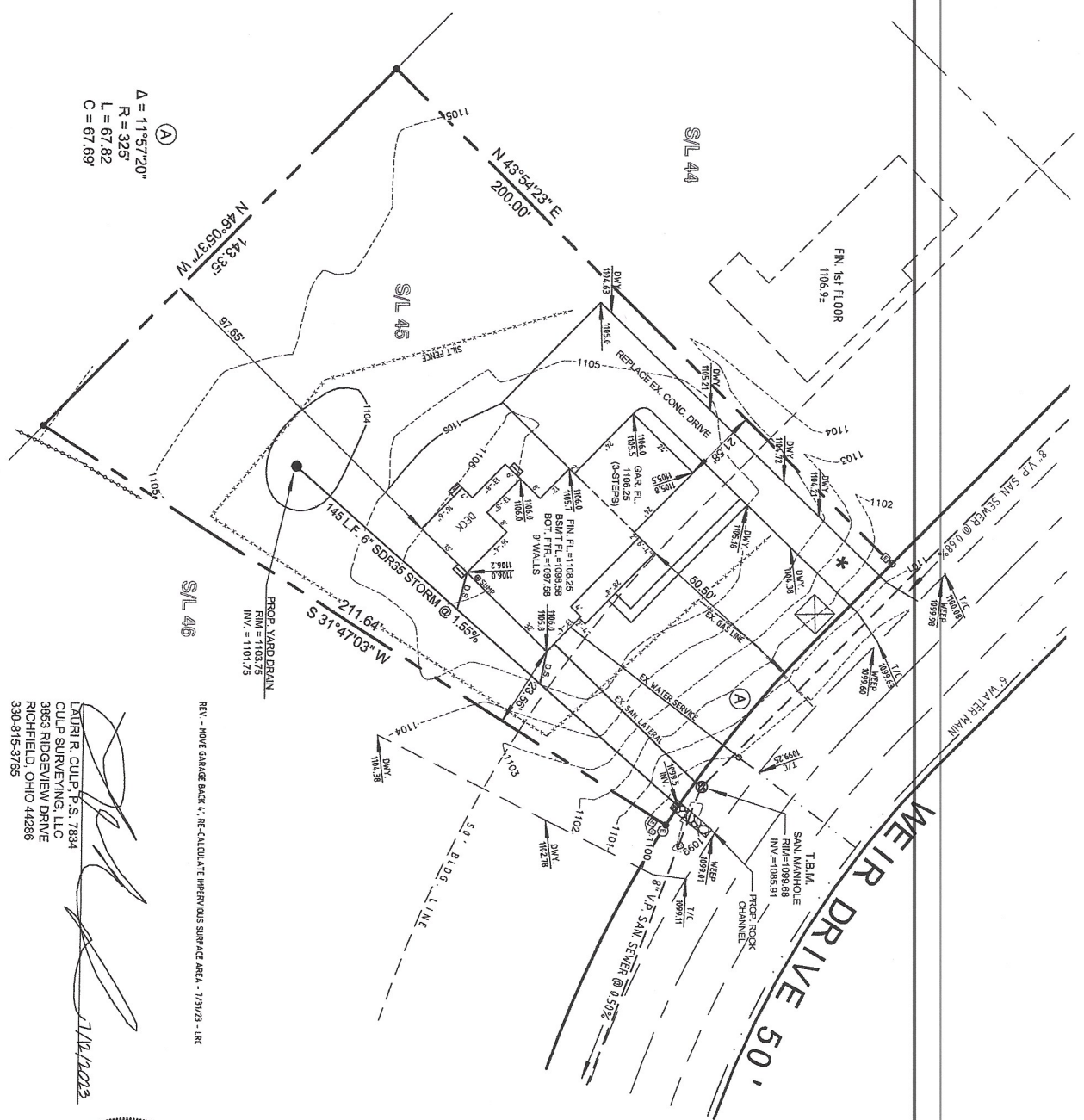


THE OWNER/CONTRACTOR MUST ALERT CULPS AT
1-800-362-2764 AT LEAST 48 HOURS BEFORE
EXCAVATION HAS BEGUN.



IMPERVIOUS SURFACE CALCULATIONS:
TOTAL LOT AREA = 24,533 S.F.
ALLOWABLE IMPERVIOUS SURFACE AREA (40%) = 9,813 S.F.
PROPOSED IMPERVIOUS SURFACE AREA = 4,804 S.F. (19.6%)

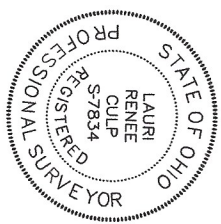
* NOTE:
THE EXISTING CONCRETE DRIVEWAY WILL SERVE AS THE
CONSTRUCTION DRIVE UNTIL COMPLETION OF THE
HOUSE. AT THAT TIME THE EXISTING DRIVEWAY WILL BE
REPLACED WITH A NEW CONCRETE DRIVEWAY.



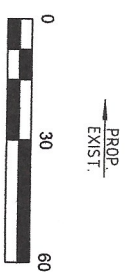
①
A = 11°57'20"
R = 325'
L = 67.82'
C = 67.69'

