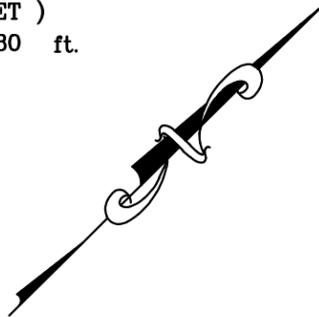
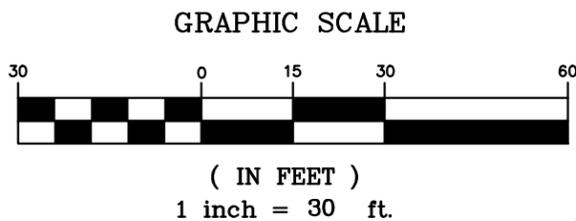
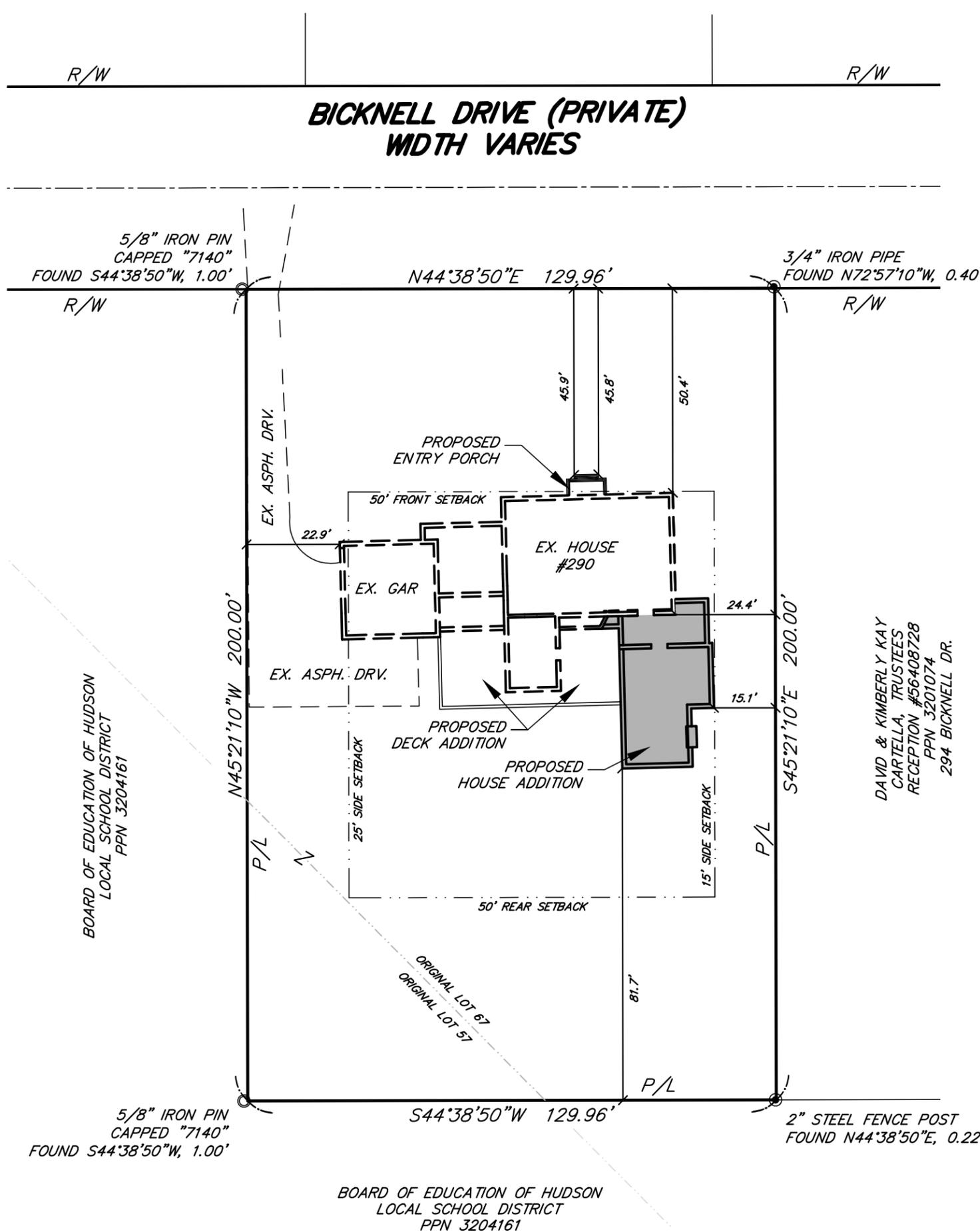


OWNER
 MARK S. IV &
 CHRISTINE L. CORR
 RECEPTION #56189693
 PPN 3204131
 REC. 0.5968 AC.



SITE PLAN

290 Bicknell Drive
 Situated in the City of Hudson,
 County of Summit, State of Ohio
 and known as being part of Hudson
 Township Lots 57 and 67
 PPN: 3204131



ZONING INFORMATION:
 1. SUBJECT PARCEL AND ADJOINING PARCELS ARE WITHIN ZONING DISTRICT 3 - OUTER VILLAGE RESIDENTIAL NEIGHBORHOOD.
 2. SETBACKS & YARD REQUIREMENTS SHALL BE DETERMINED ON A CASE-BY-CASE BASIS BY THE PLANNING COMMISSION. PER CODE THE BELOW SETBACKS ARE TO BE USED AS A STARTING POINT AND ARE SHOWN ON THIS MAP.
 FRONT: 50' REAR: 50'
 GARAGE SIDE: 25'
 HOUSE SIDE: 15'



Lewis Land Professionals, Inc.
 Civil Engineering & Surveying
 8691 Wadsworth Rd. Suite 100 Wadsworth, Ohio 44281
 Phone: (330) 335-8232
 www.landprosinc.com

Revised: 4/16/2019
 PROJ. No. 19-103 DRAWING NAME 19-103 Variance.dwg

Spec. Div. 1: General Requirements

BUILDING CODE: All work under this contract shall be subject to the RESIDENTIAL CODE OF OHIO for One-, Two- and Three-Family Dwellings, latest edition, and all municipal and local laws and regulations.

CONTRACT: The Owner will enter into a working relationship with the selected General Contractor based on an agreement format proposed by General Contractor and approved by The Owner, or by using "Agreement Between Owner and Contractor for Construction Projects of Limited Scope-AIA Document A107," which shall include The General Conditions of A107 which are hereby made a part of these Specifications and The Contract Documents. The Contract Documents, including The Drawings, Specifications, and General Conditions are complimentary and what is required by one shall be as if required by all.

Generally, the Specifications take precedence over the Drawings and The General Conditions of the Contract take precedence over the Specifications. Should conflicts occur within the Contract Documents, the Contractor is assumed to have based his cost on the more expensive method of performing the Work unless The Architect has issued clarification before submittal of the Bid Proposal or the Contractor has specifically clarified the issue within his proposal.

When applying for subsequent draws, The Contractor shall submit to the Owner an Affidavit of Release of Liens (AIA-G706) for amounts previously paid to the Contractor by the Owner or a lending institution. The Release of Liens (AIA-G706) shall be presented from himself, all subcontractors, suppliers of material and equipment and all performers of Work, labor or services.

INSURANCE: Before beginning the Work, The Contractor shall provide to The Owner a Certificate of Insurance for an amount equal to the Contract Amount and shall also provide a copy of his current Worker's Compensation Certificate. He shall also provide proof of Builder's Risk and Liability Insurance. The Owner will obtain or increase existing Homeowner's Insurance to cover work incorporated into the job.

JOB SITE SECURITY/SAFETY/CONDITION: Barriers, barricades, signs or warning lights, and other safety devices shall be provided to insure safety to The Owner, workers, and the general public from hazardous conditions which may arise as a result of the work. The Contractor shall utilize all means necessary during demolition and construction to insure that all new construction and existing finished spaces are thoroughly protected from vandalism, theft, water and wind damage; and shall remedy/replace, at The Contractor's expense, any such damage that does occur.

PORTABLE TOILET: The Contractor shall provide a portable toilet for use by all personnel, located where directed by the Owner, which shall be cleaned and serviced on a regular basis. The contractor may use existing facilities only if Owner has provided written approval prior to signing a contract. Expectations of cleaning and use shall be clearly discussed in advance.

MATERIALS PROTECTION/ STORAGE: Construction materials stored outside shall be covered and protected with weatherproof tarps. Wood and similar materials shall not be stored in contact with the ground.

WARRANTY: The Contractor shall provide to The Owner a minimum one-year guarantee on materials, equipment and workmanship to commence at the point of substantial completion for all contract work. The Contractor shall furnish The Owner with copies of all equipment guarantees and Owner's Manuals

WORK: Before submitting his Bid Proposal, The Contractor shall visit the Project Site and familiarize himself with existing conditions and shall carefully study and compare the Contract Documents with the existing conditions and report to The Architect any errors, discrepancies, inconsistencies or omissions, and materials, products, systems, procedures, and construction methods shown or specified which are incorrect, inadequate, obsolete, or unsuitable for actual field conditions discovered, or which The Contractor would not warrant as required by The Contract Documents.

Prior to ordering, materials or doing work at the site, The Contractor shall verify dimensions and conditions affecting materials to be ordered or work to be done, to insure that information shown on The Contract Documents accurately reflects actual conditions, and shall not proceed without The Architect's instructions if there are omissions, errors, discrepancies or inconsistencies.

The Contractor shall provide all labor, material, equipment, apparatuses and accessories required to complete all work shown on these drawings, or reasonably implied and necessary for the completion of the project. All materials and equipment to be installed following manufacturers' instructions and best construction methods and standards.

The Contractor shall obtain and pay for all required permits, royalties, shipping charges, fees and licenses and shall arrange for all inspections necessary for the proper execution of the Work. Approval Certificates shall be posted in a prominent, central location and per local authority's requirements.

Substitutions for items herein specified, or shown on Drawings, must be approved by the Architect. The phrase "or equal" in the Drawings or Specifications shall be interpreted as meaning equal in the opinion of the Architect, and must have his approval prior to ordering.

EXISTING CONDITIONS:

RE-USE/PRESERVATION: Prior to demolition, The Owner shall call Habitat for Humanity ReStore 216.429.3631 ext. 238 for any potential donations. Within the area of demolition, The Contractor shall ask The Owner for any items to be preserved and shall furnish an additional cost to carefully dismantle any and all beams, doors, trim, and cabinets, etc., as requested by The Owner, stockpiling where directed by The Owner.

SELECTIVE DEMOLITION: Where any portion of an existing structure is to be removed, the remaining structure shall be shored, braced or underpinned as may be required prior to beginning the demolition. Temporary support shall remain in place until permanent support or construction is completed.

Contractor shall include removal, termination, or relocation of all existing electrical, plumbing, HVAC, phone/TV antenna or cable/stereo wiring, central vacuum, electronic pet barriers, lawn irrigation systems, or other devices as required for demolition or new construction.

WASTE REMOVAL: All other waste and debris from demolition work shall be removed from site using a recycling waste removal service offering 85% minimum repurposing/recycling of existing building materials. Waste service provider to be approved by The Architect.

INDOOR AIR QUALITY: To minimize intrusion of dust and other debris, HVAC registers shall be covered and sealed during the demolition and construction phases.

Duct cleaning per NADCA standards is required upon completion of project. Contractor to use a well-controlled brushing of duct surfaces in conjunction with contact HEPA vacuum cleaning to dislodge dust and other particles. See Specifications Div. 15 for further mechanical requirements.

PROJECT CLEANING: At the completion of the project, and during the project as may be appropriate, the Contractor shall thoroughly clean all work, including, but not limited to, the following: removal of mortar spatters or stains from all interior and exterior masonry; removal of masonry waterproofing above finish grade; removal of any spatters or stains from exterior siding, roofing, or other exterior materials; removal of all stains from all exposed concrete work, except for Crawl Space concrete; removal of stains and cleaning of counter tops, ceramic tile, plumbing fixtures and fittings, etc.; thorough cleaning of faucet screens and plumbing traps; vacuuming of all floors, followed by wet mopping of hardwood, ceramic, stone or other hard surface floors; dusting of all walls, ceilings, trim, doors, windows, cabinets, etc., including the interiors of all cabinets; removal of all window and door stickers, paint or stain overlapping on glass, and other glass spatters; polishing of all windows, mirrors or other glass. In addition, The Contractor shall be responsible for the removal, including final vacuuming, of all construction, or other, debris from joist, rafter, stud, or other cavities prior to concealing with flooring, drywall

Spec. Div. 1: General Requirements

ENERGY AUDIT: Upon project completion, The Owner shall separately contract with an approved energy auditor licensed by RESNET. Audit shall include infiltration test w/blower-door, and full energy loss analysis.

