

**Spec. Div. 1: General Requirements**

**BUILDING CODE:** All work under this contract shall be subject to the **RESIDENTIAL CODE OF OHIO for One-, Two- and Three-Family Dwellings**, latest edition, and all municipal and local laws and regulations.  
**CONTRACT:** The Owner will enter into a working relationship with the selected General Contractor based on an agreement format proposed by General Contractor and approved by The Owner, or by using "Agreement Between Owner and Contractor for Construction Projects of Limited Scope-AIA Document A107," which shall include The General Conditions of A107 which are hereby made a part of these Specifications and The Contract Documents. The Contract Documents, including The Drawings, Specifications, and General Conditions are complimentary and what is required by one shall be as if required by all.

Generally, the Specifications take precedence over the Drawings and The General Conditions of the Contract take precedence over the Specifications. Should conflicts occur within the Contract Documents, The Contractor is assumed to have based his cost on the more expensive method of performing the Work unless The Architect has issued clarification before submittal of the Bid Proposal or The Contractor has specifically clarified the issue within his proposal.

When applying for subsequent draws, The Contractor shall submit to The Owner an Affidavit of Release of Liens (AIA-G706) for amounts previously paid to The Contractor by The Owner or a lending institution. The Release of Liens (AIA-G706) shall be presented from himself, all subcontractors, suppliers of material and equipment and all performers of Work, labor or services.

**INSURANCE:** Before beginning the Work, The Contractor shall provide to The Owner a Certificate of Insurance for an amount equal to the Contract Amount and shall also provide a copy of his current Worker's Compensation Certificate. He shall also provide proof of Builder's Risk and Liability Insurance. The Owner will obtain or increase existing Homeowner's Insurance to cover work incorporated into the job.

**JOB SITE SECURITY/SAFETY/CONDITION:** Barriers, barricades, signs or warning lights, and other safety devices shall be provided to insure safety to The Owner, workers, and the general public from hazardous conditions which may arise as a result of the work. The Contractor shall utilize all means necessary during demolition and construction to insure that all new construction and existing finished spaces are thoroughly protected from vandalism, theft, water and wind damage; and shall remedy/replace, at The Contractor's expense, any such damage that does occur.

**Debris:** On a daily basis The Contractor shall place all construction debris in a mobile refuse container, located where agreed with The Owner, to insure a safe, orderly and clean construction site. All debris shall be removed at completion of the project. No burying or burning of construction debris shall be permitted unless approved in advance by The Owner.

**PORTABLE TOILET:** The Contractor shall provide a portable toilet for use by all personnel, located where directed by The Owner, which shall be cleaned and serviced on a regular basis. The Contractor may use existing facilities only if The Owner has provided written approval prior to signing a contract. Expectations of cleaning and use shall be clearly discussed in advance.

**MATERIALS PROTECTION/STORAGE:** Construction materials stored outside shall be covered and protected with weatherproof tarps. Wood and similar materials shall not be stored in contact with the ground.

**WARRANTY:** The Contractor shall provide to The Owner a minimum one-year guarantee on materials, equipment and workmanship to commence at the point of substantial completion for all contract work. The Contractor shall furnish The Owner with copies of all equipment guarantees and Owner's Manuals.

**WORK:** Before submitting his Bid Proposal, The Contractor shall visit the Project Site and familiarize himself with existing conditions and shall carefully study and compare the Contract Documents with the existing conditions and report to The Architect any errors, discrepancies, inconsistencies or omissions, and materials, products, systems, procedures, and construction methods shown or specified which are incorrect, inadequate, obsolete, or unsuitable for actual field conditions discovered, or which The Contractor would not warrant as required by The Contract Documents.

Prior to ordering materials or doing work at the site, The Contractor shall verify dimensions and conditions affecting materials to be ordered or work to be done, to insure that information shown on The Contract Documents accurately reflects actual conditions, and shall not proceed without The Architect's instructions if there are omissions, errors, discrepancies or inconsistencies.

The Contractor shall provide all labor, material, equipment, apparatuses and accessories required to complete all work shown on these drawings, or reasonably implied and necessary for the completion of the project. All materials and equipment to be installed following manufacturers' instructions and best construction methods and standards.

The Contractor shall obtain and pay for all required permits, royalties, shipping charges, fees and licenses and shall arrange for all inspections necessary for the proper execution of the Work. Approval Certificates shall be posted in a prominent, central location and per local authority's requirements.

Substitutions for items herein specified, or shown on Drawings, must be approved by The Architect. The phrase "or equal" in the Drawings or Specifications shall be interpreted as meaning equal in the opinion of the Architect, and must have his approval prior to ordering.

A copy of the Drawings and Specifications, any Addenda issued before or during construction, and all detail drawings submitted during construction, shall be kept and maintained in a suitable condition on the site for use by the Owner, Architect, General Contractor, and all tradesmen.

**EXISTING CONDITIONS:**

**RE-USE/PRESERVATION:** Prior to demolition, The Owner shall call Habitat for Humanity ReStore 330.745.9098 for any potential donations.

Within the area of demolition, The Contractor shall ask The Owner for any items to be preserved and shall furnish an additional cost to carefully dismantle any and all beams, doors, trim, and cabinets, etc., as requested by The Owner, stockpiling where directed by The Owner.

**SELECTIVE DEMOLITION:** Where any portion of an existing structure is to be removed, the remaining structure shall be shored, braced or underpinned as may be required prior to beginning the demolition. Temporary support shall remain in place until permanent support or construction is completed. Contractor to include removal, termination, or relocation of all existing electrical, plumbing, HVAC, phone/TV antenna or cable/stereo wiring, central vacuum, electronic pet barriers, lawn irrigation systems, or other devices as required for demolition or new construction.

**WASTE REMOVAL:** All other waste and debris from demolition work shall be removed from site using a recycling waste removal service offering 85% minimum repurposing/recycling of existing building materials. Waste service provider to be approved by The Architect.

**INDOOR AIR QUALITY:** To minimize intrusion of dust and other debris, HVAC registers shall be covered and sealed during the demolition and construction phases.

Duct cleaning per NADCA standards is required upon completion of project. Contractor to use a well-controlled brushing of duct surfaces in conjunction with contact HEPA vacuum cleaning to dislodge dust and other particles. See Specifications Div. 15 for further mechanical requirements.

**PROJECT CLEANING:** At the completion of the project, and during the project as may be appropriate, The Contractor shall thoroughly clean all work, including, but not limited to, the following: removal of mortar spatters or stains from all interior and exterior masonry; removal of masonry waterproofing above finish grade; removal of any spatters or stains from exterior siding, roofing, or other exterior materials; removal of all stains from all exposed concrete work, except for Crawl Space concrete; removal of stains and cleaning of counter tops, ceramic tile, plumbing fixtures and fittings, etc.; thorough cleaning of faucet screens and plumbing traps; vacuuming of all floors, followed by wet mopping of hardwood, ceramic, stone or other hard surface floors; dusting of all walls, ceilings, trim, doors, windows, cabinets, etc., including the interiors of all cabinets; removal of all window and door stickers, paint or stain overlapping on glass, and other glass spatters; polishing of all windows, mirrors or other glass.

In addition, The Contractor shall be responsible for the removal, including final vacuuming, of all construction, or other, debris from joist, rafter, stud, or other cavities prior to concealing with flooring, drywall

**ENERGY AUDIT:** Upon project completion, The Owner shall separately contract with an approved energy auditor licensed by RESNET. Audit shall include infiltration test w/blower-door, and full energy loss analysis.

**RADON TESTING:** The Owner shall separately contract for Radon Testing services. If test results in more than 4 pCi/L, mitigation shall strictly follow EPA standards.

**Spec. Div. 2: Site Work and Excavation**

**SITE ACCESS:** The Contractor shall access the site, stockpile construction materials and park construction vehicles and equipment where agreed with The Owner. Work shall be executed in a manner to minimize damage to existing drives, walks, lawns, plantings, trees, house, utilities, etc. Any such items that are damaged by construction activities shall be repaired to their original condition at The Contractor's expense.

The Contractor shall remove topsoil in areas of new excavations, if any, and stockpile where agreed with The Owner

for reuse as finish grading material. The Contractor shall limit site disturbance to minimum required for access and mobility.

**SOIL EROSION PROTECTION:** Slopes greater than 12% and open and exposed soil areas including any stockpiles of subsoil or topsoil shall be enclosed with straw wattles, fiber rolls, straw bale dams, or other recycled materials to prevent soil from washing onto adjacent property or into drainage paths. Such barriers shall be maintained during all construction phases of work, through final grading.

**TREE PROTECTION:** The Contractor shall actively protect all trees onsite unless requested otherwise by The Owner or on the drawings. Before heavy equipment is employed on site, PROTECTION FENCING must be erected where required to prevent root damage by equipment travel within tree drip line. The Contractor shall obtain approval of The Owner prior to removal of any trees not directly within perimeter of new construction.

**TREE/PLANTINGS REMOVAL:**

The Contractor shall remove existing trees as required for construction and as agreed upon with The Owner. Trees shall be limbed and cut into firewood and stacked if so directed by The Owner. (Brush and Stumps) shall be chipped and reused for mulch. The Contractor shall coordinate with local yard waste recycling facility.

**EXCAVATION:** Prior to beginning any excavation work, The Contractor shall ascertain the location of all underground utilities and services, using utility company location services if necessary, and carefully avoid damage to these items, or interruption of service, to include electric, phone, water, gas, sanitary/storm sewers, etc. The cost to repair and restore any damage to such services shall be paid for by The Contractor.

The Contract Documents have been prepared with an assumed soil bearing capacity of 2,000 psf. No sub-surface geotechnical report or soil bearing logs have been provided or reviewed prior to design of this work. The Contractor shall verify soil conditions and shall notify The Architect and The Owner of any suspected or unusual soil conditions that may affect the footing or foundation work, and shall not proceed until so directed. No new work shall bear on unusual or questionable soil. Excavate to depths as required to provide floor levels as shown on Drawings. Provide a minimum footing depth of 3'-6" below grade. If existing footings are shallower than new adjacent footings, DO NOT disturb soil, call The Architect for further instructions BEFORE proceeding. Minimize over-digging and do not allow water to stand in excavation (pump as required). Stockpile excavated subsoil needed for back-filling and grading where agreed with the Owner and dispose of any remaining soil off-site.

**FOOTING DRAINS:** Install 4" dia. Schedule 35 perforated footing drains, holes oriented down, at the interior and exterior of all footings, with minimum slope of 1/16" per L.F. Exterior footing drain system shall include a minimum of (2) flush ports, or clean-out risers to grade, with threaded PVC caps, and shall be wrapped in silt filter fabric. Filter fabric shall wrap an additional 6" radius of gravel around the pipe; fabric shall not be tightly wrapped to pipe itself. Layout and install where required to permit cleaning of all footing drains. Plug ends of downspout and footing drains when work is in progress to prevent clogging, and clean out before covering.

Note: existing invert heights must be low enough to allow for proper placement and slope of new footer drains, and The Owner and The Architect must be notified immediately if the existing system is not of proper depth or is otherwise inadequate. Any alternate drainage system must be approved by The Architect, The Owner and by The Building Inspector.

**DOWNSPOUT DRAINS:** The Contractor shall connect new boots to the existing downspout drainage system using 4" dia. Schedule 35 solid PVC with minimum slope of 1/8" per L.F. No connection with the footing drainage system is allowed, except downstream combination to storm main exit pipe.

**BACK-FILLING:** Foundations shall not be back-filled until Crawlspace or Basement floor slab and First Floor deck are in place or until walls are adequately braced to accommodate loading. Before backfilling, thoroughly clean all excavations around foundations and any retaining walls of all masonry and other construction debris. Backfill around foundation shall be smooth, rounded, washed river stone to within 6" of finished grade. Backfill top 6" with clean soil. Excavations for utilities under steps and/or terraces shall be filled with granular material.

**GRADING:** Prior to final grading, clean site of all construction debris. Rough grade with clean excavated subsoil in a fashion to continue natural contours and provide good drainage away from house. Provide drainage swales or yard drains connected to storm sewers for any low areas where surface water is likely to collect. The Contractor shall be responsible for insuring that finish grades are a minimum of 8" below siding/sill plate, and that all surface water drains away from house. Finish grade with stockpiled topsoil and provide additional topsoil if necessary. New grading to be reseeded.

**DRIVEWAY:** N.I.C.

**Project Description**

THE PROJECT SCOPE INCLUDES THE RENOVATION AND ADDITION OF AN EXISTING RESIDENCE.