KEY - MOVE GARAGE BACK & RE-CALCULATE IMPERVIOUS SURFACE AREA - 7/9/23 - LRC

LAURI R. CULP, P.S. 7834
CULP SURVEYING, LLC
3853 RIDGEVIEW DRIVE
RICHTFIELD, OHIO 44286
330-315-3765
7/11/2023

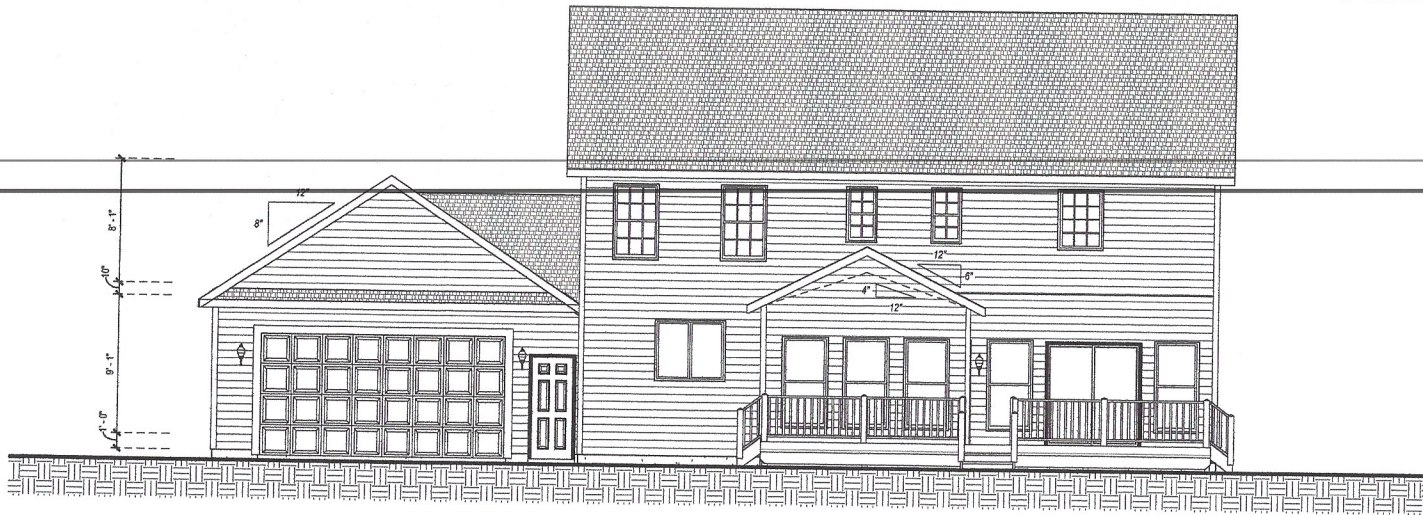


LOT IMPROVEMENT PLAN
2262 WEIR DRIVE
S/L 45 COLONY TERRACE No. 2
PPN 30-00930
CITY OF HUDSON
SUMMIT COUNTY, OHIO
JULY, 2023 SCALE: 1" = 30'

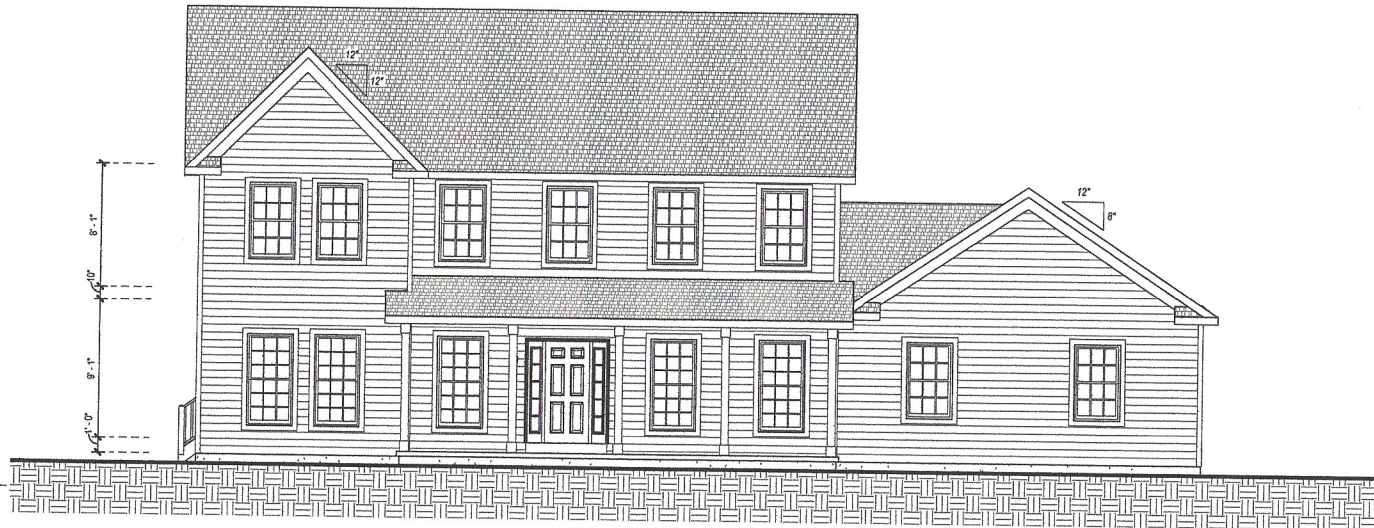


☒ = CONC. WASH-OUT PIT

PROP.
EXIST.



1 REAR ELEVATION
1/8" = 1'-0"



1 FRONT ELEVATION
1/8" = 1'-0"



PLAN NUMBER
HD2347
PETER & KATIE MANG
2262 WEIR DR.
HUDSON OHIO



DRAWN BY
STEVE DONANT
Room sizing and total square feet
may vary with elevation changes.
Rough openings and
hallways may vary.
Elevations are Artist's
conceptions.