RADON TESTING: The Owner shall separately contract for Radon Testing services. If test results in more than 4 pCi/L, mitigation shall strictly follow EPA standards.

A copy of the Drawings and Specifications, any Addenda issued before or during construction, and all detail drawings submitted during construction, shall be kept and maintained in a suitable condition on the site for use by the Owner, Architect, General Contractor, and all tradesmen.

Spec. Div. 2: Site Work and Excavation

SITE ACCESS: The Contractor shall access the site, stockpile construction materials and park construction vehicles and equipment where agreed with The Owner. Work shall be executed in a manner to minimize damage to existing drives, walks, lawns, plantings, trees, house, utilities, etc. Any such items that are damaged by construction activities shall be repaired to their original condition at The Contractor's expense.

The Contractor shall remove topsoil in areas of new excavations, if any, and stockpile where agreed with The Owner for reuse as finish grading material. The Contractor shall limit site disturbance to minimum required for access and mobility.

SOIL EROSION PROTECTION: Slopes greater than 12% and open and exposed soil areas including any stockpiles of subsoil or topsoil shall be enclosed with straw wattles, fiber rolls, straw bale dams, or other recycled materials to prevent soil from washing onto adjacent property or into drainage paths. Such barriers shall be maintained during all construction phases of work, through final grading.

TREE PROTECTION: The Contractor shall actively protect all trees onsite unless requested otherwise by The Owner or on the drawings. Before heavy equipment is employed on site, PROTECTION FENCING must be erected where required to prevent root damage by equipment travel within tree drip line. The Contractor shall obtain approval of the Owner prior to removal of any trees not directly within perimeter of new construction.

TREE/ PLANTINGS REMOVAL: The Contractor shall remove existing trees as required for construction and as agreed upon with The Owner. Trees shall be limbed and cut into firewood and stacked if so directed by The Owner. (Brush and Stumps) shall be chipped and reused for mulch. The Contractor shall coordinate with local yard waste recycling facility.

EXCAVATION: Prior to beginning any excavation work, The Contractor shall ascertain the location of all underground utilities and services, using utility company location services if necessary, and carefully avoid damage to these items, or interruption of service, to include electric, phone, water, gas, sanitary/storm sewers, etc. The cost to repair and restore any damage to such services shall be paid for by The Contractor.

The Contract Documents have been prepared with an assumed soil bearing capacity of 2,000 psf. No sub-surface geotechnical report or soil bearing logs have been provided or reviewed prior to design of this work. The Contractor shall verify soil conditions and shall notify The Architect and The Owner of any suspected or unusual soil conditions that may affect the footing or foundation work, and shall not proceed until so directed. No new work shall bear on unusual or questionable soil. Excavate to depths as required to provide floor levels as shown on Drawings. Provide a minimum footing depth of 3'-6" below grade. If existing footings are shallower than new adjacent footings, DO NOT disturb soil, call Architect for further instructions BEFORE proceeding. Minimize over-digging and do not allow water to stand in excavation (pump as required). Stockpile excavated subsoil needed for back-filling and grading where agreed with the Owner and dispose of any remaining soil off-site.

FOOTING DRAINS: Install 4" dia. Schedule 35 perforated footing drains, holes oriented down, at the interior and exterior of all footings, with minimum slope of 1/16" per L.F. Exterior footing drain system shall include a minimum of (2) flush ports, or clean-out risers to grade, with threaded PVC caps, and shall be wrapped in silt filter fabric. Filter fabric shall wrap an additional 6" radius of gravel around the pipe; fabric shall not be tightly wrapped to pipe itself. Layout and install where required to permit cleaning of all footing drains. Plug ends of downspout and footing drains when work is in progress to prevent clogging, and clean out before covering.

Note: existing invert heights must be low enough to allow for proper placement and slope of new footer drains, and The Owner and The Architect must be notified immediately if the existing system is not of proper depth or is otherwise inadequate. Any alternate drainage system must be approved by The Architect, The Owner and by The Building Inspector

DOWNSPOUT DRAINS: The Contractor shall connect new boots to the existing downspout drainage system using 4" dia. Schedule 35 solid PVC with minimum slope of 1/8" per L.F. No connection with the footing drainage system is allowed, except downstream combination to storm main exit pipe.

BACK-FILLING: Foundations shall not be back-filled until Crawlspace or Basement floor slab and First Floor deck are in place or until walls are adequately braced to accommodate loading. Before backfilling, thoroughly clean all excavations around foundations and any retaining walls of all masonry and other construction debris. Backfill around foundation shall be smooth, rounded, washed river stone to within 6" of finished grade. Backfill top 6" with clean soil. Excavations for utilities under steps and/or terraces shall be filled with granular material.

GRADING: Prior to final grading, clean site of all construction debris. Rough grade with clean excavated subsoil in a fashion to continue natural contours and provide good drainage away from house. Provide drainage swales or yard drains connected to storm sewers for any low areas where surface water is likely to collect. The Contractor shall be responsible for insuring that finish grades are a minimum of 8" below siding/sill plate, and that all surface water drains away from house. Finish grade with stockpiled topsoil and provide additional topsoil if necessary.

DRIVEWAY: NIC



1
A-1

Proposed Front Elevation

NTS

Project Team

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MARYJACKDESIGN@GMAIL.COM

Design Loads

SEISMIC DESIGN CATEGORY: "B"
WIND SPEED (mph): 90

1. FLOOR LIVE LOADS:	
FIRST FLOOR:	40 psf
SECOND FLOOR:	30 psf
FLOOR DEAD LOADS:	10 psf
2. ROOF LIVE LOADS (SNOW):	30 psf
ROOF/ CEILING DEAD LOAD:	12 psf
TOTAL ROOF LOADING:	42 psf

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	MEP Plan, Spec. Div. 11, 22-23, 26

George A. Clemens, License No.13102
Expiration Date 12/31/2017

CLEMENS PANTUSO

architecture

Additions and Renovations to
The Corr Residence
290 Bicknell Drive, Hudson, Ohio 44236
Title Sheet, Site Plan, Spec. Div. 1-2

Job number	1822
Drawn by	HD
Date drawn	

Issued for

12.20.18 Client Review
01.10.19 Client Review
01.15.19 ARB Submittal
02.28.19 Client Review
04.16.19 ARB Submittal

Drawing number

A-1

Mr. and Mrs. Mark and Christine Corr

45 E. Washington St., Chagrin Falls, OH 44022
tel 440.247.7767 fax 440.317.7752
CLEMENS PANTUSO ARCHITECTURE, P.C.

Spec. Div. 6: Wood and Plastics

A. ROUGH FRAMING: GENERAL

All structural framing shall be detailed, fabricated, and erected in accordance with the "National Design Specification" by the National Forest Products Association (N.F.P.A.), latest edition. Nail or spike members in accordance with the Residential Code of Ohio, latest edition, Chapter 5-9. All nails exposed to weather to be hot-dipped galvanized at minimum. Framing lumber shall be seasoned to a moisture content of 19% or less (S-DRY). Brace all walls, rafters, floor and roof joists as required to prevent shifting, racking or other movement both during construction and after completion of the work. Cut framing square on bearings, closely fitted, accurately set to required lines and levels and plumb. Do not use shims for leveling on wood or metal bearings. **LVL (Laminated Veneer Lumber) & Pre-Engineered Joists (TJ's):** where indicated, shall be stored, installed, braced, and blocked per the manufacturer's directions. Notching, drilling or other cutouts shall be in accordance with manufacturer's published instructions. LVL beams over two members wide shall be assembled with 1/2" dia. flush-mounted through bolts 2 per row at 24" o.c. with (2) bolts at each end, all located 2" from edges and ends. **Framing:** All structural framing members shall be single lengths between points of support.

- Floor and ceiling joists shall have solid bridging at minimum 8'-0" intervals or at mid-spans, with minimum 2" bearing at ends. Floor joists to be doubled under partitions parallel to joist direction. Solid blocking required under partitions perpendicular to joist direction. Solid blocking required at 32" o.c. to tie first joist back to parallel foundation walls, where foundation walls run parallel to joist direction.
- Sill plates and wall plates on concrete block or slabs shall be pressure-treated wood and bear over 1/2" compressible sill sealer as manufactured by Dow, Celotex, or Amoco. Sill plates shall be anchored with 1/2" anchor bolts @ 6'-0" o.c. (max.) and 1'-0" from corners and openings.
- Exterior stud framing to be spaced 16" o.c., doubled at openings, framed for solid backing at corners and angles for drywall. Inner trimmer/jack studs at window/door, etc., openings shall be cut to support the header over the opening and shall extend in one piece from header to bearing. Jack studs shall be doubled at openings exceeding 8'-0". Walls taller than 9'-0" shall receive solid, horizontal blocking at mid-height.
- Wall opening headers** shall be minimum (2) 2x8's with plywood spacers for spans less than 3'-6" and (2) 2x10's with 1/2" plywood for spans equal to or greater than 3'-6" unless indicated otherwise on Drawings.

ROUGH LUMBER: Unless otherwise noted on the Drawings, material shall be selected and warranted by The Contractor to satisfy the following minimum design stresses for sawn lumber and laminated veneer lumber:

Framing Member	Fb (psi)	Fv (psi)	Fc (psi)	E (psi)
Beams and Headers	1000	130	1000	1,400,000
Floor Joists	1000	130	1000	1,400,000
Rafters & C'g Jst's	1000	130	1000	1,400,000
Studs & Misc. Fram'g	875	110	1000	1,400,000
MicroIam (LVL)	2600	285	2510	1,900,000

2x Rough Framing: shall be S4S #2 Southern pine, Hem-Fir, Spruce Pine Fir or better. **Sill plates, all framing against masonry or concrete, and framing exposed to weather:** shall be pressure-treated lumber.

EXTERIOR WALL STUD FRAMING: to be 2x6, unless noted otherwise on drawings for walls up to 9'-5" tall. Gable walls with uninterrupted vertical studs over 14'-0" in height to be 2x8.

INTERIOR WALL STUD FRAMING: to be 2x4, unless noted otherwise on drawings for walls up to 9'-5" tall, and 2x6 for walls over 9'-5". Gable walls with uninterrupted vertical studs over 14'-0" in height to be 2x8.

FLOOR SHEATHING: shall be 3/4", APA rated exterior grade tongue-and-groove plywood, and span rated for the specified joist spacing. All joints parallel to joists to be fully supported by floor joists below. All plywood floor sheathing shall be installed with construction adhesive such as PL400 or equal, and nailed to framing. Prior to installation of finish flooring over new or existing floor sheathing, thoroughly inspect all sub-flooring for squeaks and, where located, install screws as required to stop such squeaking. Openings in existing sheathing and underlayment, such as at abandoned HVAC floor diffusers, shall be filled with new plywood of the same thickness and shall be adequately blocked from beneath, nailed, and glued so no squeaking or discernible movement is apparent after installation of finish flooring or carpeting.

ROOF AND WALL SHEATHING; INSTALLATION: Install panels over two or more spans with the long dimension perpendicular to the floor framing. Space 4" panel ends a minimum of 1/8" at time of installation. End joints of adjacent panel runs should be staggered. Square edge panels should be installed with a minimum spacing of 1/8" on all panel edges at time of installation. Use 1/4" bead of polyurethane or solvent-based adhesives, which conforms to industry standards AFG-01 and follow manufacturers' recommendations. Joist to be clean and dry and apply only enough adhesive to lay one or two panels at a time. Fasteners should penetrate framing members at least 1". Apply fasteners 3/8" from panel edges. Space fasteners 6" o.c. on supported edges (4' ends) and 12" o.c. at intermediate support locations. Use 10d ring shank nails or screw shank nails. Cutouts for plumbing and electrical components should be oversized by at least 1/4" to avoid a forced fit. All joints parallel to joists to be fully supported by floor joists below. Sheathing unsupported more than 20" in either direction shall be reinforced or supported with edge blocking or "H" clips.

NOTE: Allow for crown or moldings at fascia and rake, where detailed on drawings. Roof sheathing MUST overhang to accept details as drawn; insufficient overhang will be rejected and rebuilt.

MATERIAL: shall be 1/2" for walls, 5/8" for roofs, APA-rated exterior Oriented-Strand Board, span rated for the rafter or truss spacing shown.

CONNECTORS: Where shown on the Drawings or required herein metal connections shall be provided, designed for specific loading requirements, fabricated from galvanized sheet metal or painted steel plate, as manufactured by Simpson Strong-Tie or equal.

PRESERVATIVE PRESSURE TREATED WOOD shall meet the following AWP standards for ACQ Preservative retention rates:

Above ground (decking & joists, etc.) 0.25 lb/cu.ft.