**Design Loads**

SEISMIC DESIGN CATEGORY: "B"  
 WIND SPEED (mph): 115

1. FLOOR LIVE LOADS:	
FIRST FLOOR:	40 psf
SECOND FLOOR:	30 psf
FLOOR DEAD LOADS:	10 psf
2. ROOF LIVE LOADS (SNOW):	30 psf
ROOF/CEILING DEAD LOAD:	12 psf
TOTAL ROOF LOADING:	42 psf

**Project Area**

EX'G FIRST FLOOR AREA:	2600	SF
NEW FIRST FLOOR AREA:	+70	SF
NEW SCREEN PORCH AREA:	+275	SF
NEW FRONT PORCH AREA:	+53	SF
EX'G SECOND FLOOR:	1224	SF
NEW SECOND FLOOR:	+44	SF
EX'G ATTACHED GARAGE:	676	SF
TOTAL LOT COVERAGE (IMPERV.):	6715	SF
LOT AREA:	17,000	SF
PERCENTAGE LOT COVERAGE:	39.9%	

**Project Team**

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 CLEMENS PANTUSO ARCHITECTURE  
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2 Proposed Front Elevation  
 A-1 NTS



1 Existing Front Elevation  
 A-1 NTS

Rebecca L. Pantuso, License No. 0914809  
 Expiration Date 12/31/2019

**CLEMENS PANTUSO**

a r c h i t e c t u r e

George Clemens Architecture Inc. 2018 ©

45 E. Washington St., Chagrin Falls, OH 44022  
 tel 440.247.7767 fax 440.317.7752  
 CLEMENS PANTUSO ARCHITECTURE

Additions and Renovations to

The Gasparovic Residence  
 74 Fox Trace Lane, Hudson OH 44236

**Title Sheet, Elevation, Specs DIV 1-2**

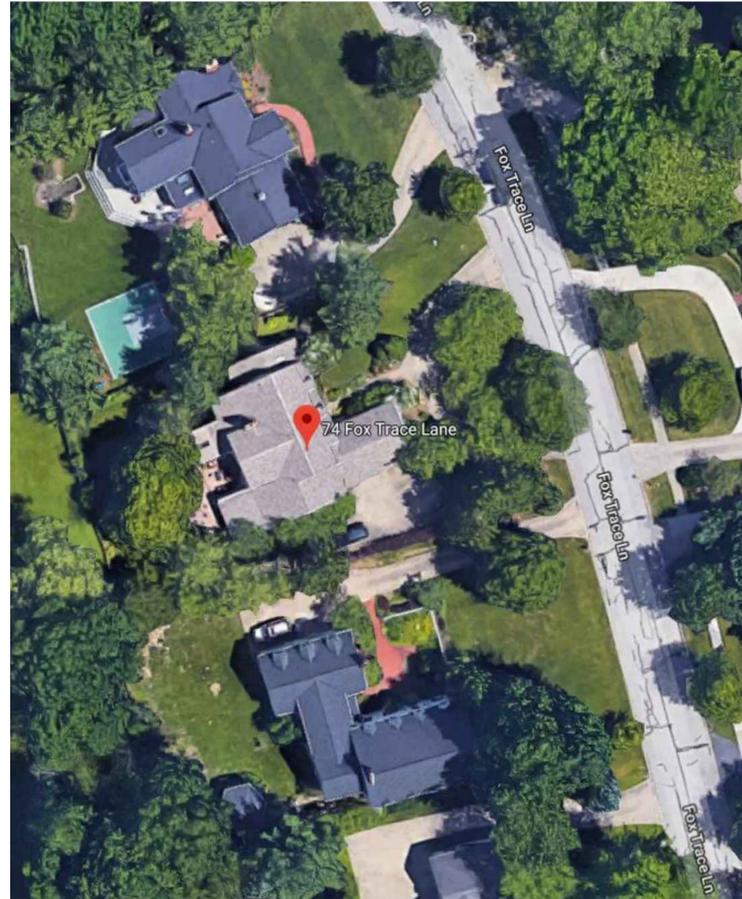
Job number	1845
Drawn by	AR / RLP
Date drawn	

Issued for

- 12.14.18 Client Review
- 01.10.19 Client Review
- 02.08.19 Review
- 02.20.19 Review
- 02.22.19 Permit Set
- 03.05.19 Bid Set
- 07.12.19 Revisions

Drawing number

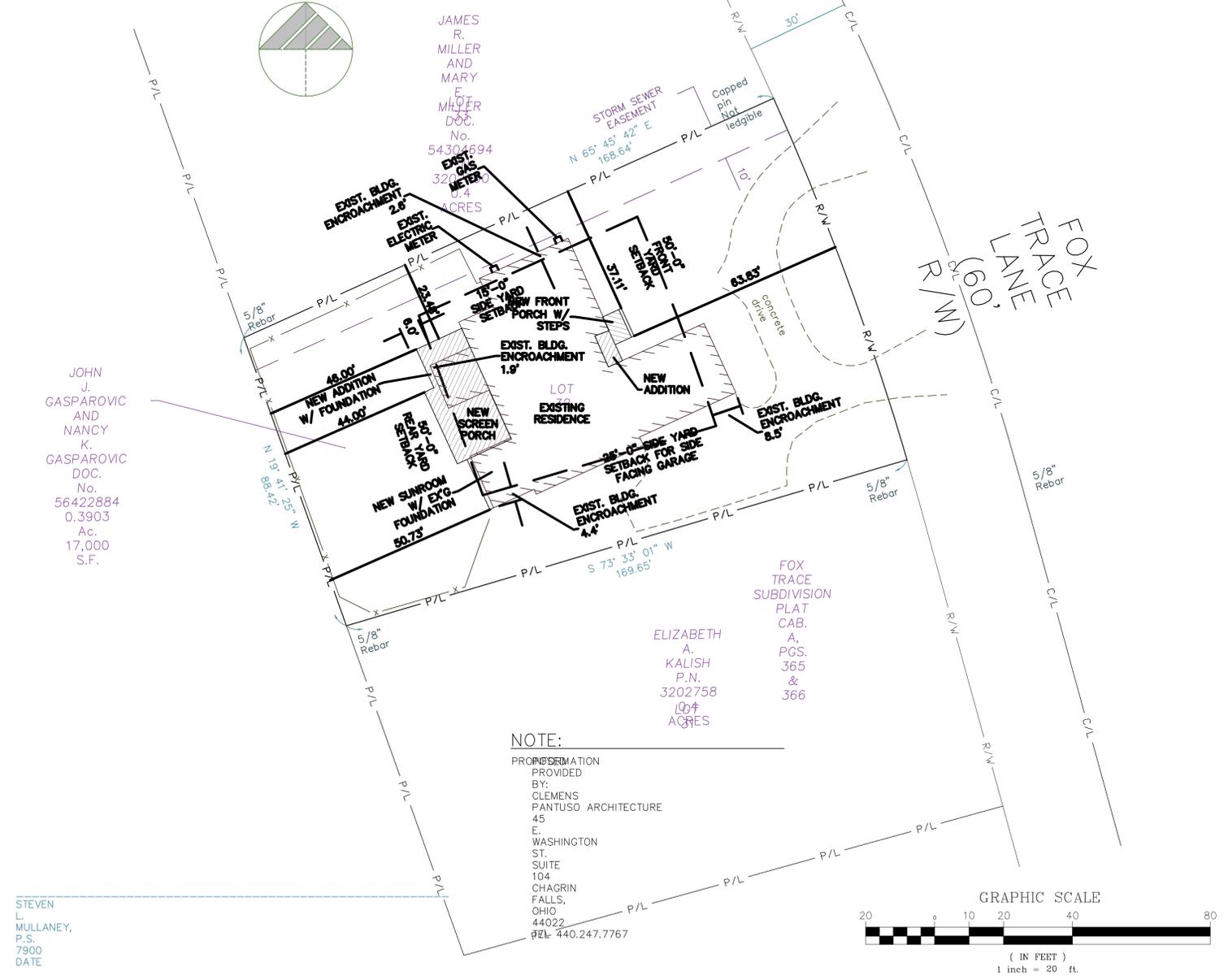
**A-1**



BASIS OF BEARING: \_\_\_\_\_  
 STATE PLANE GRID NORTH,  
 NAD 83 (2011), OHIO NORTH  
 ZONE.  
 TIED BY GPS TO THE O.D.O.T.  
 VRS.

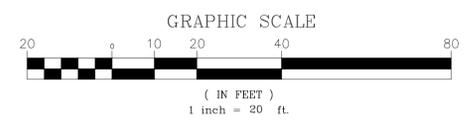
## 74 FOX TRACE LANE SURVEY

PART OF ORIGINAL HUDSON TOWNSHIP LOT 47  
 CITY OF HUDSON  
 COUNTY OF SUMMIT  
 STATE OF OHIO



STEVEN  
 L. MULLANEY,  
 P.S.  
 7900  
 DATE

**NOTE:**  
 PROMISEMENT  
 PROVIDED  
 BY:  
 CLEMENS  
 PANTUSO ARCHITECTURE  
 45  
 E.  
 WASHINGTON  
 ST.  
 SUITE  
 104  
 CHAGRIN  
 FALLS,  
 OHIO  
 44022  
 TEL: 440.247.7767



PROJECT MANAGER	DESIGNER
SLM	JEK

1 of 1

- LEGEND:**
-  EXISTING IRON PIN FOUND AS NOTED
  -  EXISTING MONUMENT BOX FOUND AS NOTED
  -  DECIDUOUS TREE
  -  EVERGREEN TREE
  -  EXISTING FENCE

Rebecca L. Pantuso, License No. 0914899  
 Expiration Date 12/31/2019

**CLEMENS PANTUSO**  
*architecture*

Additions and Renovations to  
 The Gasparovic Residence

74 Fox Trace Lane, Hudson OH 44236  
**Site Plan (By others)**

Job number	1845
Drawn by	AR / RLP
Date drawn	

Issued for

- 12.14.18 Client Review
- 12.18.18 BZA Submit
- 12.31.18 BZA Submit
- 01.02.19 BZA Submit
- 01.10.19 Client Review
- 02.08.19 Review
- 06.19.19 Revisions

Drawing number

S-1

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 tel 440.247.7767 fax 440.317.7752  
 CLEMENS PANTUSO ARCHITECTURE

**Spec. Div. 3: Concrete**

**GENERAL:** Cast-in-place concrete construction shall conform to the latest edition of American Concrete Institute ACI-301, 305, 306, 315, 318, and 347, unless noted otherwise. Slump for all classes of concrete to be between 4" and 5" (ASTM C-143). Concrete shall be discharged at the site within 1 1/2 hours after water has been added to the cement and aggregates. Addition of water to the mix at the project site will not be permitted. CONCRETE WASTE and wash water should be returned with each concrete truck for disposal at the concrete batch plant. If this is not possible, operators can install prefabricated or built on-site concrete washout area per *The Architect's* instructions. Contractor must not wash out concrete trucks onto the ground, or into storm drains, open ditches, streets, or streams. Do not allow excess concrete to be dumped onsite, except in designated concrete washout areas. **COMPRESSIVE STRENGTH:** The compressive strength of concrete in 28 days shall be as follows:

Grout:	2,500 psi minimum
Footings and Interior slabs:	3,000 psi
Exterior and Garage slabs-on-grade:	4,000 psi with 6% +/- 1% Air-entrainment

Water/Cement Ratio: The water/cement ratio shall not exceed the following:

Comp. Strength	Non Air-entrained	Air-entrained
3,000 psi	0.58	0.58
4,000 psi	0.53	0.44

**REINFORCING:** Concrete steel reinforcing bars shall conform to ASTM A-615, Grade 60. Welded wire fabric (w.w.f.) shall conform to ASTM A-185-79 (60,000 psi yield). All detailing, fabrication, and placement of reinforcing steel shall conform to the Manual of Standard Practice for Detailing Reinforced Concrete Members. For footings and concrete walls: Lap all reinforcing bar splices 45 bar diameters minimum. Bend all horizontal bars 36 bar diameters past each corner or provide equivalent corner bars matching horizontal reinforcing. For slabs: Wire shall lap one full mesh +2" and be securely wired each side and end. Reinforcing placed at 1/3 of slab thickness from top of slab, typical. Properly support all reinforcing and wire mesh on chairs. Minimum coverage for concrete reinforcing shall be:

- Concrete deposited against the ground: 3"
- Concrete exposed to the weather: 2"
- Slabs/wall not exposed to the weather: 3"
- Beams/columns (over main reinforcing): 2"

**FOOTING:** Sizes and reinforcement shall be as detailed on the *Drawings* but shall not be less than 10" thick, 8" wider than the wall supported, and reinforced with (2) #5 bars, bot. Below masonry chimney construction, footings to be min. 12" thick, 12" wider than masonry above, with #5 bar @ 12" each way, bot. Carefully form all footings with 2x material staked and adequately supported. Verify that footing layout is square and the tops of all footings are level. Construction over footings shall not commence for 48 hours after casting minimum, or per local code. Footings to reach 3000 psi compressive strength at 28 days, water/cement ratio not to exceed 0.58

**CONCRETE FOUNDATION WALL:**  
**INTERIOR SLAB:** 4" thick, 3000 psi concrete with w.w.f. 6x6-W2.9xW2.9. Slab to reach 3000 psi compressive strength at 28 days, water/cement ratio not to exceed 0.58. Under floor slab construction, provide 4" compacted #57 limestone fill beneath a 10 mil concrete vapor barrier. Finish to be metal floated and steel troweled to a smooth, ridgeless, finish (no machine finishing will be permitted without approval from *The Owner* and *The Architect*), at a level to match adjacent concrete floors or as shown on *Drawings*. Slabs to be level to within 1/4" per 10' radius.  
**EXTERIOR SLAB:** 4" thick, 4000 psi air-entrained concrete with w.w.f. 6x6-W2.9xW2.9. Driveway and garage slabs to be 4,000 psi with 6% (+/- 1%) air-entrainment over 4" compacted #57 Limestone base (omit vapor barrier). Water/cement ratio not to exceed 0.44. Garage slab finish to be metal floated and steel troweled to a smooth, ridgeless, finish (no machine finishing will be permitted without approval from *The Owner* and *The Architect*), sloped toward floor drains or garage doors as shown on the *Drawings*. Garage concrete floor to include: a 3/4" deep depression at overhead door; a 24" wide sloped apron at exterior; and be sprayed with a liquid sealing/hardening agent. Exterior concrete steps, walks and driveway to have a broom finish and concrete steps and curbs to receive tooled edges.

**MUDSLAB:** Crawlspace mudslabs to be minimum 3/2" thick, unreinforced, over 10 mil vapor barrier and 4" sand or gravel base. Finish to be wood floated to a smooth finish.  
**CONTROL JOINTS:** Exterior slabs shall have troweled control joints, and basement slabs shall have saw-cut control joints, dividing slabs into rectangular panels as nearly square as possible. The long side of any panel shall not be more than 1 1/2 times the short side and spacing of joints shall be 10' to 12' max. for 4" thick slabs. Control joints shall be a minimum of 1/4 the depth of the slab and shall be continuous to the edge of the slab. Isolation joints shall be cut-in around columns, piers, etc. and panels shall have no "inside" corners. Provide control joints in all slabs on grade within 8 hours of casting concrete.  
**COLD WEATHER CONCRETE:** Calcium Chloride shall not be used, nor shall any admixture that contains calcium chloride. All new work shall be protected from freezing or curing too rapidly.  
 Cast-in-place concrete construction shall conform to the strictest version of American Concrete Institute ACI-301, 304R, 308R, and ASTM C 494/C 494M. Euclid Chemical "Accelguard 80", BASF "Pozzolith NC 534", Sika "Sikaset NC" are all approved admixtures.  
 Contractor to use heated aggregate and water as needed to obtain concrete temperatures at time of placement. Do not place concrete on frozen ground or any ground surface contaminated with organic materials. After placement protect concrete against temperatures below 40 degrees Fahrenheit for a minimum of 72 hours after placement. Protect concrete against freezing temperatures for 7 calendar days by the use of heated enclosures or thermal insulating blankets. If gas fired heaters are used, protect against fire and accumulation of carbon-dioxide gases.