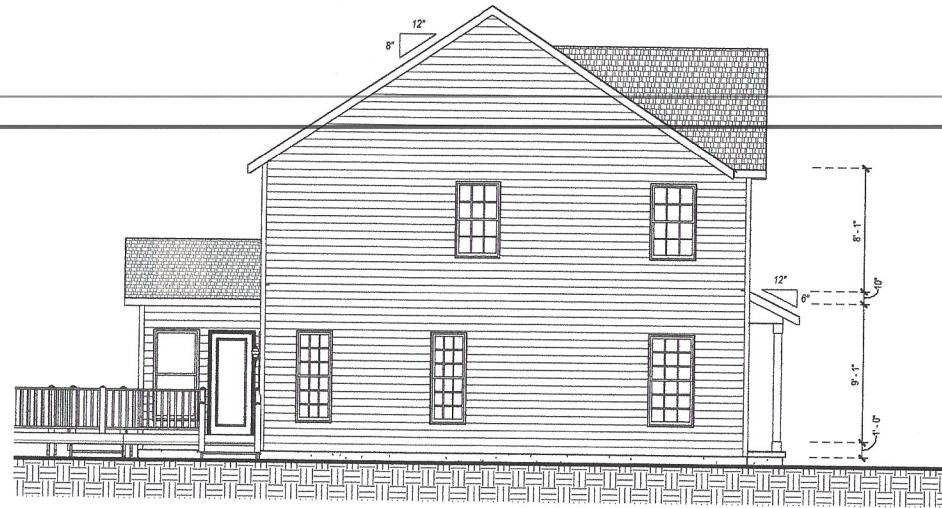
NAME	DATE
STEVE D.	6/29/23
STEVE D.	7/31/23

SCALE
1/8" = 1'-0"

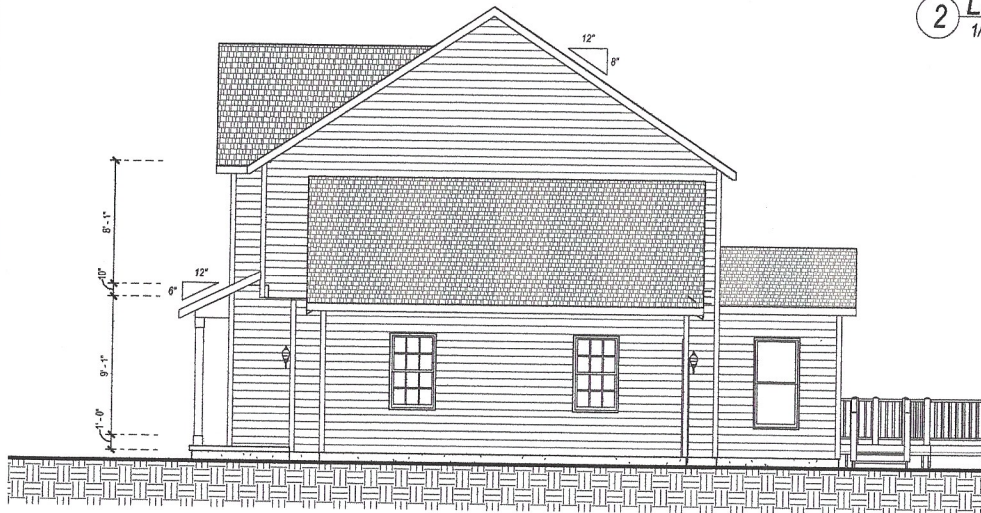
Square Feet	
1st	1341
2nd	1288
Total	2629
Garage	576

SHEET NAME
Front/Rear Elevations
SHEET NUMBER
1 OF 9

DRAWING STATUS: FINAL



2 LEFT ELEVATION
1/8" = 1'-0"



2 RIGHT ELEVATION
1/8" = 1'-0"



PLAN NUMBER
HD2347
PETER & KATIE MANG
2262 WEIR DR.
HUDSON OHIO



DRAWN BY
STEVE DONAHY
Room sizes and total square feet
may vary with elevation changes.
Rough openings and
hallways may vary.
Elevations are Artist's
conceptions.

REVISIONS	
NAME	DATE
STEVE D.	6/29/23
STEVE D.	7/31/23

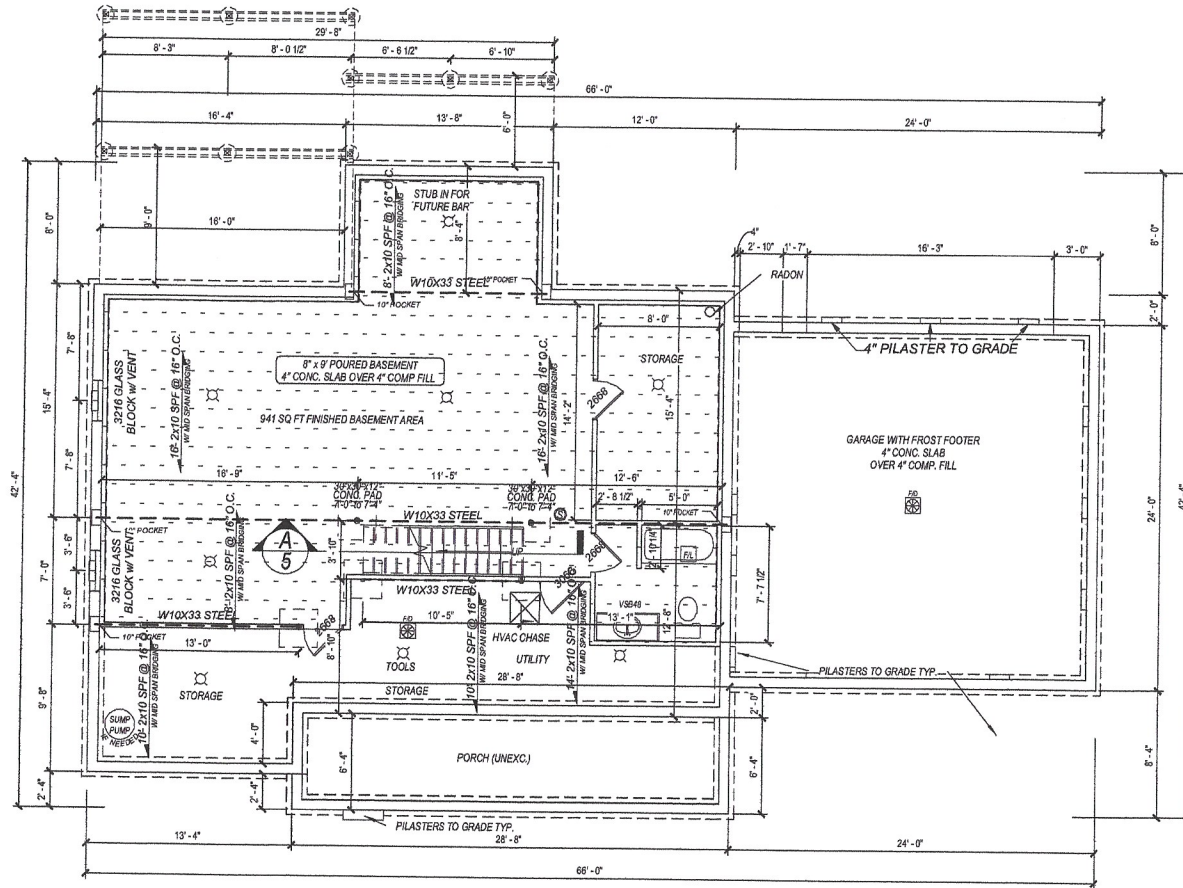
SCALE
1/8" = 1'-0"