Ground contact (posts) 0.40 lb/cu.ft.

Permanent Foundations (poles) 0.60 lb/cu.ft.

EXTERIOR DECK FRAMING: Deck structural lumber (posts, beams, joists, etc.) shall be CCA preservative pressure treated and shall be constructed with hot-dip galvanized ring or spiral shank nails.

EXTERIOR TRIM; Cedar Exterior Casings and Trim: Exterior window and door casings, corner trim, frieze board, panel frames and belts shall be 5/4 x (width shown on drawings) solid #2 cedar, jamba to butt into head casing. Add solid cedar drip cap over all head casing, except where window head butts tight under frieze board or soffit. Sub-sills at all exterior windows to be 2x azek material, sloped to wash, with 2" projection. Fascia board to be 1 x (width shown on drawings) solid #2 cedar. All crowns, panel molds, and other profiled trim shown on drawings shall match casing wood species, unless noted otherwise. Rout or groove back of flat trim members. For painted or stained finish, back-prime all trim members with alkyl/oil stain-blocking primer or transparent stain-sealer for stained finish (end-prime after final cuts are made). Complete exterior priming within two weeks of installation: do not allow unprotected cedar to weather more than two weeks or final finish may be compromised. Install as detailed with end joints set tight and caulked. Use stainless steel casing nails for exterior trim (or hot-dipped galvanized casing nails if approved by Architect) with min. 1 1/2" penetration into framing lumber.

EXTERIOR SIDING; Cedar clapboard siding to match existing: Cedar siding shall be beveled, #2 common grade S-Dry, 19% max moisture content, stored and acclimated for 7 days on site or clear, premium MC15 kiln-dried for immediate use), exposure as indicated on drawings. Siding to be pre-primed all sides or primed on site, all sides, with alkyl/oil stain-blocking primer or transparent stain-sealer for stained finish. Use split-less, stainless steel siding head nails per manufacturer specs. Alternate siding profiles: Dutch-lap, flush-lap.

Cedar shingle siding: Cedar shingles to be pre-stained red cedar, smooth-sawn surface, with coursing to be 5-6" exposure (coursing layout to be approved by Architect). Doubled bottom shingle course to project 1/2" below sheathing. Weave outside corners so alternate rows have edge of shingle exposed. Trim shingle flush with adjacent shingle around corner. Use 3d stainless steel ringshank nails, fasten w/ two nails only per shingle, set 3/4" from side edge and 1" above coursing level. Gap shingles 1/16", align shingle bottom edge unless noted otherwise.

SOFFITS: to be 3/8" smooth fir plywood, with continuous prefinished aluminum soffit vents, to be painted to match trim color.

DECKING; IPE Decking: Face drill the FIRST 1x6 pre-grooved Ipe deck board with a 1/8" drill bit and 3/8" countersink bit. Use stainless steel face driven screws and glue down wood plugs to conceal holes. Knock off plug as required for flush finish. Remaining deck boards to be installed with high strength fiberglass reinforced hidden fastener system. Fit Ipe Clip into slots tight and predrill 1/8" holes and fasten with Type 17 #305 stainless steel screws as supplied with clips. (Premium carbide tipped saw blades and Brad point drill bits are recommended). Apply a bead of exterior adhesive to any uneven joist to prevent any squeaking. Apply Ipe Seal to end joints immediately after cutting and prior to installation. Sealant will stain surface of boards. Apply Ipe Oil and work into the grain. Brush or roll excess oil after 30 minutes of penetration. **Contractor to provide alternate deduct for Azek Decking**

PORCH FLOORING: shall be 1x4 T&G Ipe.

INTERIOR TRIM, GENERAL: All wood interior trim material, including flooring, shall be delivered and acclimate in an interior, weather-tight, heated and conditioned environment for minimum one week. Upon delivery, flooring shall be broken into small lots and stored in the rooms where it is to be installed. All trim shall be carefully matched, mitered, coped, etc., finish nailed tight to surfaces, and sanded, ready for painting or staining. All horizontal trim shall be installed in continuous lengths wherever possible, or mitered when not, and coped at inside corners. Jamba at Door and Cased Openings shall be tightly shimmed in a minimum of three locations on each side including at hinges and locksets.

Wherever trim terminates and is not fully stopped by cabinets, casings, plinths, etc., repeat profile of trim at end by miter-returning, coping or molding as needed. **Window casing** to include molded stool, miter-returned at ends, and apron of casing material, inverted and miter-returned at ends. Doorways at end of Halls shall be centered in Hall, unless shown otherwise, and all doorways roughed-in and jamba hung so that full casing may be installed. When casings are within 1' of corner walls, fill gap between casing and wall with S4S wood trim 1/8" thinner than casing. Closet doors shall be fully jambaed and cased on both sides (Reach-in closets may have secondary casing type for interior, as approved by the Architect) Casing at bi-fold or bypassing doors shall be installed to conceal track and hardware above doors. **Shoe mould** shall be installed at all new hardwood, ceramic tile, vinyl, or other hard surface flooring. **Window casing** to include molded stool, miter-returned at ends, and apron of casing material, inverted and miter-returned at ends.

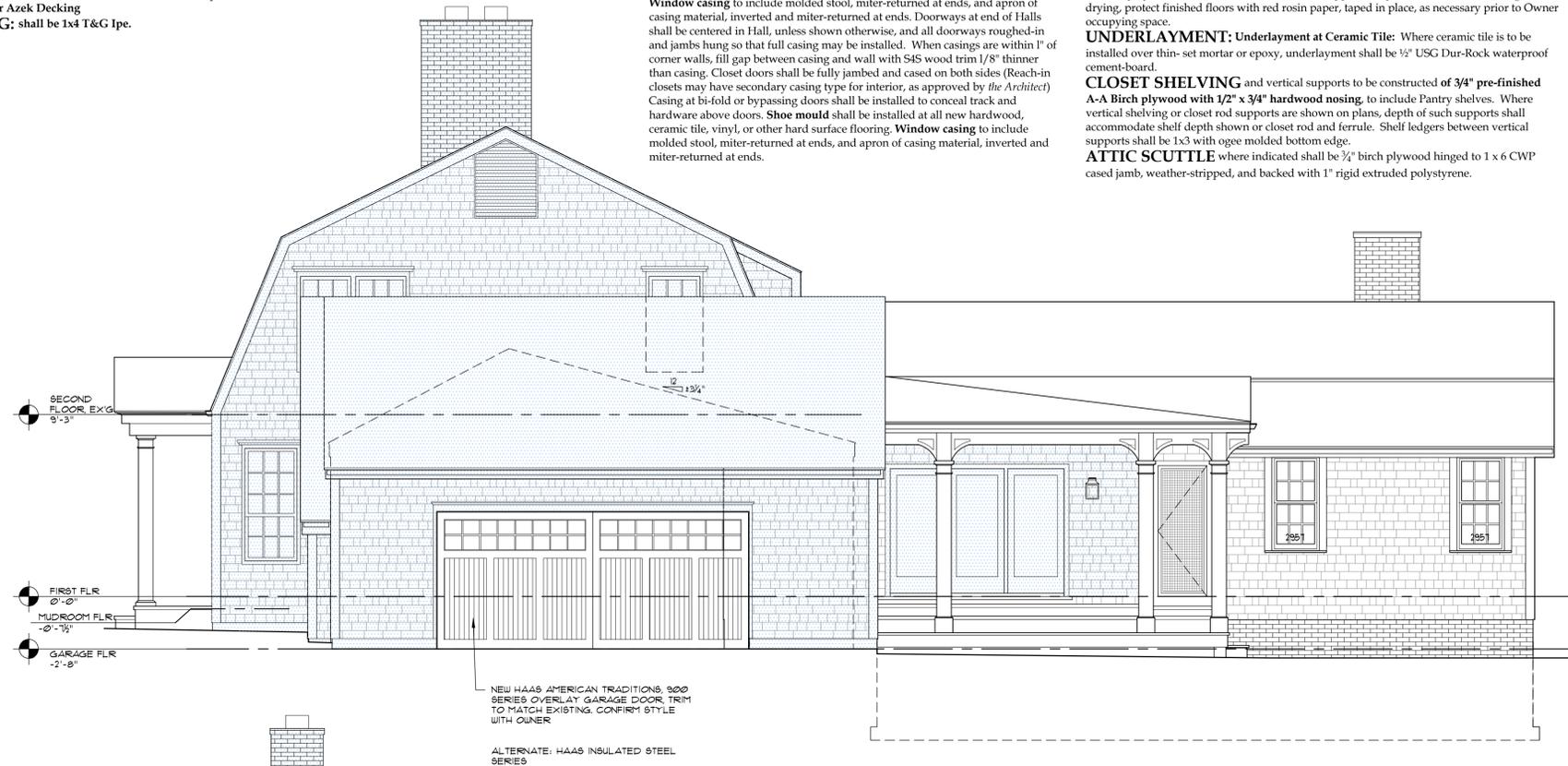
INTERIOR WOOD FLOORING: shall match existing species, dimension, and appearance with square edge and end matched, with final flooring selection to be approved by the Owner. Install at manufacturer recommended moisture contents over flooring felt and fasten to subfloor with concealed cut nails, all joints to be tight. Floor HVA/C registers shall be flush or surface mounted hardwood to match the surrounding flooring, with removable diffuser and adjustable air-flow regulators at supply registers. Feather new flooring areas into adjacent existing with staggered joints to conceal new flooring addition. Where abutting adjacent surfaces of a different level at doorways or other openings install full jamb width sloped wood threshold to match species and finish.

FLOORING FINISH: Thoroughly machine sand to smooth, level finish. Finish with stain/sealer color as approved by the Owner from samples provided by the Contractor and three coats of polyurethane, varnish, or other finish as approved by the Owner. After thorough drying, protect finished floors with red rosin paper, taped in place, as necessary prior to Owner occupying space.

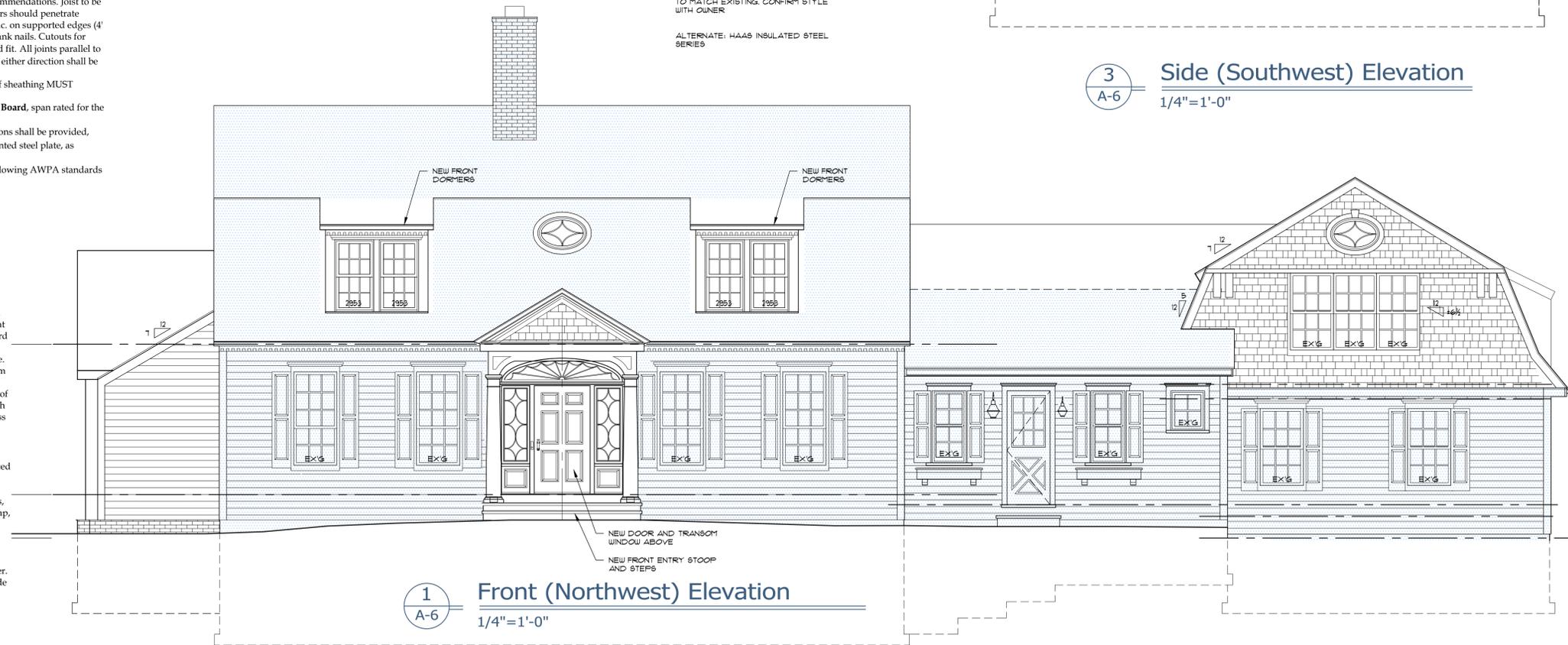
UNDERLAYMENT; Underlayment at Ceramic Tile: Where ceramic tile is to be installed over thin-set mortar or epoxy, underlayment shall be 1/2" USG Dur-Rock waterproof cement-board.