**Spec. Div. 4: Masonry**  
**GENERAL:** Construct all masonry walls in accordance with ACI 530.1 specifications (with requirements for Owner Inspection and Acceptance deleted), unless otherwise noted. Anti-freeze admixtures shall not be used and uncured walls shall be protected from freezing as may be required. The tops of walls under construction shall be covered at the end of each day and protected from rain or snow. The minimum Masonry Prism Strength (f'm) shall be 1500 p.s.i. at 28 days, unless noted otherwise.  
**MATERIALS (GENERAL):** Masonry materials shall conform to the following ASTM specifications:

Concrete Masonry Units	ASTM C-90 (Grade N-1)
Facing Brick	ASTM C-216 (Type FBS, Grade SW)
Mortar (Type M,S,N,O)	ASTM C-270
Grout	ASTM C-476 (2,500 psi @ 28days)
Reinforcing Steel Bars	ASTM A-615 (Grade 60)

**MORTAR:** Mortar for use above and below grade shall be as follows:  
 Exterior, below grade: Type S  
 Exterior, above grade: Type S  
 Interior, Non-load bearing: Type S

**EXISTING WALLS:** Irregular surfaces at new or enlarged openings in existing masonry walls shall be patched with cement mortar as required to achieve a smooth surface.

**MASONRY VENEER:**  
**BRICK TO MATCH EXISTING:** Contractor shall provide sample(s) of selected brick for approval by *The Owner* and *Architect* prior to ordering.  
**MORTAR TO MATCH EXISTING:**  
**JOINT APPEARANCE:** Width to match existing.

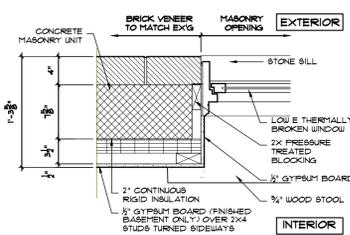
**4" MAS.Y. VENEER SYSTEMS: ANCHORING AND REINFORCEMENT:** Masonry veneer over 16" high shall be attached to concrete block back-up, poured-in-place concrete center-up, or structural wood wall (direct to studs) with galvanized metal "Z" Ties at 16" on center, horizontally and vertically.  
**C.M.U. BACK-UP WALLS:** To be damp-proofed prior to placement of veneer. Base of veneer and all lintels shall have thru-wall membrane flashing, top edge to be embedded into masonry joint. Provide weeps at steel lintels over doors, windows or other openings and at base of veneer set at approximately 6" above finished grade. At foundations, all exposed exterior masonry shall be veneer material. Ascertain height of finish grading and, if lower or higher in certain areas than shown on *Drawings*, lay veneer to suit. No exposed concrete block or waterproofing materials will be permitted above finish grade.  
**WALL OPENINGS:** See Specification Div. 5 for steel lintel requirements. All exterior lintels shall be galvanized and have an approved flashing system with weeps.  
**MASONRY FOUNDATION WALLS: TO BE 12" NOMINAL THICKNESS, REINFORCED WITH #5 BARS, VERTICAL, AT 32" ON CENTER WITH #9 GAUGE DUR-O-WALL LADUR-TYPE HORIZONTAL JOINT REINFORCING EVERY OTHER BLOCK COURSE. DUR-O-WALL DA2200 JOINT STABILIZATION ANCHORS AT ALL CONNECTIONS OF NEW FOUNDATIONS TO EXISTING.**

**REINFORCEMENT:** Foundation wall reinforcement shall be as shown on *The Drawings* but in no case shall unbalanced fill against 8" masonry walls exceed 4'-0" (6 block courses) or 6'-0" (nine block courses) for 12" walls. When grade or other conditions require heights exceeding these figures the walls shall be reinforced full height of the wall and lapped 45 bar diameters min. with projecting bar cast into the footing. Cores shall be grouted solid at anchor bolts and reinforcing bars, and the bars shall be held 1" clear of the interior face of the core.  
**MASONRY FOUNDATION DAMPROOFING:** The exterior of all foundation block and brick walls shall be parged with 3/8" cement with ironite from cove at footing to a finish grade level to be approved by *The Owner* or *The Architect*. Fully dried parging shall be coated with 60 mil. wet thickness, two-coat application of Watchdog Waterproofing polymer-enhanced asphalt liquid-applied membrane or approved alternate. Both parging and waterproofing shall run continuous and uninterrupted around complete basement perimeter, installed prior to construction of intersecting masonry walls. Insulating (expanded polystyrene or equal) protection board shall be installed below grade, full depth to footing, prior to backfilling.  
**STONE STEPS, WALKS, PATIOS, PORCHES, CAPS: TO BE 1 1/2" THICKNESS AT BORDER AND EXPOSED EDGING. Stone type to be: Bluestone. Edges to be square. Edges and treads shall overhand by 1" past the supporting masonry below.**  
**MORTAR TO BE buff with white sand.]**  
**JOINT APPEARANCE:** Width to 3/8" uniform.

**Spec. Div. 5: Metals**  
**STRUCTURAL STEEL:** Structural steel shall be detailed, fabricated, and erected in accordance with the latest AISC Specification for Structural Steel Buildings, Allowable Stress Design, and Code of Standard Practice.  
**Fitch Plates:** Steel fitch plates shall be ASTM A-36 steel (Fy = 36 KSI). Fitch plates shall be connected to wood members with 1/2" dia. flush mounted through bolts. Minimum edge and end distance to be 2". See plans for size of plates and spacing of bolts.  
**Lintels for masonry openings** shall conform to the following schedule unless otherwise noted on the *Drawings*.

Clear span up to 4'-0"	Lintel L 3 1/2" x 3 1/2" x 1/4"
4'-1" to 6'-0"	L 4" x 3 1/2" x 5/16" LLV
6'-1" to 8'-0"	L 5" x 3 1/2" x 5/16" LLV
8'-1" to 9'-0"	L 6" x 3 1/2" x 5/16" LLV

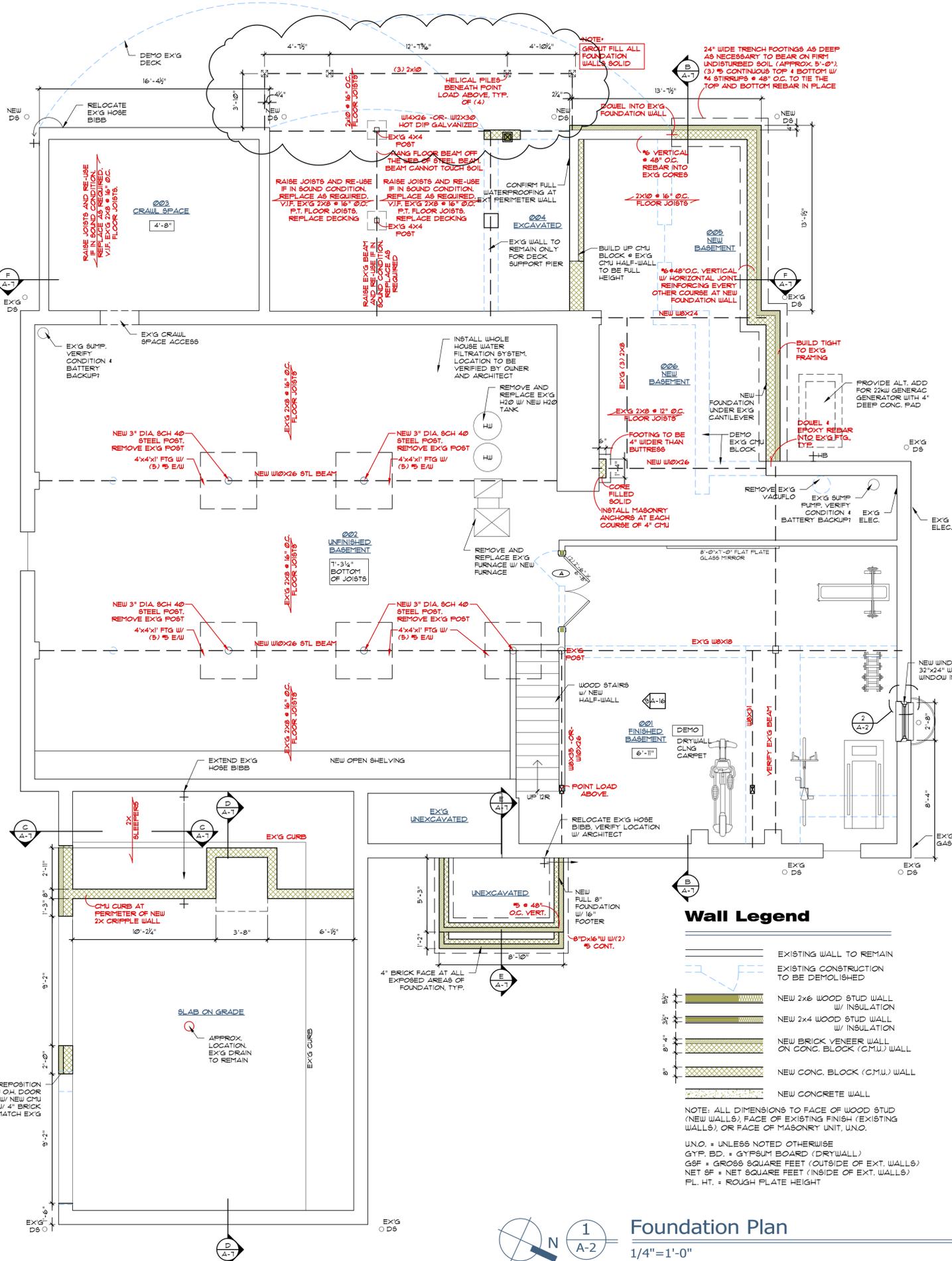
All lintels shall have 1" of bearing for each foot of span with a minimum of 6" at each end. All lintels at exterior walls shall be hot-dipped galvanized.  
**Beams:** shall be ASTM A-992 steel (Fy = 50 ksi), sizes as shown on drawings, in continuous lengths between bearing points. Steel beams bearing on masonry walls shall bear on steel bearing plates (sizes shown on plans) and masonry grouted solid 16" wide by 8" deep.  
**Columns:** Steel columns shall be ASTM A-53 steel (Fy=35 ksi), sizes as noted on *The Drawings*. Columns shall be continuous from footing to beam, with 1/2" top and bottom bearing plates (unless otherwise noted) welded to columns. Light gauge steel posts to be H.U.D. and B.O.C.A. approved, size as shown on the *Drawings*, as manufactured by Tel-O-Post, Tapco Mono Post, or equal, and shall be installed with adjustment nut at bottom. Basement columns and posts shall be installed and adjusted prior to casting concrete floors. Beams shall be bolted to cap plates w/ (4) 3/4" dia. bolts. Column base plates shall be connected to footing with a minimum of (2) 3/4" anchor bolts.  
**Shop Painting:** Structural steel to be finished with two shop coats of rust inhibitive paint.  
**Connectors:** Connectors and Accessories to be included as required for complete structural support. All shop connections to be made with ASTM A307 bolts or welded using E70 electrodes and shall conform to the specification set forth in the AWS Structural Welding Code. All field connections to be ASTM A307 bolts, unless noted otherwise. Anchor bolts, nuts, washers, straps, framing anchors, hangers, masonry ties, and other accessories to be hot-dipped galvanized.



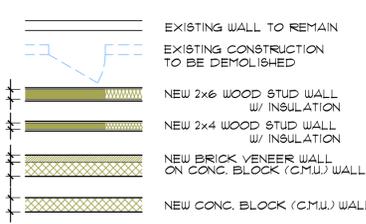
**2**  
 Plan Detail  
 1" = 1'-0"

**Room Finish Schedule**

RM. NO.	ROOM NAME	CLG. HGT.	FINISH MATERIALS			TRIM		FINISHES		REMARKS			
			FLOOR	WALLS	CEILING	BASE	SHOE	WIND. W/ DOOR	CROWN WALLS		CL'G	TRIM	
<b>BASEMENT</b>													
001	FINISHED BASEMENT	6'-11"	RUBBER FLR	1/2" GYP. BD	EXPOSED, PAINTED	BL	-	DRYWALL	N/A	PTD	PTD	PTD	WOOD STAIRS TO MATCH 1ST FLR
002	UNFINISH BASEMENT	7'-3 1/4"	EXG CONC.	EXG CMU	EXPOSED, PAINTED	-	-	-	-	PTD	-	-	PTD SILVER CLG. PTD WALLS, FLR
003	CRAWL SPACE	4'-8"	EXG CONC.	EXG CMU	-	-	-	-	-	-	-	-	-
004	EXCAVATED	7'-3 1/4"	DEMO	EXG CMU / CMU	-	-	-	PTD	-	-	-	-	PIER AS DECK SUPPORT
005	NEW BASEMENT	7'-3 1/4"	CONC.	CMU	EXPOSED, PAINTED	-	-	-	-	PTD	-	-	PTD SILVER CLG. PTD WALLS, FLR
006	NEW BASEMENT	7'-3 1/4"	CONC.	CMU	EXPOSED, PAINTED	-	-	-	-	PTD	-	-	PTD SILVER CLG. PTD WALLS, FLR



**Wall Legend**



NOTE: ALL DIMENSIONS TO FACE OF WOOD STUD (NEW WALLS), FACE OF EXISTING FINISH (EXISTING WALLS), OR FACE OF MASONRY UNIT, UNO.  
 UNO. = UNLESS NOTED OTHERWISE  
 GYP. BD. = GYPSUM BOARD (DRYWALL)  
 GSF = GROSS SQUARE FEET (OUTSIDE OF EXT. WALLS)  
 NET SF = NET SQUARE FEET (INSIDE OF EXT. WALLS)  
 PL. HT. = ROUGH PLATE HEIGHT

**1**  
 Foundation Plan  
 1/4" = 1'-0"

Rebecca L. Pantuso, License No. 0914889  
 Expiration Date 12/31/2019

**CLEMENS PANTUSO**  
 architect

Additions and Renovations to  
 The Gasparovic Residence  
 74 Fox Trace Lane, Hudson OH 44236