Square Feet	
1st	1341
2nd	1288
Total	2629
Garage	576

SHEET NAME
Right/Left Elevations
SHEET NUMBER

2 OF 9

DRAWING STATUS: FINAL



Slab Sq. Ft.		Gravel (Tons)
Basement Slab	1234	
Garage Slab	540	
Porch Slab	185	
Grand total	1958	49
Footer Lin. Ft.		
Garage Footer	75'	
House Footer	204'	
Grand total	279'	

DRAWING STATUS: FINAL



PLAN NUMBER
HD2347
PETER & KATIE MANG
2262 WEIR DR.
HUDSON OHIO



DRAWN BY
STEVE DONAT
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may vary with elevation changes.

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conceptions.

REVISIONS
NAME DATE

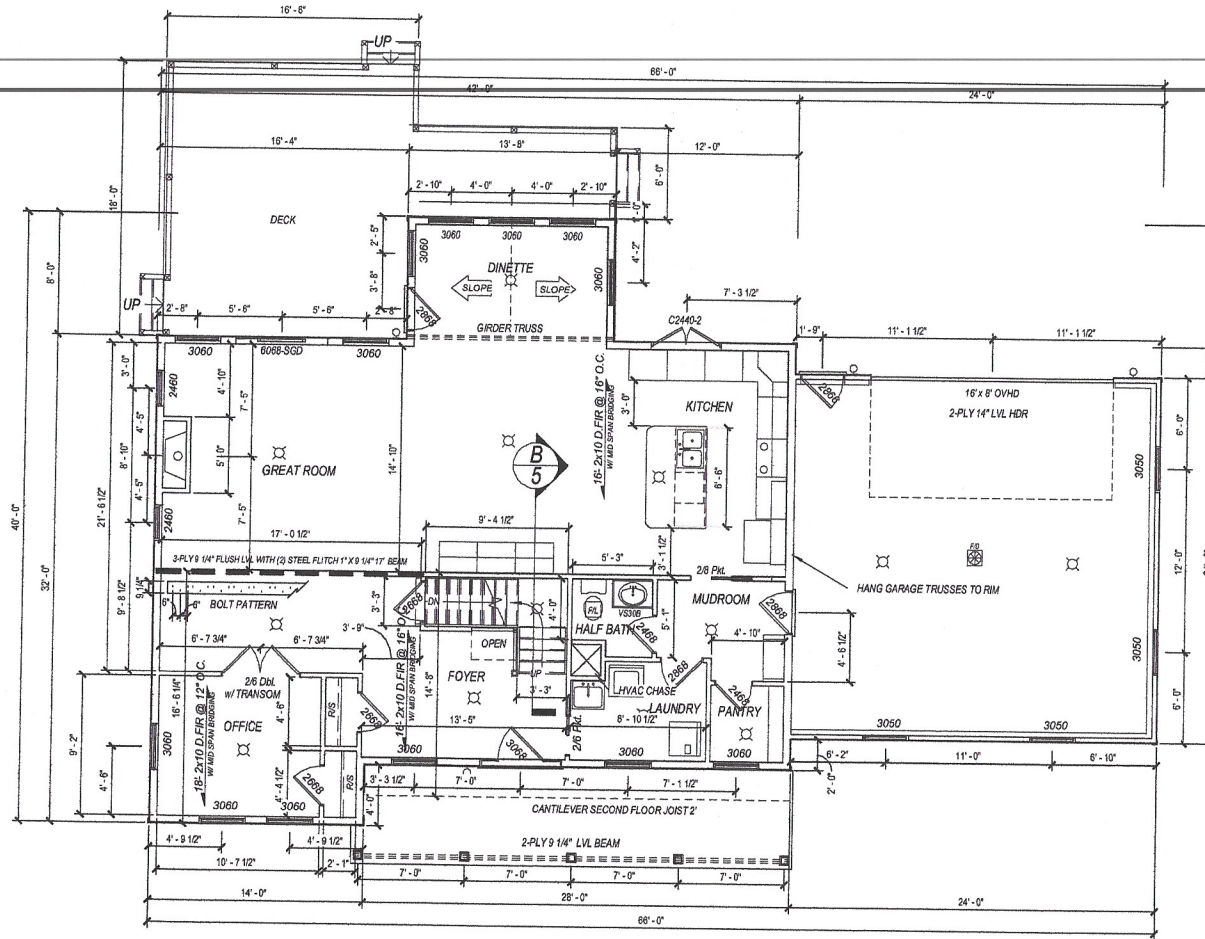
STEVE D. 6/29/23
STEVE D. 7/31/23

SCALE
1/8" = 1'-0"

Square Feet	
1st	1341
2nd	1288
Total	2629
Garage	576

SHEET NAME
Foundation Plan

SHEET NUMBER
3 OF 9



PLAN NUMBER
HD2347

HOME BY DESIGN

PETER & KATIE MANG
2262 WEIR DR.
HUDSON OHIO



DRAWN BY
STEVE DONAHY

Room sizing and total square feet
may vary with elevation changes.
Rough openings and
hallways may vary.

Elevations are Artist's
conceptions.