CLOSET SHELVING and vertical supports to be constructed of 3/4" pre-finished A-A Birch plywood with 1/2" x 3/4" hardwood nosing, to include Pantry shelves. Where vertical shelving or closet rod supports are shown on plans, depth of such supports shall accommodate shelf depth shown or closet rod and ferrule. Shelf ledgers between vertical supports shall be 1x3 with ogee molded bottom edge.

ATTIC SCUTTLE where indicated shall be 3/4" birch plywood hinged to 1 x 6 CWP cased jamb, weather-stripped, and backed with 1" rigid extruded polystyrene.



3 Side (Southwest) Elevation
A-6 1/4" = 1'-0"



1 Front (Northwest) Elevation
A-6 1/4" = 1'-0"

George A. Clemens, License No. 13102
Expiration Date 12/31/2017

CLEMENS PANTUSO

architectur

Additions and Renovations to

The Corr Residence

290 Bicknell Drive, Hudson, Ohio 44236

Elevations, , Specs. DIV 6

Job number
1822

Drawn by
RP, HD

Date drawn

Issued for

11.12.18 Client Review
12.20.18 Client Review
01.10.19 Client Review
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04.16.19 ARB Submittal

Drawing number

A-6

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Spec. Div. 8: Windows and Doors

WINDOW PACKAGE ORDERING: Architect to receive copy of window order with min. three days to review/approve order prior to execution of window order. Contractor to directly confirm with Owner to approve: interior finish of screens and window hardware, interior finish of door hardware, acceptability of glass color, details of muntin bars as specified, Jeld-Wen and Windsor to remove sash groove, top and bottom, at DH windows. Owner to see window sample upon request.

WINDOW INSTALLATION: Air-and-moisture barrier shall be applied to the building exterior, properly taped and wrapped at openings, before installation of windows. Apply a continuous bead of sealant under nailing fins. Apply Protecto Tape 5" wide bitumen-modified self-adhesive protection tape at head, jamb, and window sill over nailing fin and providing positive seal from window unit to building wrap. Lap tape for proper drainage.

TEMPERED/SAFETY GLAZING: Tempered or safety glazing shall be required for the following locations considered hazardous:

- 1) Glazing in a fixed or operable panel within 24 inches of an adjacent door and whose bottom edge is less than 60 inches above the floor or walking surface.
- 2) Glazing in a fixed or operable panel that is larger than 9 square feet and whose bottom edge is less than 18 inches above the walking surface.
- 3) Glazing in enclosures for or walls facing hot tubs, whirlpools, saunas, steam rooms, bathtubs and showers where the bottom edge of the glazing is less than 60 inches measured vertically above any standing or walking surface.
- 4) Glazing adjacent to stairways, landings and ramps within 36 inches measured horizontally of a walking surface and whose bottom edge is less than 60 inches above the plane of the adjacent walking surface. Glazing adjacent to stairways within 60 inches measured horizontally from the bottom tread of the stairway and whose bottom edge is less than 60 inches above the nose of the tread.

MANUFACTURED WINDOWS AND DOORS: to be wood construction with extruded aluminum cladding, see manufacturer's specifications for all performance and installation requirements. All new-construction (and replacement, where applicable and approved by the Architect) windows, as well as exterior doors supplied by window manufacturer to meet the following specification standards:

GENERAL: units to have nailing fins w/corner waterproof closure; high-performance, 5" wide butyl-modified window tape included with order.

Glass to be double-pane glass with 272 Low-E Coating; stainless steel warm-edge spacers and argon gas, window units Energy-Star 2009 Rated for Northern Zone w/ either U= 0.30 or less OR U= 0.31 and SHGC greater than 0.35 APPROVED PRODUCTS: Marvin Clad Ultimate Double-Hung or Casement Windows; Pella Architect Series 850 Double-Hung or Casement Windows Note: Interior Surface #4 Low-E coatings are not acceptable due to unforeseen condensation issues not yet fully resolved in the industry.

MUNTIN BARS: to be 7/8" Simulated Divided Lite, pattern as indicated on drawings, w/spacer bars, exterior to be extruded aluminum, finish to match windows. Provide wider (1 1/2" to 2") SDL bars to simulate double-hung center sash if indicated.

EXTERIOR FINISH: Aluminum-clad finish to be fluoropolymer modified acrylic topcoat applied over fluoropolymer primer. Meets or exceeds AAMA 2603 requirements.

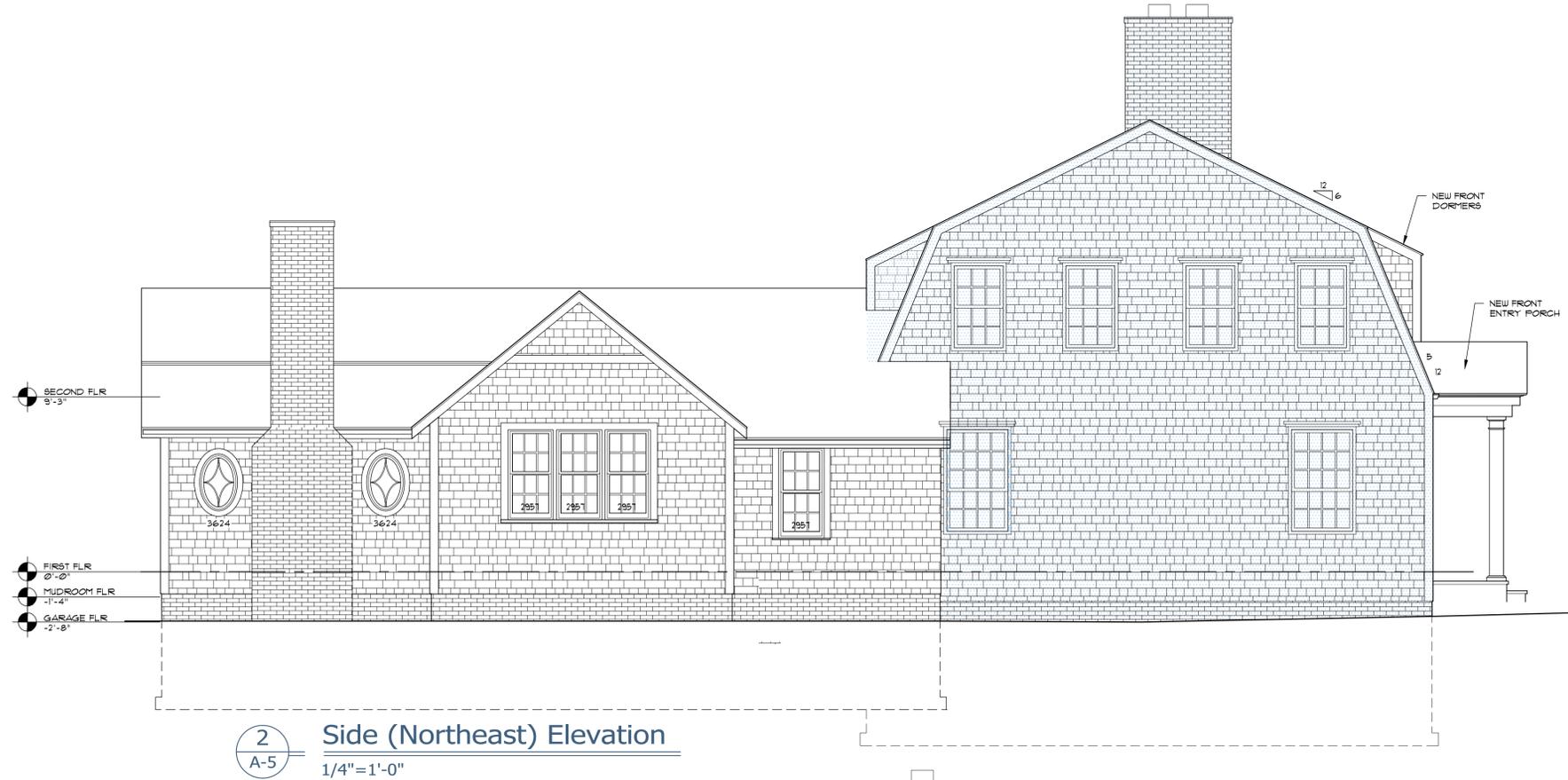
INTERIOR FINISH: Unfinished pine. Window manufacturer to verify with Owner and Architect all Interior/Exterior window and hardware finish choices prior to window order. [Standard][Custom] hardware finish included.

DOUBLE-HUNG WINDOWS: to have sash liner concealed with wood closure;

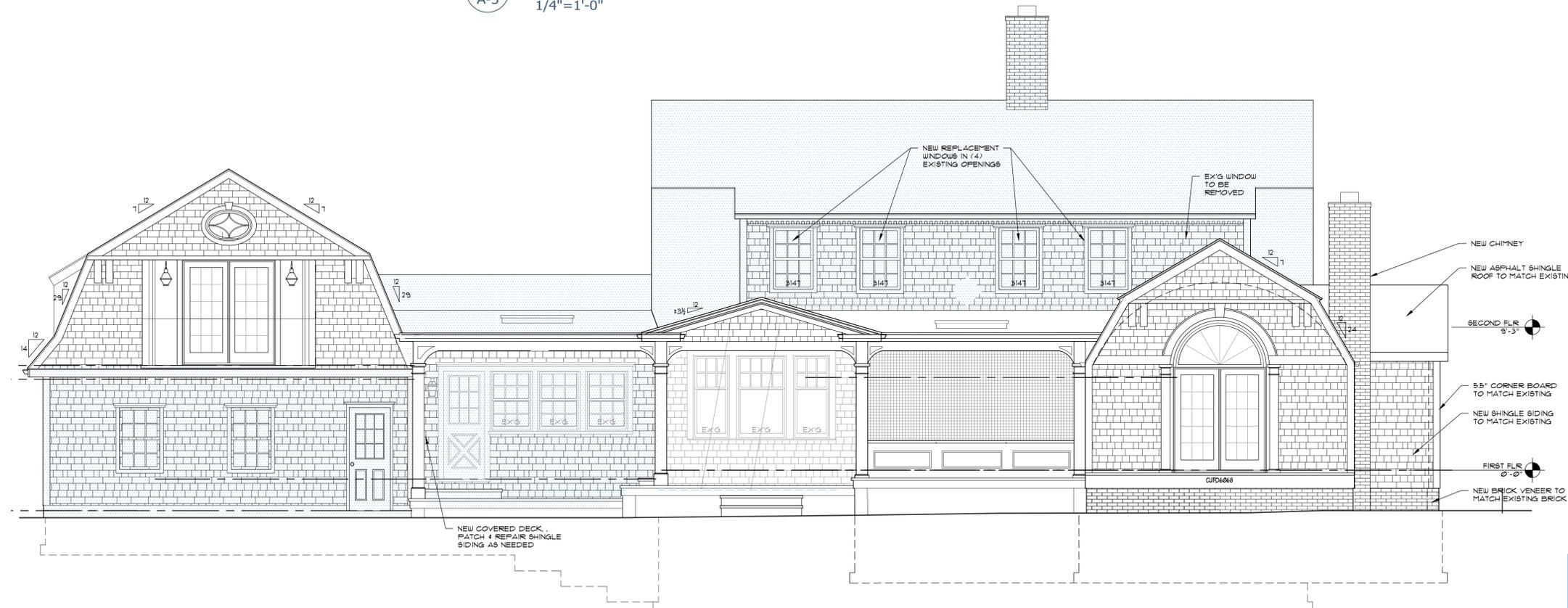
INTERIOR DOORS: to be as indicated on Door Schedule. For solid masonite/MDF doors, finish shall be smooth (NO WOOD GRAIN). Set doors to provide maximum 1/4" clearance between bottom edge of doors and finish flooring, including carpeting. Jams at Door and Cased Openings shall be tightly shimmed in a minimum of three locations on each side including at hinges and locksets. Interior doors from house to Garage: door and frame to have one hour fire rating and self-closing mechanism.