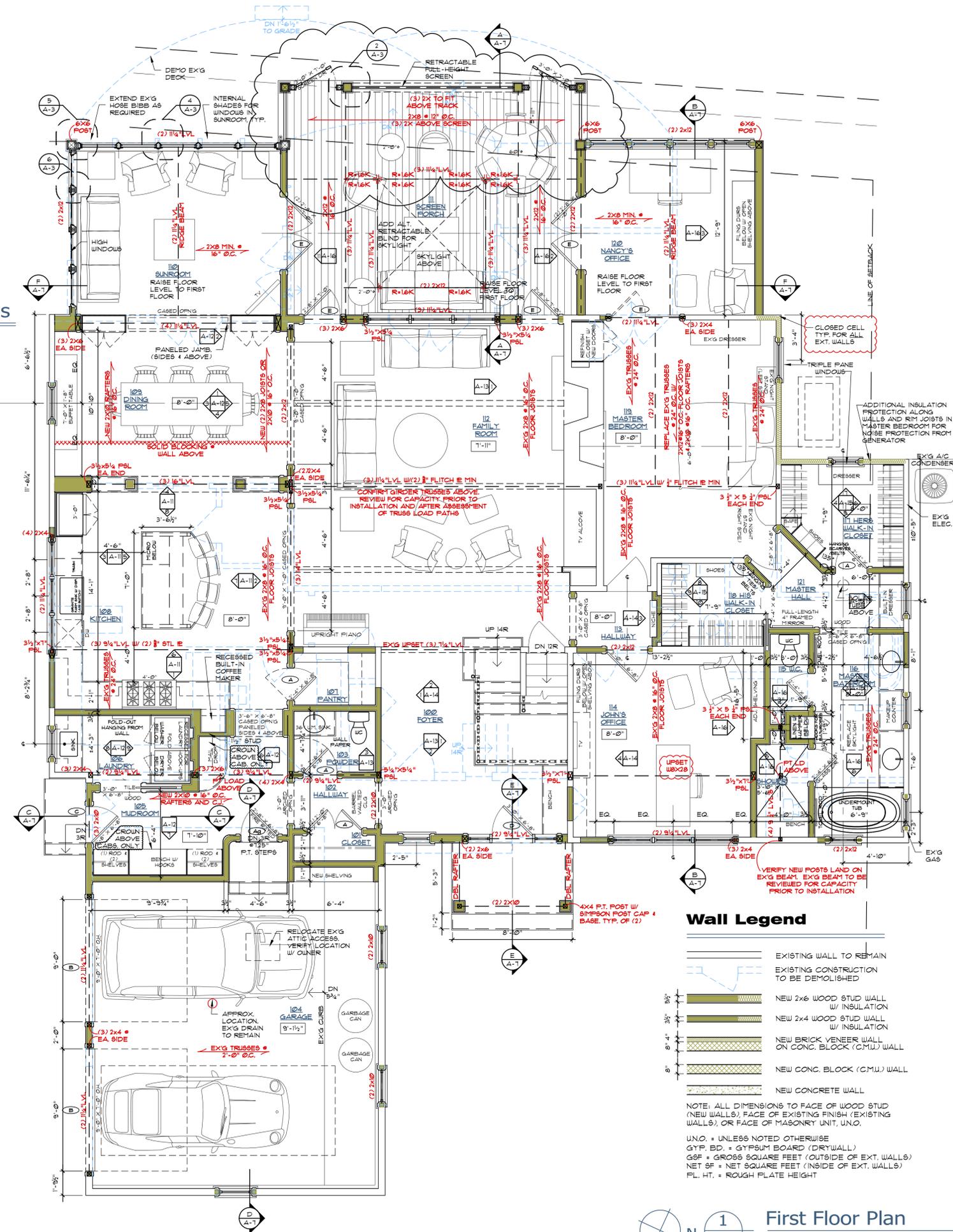
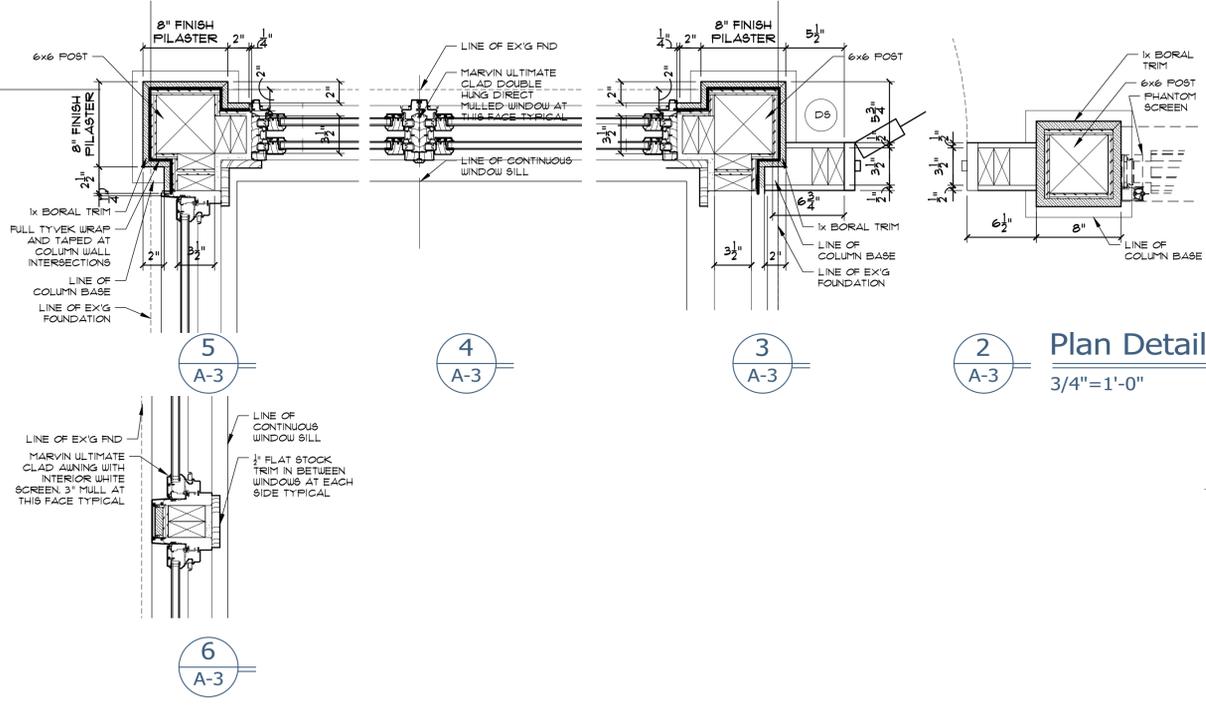
Job number	1845
Drawn by	AR / RLP
Date drawn	

Issued for  
 12.18.18 BZA Submit  
 01.18.19 ARB Submit  
 02.20.19 Review  
 02.22.19 Permit Set  
 03.05.19 Bid Set  
 05.03.19 Revised Structure  
 06.19.19 Revisions  
 07.08.19 Revised Structure  
 Drawing number

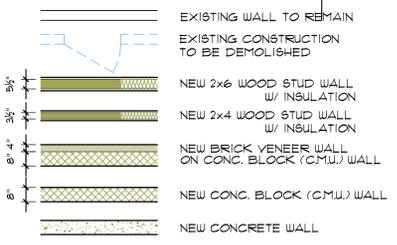
**A-2**

45 E. Washington St., Chagrin Falls, OH 44022  
 tel 440.247.7767 fax 440.317.7752  
 CLEMENS PANTUSO ARCHITECT

George Clemens Architecture Inc. 2018 ©



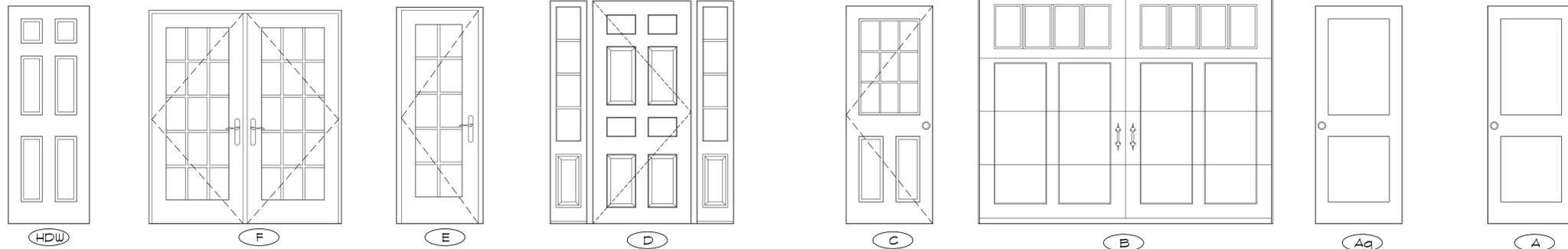
**Wall Legend**



NOTE: ALL DIMENSIONS TO FACE OF WOOD STUD (NEW WALLS), FACE OF EXISTING FINISH (EXISTING WALLS), OR FACE OF MASONRY UNIT, UNO.  
 UNO = UNLESS NOTED OTHERWISE  
 GYP. BD. = GYPSUM BOARD (DRY WALL)  
 G&F = GROSS SQUARE FEET (OUTSIDE OF EXT. WALLS)  
 NET SF = NET SQUARE FEET (INSIDE OF EXT. WALLS)  
 PL. HT. = ROUGH PLATE HEIGHT

**Room Finish Schedule**

RM. NO.	ROOM NAME	CLG. HGT.	FINISH MATERIALS			TRIM			FINISHES			REMARKS
			FLOOR	WALLS	CEILING	BASE	SHOE	WINDW. DOOR	CROWN	WALLS	CLG	
100	FOYER	11'-0"	WOOD	3/4" GYP. BOARD	3/4" GYP. BOARD	BI	SI	TI	PTD	PTD	PTD	
101	CLOSET	8'-0"	WOOD	3/4" GYP. BOARD	3/4" GYP. BOARD	BI	SI	TI	PTD	PTD	PTD	
102	HALLWAY	8'-0"	WOOD	3/4" GYP. BOARD	3/4" GYP. BOARD	BI	SI	TI	PTD	PTD	PTD	
103	POWDER	8'-0"	WOOD	3/4" GYP. BOARD/PAPER	3/4" GYP. BOARD	BI	SI	TI	PTD	PTD	PTD	
104	GARAGE	9'-1 1/2"	CONCRETE	3/4" GYP. BOARD	3/4" GYP. BOARD	-	-	-	PTD	PTD	PTD	
105	MUDROOM	8'-0"	WOOD	3/4" GYP. BOARD	3/4" GYP. BOARD	BI	SI	TI	PTD	PTD	PTD	
106	LAUNDRY	8'-0"	TILE	3/4" GYP. BOARD	3/4" GYP. BOARD	BI	SI	TI	PTD	PTD	PTD	
107	PANTRY	8'-0"	WOOD	3/4" GYP. BOARD	3/4" GYP. BOARD	BI	SI	TI	PTD	PTD	PTD	
108	KITCHEN	8'-0"	WOOD	3/4" GYP. BOARD/TILE	3/4" GYP. BOARD	BI	SI	TI	PTD	PTD	PTD	
109	DINING ROOM	8'-0"	WOOD	3/4" GYP. BOARD	3/4" GYP. BOARD	BI	SI	TI	PTD	PTD	PTD	
110	SUNROOM	8'-0"	WOOD	3/4" GYP. BOARD	3/4" GYP. BOARD	BI	SI	TI	PTD	PTD	PTD	BEADBOARD
111	SCREEN PORCH	8'-0"	WOOD	3/4" GYP. BOARD/PANELING	BEADBOARD WOOD CLG	BI	SI	TI	PTD	PTD	PTD	
112	FAMILY ROOM	8'-0"	WOOD	3/4" GYP. BOARD	3/4" GYP. BOARD	BI	SI	TI	PTD	PTD	PTD	
113	HALLWAY	8'-0"	WOOD	3/4" GYP. BOARD	3/4" GYP. BOARD	BI	SI	TI	PTD	PTD	PTD	
114	JOHN'S OFFICE	8'-0"	WOOD	3/4" GYP. BOARD	3/4" GYP. BOARD	BI	SI	TI	PTD	PTD	PTD	FUR OUT CLG TO FIT W&X28
115	W.C.	8'-0"	TILE	3/4" GYP. BOARD/TILE	3/4" GYP. BOARD	BI	SI	TI	PTD	PTD	PTD	
116	MASTER BATHROOM	8'-0"	TILE	3/4" GYP. BOARD/TILE	3/4" GYP. BOARD	BI	SI	TI	PTD	PTD	PTD	
117	WALK-IN CLOSET	8'-0"	WOOD	3/4" GYP. BOARD	3/4" GYP. BOARD	BI	SI	TI	PTD	PTD	PTD	
118	WALK-IN CLOSET	8'-0"	WOOD	3/4" GYP. BOARD	3/4" GYP. BOARD	BI	SI	TI	PTD	PTD	PTD	
119	MASTER BEDROOM	8'-0"	WOOD	3/4" GYP. BOARD	3/4" GYP. BOARD	BI	SI	TI	PTD	PTD	PTD	
120	NANCY'S OFFICE	8'-0"	WOOD	3/4" GYP. BOARD/PANELING	3/4" GYP. BOARD	BI	SI	TI	PTD	PTD	PTD	
121	MASTER HALL	8'-0"	WOOD	3/4" GYP. BOARD	3/4" GYP. BOARD	BI	SI	TI	PTD	PTD	PTD	



REPLACE HARDWARE SET 4 HINGES ON EX'G DOOR (IN BASEMENT)

EXTERIOR GLASS DOOR By window manufacturer 1-3/8" thick door w/ Emtek Hardware (no screens)

EXTERIOR GLASS DOOR By window manufacturer 1-3/8" thick door w/ Emtek Hardware (no screens)

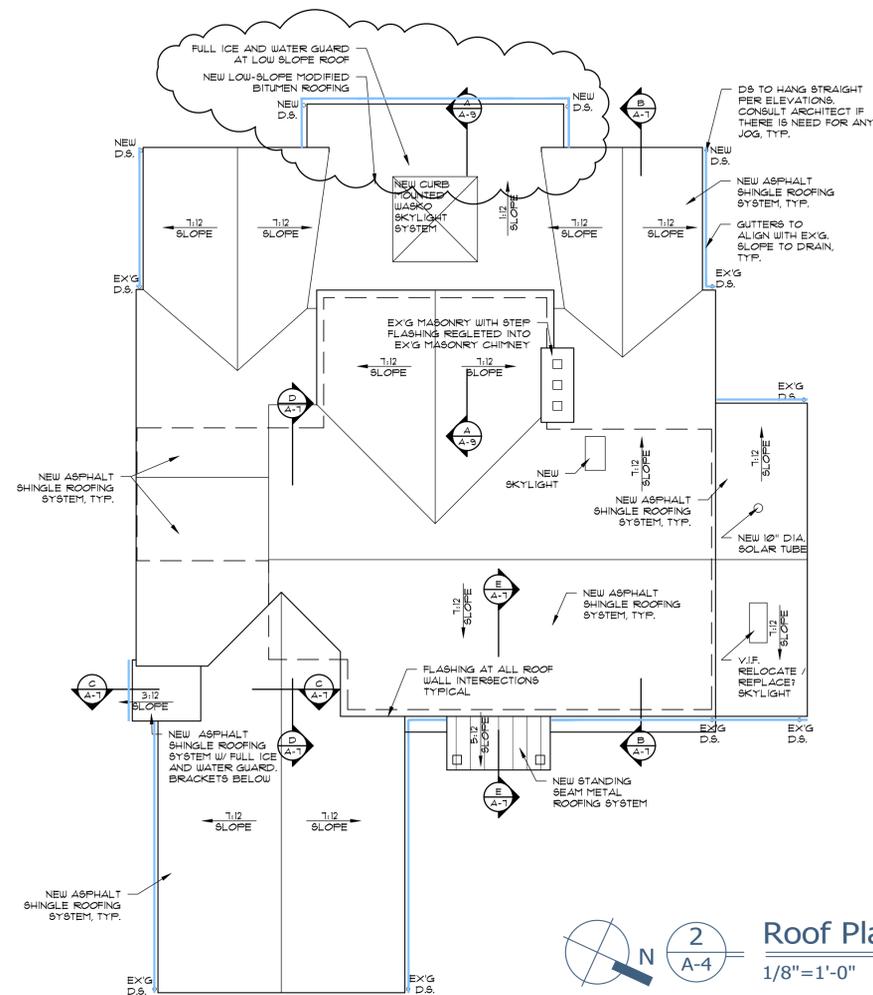
EXTERIOR W/ SIDE LIGHTS Stained Mahogany Craftsman Style Translucent Glass 1-3/4" thick door w/ Weatherstripping and Emtek Hardware

EXTERIOR HALF LITE Thermo-Tru Classic-Craft series 1-3/4" x 6'-7" thick door w/ Weatherstripping and Emtek Hardware

GARAGE DOOR Artisan Benchmark series overhead door with straps, handles and key pad.