NAME	DATE
STEVE D.	6/29/23

NAME	DATE
STEVE D.	7/31/23

SCALE
1/8" = 1'-0"

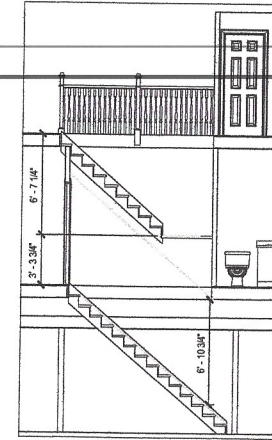
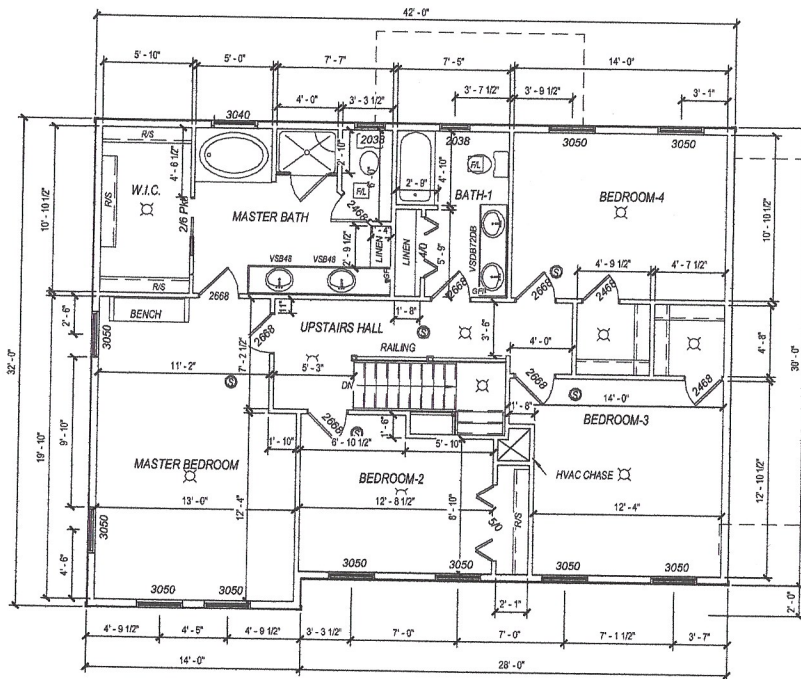
Square Feet

1st	1341
2nd	1288
Total	2629
Garage	576

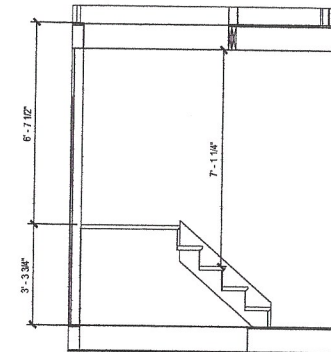
SHEET NAME
First Floor Plan

SHEET NUMBER
4 OF 9

DRAWING STATUS: FINAL

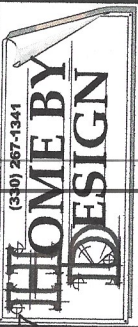


5 A
1/8" = 1'-0"



DRAWING STATUS: FINAL

5 B
1/4" = 1'-0"



PLAN NUMBER
HD2347
PETER & KATIE MANG
2262 WEIR DR.
HUDSON OHIO



DRAWN BY
STEVE DONANT
Room sizing and total square feet
may vary with elevation changes.
Rough openings and
hallways may vary.
Elevations are Artist's
conceptions.

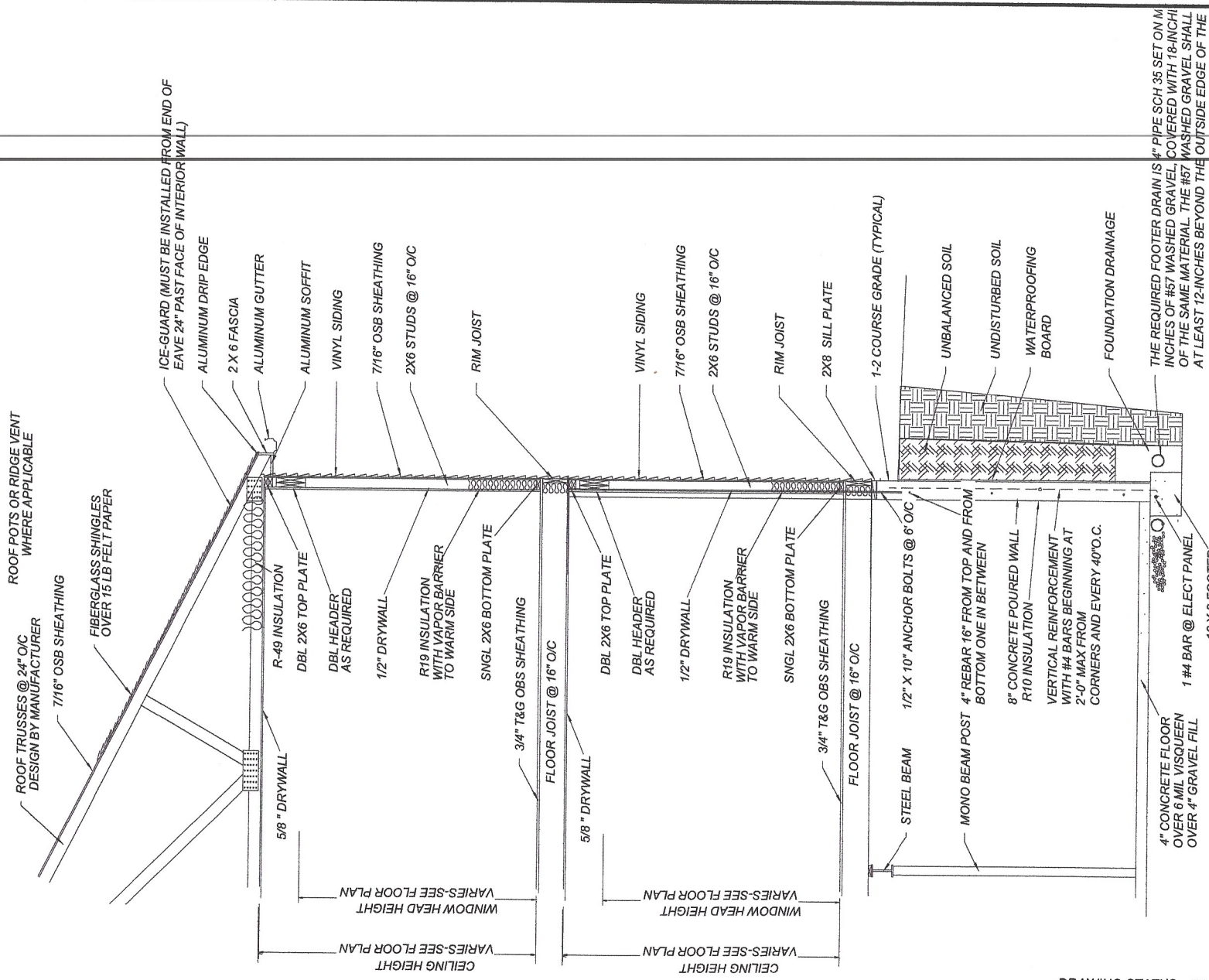
NAME	DATE
STEVE D.	6/29/23
STEVE D.	7/31/23