GARAGE DOORS AND OPENERS: NIC

DOOR HARDWARE: Provide and install all finish hardware as selected by The Owner and Architect under allowance, and shall include all door latches/knobs and stops. Unless otherwise directed, door hardware shall be 2 3/4" backset latches. Doors shall be hung with three square hinges per door, 3/2"x3/2" hinges for interior doors, and 4"x4" for exterior doors. Shim all jams, minimum 3 shims per side jamb.



2
A-5
Side (Northeast) Elevation
1/4" = 1'-0"



1
A-5
Rear (Southeast) Elevation
1/4" = 1'-0"

George A. Clemens, License No. 13102
Expiration Date 12/31/2017

CLEMENS PANTUSO

architecture

Additions and Renovations to

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290 Bicknell Drive, Hudson, Ohio 44236

Elevations, Specs. DIV 8

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Drawing number

A-5

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Spec. Div. 3: Concrete

GENERAL: Cast-in-place concrete construction shall conform to the latest edition of American Concrete Institute ACI-301, 305, 306, 315, 318, and 347, unless noted otherwise. Slump for all classes of concrete to be between 4" and 5" (ASTM C-143). Concrete shall be discharged at the site within 1 1/2 hours after water has been added to the cement and aggregates. Addition of water to the mix at the project site will not be permitted.

CONCRETE WASTE and wash water should be returned with each concrete truck for disposal at the concrete batch plant. If this is not possible, operators can install prefabricated or built on-site concrete washout area per *The Architect's* instructions. Contractor must not wash out concrete trucks onto the ground, or into storm drains, open ditches, streets, or streams. Do not allow excess concrete to be dumped onsite, except in designated concrete washout areas.

COMPRESSIVE STRENGTH: The compressive strength of concrete in 28 days shall be as follows:

Grout:	2,500 psi minimum	
Footings and Interior slabs:	3,000 psi	
Exterior and Garage slabs-on-grade:	4,000 psi with 6% +/- 1% Air-entrainment	
Water/Cement Ratio:	The water/cement ratio shall not exceed the following:	
Comp. Strength	Non Air-entrained	Air-entrained
3,000 psi	0.58	
4,000 psi	0.53	0.44

REINFORCING: Concrete steel reinforcing bars shall conform to ASTM A-615, Grade 60. Welded wire fabric (w.w.f.) shall conform to ASTM A-185-79 (60,000 psi yield). All detailing, fabrication, and placement of reinforcing steel shall conform to the Manual of Standard Practice for Detailing Reinforced Concrete Members.

For footings and concrete walls: Lap all reinforcing bar splices 45 bar diameters minimum. Bend all horizontal bars 36 bar diameters past each corner or provide equivalent corner bars matching horizontal reinforcing.

For slabs: Wire shall lap one full mesh +2" and be securely wired each side and end. Reinforcing placed at 1/3 of slab thickness from top of slab, typical.

Properly support all reinforcing and wire mesh on chairs. Minimum coverage for concrete reinforcing shall be:

- Concrete deposited against the ground: 3"
- Concrete exposed to the weather: 2"
- Slabs/wall not exposed to the weather: 3/4"
- Beams/columns (over main reinforcing): 2"

FOOTING: Sizes and reinforcement shall be as detailed on the Drawings but shall not be less than 10" thick, 8" wider than the wall supported, and reinforced with (2) #5 bars, bot. Below masonry chimney construction, footings to be min. 12" thick, 12" wider than masonry above, with #5 bar @ 12" each way, bot. Carefully form all footings with 2x material staked and adequately supported. Verify that footing layout is square and the tops of all footings are level. Construction over footings shall not commence for 48 hours after casting minimum, or per local code. Footings to reach 3000 psi compressive strength at 28 days, water/cement ratio not to exceed 0.58

Spec. Div. 4: Masonry

GENERAL: Construct all masonry walls in accordance with ACI 530.1 specifications (with requirements for Owner Inspection and Acceptance deleted), unless otherwise noted. Anti-freeze admixtures shall not be used and uncured walls shall be protected from freezing as may be required. The tops of walls under construction shall be covered at the end of each day and protected from rain or snow. The minimum Masonry Prism Strength (f'm) shall be 1500 p.s.i. at 28 days, unless noted otherwise.

MATERIALS (GENERAL): Masonry materials shall conform to the following ASTM specifications:

Concrete Masonry Units	ASTM C-90 (Grade N-1)
Facing Brick	ASTM C-216 (Type FBS, Grade SW)
Mortar (Type M,S,N,O)	ASTM C-270
Grout	ASTM C-476 (2,500 psi @ 28days)
Reinforcing Steel Bars	ASTM A-615 (Grade 60)

MORTAR: Mortar for use above and below grade shall be as follows:

Exterior, below grade:	Type S
Exterior, above grade:	Type S
Interior, Non-load bearing:	Type S

4" MASONRY VENER SYSTEMS:

ANCHORING AND REINFORCEMENT: Masonry veneer over 16" high shall be attached to concrete block back-up, poured-in-place concrete back-up, or structural wood wall (direct to studs) with galvanized metal "Z" Ties at 16" on center, horizontally and vertically. **C.M.U. BACK-UP WALLS:** To be damp-proofed prior to placement of veneer. Base of veneer and all lintels shall have thru-wall membrane flashing, top edge to be embedded into masonry joint. Provide weeps at steel lintels over doors, windows or other openings and at base of veneer set at approximately 6" above finished grade. At foundations, all exposed exterior masonry shall be veneer material. Ascertain height of finish grading and, if lower or higher in certain areas than shown on Drawings, lay veneer to suit. No exposed concrete block or waterproofing materials will be permitted above finish grade.

Dur-O-Wall DA2200 joint stabilization anchors at all connections of new foundations to existing. REINFORCEMENT: Foundation wall reinforcement shall be as shown on *The Drawings* but in no case shall un-balanced fill against 8" masonry walls exceed 4'-0" (6 block courses) or 6'-0" (nine block courses) for 12" walls. When grade or other conditions require heights exceeding these figures the walls shall be reinforced full height of the wall and lapped 45 bar diameters min. with projecting bar cast into the footing. Cores shall be grouted solid at anchor bolts and reinforcing bars, and the bars shall be held 1" clear of the interior face of the core.

MASONRY FOUNDATION DAMPROOFING: The exterior of all foundation block and brick walls shall be parged with 3/8" cement with ironite from cove at footing to a finish grade level to be approved by *The Owner* or *The Architect*. Fully dried parging shall be coated with 60 mil. wet thickness, two-coat application of Watchdog Waterproofing polymer-enhanced asphalt liquid-applied membrane or approved alternate. Both parging and waterproofing shall run continuous and uninterrupted around complete basement perimeter, installed prior to construction of intersecting masonry walls. Insulating (expanded polystyrene or equal) protection board shall be installed below grade, full depth to footing, prior to backfilling.

STONE PATIOS: to have a 1 1/2" thickness average at infill flagging over built-up mortar bed and 1 3/4" single slab for steps. Stone type to be bluestone. Edges to be square as selected by *The Owner* and *The Architect*. Edges and treads shall overhand by 3/4" past the supporting masonry below.

MORTAR to be approved by *Owner* and *Architect*.

MASONRY CHIMNEY: Exterior of fireplace chimney to match existing in all design respects, including chimney top corbeling and other details, as shown on the Elevations. Cement wash at chimney top to be wire mesh reinforced and waterproofed. Terminate terra cotta flues with stainless steel chimney screens with hipped rain shield top. Flashing at roof to be copper, cap and base type, hemmed edges installed in raked-out mortar joints or saw kerfs, set with lead roping, and sealed with small bead of clear silicone.

Spec. Div. 5: Metals

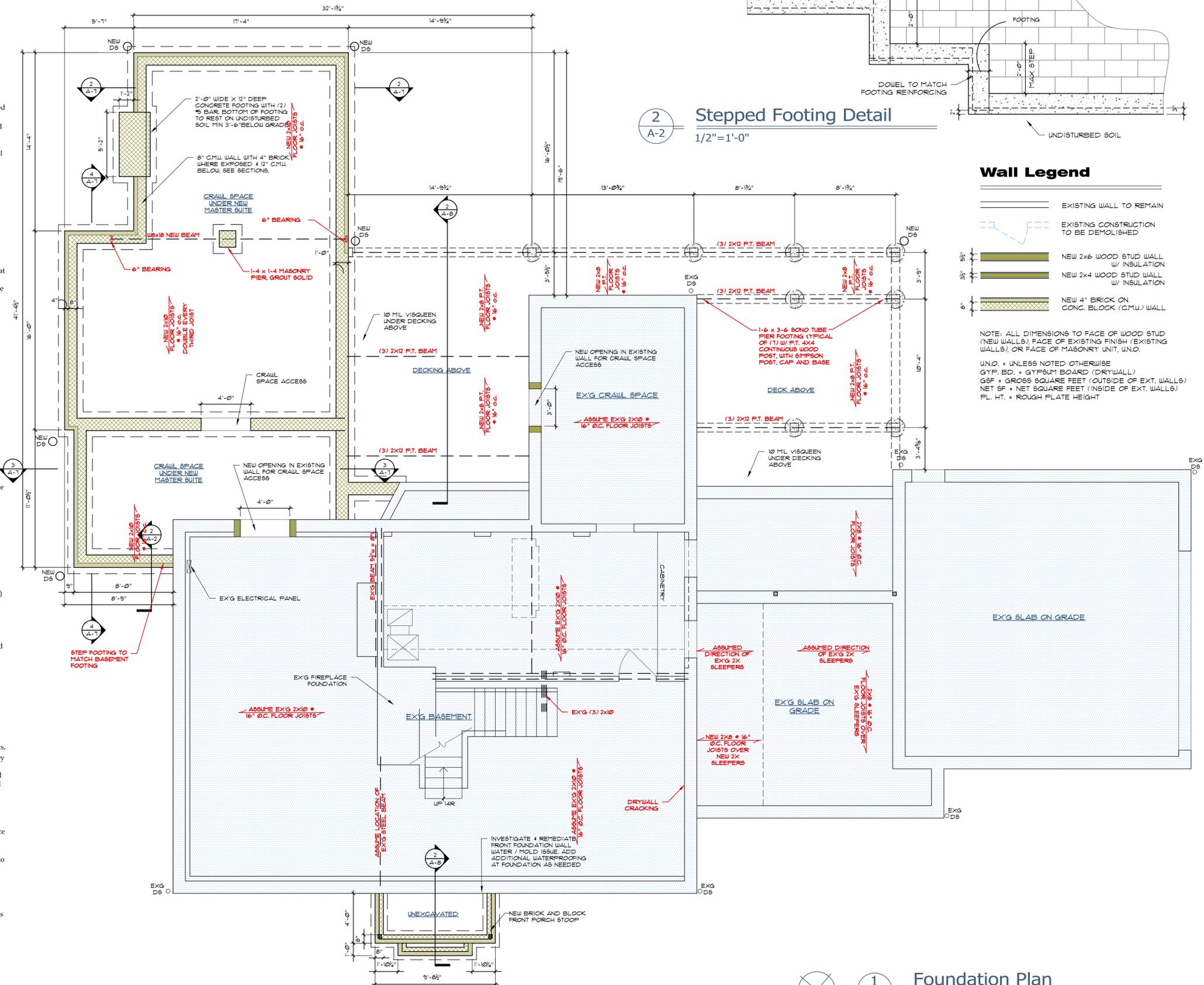
STRUCTURAL STEEL: Structural steel shall be detailed, fabricated, and erected in accordance with the latest AISC Specification for Structural Steel Buildings, Allowable Stress Design, and Code of Standard Practice.

Fitch Plates: Steel fitch plates shall be ASTM A-36 steel (Fy = 36 KSI). Fitch plates shall be connected to wood members with 1/2" dia. flush mounted through bolts. Minimum edge and end distance to be 2". See plans for size of plates and spacing of bolts.

Beams: shall be ASTM A-992 steel (Fy = 50 ksi), sizes as shown on drawings, in continuous lengths between bearing points. Steel beams bearing on masonry walls shall bear on steel bearing plates (sizes shown on plans) and masonry grouted solid 16" wide by 8" deep.

Columns: Steel columns shall be ASTM A-53 steel (Fy=35 ksi), sizes as noted on *The Drawings*. Columns shall be continuous from footing to beam, with 1/2" top and bottom bearing plates (unless otherwise noted) welded to columns. Light gauge steel posts to be H.U.D. and B.O.C.A. approved, size as shown on *The Drawings*, as manufactured by Tel-O-Post, Tapco Mono Post, or equal, and shall be installed with adjustment nut at bottom. Basement columns and posts shall be installed and adjusted prior to casting concrete floors. Beams shall be bolted to cap plates w/(4) 3/4" dia. bolts. Column base plates shall be connected to footing with a minimum of (2) 3/4" anchor bolts.

