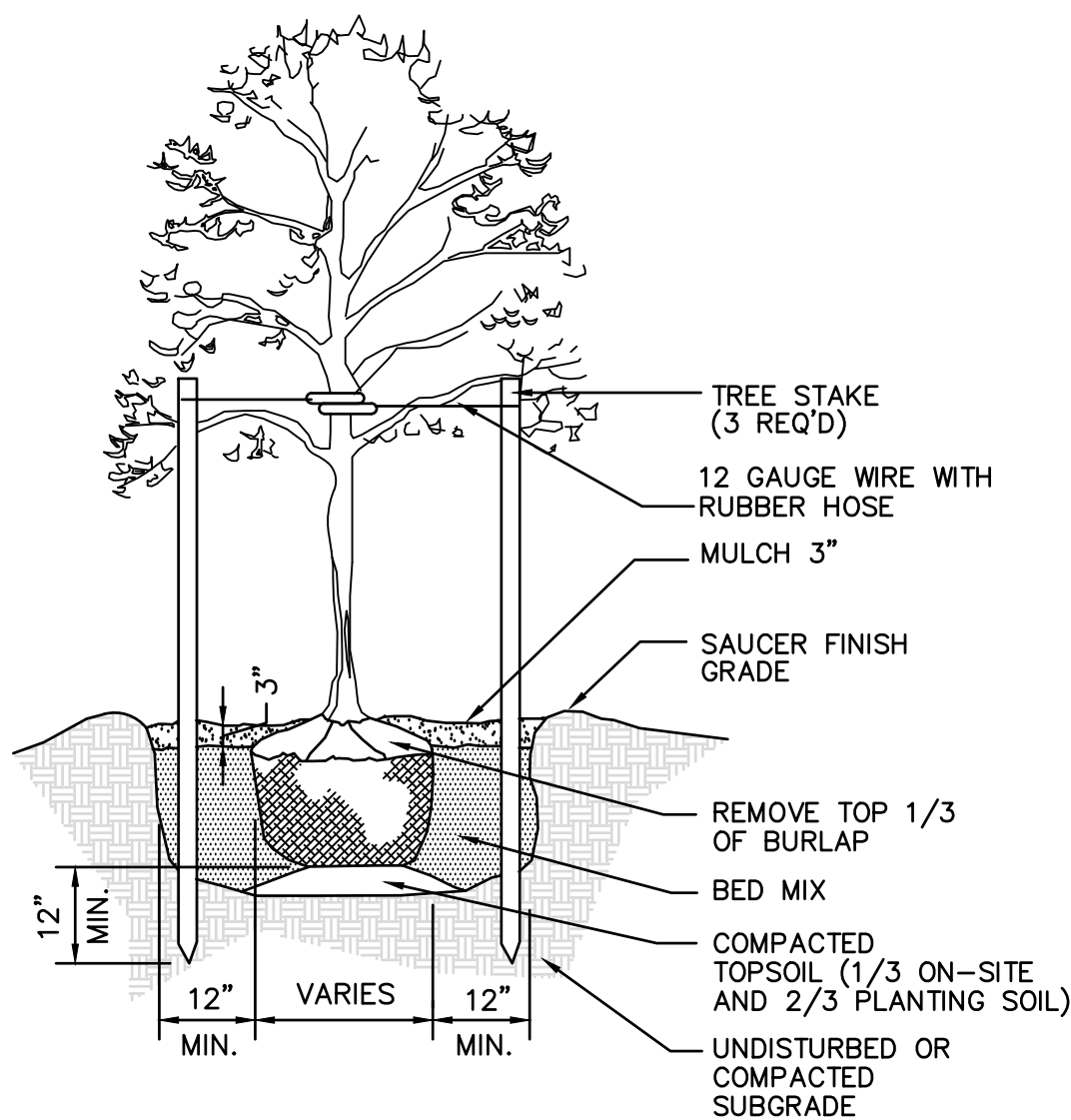
FENCE TO BE ORANGE CONSTRUCTION FENCE WITH METAL POSTS PLACED O.C. AROUND DRIPLINE AS REQUIRED TO HOLD FENCE TAUGHT; APPLY TO ALL EXISTING TREES TO REMAIN