SCALE
1/8" = 1'-0"

Square Feet	
1st	1341
2nd	1288
Total	2629
Garage	576

SHEET NAME
Second Floor Plan

SHEET NUMBER
5 OF 9



TYPICAL WALL SECTION

DRAWING STATUS: FINAL

PLAN NUMBER
HD2347

HOME BY DESIGN
(330) 267-1341

PETER & KATIE MANG
2262 WEIR DR.
HUDSON OHIO

CAMDEN Builders INC.
330-697-0626

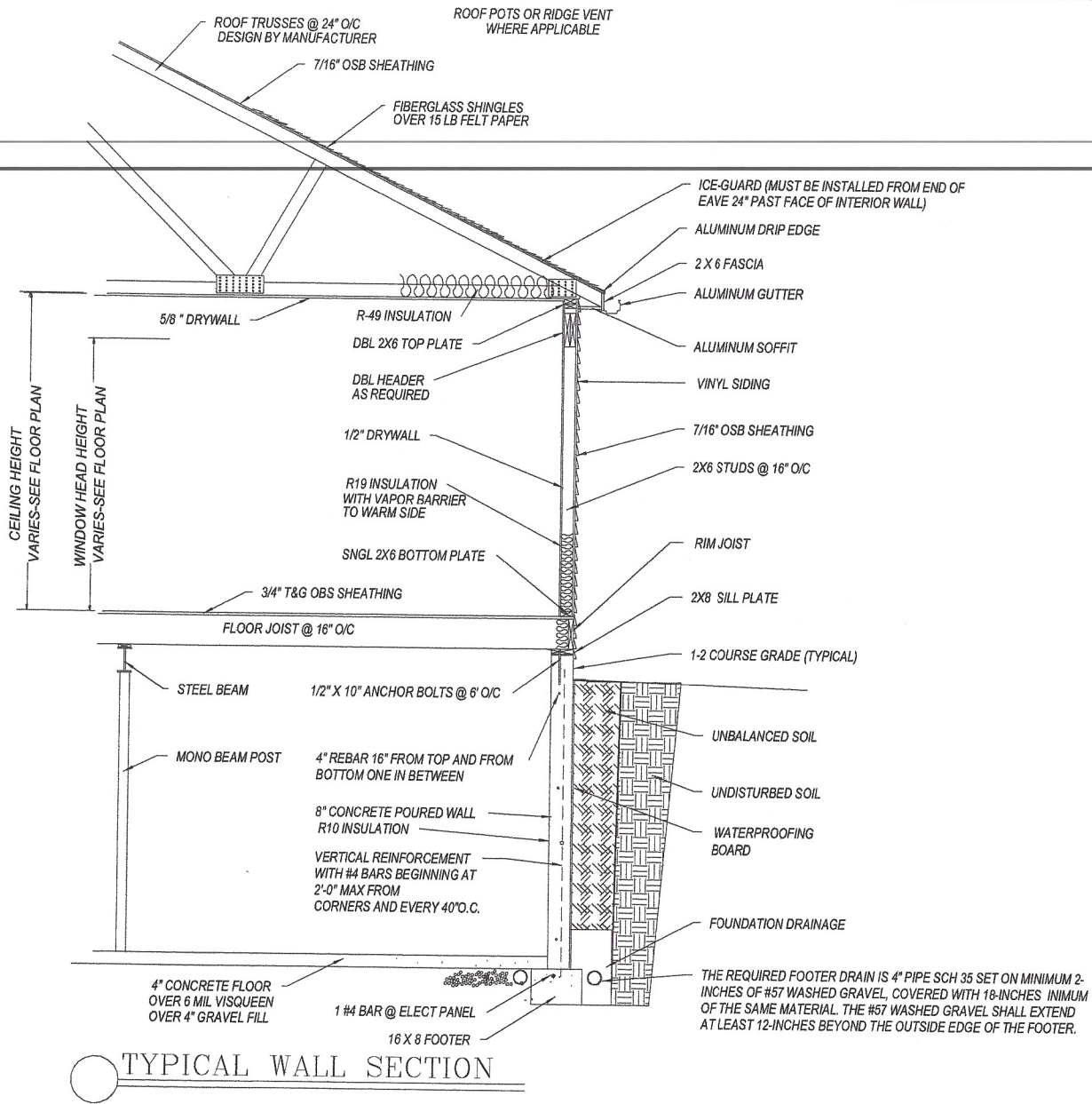
DRAWN BY
STEVE DONANT

Room string and total square feet may vary with elevation changes. Rough openings and hallways may vary. Elevations are Artist's conceptions.