INTERIOR GARAGE DOOR Flush Metal Fire-Rated door w/ wood applied to match typical interior door w/ Emtek Hardware

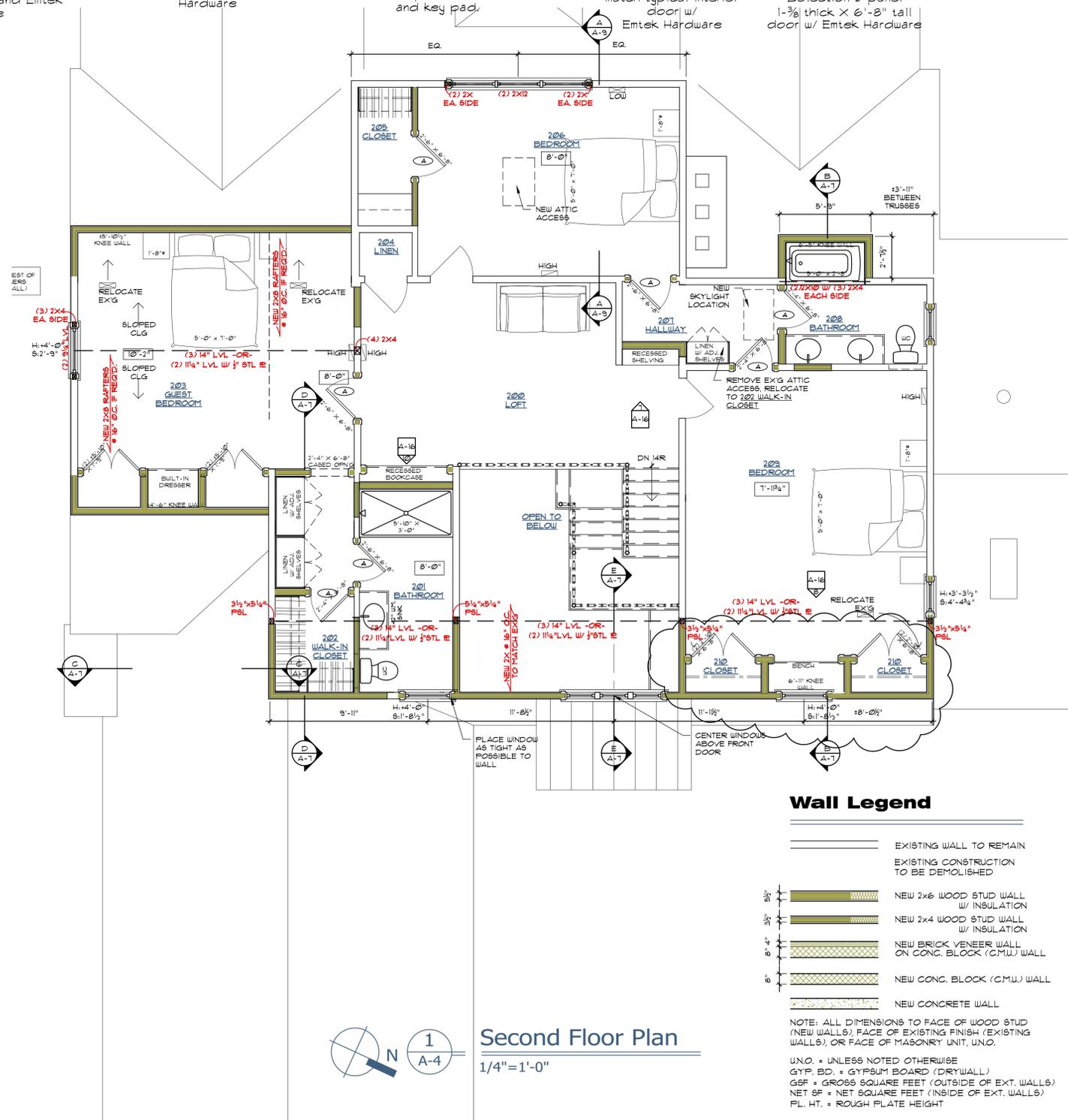
TYPICAL FIRST FLOOR INTERIOR DOOR Painted Solid Bolection 2-panel 1-3/8" thick X 6'-8" tall door w/ Emtek Hardware



Roof Plan  
1/8" = 1'-0"

Room Finish Schedule

Rm. No.	ROOM NAME	CLG. HGT.	FINISH MATERIALS			TRIM			FINISHES			REMARKS
			FLOOR	WALLS	CEILING	BASE	SHOE	WINDOW	CROWN	WALLS	CL'G	
200	LOFT	8'-0"	WOOD	1/2" GYP. BOARD	1/2" GYP. BOARD	BI	SI	TI	PTD	SMOOTH EX'G	PTD	
201	BATHROOM	8'-0"	TILE	1/2" GYP. BOARD	1/2" GYP. BOARD	BI	SI	TI	PTD	PTD	PTD	
202	WALK-IN CLOSET	8'-0"	WOOD	1/2" GYP. BOARD	1/2" GYP. BOARD	BI	SI	TI	PTD	PTD	PTD	
203	GUEST BEDROOM	8'-0"	WOOD	1/2" GYP. BOARD	1/2" GYP. BOARD	BI	SI	TI	PTD	PTD	PTD	
204	LINEN	8'-0"	WOOD	1/2" GYP. BOARD	1/2" GYP. BOARD	BI	SI	TI	PTD	PTD	PTD	
205	CLOSET	8'-0"	WOOD	1/2" GYP. BOARD	1/2" GYP. BOARD	BI	SI	TI	PTD	PTD	PTD	
206	BEDROOM	8'-0"	WOOD	1/2" GYP. BOARD	1/2" GYP. BOARD	BI	SI	TI	PTD	PTD	PTD	
207	HALLWAY	8'-0"	WOOD	1/2" GYP. BOARD	1/2" GYP. BOARD	BI	SI	TI	PTD	PTD	PTD	
208	BATHROOM	8'-0"	TILE	1/2" GYP. BOARD	1/2" GYP. BOARD	BI	SI	TI	PTD	PTD	PTD	
209	BEDROOM	8'-0"	WOOD	1/2" GYP. BOARD	1/2" GYP. BOARD	BI	SI	TI	PTD	PTD	PTD	
210	CLOSET	8'-0"	WOOD	1/2" GYP. BOARD	1/2" GYP. BOARD	BI	SI	TI	PTD	PTD	PTD	



Second Floor Plan  
1/4" = 1'-0"

Wall Legend

- EXISTING WALL TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED
- NEW 2x6 WOOD STUD WALL W/ INSULATION
- NEW 2x4 WOOD STUD WALL W/ INSULATION
- NEW BRICK VENEER WALL ON CONC. BLOCK (CMU) WALL
- NEW CONC. BLOCK (CMU) WALL
- NEW CONCRETE WALL

NOTE: ALL DIMENSIONS TO FACE OF WOOD STUD (NEW WALLS), FACE OF EXISTING FINISH (EXISTING WALLS), OR FACE OF MASONRY UNIT, UNO.

UNO. = UNLESS NOTED OTHERWISE  
 GYP. BD. = GYP. BOARD (DRYWALL)  
 GSF = GROSS SQUARE FEET (OUTSIDE OF EXT. WALLS)  
 NET SF = NET SQUARE FEET (INSIDE OF EXT. WALLS)  
 PL. HT. = ROUGH PLATE HEIGHT

Additions and Renovations to

The Gasparovic Residence

74 Fox Trace Lane, Hudson OH 44236

Second Floor, Roof Plan, Door Types

CLEMENS PANTUSO

architecture

Rebecca L. Pantuso, License No. 0914809  
 Expiration Date 12/31/2019

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Job number	1845
Drawn by	AR / RLP
Date drawn	

Issued for

- 12.18.18 BZA Submit
- 01.18.19 ARB Submit
- 02.08.19 Review
- 02.20.19 Review
- 02.22.19 Permit Set
- 03.05.19 Bid Set
- 04.16.19 ARB Resubmit
- 07.12.19 Revisions

Drawing number

**A-4**

**Spec. Div. 6: Wood and Plastics**

**A. ROUGH FRAMING; GENERAL**

All structural framing shall be detailed, fabricated, and erected in accordance with the "National Design Specification" by the National Forest Products Association (N.F.P.A.), latest edition. Nail or spike members in accordance with the Residential Code of Ohio, latest edition, Chapter 5-9. All nails exposed to weather to be hot-dipped galvanized at minimum. Framing lumber shall be seasoned to a moisture content of 19% or less (S-DRY). Brace all walls, rafters, floor and roof joists as required to prevent shifting, racking or other movement both during construction and after completion of the work. Cut framing square on bearings, closely fitted, accurately set to required lines and levels and plumb. Do not use shims for leveling on wood or metal bearings.

**LVL (Laminated Veneer Lumber) & Pre-Engineered Joists (IJI's):** where indicated, shall be stored, installed, braced, and blocked per the manufacturer's directions. Notching, drilling or other cutouts shall be in accordance with manufacturer's published instructions. LVL beams over two members wide shall be assembled with 1/2" dia. flush-mounted through bolts 2 per row at 24" o.c. with (2) bolts at each end, all located 2" from edges and ends.

**Framing:** All structural framing members shall be single lengths between points of support.

- Floor and ceiling joists shall have solid bridging at minimum 8'-0" intervals or at mid-spans, with minimum 2" bearing at ends. Floor joists to be doubled under partitions parallel to joist direction. Solid blocking required under partitions perpendicular to joist direction. Solid blocking required at 32" o.c. to tie first joist back to parallel foundation walls, where foundation walls run parallel to joist direction.
- Sill plates and wall plates on concrete block or slabs shall be pressure-treated wood and bear over 1/2" compressible sill sealer as manufactured by Dow, Celotex, or Amoco. Sill plates shall be anchored with 1/2" anchor bolts @ 6'-0" o.c. (max.) and 1'-0" from corners and openings.
- Exterior stud framing to be spaced 16" o.c., doubled at openings, framed for solid backing at corners and angles for drywall. Inner trimmer/jack studs at window/door, etc., openings shall be cut to support the header over the opening and shall extend in one piece from header to bearing. Jack studs shall be doubled at openings exceeding 8'-0". Walls taller than 9'-0" shall receive solid, horizontal blocking at mid-height.
- Wall opening headers** shall be minimum (2) 2 x 8's with plywood spacers for spans less than 3'-6" and (2) 2x10's with 1/2" plywood for spans equal to or greater than 3'-6" unless indicated otherwise on Drawings.
- Dormers: provide double rafters and headers at all dormers and skylights, unless noted otherwise. Connect doubled headers to rafters with galvanized hangers.
- Hearth and other floor openings: Provide doubled joists as minimum at perimeter of hearths and all floor openings. Headered members to be hangered to doubled joists where interrupted.

**ROUGH LUMBER:** Unless otherwise noted on the Drawings, material shall be selected and warranted by The Contractor to satisfy the following minimum design stresses for sawn lumber and laminated veneer lumber:

Framing Member	Fb (psi)	Fv (psi)	Fc (psi)	E (psi)
Beams and Headers	1000	130	1000	1,400,000
Floor Joists	1000	130	1000	1,400,000
Rafters & Cl'g Jst's	1000	130	1000	1,400,000
Studs & Misc. Fram'g	875	110	1000	1,400,000
Microllam (LVL)	2600	285	2510	1,900,000

**2x Rough Framing:** shall be S4S #2 Southern pine, Hem-Fir, Spruce Pine Fir or better.

**Sill plates, all framing against masonry or concrete, and framing exposed to weather:** shall be pressure-treated lumber.

**EXTERIOR WALL STUD FRAMING:** to be 2x4, unless noted otherwise on drawings for walls up to 9'-5" tall and 2x6 for walls over 9'-5". Gable walls with uninterrupted vertical studs over 14'-0" in height to be 2x8.

**INTERIOR WALL STUD FRAMING:** to be 2x4, unless noted otherwise on drawings for walls up to 9'-5" tall, and 2x6 for walls over 9'-5". Gable walls with uninterrupted vertical studs over 14'-0" in height to be 2x8.

**FLOOR SHEATHING:** shall be 3/4", APA rated exterior grade tongue-and-groove plywood, and span rated for the specified joist spacing. All joints parallel to joists to be fully supported by floor joists below. All plywood floor sheathing shall be installed with construction adhesive such as PL400 or equal, and nailed to framing. Prior to installation of finish flooring over new or existing floor sheathing, thoroughly inspect all sub-flooring for squeaks and, where located, install screws as required to stop such squeaking.