PROTECTIVE FENCING

NOT TO SCALE

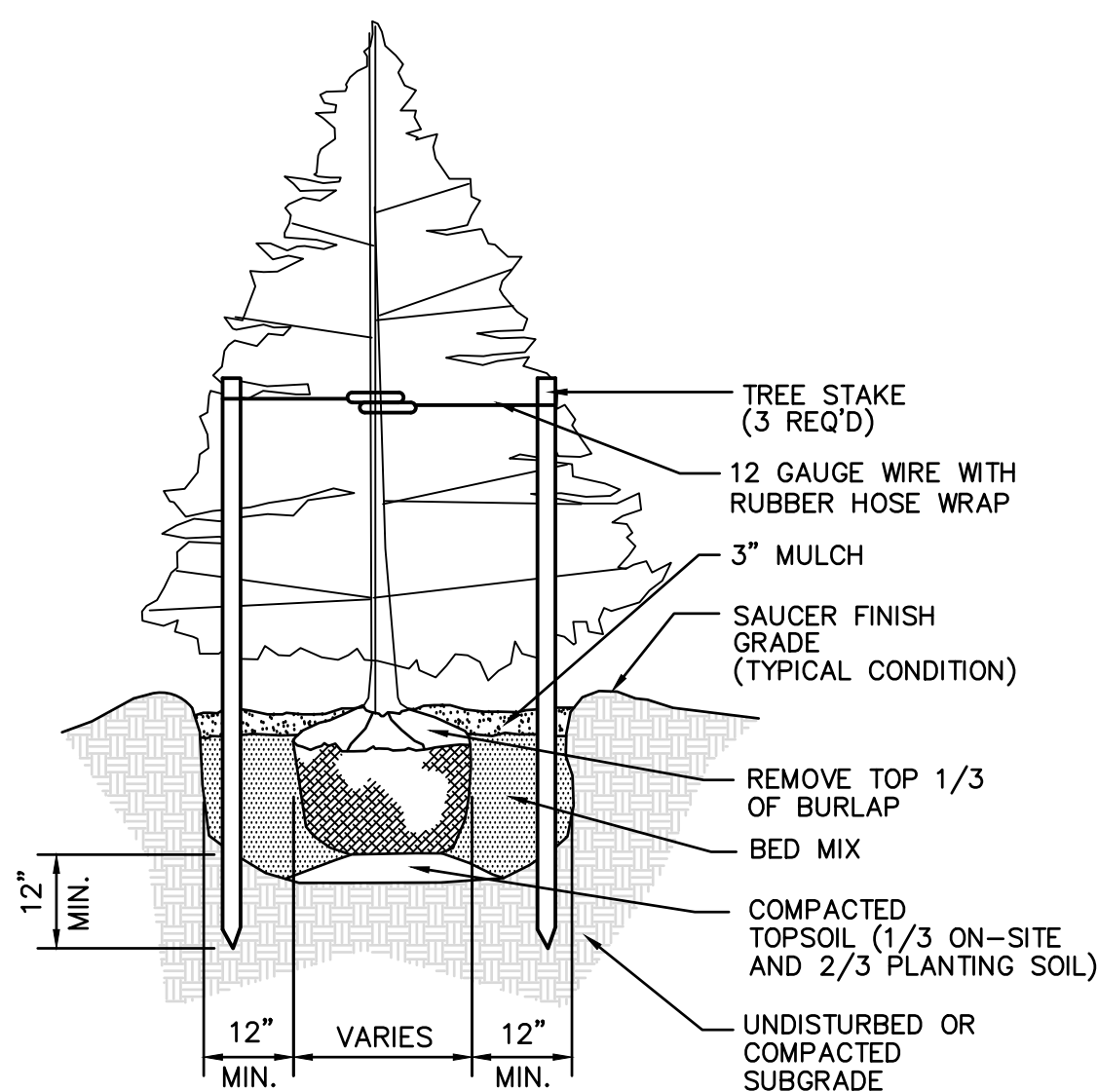
TREE PROTECTON METHODS TO BE IMPLEMENTED FOR ANY TREES TO REMAIN ON-SITE:

- ALL TREES OR GROUPS OF TREES TO BE PRESERVED SHALL BE MARKED WITH A BLUE COLORED RIBBON PRIOR TO CLEARING.
- PRIOR TO ANY CONSTRUCTION OR GRADING, A PROTECTIVE FENCE BARRIER, FENCE, POSTS, AND/OR SIGNS SHALL BE PLACED AROUND THE TREES TO BE PRESERVED.
- PROTECTION BARRIERS SHALL BE LOCATED NO CLOSER THAN TWO-THIRDS OF THE DISTANCE FROM THE TREE TRUNK TO THE DRIPLINE.
- NO BUILDING MATERIALS, EQUIPMENT, VEHICLES OR CHEMICALS SHALL BE STORED OR PLACED IN THE PROTECTION AREA OF THE DRIPLINE.
- SURFACE GRADE SHALL NOT BE CHANGED MORE THAN 6" WITHIN THE PROTECTED AREA WITHOUT THE INSTALLATION OF AN AERATION SYSTEM, WELLS OR RETAINING WALLS.
- NO WIRES, BOARDS, NAILS, SIGNS, FENCES OR OTHER ATTACHMENT SHALL BE MADE TO A TREE TO BE PRESERVED.



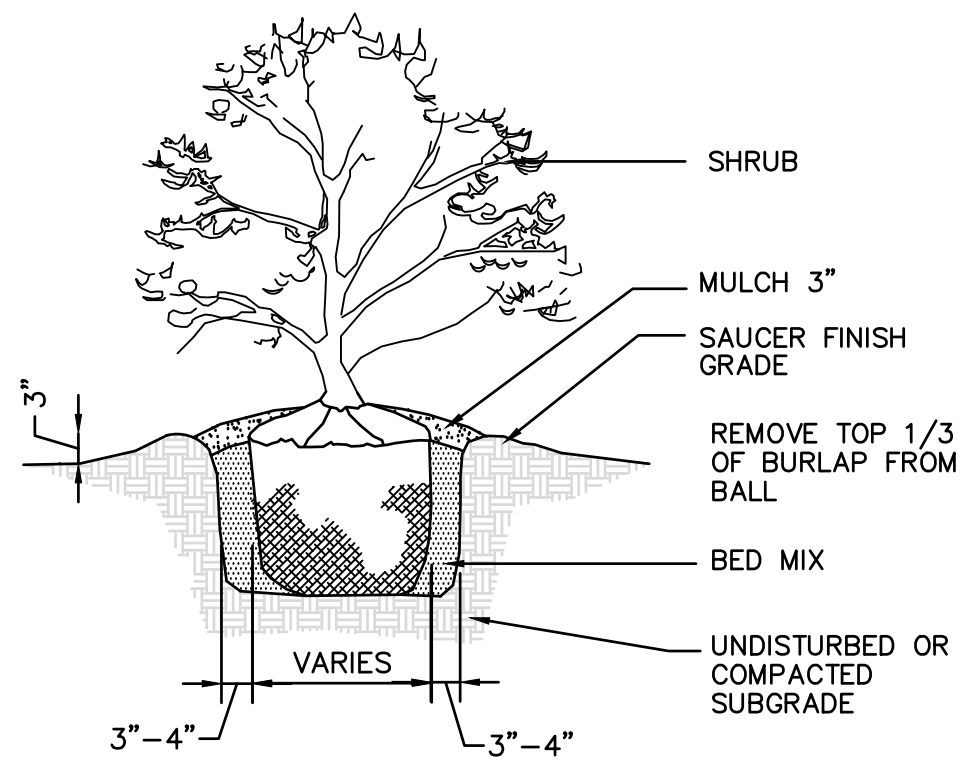
DECIDUOUS TREE PLANTING

NOT TO SCALE



EVERGREEN TREE PLANTING

NOT TO SCALE



SHRUB PLANTING

NOT TO SCALE

LANDSCAPE NOTES & DETAILS

BARLOW COURT TOWNHOMES

PPN 30-10258
BARLOW ROAD, HUDSON, OHIO

DATE	NOTES
5.10.21	CLIENT REVIEW
5.10.21	PC SUBMITTAL (COND USE)
6.18.21	PC SUBMITTAL (COND USE)
7.26.21	PC SUBMITTAL (COND USE)

LP.3

SHEET 3 OF 3

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