NAME	DATE
STEVE D.	6/29/23
STEVE D.	7/31/23

SCALE	
1/8"=1'-0"	
Square Feet	
1st	1341
2nd	1288
Total	2629
Garage	576

SHEET NAME
SHEET NUMBER
Details
6 OF 9



DRAWING STATUS: FINAL



PLAN NUMBER
HD2347

PETER & KATIE MANG
2262 WEIR DR.
HUDSON OHIO



DRAWN BY
STEVE DONANT

Room sizing and total square feet may vary with elevation changes. Rough openings and hallways may vary. Elevations are Ardi's conceptions.

NAME	DATE
STEVE D.	6/29/23
STEVE D.	7/31/23
SCALE	1/8"=1'-0"

Square Feet	
1st	1341
2nd	1288
Total	2629
Garage	576

SHEET NAME
Details

SHEET NUMBER
7 OF 9

TABLE 507.2.3
FASTENER AND CONNECTOR SPECIFICATIONS FOR DECK

ITEM	MATERIAL	MINIMUM FINISH/COATING	ALTERNATE FINISH/COATINGS
Nails and timber rivets	In accordance with ASTM F1697	Hot-dipped galvanized per ASTM A153	Stainless steel, silicon bronze or copper
Bolts lag screws (including nuts and washers)	In accordance with ASTM F307 (bolts), ASTM A563 (nuts), ASTM F844 (washers).	Hot-dipped galvanized per ASTM A153, Class C (Class D for 3/8-inch diameter and less) or mechanically galvanized per ASTM B695, Class 55 or 410 stainless steel	Stainless steel, silicon bronze or copper
Metal Connectors	Per manufacturer's specification	ASTM A653 type G185 zinc coated galvanized steel or post hot-dipped galvanized per ASTM A153 providing a minimum average coating weight of 2.0 oz./ft. (total both sides)	Stainless steel

For ST: 1 inch = 25.4 mm, 1 for = 304.8 mm.

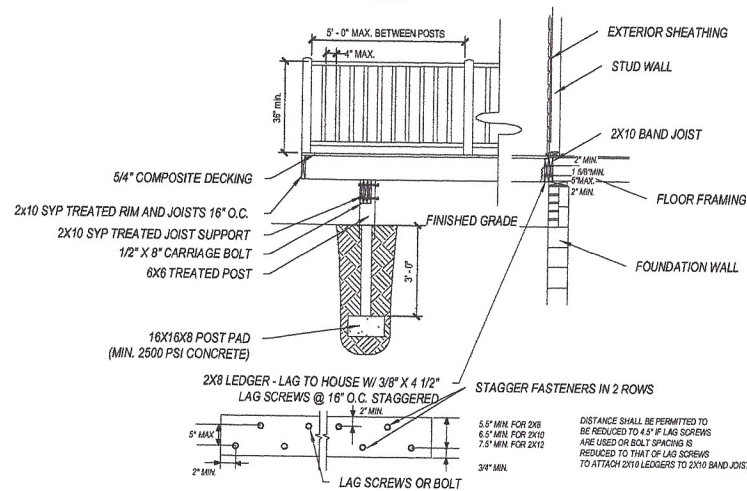
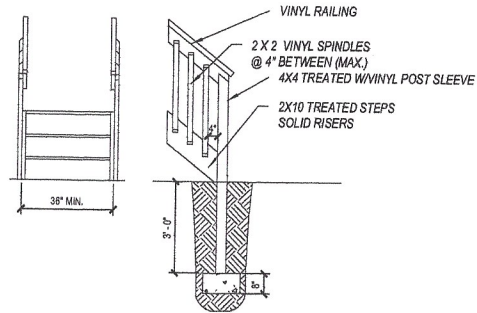
a. Equivalent materials, coating and finishes shall be permitted.

b. Fasteners and connectors exposed to salt water or located within 300 feet of a salt water shoreline shall be stainless steel.

c. Holes for bolts shall be drilled a minimum 1/32-inch and a maximum 1/16-inch larger than the bolt.

d. Lag screws 1/2-inch and larger shall be predrilled to avoid wood splitting per the National Design Specification (NDS) for Wood Construction.

e. Stainless-steel-driven fasteners shall be in accordance with ASTM F1697.



8 DECK TYPICALS1

1/4" = 1'-0"

DECK JOIST SPAN

SPECIES	SIZE	DECK BEAM SPAN LENGTHS *** (FEET * INCHES)						
		DECK JOIST SPAN LENGTHS OR EQUAL TO: (FEET)						
		6	8	10	12	14	16	18
	2 - 2X8	8 - 9	7 - 7	6 - 9	6 - 2	5 - 9	5 - 4	5 - 0
	2 - 2X10	10 - 4	9 - 0	8 - 0	7 - 4	6 - 9	6 - 4	6 - 0
	3 - 2X8	10 - 10	9 - 6	8 - 6	7 - 9	7 - 2	6 - 8	6 - 4
	3 - 2X10	13 - 0	11 - 3	10 - 0	9 - 2	8 - 6	7 - 11	7 - 6

a. Ground snowload, live load = 40 psf, dead load = 10 psf, 360 at main span, 180 at cantilever with a 220 point load applied at the end.

b. Beams supporting deck joist from one side only.

c. No 2 grade, wet service factor.

d. Beam depth shall be greater than or equal to depth of joist with a flush beam condition.

e. Includes incising factor.

f. Northern species, incising factor not included.

g. Beam cantilever are limited to the adjacent beam's span divided by 4.