Openings in existing sheathing and underlayment, such as at abandoned HVAC floor diffusers, shall be filled with new plywood of the same thickness and shall be adequately blocked from beneath, nailed, and glued so no squeaking or discernible movement is apparent after installation of finish flooring or carpeting.

**ROOF AND WALL SHEATHING; INSTALLATION:** Install panels over two or more spans with the long dimension perpendicular to the floor framing. Space 4" panel ends a minimum of 1/8" at time of installation. End joints of adjacent panel runs should be staggered. Square edge panels should be installed with a minimum spacing of 1/8" on all panel edges at time of installation. Use 1/4" bead of polyurethane or solvent-based adhesives, which conforms to industry standards AFG-01 and follow manufacturers' recommendations. Joist to be clean and dry and apply only enough adhesive to lay one or two panels at a time. Fasteners should penetrate framing members at least 1". Apply fasteners 3/8" from panel edges. Space fasteners 6" o.c. on supported edges (4' ends) and 12" o.c. at intermediate support locations. Use 10d ring shank nails or screw shank nails. Cutouts for plumbing and electrical components should be oversized by at least 1/4" to avoid a forced fit. All joints parallel to joists to be fully supported by floor joists below. Sheathing unsupported more than 20" in either direction shall be reinforced or supported with edge blocking or "H" clips

**NOTE:** Allow for crown or moldings at fascia and rake, where detailed on drawings. Roof sheathing MUST overhang to accept details as drawn; insufficient overhang will be rejected and rebuilt.

**MATERIAL:** shall be 1/2" for walls, 3/8" for roofs, APA-rated exterior plywood, span rated for the rafter or truss spacing shown. Sheathing for vertical batten or vertical siding is to be exterior plywood, 5/8" nominal thickness.

**CONNECTORS:** Where shown on the Drawings or required herein metal connections shall be provided, designed for specific loading requirements, fabricated from galvanized sheet metal or painted steel plate, as manufactured by Simpson Strong-Tie or equal.

**PRESERVATIVE PRESSURE TREATED WOOD** shall meet the following AWPA standards for ACQ Preservative retention rates:

Above ground (decking & joists, etc.)	0.25 lb/cu.ft.
Ground contact (posts)	0.40 lb/cu.ft.
Permanent Foundations (poles)	0.60 lb/cu.ft.

**EXTERIOR TRIM; Boral Exterior Casings and Trim:** Exterior window and door casings, corner trim, frieze board, panel frames and belts shall be 5/4 x (width shown on drawings) synthetic poly-ash trim, Boral TruExterior or equal as approved by Architect. Jambs to butt into head casing. Add solid cellular pvc drip cap over all head casing, except where window head butts tight under frieze board or soffit. Sub-sills at all exterior windows to be 2x material, sloped to wash, with 2" projection. All crowns, panel molds, and other profiled trim shown on drawings shall be synthetic poly-ash trim, unless noted otherwise. Install as detailed with end joints set tight and caulked. Use stainless steel casing nails for exterior trim (or hot-dipped galvanized casing nails if approved by *The Architect*) with min. 1 1/2" penetration into framing lumber.

**EXTERIOR SIDING; Boral Clapboard Siding to be installed per strict manufacturer's specifications**

**Alternate Deduct-Cement-fiber clapboard siding:** Cement-fiber siding shall be pre-primed, smooth surface, exposure as indicated on drawings. Use stainless steel or hot dipped galvanized nails (0.09" shank x 0.221" HD x 2" long) or 11ga. roofing nail (0.121" shank x 0.371" HD x 1.25" long) fastened into wood framing. Install joint flashing behind all butt joints and Blind nail 3/8" from side edge and 1" above coursing level. 1 1/4" minimum overlap to be used.

**SOFFITS:** to be 3/8" smooth fir plywood painted to match trim color.

**SHUTTERS:** Exterior window shutters shall be Timberlane Fundamental Series CB-1 panel type, TL-46 Antique Bottle Green (sample to be approved by Owner and Architect prior to ordering). Shutter width to be 1/2 total nominal window width, typical. Shutter length shall be as close as possible to window frame height, without exceeding this dimension. Shutters to be non operable with (2) standard Butt hinges and a Belmont tie back per shutter. Any shutters over 53" in height to have (3) hinges per shutter.

**INTERIOR TRIM, GENERAL:** All wood interior trim material, including flooring, shall be delivered and acclimate in an interior, weather-tight, heated and conditioned environment for minimum one week. Upon delivery, flooring shall be broken into small lots and stored in the rooms where it is to be installed. All trim shall be carefully matched, mitered, coped, etc., finish nailed tight to surfaces, and sanded, ready for painting or staining. All horizontal trim shall be installed in continuous lengths wherever possible, or mitered when not, and coped at inside corners. Jambs at Door and Cased Openings shall be tightly shimmed in a minimum of three locations on each side including at hinges and locksets.

Wherever trim terminates and is not fully stopped by cabinets, casings, plinths, etc., repeat profile of trim at end by miter-returning, coping or molding as needed. **Window casing** to include molded stool, miter-turned at ends, and apron of casing material, inverted and miter-turned at ends. Doorways at end of Halls shall be centered in Hall, unless shown otherwise, and all doorways roughed-in and jams hung so that full casing may be installed. When casings are within 1" of corner walls, fill gap between casing and wall with S4S wood trim 1/8" thinner than casing. Closet doors shall be fully jambed and cased on both sides (Reach-in closets may have secondary casing type for interior, as approved by *the Architect*) Casing at bi-fold or bypassing doors shall be installed to conceal track and hardware above doors. **Shoe mould** shall be installed at all new hardwood, ceramic tile, vinyl, or other hard surface flooring. **Window casing** to include molded stool, miter-turned at ends, and apron of casing material, inverted and miter-turned at ends.

**INTERIOR TRIM:** All new woodwork shall be clear poplar, thoroughly seasoned and kiln dried, molded or S4S, no finger joints.

**INTERIOR WOOD FLOORING:** to be clear brushed white oak, full-face measure 3/4" T & C x 6 1/4" wide square edge and end matched, with final flooring selection to be approved by the Owner. Install at manufacturer recommended moisture contents over flooring felt and fasten to subfloor with concealed cut nails, all joints to be tight. Floor HVA/C registers shall be flush or surface mounted hardwood to match the surrounding flooring, with removable diffuser and adjustable air-flow regulators at supply registers. Feather new flooring areas into adjacent existing with staggered joints to conceal new flooring addition. Where abutting adjacent surfaces of a different level at doorways or other openings install full jamb width sloped wood threshold to match species and finish.

**FLOORING FINISH:** Thoroughly machine sand to smooth, level finish. Finish with stain/sealer (color as approved by the Owner from samples provided by the Contractor) and three coats of polyurethane, varnish, or other finish as approved by the Owner. After thorough drying, protect finished floors with red rosin paper, taped in place, as necessary prior to Owner occupying space.

**UNDERLAYMENT:** at Carpet shall be 1/2" Plywood, or approved equal. **Underlayment at Ceramic Tile:** Where ceramic tile is to be installed over thin-set mortar or epoxy, underlayment shall be 1/2" USG Dur-Rock waterproof cement-board.

**CLOSET SHELVING** and vertical supports to be constructed of 3/4" pre-finished A-A Birch plywood with 1/2" x 3/4" hardwood nosing, to include Pantry shelves. Where vertical shelving or closet rod supports are shown on plans, depth of such supports shall accommodate shelf depth shown or closet rod and ferrule. Shelf ledgers between vertical supports shall be 1x3 with ogee molded bottom edge.

**ATTIC SCUTTLE** where indicated shall be 3/4" birch plywood hinged to 1 x 6 CWP cased jamb, weather-stripped, and insulated to a level equivalent to surrounding areas.



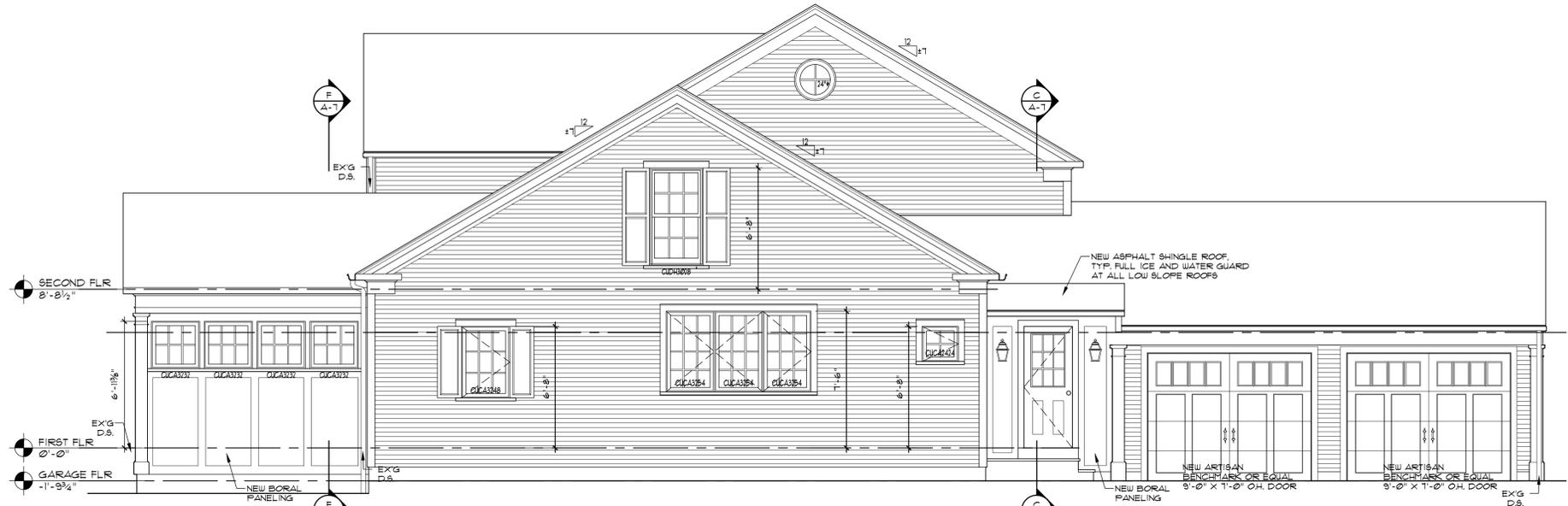
**4 Ex'g Side Elevation**

For Reference Only



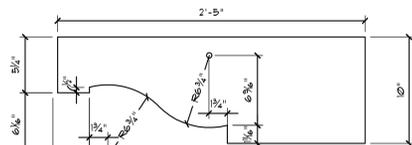
**3 Ex'g Front Elevation**

For Reference Only



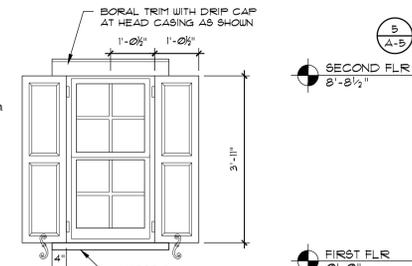
**2 Side Elevation**

1/4" = 1'-0"



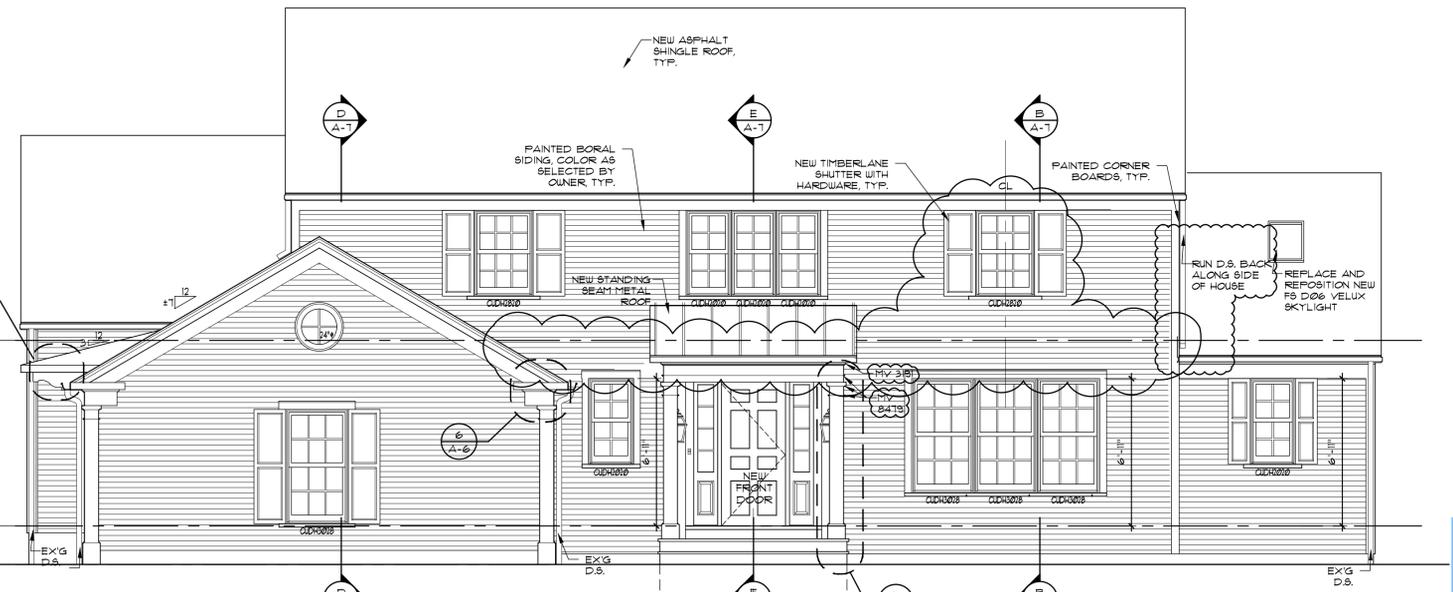
**5 Bracket Detail**

3" = 1'-0"



**6 Shutter Detail**

1/2" = 1'-0"



**1 Front Elevation**

1/4" = 1'-0"

Additions and Renovations to

The Gasparovic Residence

74 Fox Trace Lane, Hudson OH 44236

**Elevations, Details, Specs DIV 6**

<b>Job number</b>	1845
<b>Drawn by</b>	AR / RLP
<b>Date drawn</b>	

Issued for

- 12.14.18 Client Review
- 01.10.19 Client Review
- 02.08.19 Review
- 02.20.19 Review
- 02.22.19 Permit Set
- 03.05.19 Bid Set
- 07.12.19 Revisions

Drawing number

A-5

CLEMENS PANTUSO  
a r c h i t e c t u r e

Rebecca L. Pantuso, License No. 0914889  
Expiration Date 12/31/2019

45 E. Washington St., Chagrin Falls, OH 44022  
tel 440.247.7767 fax 440.317.7752  
CLEMENS PANTUSO ARCHITECTURE

George Clemens Architecture Inc. 2018 ©

**Spec. Div. 8: Windows and Doors**

**WINDOW PACKAGE ORDERING:** Architect to receive copy of window order with min. three days to review/approve order prior to execution of window order. Contractor to directly confirm with Owner to approve interior finish of screens and window hardware, interior finish of door hardware, acceptability of glass color, details of muntin bars as specified. Jeld-Wen and Windsor to remove sash groove, top and bottom, at DH windows. Owner to see window sample upon request.