Shop Painting: Structural steel to be finished with two shop coats of rust inhibitive paint. **Connectors:** Connectors and Accessories to be included as required for complete structural support. All shop connections to be made with ASTM A307 bolts or welded using E70 electrodes and shall conform to the specification set forth in the AWS Structural Welding Code. All field connections to be ASTM A307 bolts, unless noted otherwise. Anchor bolts, nuts, washers, straps, framing anchors, hangers, masonry ties, and other accessories to be hot-dipped galvanized.



Rebecca L. Pantuso, License No. 0914809
Expiration Date 12/31/2019

CLEMENS PANTUSO
architect

Additions and Renovations to
The Corr Residence
290 Bicknell Drive Hudson, Ohio 44236

Job number	1822
Drawn by	HD
Date drawn	

11.12.18	Client Review
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02.28.19	Client Review
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Drawing number
A-2

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Foundation Plan, Specs DIV 3-5

Foundation Plan
1/4"=1'-0"

Room Finish Schedule

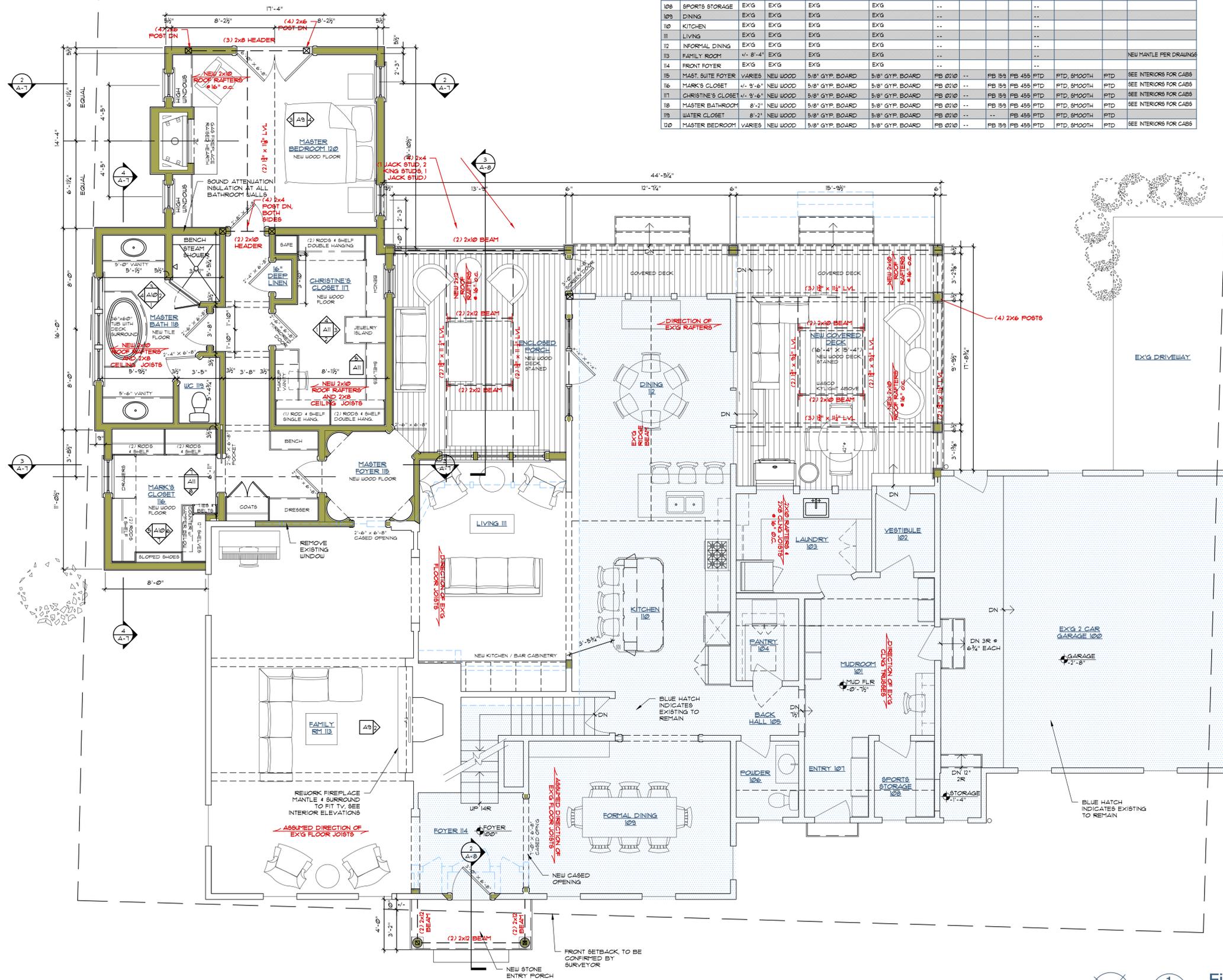
RM. NO.	ROOM NAME	CLG. HGT.	FINISH MATERIALS			TRIM		FINISHES		REMARKS			
			FLOOR	WALLS	CEILING	BASE	SHOE	WALLS	CL.G.				
FIRST FLOOR													
100	GARAGE	EX'G	EX'G	EX'G	EX'G	..	..	..	..
101	MUDROOM	EX'G	EX'G	EX'G	EX'G	..	..	..	..
102	VESTIBULE	EX'G	EX'G	EX'G	EX'G	..	..	..	..
103	LAUNDRY	EX'G	EX'G	EX'G	EX'G	..	..	..	..
104	PANTRY	EX'G	EX'G	EX'G	EX'G	..	..	..	..
105	BACK HALL	EX'G	EX'G	EX'G	EX'G	..	..	..	..
106	POULDER ROOM	EX'G	EX'G	EX'G	EX'G	..	..	..	..
107	ENTRY	EX'G	EX'G	EX'G	EX'G	..	..	..	..
108	SPORTS STORAGE	EX'G	EX'G	EX'G	EX'G	..	..	..	..
109	DINING	EX'G	EX'G	EX'G	EX'G	..	..	..	..
110	KITCHEN	EX'G	EX'G	EX'G	EX'G	..	..	..	..
111	LIVING	EX'G	EX'G	EX'G	EX'G	..	..	..	..
112	FORMAL DINING	EX'G	EX'G	EX'G	EX'G	..	..	..	..
113	FAMILY ROOM	EX'G	EX'G	EX'G	EX'G	..	..	..	..	NEW MANTLE PER DRAWINGS
114	FRONT FOYER	EX'G	EX'G	EX'G	EX'G	..	..	..	..
115	MAST. SUITE FOYER	VARIES	NEW WOOD	5/8" GYP. BOARD	5/8" GYP. BOARD	PB 0210	..	PB 155	PB 455	PTD	PTD, SMOOTH	PTD	SEE INTERIORS FOR CAB'S
116	MARK'S CLOSET	VARIES	NEW WOOD	5/8" GYP. BOARD	5/8" GYP. BOARD	PB 0210	..	PB 155	PB 455	PTD	PTD, SMOOTH	PTD	SEE INTERIORS FOR CAB'S
117	CHRISTINE'S CLOSET	VARIES	NEW WOOD	5/8" GYP. BOARD	5/8" GYP. BOARD	PB 0210	..	PB 155	PB 455	PTD	PTD, SMOOTH	PTD	SEE INTERIORS FOR CAB'S
118	MASTER BATHROOM	8'-2"	NEW WOOD	5/8" GYP. BOARD	5/8" GYP. BOARD	PB 0210	..	PB 155	PB 455	PTD	PTD, SMOOTH	PTD	SEE INTERIORS FOR CAB'S
119	WATER CLOSET	8'-2"	NEW WOOD	5/8" GYP. BOARD	5/8" GYP. BOARD	PB 0210	..	PB 155	PB 455	PTD	PTD, SMOOTH	PTD	SEE INTERIORS FOR CAB'S
120	MASTER BEDROOM	VARIES	NEW WOOD	5/8" GYP. BOARD	5/8" GYP. BOARD	PB 0210	..	PB 155	PB 455	PTD	PTD, SMOOTH	PTD	SEE INTERIORS FOR CAB'S

Wall Legend

- EXISTING WALL TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED
- NEW 2x6 WOOD STUD WALL W/ INSULATION
- NEW 2x4 WOOD STUD WALL W/ INSULATION
- NEW 4" BRICK ON CONC. BLOCK (C.M.U.) WALL

NOTE: ALL DIMENSIONS TO FACE OF WOOD STUD (NEW WALLS), FACE OF EXISTING FINISH (EXISTING WALLS), OR FACE OF MASONRY UNIT, U.N.O.

U.N.O. = UNLESS NOTED OTHERWISE
 GYP. BD. = GYPSUM BOARD (DRY WALL)
 GSF = GROSS SQUARE FEET (OUTSIDE OF EXT. WALLS)
 NET SF = NET SQUARE FEET (INSIDE OF EXT. WALLS)
 PL. HT. = ROUGH PLATE HEIGHT



Additions and Renovations to

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 290 Bicknell Drive Hudson, Ohio 44236

First Floor Plan, Finish Schedule

CLEMENS PANTUSO

architecture

Rebecca L. Pantuso, License No. 0914809
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Drawing number

A-3



1
A-3

First Floor Plan

1/4"=1'-0"

Spec. Div. 6: Wood and Plastics

A. ROUGH FRAMING: GENERAL

All structural framing shall be detailed, fabricated, and erected in accordance with the "National Design Specification" by the National Forest Products Association (N.F.P.A.), latest edition. Nail or spike members in accordance with the Residential Code of Ohio, latest edition, Chapter 5-9. All nails exposed to weather to be hot-dipped galvanized at minimum. Framing lumber shall be seasoned to a moisture content of 19% or less (S-DRY). Brace all walls, rafters, floor and roof joists as required to prevent shifting, racking or other movement both during construction and after completion of the work. Cut framing square on bearings, closely fitted, accurately set to required lines and levels and plumb. Do not use shims for leveling on wood or metal bearings. **LVL (Laminated Veneer Lumber) & Pre-Engineered Joists (TJI's):** where indicated, shall be stored, installed, braced, and blocked per the manufacturer's directions. Notching, drilling or other cutouts shall be in accordance with manufacturer's published instructions. LVL beams over two members wide shall be assembled with 1/2" dia. flush-mounted through bolts 2 per row at 24" o.c. with (2) bolts at each end, all located 2" from edges and ends.

- Framing:** All structural framing members shall be single lengths between points of support.
- Floor and ceiling joists shall have solid bridging at minimum 8'-0" intervals or at mid-spans, with minimum 2" bearing at ends. Floor joists to be doubled under partitions parallel to joist direction. Solid blocking required under partitions perpendicular to joist direction. Solid blocking required at 32" o.c. to tie first joist back to parallel foundation walls, where foundation walls run parallel to joist direction.
 - Sill plates and wall plates on concrete block or slabs shall be pressure-treated wood and bear over 1/2" compressible sill sealer as manufactured by Dow, Celotex, or Amoco. Sill plates shall be anchored with 1/2" anchor bolts @ 6'-0" o.c. (max.) and 1'-0" from corners and openings.
 - Exterior stud framing to be spaced 16" o.c., doubled at openings, framed for solid backing at corners and angles for drywall. Inner trimmer/jack studs at window/door, etc., openings shall be cut to support the header over the opening and shall extend in one piece from header to bearing. Jack studs shall be doubled at openings exceeding 8'-0". Walls taller than 9'-0" shall receive solid, horizontal blocking at mid-height.
 - Wall opening headers** shall be minimum (2) x 8's with plywood spacers for spans less than 3'-6" and (2) 2x10's with 1/2" plywood for spans equal to or greater than 3'-6" unless indicated otherwise on Drawings.
 - Dormers: provide double rafters and headers at all dormers and skylights, unless noted otherwise. Connect doubled headers to rafters with galvanized hangers.
 - Hearth and other floor openings: Provide doubled joists as minimum at perimeter of hearths and all floor openings. Headered members to be hangered to doubled joists where interrupted.

ROUGH LUMBER: Unless otherwise noted on the Drawings, material shall be selected and warranted by The Contractor to satisfy the following minimum design stresses for sawn lumber and laminated veneer lumber:

Framing Member	Fb (psi)	Fv (psi)	Fc (psi)	E (psi)
Beams and Headers	1000	130	1000	1,400,000
Floor Joists	1000	130	1000	1,400,000
Rafters & Clg Jst's	1000	130	1000	1,400,000
Studs & Misc. Fram'g	875	110	1000	1,400,000
Micro Iam (LVL)	2600	285	2510	1,900,000

2x Rough Framing: shall be S4S #2 Southern pine, Hem-Fir, Spruce Pine Fir or better. **Sill plates, all framing against masonry or concrete, and framing exposed to weather:** shall be pressure-treated lumber.