PLACEMENT OF LAG SCREWS AND BOLTS IN DECK LEDGERS AND BAND JOISTS

Lag Screw	MINIMUM END AND EDGE DISTANCE AND SPACING BETWEEN JOISTS		ROW SPACING
	TOP EDGE	BOTTOM EDGE	
2 inches	2 inches	2 inches	12 inches
2 1/2 inches	2 1/2 inches	2 inches	12 inches
3 inches	3 inches	2 inches	12 inches

a. Lag screws or bolts shall be staggered from the top to the bottom along the horizontal run of the deck ledger in accordance with Figure 507.2.3.1.

b. Minimum 5 inches.

c. For engineered joist, the manufacturer's recommendations shall govern.

d. The minimum distance from bottom row of lag screws or bolts to the top edge of the ledger shall be in accordance with Figure 507.2.3.2.

DECK LEDGER CONNECTION TO BAND JOIST
(Check live load = 40 psf, dead load = 10 psf, snow load = 40 psf)

CONNECTION DETAILS	JOIST SPAN							
	6' and less	6' 1" to 8'	8' 1" to 10'	10' 1" to 12'	12' 1" to 14'	14' 1" to 16'	16' 1" to 18'	
	OH-WARRANT SPACING OF FASTENERS							
1/2 inch diameter lag screw with 1/2 inch minimum sheathing	30	23	18	15	13	11	10	
1/2 inch diameter bolt with 1/2 inch minimum sheathing	30	26	24	20	24	21	18	
1/2 inch diameter bolt with 1/4 inch minimum sheathing	30	26	29	24	21	18	16	

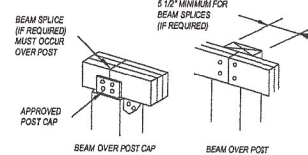
a. Indicated by fastener in accordance with Section 508.4 to prevent water from contacting the lower band joist.

b. Show band joist and be shown to not accompany with live load.

c. The top of the lag screw shall be exposed beyond the face of the band joist.

d. Sheathing shall be permitted to be used structural panel or solid sawn lumber.

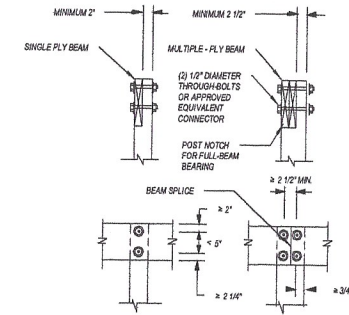
e. Sheathing shall be permitted to be used structural panel or solid sawn lumber. Sheathing shall be permitted to be used structural panel or solid sawn lumber. Sheathing shall be permitted to be used structural panel or solid sawn lumber.



DECK BEAM TO DECK POST

8 Deck Beam

3/8" = 1'-0"



8 Post Detail

1/2" = 1'-0"

DRAWING STATUS: FINAL

330-267-4341
HOME BY DESIGN

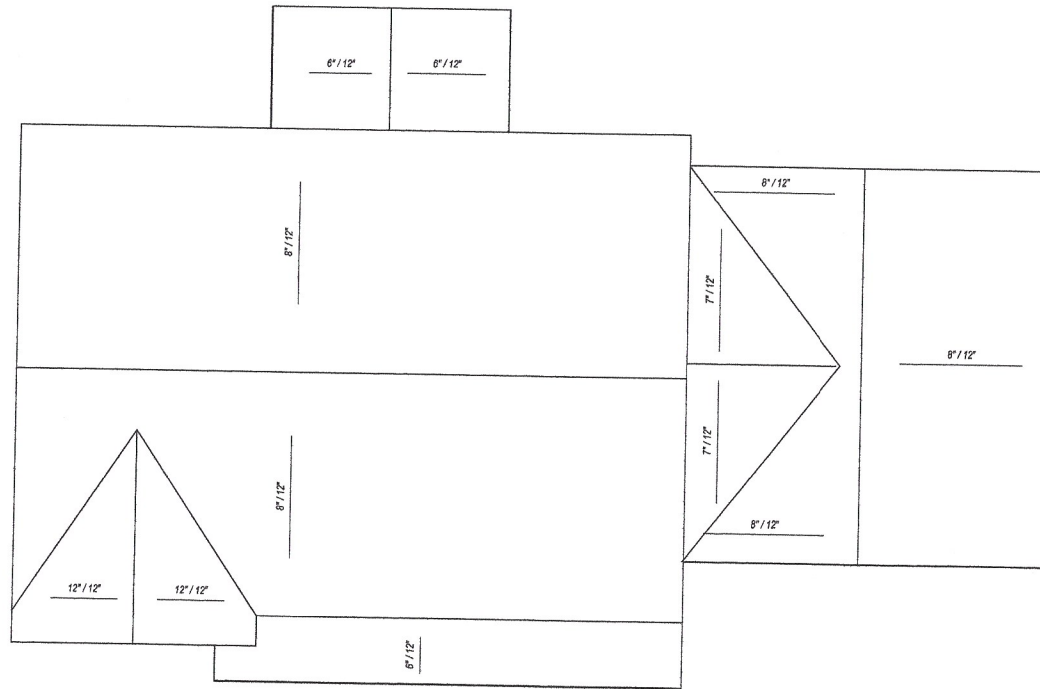
HD2347
PETER & KATIE MANG
2262 WEIR DR.
HUDSON OHIO

CAMDEN Builders INC.
330-697-0626

DRAWN BY
STEVE DONAHUE
Room sizing and total square feet may vary with elevation changes. Rough openings and hallways may vary. Elevations are Artist's conceptions.

REVISIONS
NAME DATE
STEVE D. 6/29/23
STEVE D. 7/31/23
SCALE
1/8" = 1'-0"

SHEET NAME
DECK DETAILS
SHEET NUMBER
8 OF 9



DRAWING STATUS: FINAL



PLAN NUMBER
HD2347
PETER & KATIE MANG
2262 WEIR DR.
HUDSON OHIO



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STEVE DONAHY
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conceptions.

REVISIONS	
NAME	DATE
STEVE D.	6/29/23
STEVE D.	7/31/23
SCALE	
1/8" = 1'-0"	

Square Feet	
1st	1341
2nd	1288
Total	2629
Garage	576

SHEET NAME
Roof Layout
SHEET NUMBER
9 OF 9