**WINDOW INSTALLATION:** Air-and-moisture barrier shall be applied to the building exterior, properly taped and wrapped at openings, before installation of windows. Apply a continuous bead of sealant under nailing fins. Apply Protecto Tape 5" wide bitumen-modified self-adhesive protection tape at head, jamb, and window sill over nailing fin and providing positive seal from window unit to building wrap. Lap tape for proper drainage.

**TEMPERED/SAFETY GLAZING:** Tempered or safety glazing shall be required for the following locations considered hazardous:

- 1) Glazing in a fixed or operable panel within 24 inches of an adjacent door and whose bottom edge is less than 60 inches above the floor or walking surface.
- 2) Glazing in a fixed or operable panel that is larger than 9 square feet and whose bottom edge is less than 18 inches above the walking surface.
- 3) Glazing in enclosures for or walls facing hot tubs, whirlpools, saunas, steam rooms, bathtubs and showers where the bottom edge of the glazing is less than 60 inches measured vertically above any standing or walking surface.
- 4) Glazing adjacent to stairways, landings and ramps within 36 inches measured horizontally of a walking surface and whose bottom edge is less than 60 inches above the plane of the adjacent walking surface. Glazing adjacent to stairways within 60 inches measured horizontally from the bottom tread of the stairway and whose bottom edge is less than 60 inches above the nose of the tread.

**EMERGENCY EGRESS:** Windows located in bedrooms shall comply with RCO section R310.1 and be provided with minimum opening area, opening height, width and compliant operating hardware.

**MANUFACTURED WINDOWS AND DOORS:** to be wood construction with extruded aluminum cladding. All new-construction (and replacement, where applicable and approved by the Architect) windows, as well as exterior doors supplied by window manufacturer to meet the following specification standards:

**GENERAL:** units to have nailing fins w/ corner waterproof closure; high-performance, 5" wide butyl-modified window tape included with order.

**GLASS:** to be double-pane glass with 272 Low-E Coating; stainless steel warm-edge spacers and argon gas, window units Energy-Star 2009 Rated for Northern Zone w/ either U= 0.30 or less OR U= 0.31 and SHGC greater than 0.35

**INTEGRAL SHADES:** Marvin top down bottom up integral shades to be included in all Sunroom and Office windows. Color to be white as approved by the Owner.

**APPROVED PRODUCTS:** Marvin Clad Ultimate Double-Hung or Casement Windows; **Note: Interior Surface #4 Low-E coatings are not acceptable due to unforeseen condensation issues not yet fully resolved in the industry.**

**MUNTIN BARS:** to be 7/8" Simulated Divided Lite, pattern as indicated on drawings, w/ spacer bars, exterior to be extruded aluminum, finish to match windows. Provide wider (1 1/2" to 2") SDL bars to simulate double-hung center sash if indicated.

**EXTERIOR FINISH:** Aluminum-clad finish to be 70% fluoropolymer modified acrylic topcoat applied over fluoropolymer primer. Meets or exceeds AAMA 2605 requirements.

**INTERIOR FINISH:** Pre-primed wood interiors, including interior muntin bars. Window manufacturer to verify with Owner and Architect all Interior/Exterior window and hardware finish choices prior to window order. Custom hardware finish included.

**DOUBLE-HUNG WINDOWS:** to have sash liner concealed with wood closure

**SCREENS:** to be dark fiberglass mesh screening. Double-hung units to have full screens. Integrated shade option

**SKYLIGHTS:** Stock skylight units as indicated with flashing kit, installed per all manufacturer requirements: Velux, FS D06 per drawings, aluminum clad (color to be determined), manual control, Type EDL 000B flashing, with Code 75 tempered, Low-E Argon gas-filled insulating glass, R-4. Install finished wood jambs within skylight opening.

**CUSTOM SKYLIGHT:** to be Wasco pyramid 6'-0" x 8'-0" Clear Glass Pyramid Skylight.

**SKYLIGHT SHADING:** Provide outlet for future installation of SkyBlind Cellular Light Filtering Fabric to be frost colored. Contractor to get Owner approval prior to ordering.

**PHANTOM SCREEN:** Contractor to install fully motorized recessed Phantom Executive Retractable Screen with in wall controls. Unit to have Pfifer 18 / 14 Charcoal mesh screens, Hartford Green powder coated finish exterior, and Mahogany interior. Unit to be reviewed by Architect prior to ordering.

**CUSTOM EXTERIOR DOORS:** Custom exterior doors to be 2 1/4" thick, stained, mahogany. Weatherstripping to be kered compression bulb.

**INTERIOR DOORS:** to be as indicated on Door Schedule. For solid masonry/MDF doors, finish shall be smooth (NO WOOD GRAIN). Set doors to provide maximum 1/4" clearance between bottom edge of doors and finish flooring, including carpeting. Jambs at Door and Cased Openings shall be tightly shimmed in a minimum of three locations on each side including at hinges and locksets. Interior doors from house to Garage: door and frame to have one hour fire rating and self-closing mechanism.

**GARAGE DOORS AND OPENERS:**

**NEW OVERHEAD GARAGE DOORS** to be overhead, sectional solid composite construction by Artisan Doorworks Benchmark Series. Door accessories to include strap hinges, latches, pull handles, style to be approved by The Owner.

**NEW DOOR OPENERS** shall be LiftMaster Premium Series Model 3265-267, 3" H.P., with Multi-Function Controls Panel, manual release, Remote Control Units, and optical and contact sensors. Each door to include (4) heart strap hinges and (2) heart pull handles.

**DOOR HARDWARE:** Provide and install all finish hardware as selected by The Owner and Architect under allowance, and shall include all door latches/knobs and stops. Unless otherwise directed, door hardware shall be 2 3/4" backset latches. Doors shall be hung with three square hinges per door, 3 1/2"x3 1/2" hinges for interior doors, and 4"x4" for exterior doors. Shim all jambs, minimum 3 shims per side jamb.

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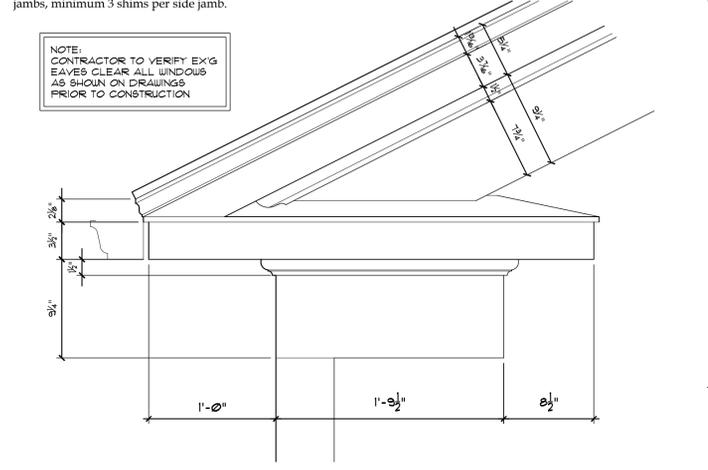
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**Material List**

TYPE	MANUFACTURER	MATERIAL	COLOR
SIDING	BORAL	FLY-ASH	WHITE
TRIM	BORAL	FLY-ASH	WHITE
ROOFING	LANDMARK SERIES	ASPHALT	WEATHERED WOOD
SHUTTERS	RINOS WOODWORKING	THERMO-TREATED POPLAR	BLACK
WINDOWS	MARVIN	CLAD ULTIMATE	WHITE
DOWNSPOUTS/ GUTTERS	-	ALUMINUM OGEE STYLE	WHITE
SKYLIGHT	WASCO	GLASS	CLEAR
SCREENS	PHANTOM PULL-DOWN	MESH	CLEAR VIEW



**Div. 7: Thermal & Moisture Protection**

**INSULATION, GENERAL:** Material specifications and R-value ratings calculated by installer to comply with the latest edition of the prevailing Dept. of Energy Building Energy Codes as adopted into the Ohio Residential Code for residential structures. In general, all heated living spaces shall be totally enveloped in insulation. Access doors from conditioned spaces into unconditioned attics shall be weatherstripped and insulated to a level equivalent to the insulation on the surrounding surfaces. The Work shall include corrugated rigid foam insulation baffles at sloped ceilings and rafter/side-wall intersections as shown on *The Drawings*.

**WALL/CEILING INSULATION:** All thermal insulation shall be spray foam conforming to the following: Wall cavities: 3" min closed cell spray foam insulation, installed with R7 per inch installed per manufacturer's specifications (Install Icyene Proseal or equivalent). Rafter spaces: 6" closed cell spray foam insulation R42 installed per manufacturer's specifications. Continue foam up rafters to create warm attic condition.

**FIRST AND SECOND FLOOR BOX/RIM JOIST SPACE:** Closed-cell (high-density) foam to 2" thickness: fully seal each first floor joist bay to masonry.

**AIR-SEALING:** Contractor to perform the following:

- 1) Non-expanding foam to seal around all window and door rough-openings
- 2) Seal with caulk at tight joints, bottom plate all walls, top plate all walls, and at vertical joints between separately-erected wall sections (corners, etc.)
- 3) Fully seal all floor penetrations for plumbing, etc. with fire-code approved material. Fully block up with rigid foam and foam seal all vertical chases at top of basement and at attic
- 4) All exterior doors to be fully weather-stripped

**ACOUSTICAL INSULATION:** Contractor to install sound attenuating insulation at all bathroom locations. Insulation shall be 3" Ruxal Safe'n'Sound Mineral Wool batts.

**MOISTURE/AIR BARRIER (HOUSE WRAP):** All exterior walls shall have Dupont Tyvek Homewrap, or approved equal, over exterior wall sheathing. See Division 8 for required window/door installation and flashing. See Division 4 for requirements at Masonry veneer walls.

**SEALANTS:** Provide the following sealants, or equal as approved by Architect, where shown on drawings or required for a complete and proper installation. Install per manufacturer's specifications in a neat bead and a workmanlike manner.

- A. General Exterior Sealant to be OSI's Quad
  - B. Secondary Exterior Sealant to be DAP's Side Winder or OSI's Advantage
  - C. General Interior Sealant and DYNAFLEX 230 Premium
- Completely seal with caulking compound, joints around frames and sills of doors, windows, joints of dissimilar material and other openings in exterior masonry. Use Bond Breakers, backer rods and Primers as recommended by caulking mfr.

**ROOFING: ASPHALT SHINGLES:** New asphalt/fiberglass shingle roofing system to be installed in strict accordance with manufacturer's specifications and the recommendations of the Asphalt Shingle Association. Asphalt shingles to be GAF or Certainteed, 30 year minimum warranty. Architectural grade, installed over underlayment as specified below.

The Work shall include installation of "RidgeLine" nailable polypropylene ridge vent with cap shingles, or equal as approved by Architect.

**LOW-SLOPE ROOFING:** Roofing sloped at 3:12 or less shall be a modified bitumen roofing system installed in strict accordance with industry standards and mfr. specs. Three-ply system shall include one (1)ply Flintlastic SA Nailbase ASTM D4601 modified bitumen roll roofing base sheet mechanically fastened over plywood sheathing. Overlap sidelaps 4" and endlaps 6". Stagger sheets min 36" and cut cut opposing corners of endlaps diagonally to avoid "T" seam joints. Use trowel grade FlintBond modified bitumen adhesive uniformly in 1/16" to 1/8" layer at overlaps to ensure an adequate bond. Successive Self-Adhering SBS Modified Bitumen Flintlastic Mid ply and Cap sheet ASTM D6164 to be installed per mfr. specs. Use cant strips and flashings per roofing mfr. specs., and extend roofing 1'-6" up adjacent walls or roofs. Mineral-surface color to be approved by Owner. Maintain minimum roof slope of 1/4" per foot at all roof surfaces.

**METAL ROOFING:** Low-slope metal roofing system to be manufactured and installed per all applicable SMACNA standards from 24 ga. Galvalume aluminum-zinc alloy coated steel grade C meeting ASTM A792. 16" spacing, FLAT-PANEL (without intermediate ribs) standing seam roofing system shall be installed per strict Fabral Metals specifications. 1.800.477.2741. Details at panel and standing seam, ridges, valleys, roof pitch changes, and rakes to be submitted to the Architect for approval prior to ordering material. All metal roofing installed over Grace Ice-and-WaterShield D underlayment.

**SNOW GUARDS:** Decorative cast aluminum Snow guards designed for standing seam metal roofs to be as selected by The Owner and installed per manufacturer's specifications.

**EXISTING ROOFING:** Remove existing shingles from roof as required to construct new roof overbuild. The Contractor shall inspect existing roof sheathing and shall remove and replace any damaged or deteriorated sheathing. New roof shingles to be as selected by Owner and approved by Architect.