EXTERIOR WALL STUD FRAMING: to be 2x6, unless noted otherwise on drawings for all walls. Gable walls with uninterrupted vertical studs over 14'-0" in height to be 2x8.

INTERIOR WALL STUD FRAMING: to be 2x4, unless noted otherwise on drawings for walls up to 9'-5" tall, and 2x6 for walls over 9'-5". Gable walls with uninterrupted vertical studs over 14'-0" in height to be 2x8.

FLOOR SHEATHING: shall be 3/4", APA rated exterior grade tongue-and-groove plywood, and span rated for the specified joist spacing. All joints parallel to joists to be fully supported by floor joists below. All plywood floor sheathing shall be installed with construction adhesive such as PL400 or equal, and nailed to framing. Prior to installation of finish flooring over new or existing floor sheathing, thoroughly inspect all sub-flooring for squeaks and, where located, install screws as required to stop such squeaking.

Openings in existing sheathing and underlayment, such as at abandoned HVAC floor diffusers, shall be filled with new plywood of the same thickness and shall be adequately blocked from beneath, nailed, and glued so no squeaking or discernible movement is apparent after installation of finish flooring or carpeting.

ROOF AND WALL SHEATHING: INSTALLATION: Install panels over two or more spans with the long dimension perpendicular to the floor framing. Space 4" panel ends a minimum of 1/8" at time of installation. End joints of adjacent panel runs should be staggered. Square edge panels should be installed with a minimum spacing of 1/8" on all panel edges at time of installation. Use 1/2" bead of polyurethane or solvent-based adhesives, which conforms to industry standards AFG-01 and follow manufacturers' recommendations. Joist to be clean and dry and apply only enough adhesive to lay one or two panels at a time. Fasteners should penetrate framing members at least 1". Apply fasteners 3/8" from panel edges. Space fasteners 6" o.c. on supported edges (4' ends) and 12" o.c. at intermediate support locations. Use 10d ring shank nails or screw shank nails. Cutouts for plumbing and electrical components should be oversized by at least 1/4" to avoid a forced fit. All joints parallel to joists to be fully supported by floor joists below. Sheathing unsupported more than 20" in either direction shall be reinforced or supported with edge blocking or "H" clips. **NOTE:** Allow for crown or moldings at fascia and rake, where detailed on drawings. Roof sheathing **MUST** overhang to accept details as drawn: insufficient overhang will be rejected and rebuilt.

MATERIAL: shall be ADVANTECH FLOOR AND ROOF SHEATHING shall be of thickness as shown on The Drawings, but not less than 7/8" for floors and 5/8" for roofs.

CONNECTORS: Where shown on the Drawings or required herein metal connections shall be provided, designed for specific loading requirements, fabricated from galvanized sheet metal or painted steel plate, as manufactured by Simpson Strong-Tie or equal.

PRESERVATIVE PRESSURE TREATED WOOD shall meet the following AWPA standards for ACQ Preservative retention rates:

Above ground (decking & joists, etc.)	0.25 lb/cu.ft.
Ground contact (posts)	0.40 lb/cu.ft.
Permanent Foundations (poles)	0.60 lb/cu.ft.

EXTERIOR DECK FRAMING: Deck structural lumber (posts, beams, joists, etc.) shall be CCA preservative pressure treated and shall be constructed with hot-dip galvanized ring or spiral shank nails.

EXTERIOR TRIM: Cedar Exterior Casings and Trim: Exterior window and door casings, corner trim, frieze board, panel frames and belts shall be 5/4 x (width shown on drawings) solid #2 cedar, jamba to butt into head casing. Add solid cedar drip cap over all head casing, except where window head butts tight under frieze board or soffit. Sub-sills at all exterior windows to be 2x material, sloped to wash, with 2" projection. Fascia board to be 1 x (width shown on drawings) solid #2 cedar. All crowns, panel molds, and other profiled trim shown on drawings shall match casing wood species, unless noted otherwise. Rout or groove back of flat trim members. For painted or stained finish, back-prime all trim members with alkyd/oil stain-blocking primer or transparent stain-sealer for stained finish (end-prime after final cuts are made). Complete exterior priming within two weeks of installation: do not allow unprotected cedar to weather more than two weeks or final finish may be compromised. Install as detailed with end joints set tight and caulked. Use stainless steel casing nails for exterior trim (or hot-dipped galvanized casing nails if approved by The Architect) with min. 1 1/2" penetration into framing lumber.

EXTERIOR SIDING (To match existing): Cedar shingle siding: Cedar shingles to be pre-stained red cedar, smooth-sawn surface, with coursing to match existing exposure (coursing layout to be approved by The Architect). Doubled bottom shingle course to project 1/2" below sheathing. Weave outside corners so alternate rows have edge of shingle exposed. Trim shingle flush with adjacent shingle around corner. Use 3d stainless steel ringshank nails, fasten w/ two nails only per shingle, set 3/4" from side edge and 1" above coursing level. Gap shingles 1/16", align shingle bottom edge unless noted otherwise.

SOFFITS: to be 1x6 v-groove T&G #2 cedar, with continuous prefinished aluminum soffit vents, to be painted to match trim color.

INTERIOR TRIM, GENERAL: All wood interior trim material, including flooring, shall be delivered and acclimate in an interior, weather-tight, heated and conditioned environment for minimum one week. Upon delivery, flooring shall be broken into small lots and stored in the rooms where it is to be installed. All trim shall be carefully matched, mitered, coped, etc., finish nailed tight to surfaces, and sanded, ready for painting or staining. All horizontal trim shall be installed in continuous lengths wherever possible, or mitered when not, and coped at inside corners. Jamba at Door and Cased Openings shall be tightly shimmed in a minimum of three locations on each side including at hinges and locksets. Wherever trim terminates and is not fully stopped by cabinets, casings, plinths, etc., repeat profile of trim at end by miter-returning, coping or molding as needed. **Window casing** to include molded stool, miter-returned at ends, and apron of casing material, inverted and miter-returned at ends. Doorways at end of Halls shall be centered in Hall, unless shown otherwise, and all doorways roughed-in and jamba hung so that full casing may be installed. When casings are within 1" of corner walls, fill gap between casing and wall with S4S wood trim 1/8" thinner than casing. Closet doors shall be fully jambed and cased on both sides (Reach-in closets may have secondary casing type for interior, as approved by The Architect). Casing at bi-fold or bypassing doors shall be installed to conceal track and hardware above doors. **Shoe mould** shall be installed at all new hardwood, ceramic tile, vinyl, or other hard surface flooring. **Window casing** to include molded stool, miter-returned at ends, and apron of casing material, inverted and miter-returned at ends.

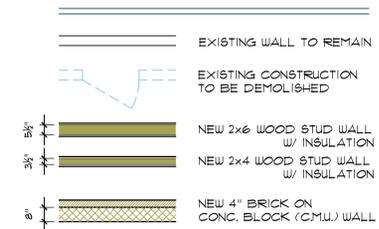
INTERIOR TRIM: All new woodwork shall be clear poplar, thoroughly seasoned and kiln dried, molded or S4S, no finger joints. **INTERIOR WOOD FLOORING:** to OPTION A: match existing species, dimension, and appearance - Confirm with Owner & Architect. Install at manufacturer recommended moisture contents over flooring felt and fasten to subfloor with concealed cut nails, all joints to be tight. Floor HVA/C registers shall be flush or surface mounted hardwood to match the surrounding flooring, with removable diffuser and adjustable air-flow regulators at supply registers. Feather new flooring areas into adjacent existing with staggered joints to conceal new flooring addition. Where abutting adjacent surfaces of a different level at doorways or other openings install full jamb width, sloped wood threshold to match species and finish or marble threshold with beveled sides as required to meet adjacent flooring (depending on bathroom threshold or not). **FLOORING FINISH:** Thoroughly machine sand to smooth, level finish. Finish with stain/sealer (color as approved by the Owner from samples provided by the Contractor) and three coats of polyurethane, varnish, or other finish as approved by the Owner. After thorough drying, protect finished floors with red rosin paper, taped in place, as necessary prior to Owner occupying space.

UNDERLAYMENT: at Ceramic Tile: Where ceramic tile is to be installed over thin-set mortar or epoxy, underlayment shall be 1/2" USG Dur-Rock waterproof cement-board.

CLOSET SHELVING and vertical supports to be constructed of 3/4" pre-finished A-A Birch plywood with 1/2" x 3/4" hardwood nosing, to include Pantry shelves. Where vertical shelving or closet rod supports are shown on plans, depth of such supports shall accommodate shelf depth shown or closet rod and ferrule. Shelf ledgers between vertical supports shall be 1x3 with ogee molded bottom edge.

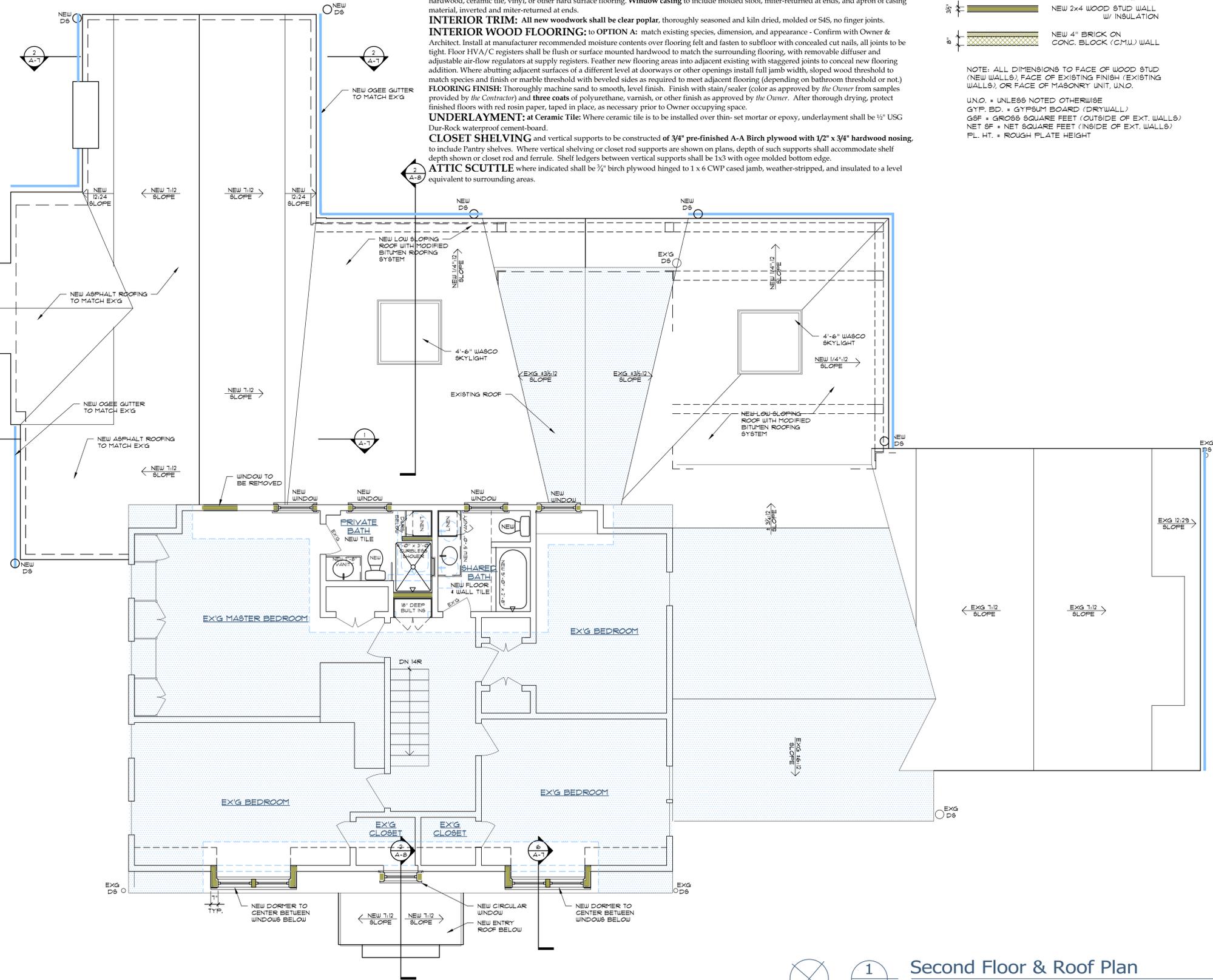
ATTIC SCUTTLE where indicated shall be 3/4" birch plywood hinged to 1 x 6 CWP cased jamb, weather-stripped, and insulated to a level equivalent to surrounding areas.

Wall Legend



NOTE: ALL DIMENSIONS TO FACE OF WOOD STUD (NEW WALLS), FACE OF EXISTING FINISH (EXISTING WALLS), OR FACE OF MASONRY UNIT, UNO.

UNO. = UNLESS NOTED OTHERWISE
 GYP. BD. = GYPSUM BOARD (DRYWALL)
 GSF = GROSS SQUARE FEET (OUTSIDE OF EXT. WALLS)
 NET SF = NET SQUARE FEET (INSIDE OF EXT. WALLS)
 PL. HT. = ROUGH PLATE HEIGHT



1
A-4

Second Floor & Roof Plan

1/4" = 1'-0"

Rebecca L. Pantuso, License No. 0914899
 Expiration Date 12/31/2019

CLEMENS PANTUSO

architect

Additions and Renovations to

The Corr Residence

290 Bicknell Drive Hudson, Ohio 44236

Second & Roof Plan, Spec. Div. 6

Job number	1822
Drawn by	HD
Date drawn	

Issued for

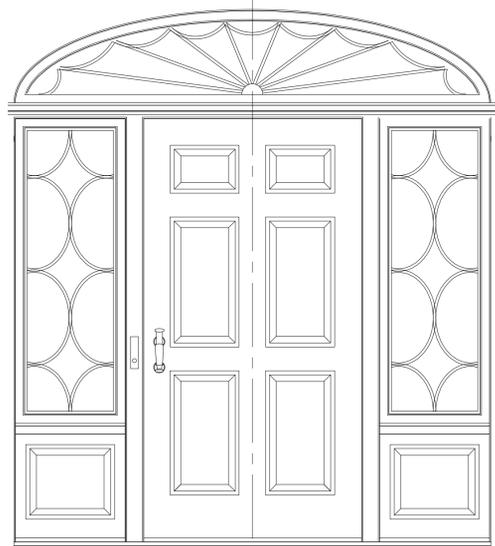
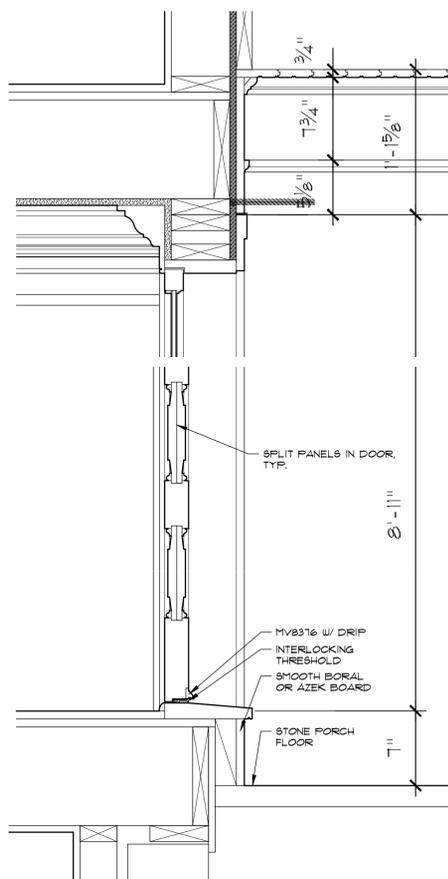
- 11.12.18 Client Review
- 12.20.18 Client Review
- 01.10.19 Client review
- 01.15.19 ARB Submittal
- 02.28.19 Client Meeting
- 04.16.19 ARB Submittal

Drawing number

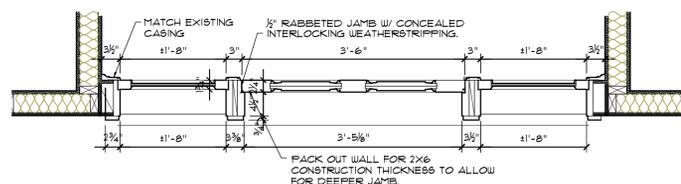
A-4

45 E. Washington St., Chagrin Falls, OH 44022
 tel 440.247.7767 fax 440.317.7752
 CLEMENS PANTUSO ARCHITECT

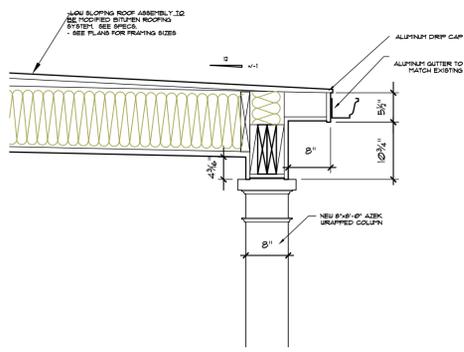
George Clemens Architecture Inc. 2018 ©



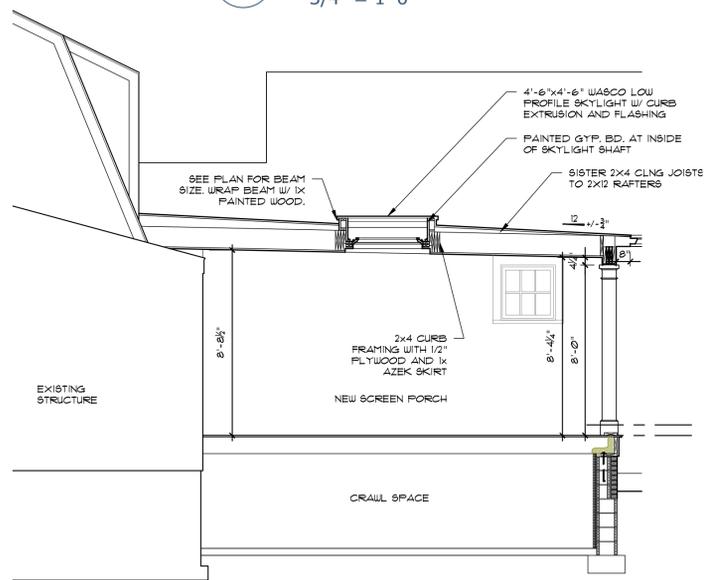
7
A-8
Door Elevation
3/4" = 1'-0"



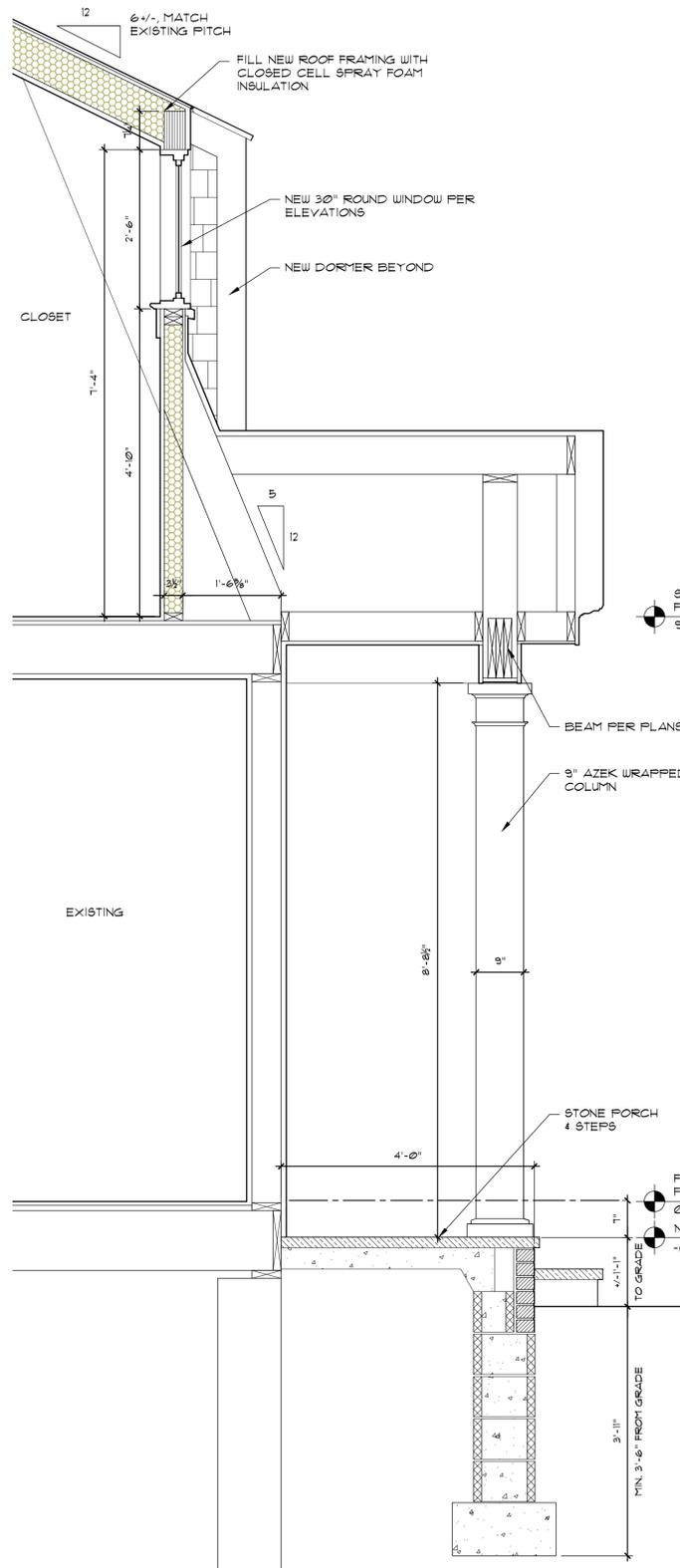
6
A-8
Door Surround Plan
3/4" = 1'-0"



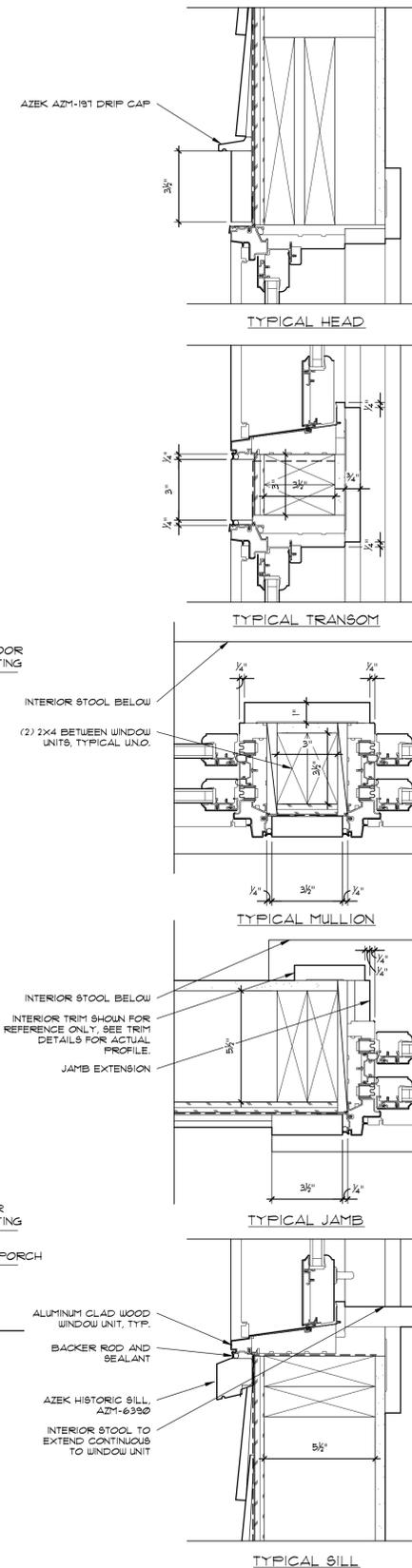
5
A-8
Soffit @ Screen Porch
3/4" = 1'-0"



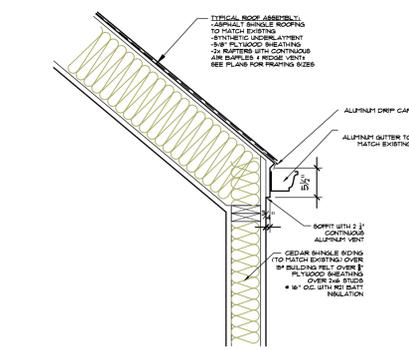
2
A-8
Building Section @ Screen Porch
3/4" = 1'-0"



3
A-8
Section @ Entry Porch
3/4" = 1'-0"



1
A-8
Wall Section
3/4" = 1'-0"



4
A-8
Soffit @ Steep Pitch
3/4" = 1'-0"

Additions and Renovations to

The Corr Residence

290 Bicknell Drive, Hudson, Ohio 44236

Details

Job number	1822
Drawn by	HD
Date drawn	

Issued for
01.10.19 Client Review
01.15.19 ARB Submittal
04.16.19 ARB Submittal

Drawing number

A-8