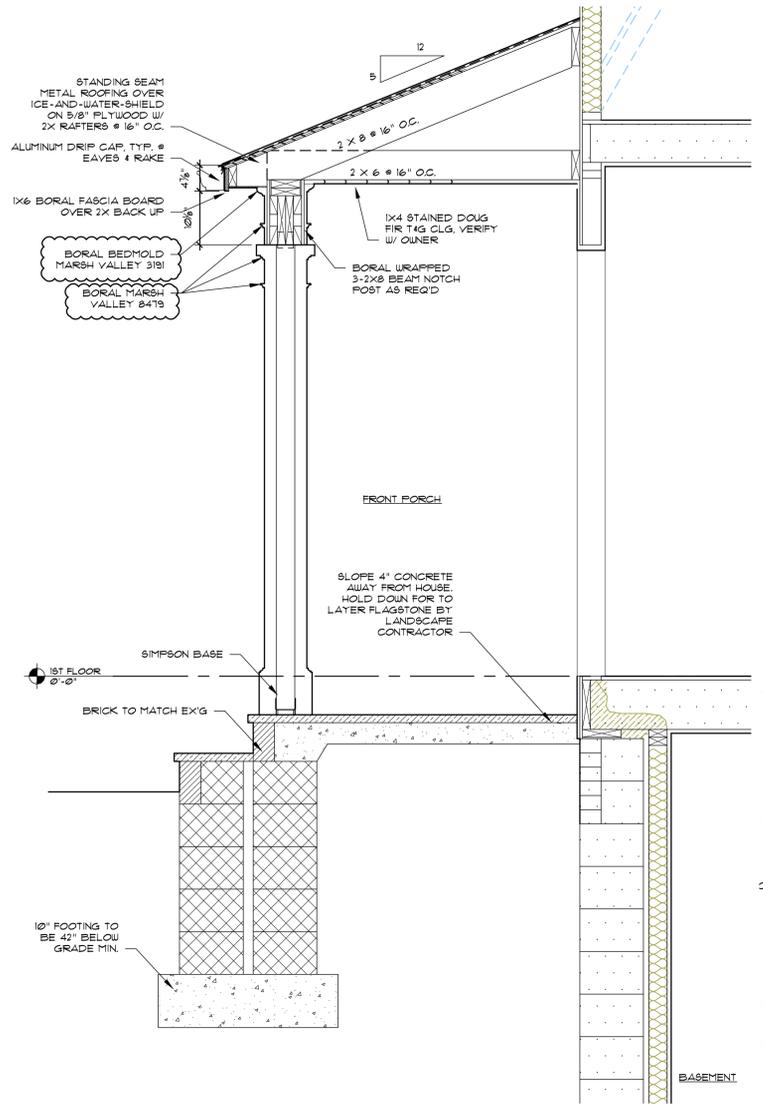
**ROOF UNDERLAYMENT:** Deck-Armor™ Premium Breathable Roof Deck Protection or approved alternate to be installed and lapped per strict manufacturers recommendations and RCO Section 905.2.7. In addition, self-adhering waterproof underlayment, Grace Ice & Water Shield™ or approved equal, shall be installed 3'-0" width at all valleys, 4'-6" width at eaves (min. 2'-0" beyond inside face of exterior wall line), full coverage for small dormers and shingle roofs below 4:12 pitch. At rakes, underlayment shall be covered with metal drip edge.

**FLASHING:** All flashing shall be designed and installed in strict accordance with the Architectural Sheet Metal Manual. Roof valley flashing shall be 20" wide, 0.019" coil coated aluminum, "V" crimped, color to match shingles as close as possible. Chimney flashing to be 16 oz. copper, cap and base type with hemmed edges and installed in raked out mortar joints or saw kerfs. Set with lead roping and seal with a small bead of clear silicone. Other roof flashing to be 0.019" coil coated aluminum, to match shingle color.

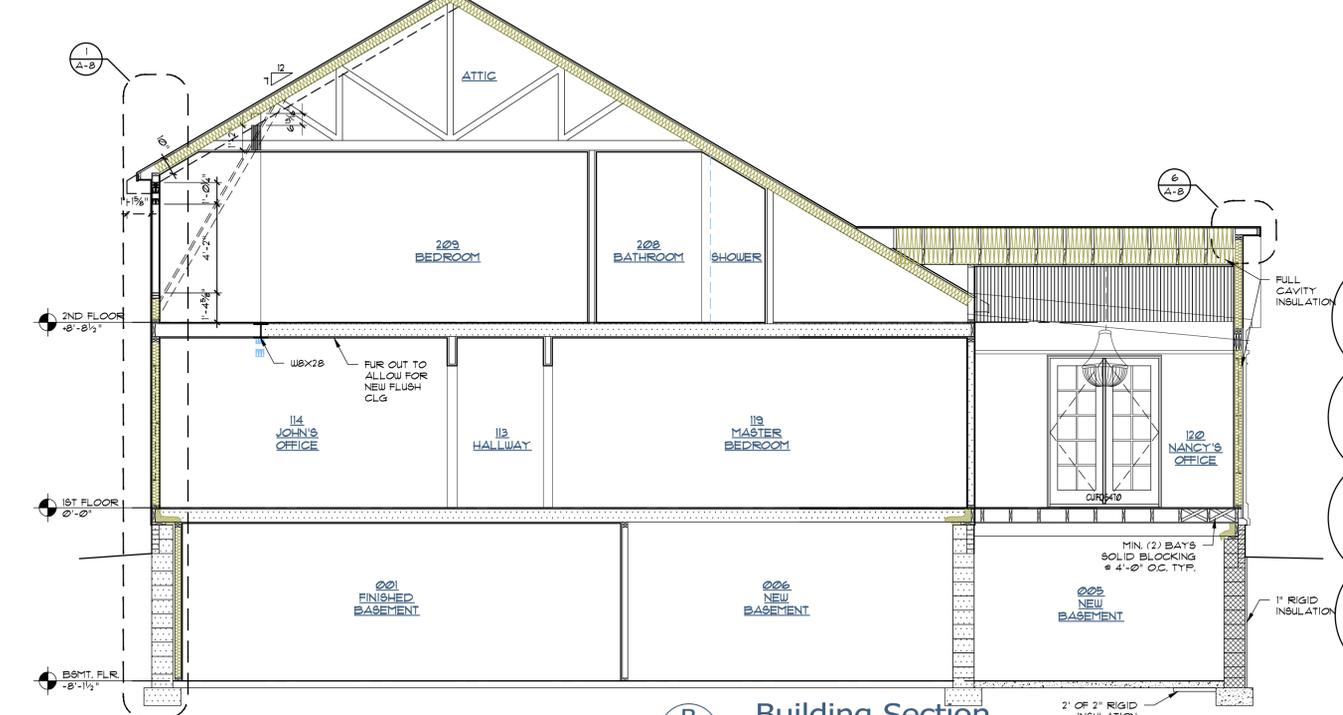
Flashing at stoops and steps, where masonry abuts wood wall or floor systems, shall be 0.019" coil coated aluminum, color to match adjacent siding or trim, and installed to thoroughly protect wood.

**GUTTERS and RAINWATER LEADERS, GENERAL:** Sizing of gutters and downspouts to be verified by roofing contractor. If roof area calculations/unusual conditions warrant an increase in gutter size to 6" with 4" downspouts, contact *The Architect* for approval. Install splash or overflow guards on gutters where recommended at the termination of major valleys, or other locations where overflow is likely. Gutter lengths shall be extruded in continuous lengths with neoprene expansion joints in all hip-roof applications and at straight runs over 40'-0", full mitered inside and outside corners and stock endcaps, installed with concealed hanger. Gutters shall be pitched to downspouts within the height of the gutter board, not allowing water to stand in gutter. All joints shall be sealed with sealant recommended by gutter manufacturer.

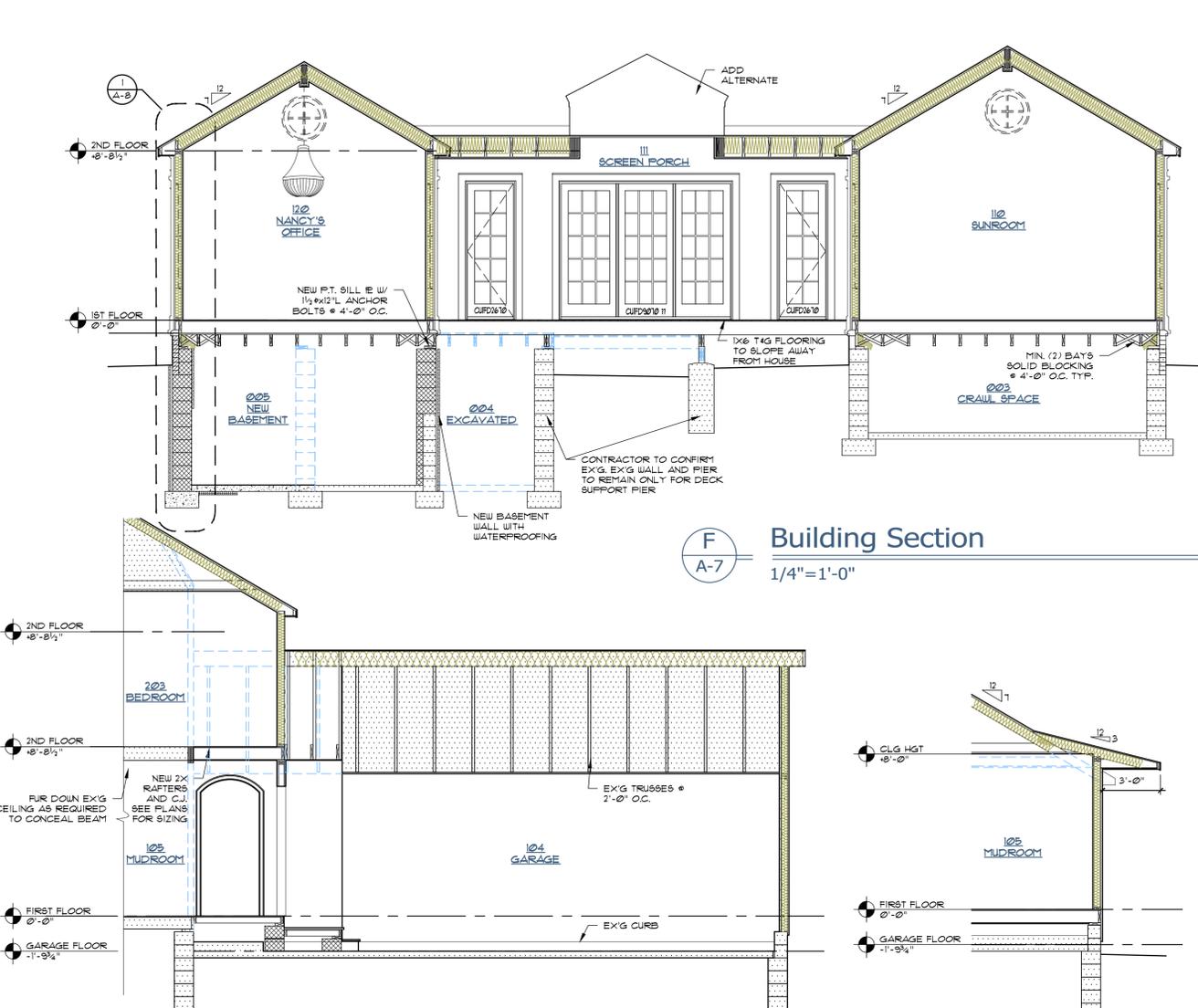
**GUTTERS:** gutters shall be pre-finished aluminum 5" ogee or k style, 0.32 ga aluminum, pre-finished white polyester or baked enamel. PVC boot to project maximum 6" above grade to accept downspout and be painted to match downspout. **DOWNSPOUTS:** shall be .019" thickness 3" diameter round prefinished aluminum. Finish to match gutters. Downspout connection at gutter shall be located so that downspout is centered directly over boots with no bends in its vertical drop. If necessary, relocate downspout drain to achieve straight drops. If it is impractical, or unadvisable, to locate downspouts where shown on *The Drawings*, contact *The Architect* for approval of alternate location.



**E** Front Porch Section  
3/4" = 1'-0"



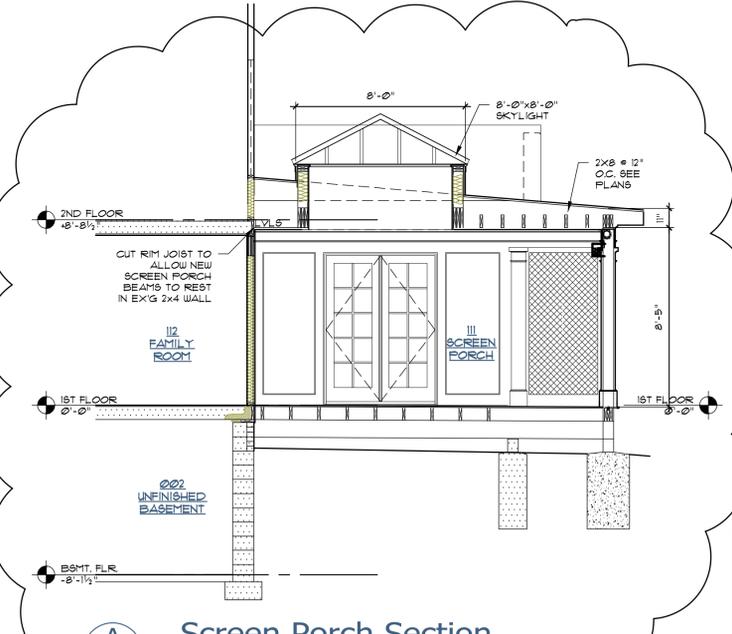
**B** Building Section  
1/4" = 1'-0"



**F** Building Section  
1/4" = 1'-0"

**D** Mudroom/Garage Section  
1/4" = 1'-0"

**C** Mudroom Section  
1/4" = 1'-0"



**A** Screen Porch Section  
1/4" = 1'-0"

Rebecca L. Pantuso, License No. 0914809  
Expiration Date 12/31/2019

**CLEMENS PANTUSO**

architecture

Additions and Renovations to

The Gasparovic Residence

74 Fox Trace Lane, Hudson OH 44236

**Building Sections, Spec. Div. 7**

Job number	1845
Drawn by	AR / RLP
Date drawn	

Issued for

- 12.18.18 BZA Submit
- 01.10.19 Client Review
- 01.18.19 ARB Submit
- 02.08.19 Review
- 02.20.19 Review
- 02.22.19 Permit Set
- 03.05.19 Bid Set
- 06.19.19 Revisions

Drawing number

**A-7**

45 E. Washington St., Chagrin Falls, OH 44022  
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CLEMENS PANTUSO ARCHITECTURE

**Spec. Div. 9: Finishes**

**DRYWALL:** Use 5/8" gypsum-board for new wall finish; Use 5/8" gypsum-board for new ceiling finish. Verify adequate/level framing before installation to avoid visibly uneven surface. All ends and edges of gypsum board should occur over framing members or other solid backing except where treated joints occur at right angles to framing or furring members. Gypsum Board is applied directly to wood framing members. Ceilings are applied first, then sidewalls. Boards should be accurately cut and joints abutted but not forced together. Horizontal application, long edges at right angles to nailing members, is preferred for it minimizes joints and strengthens the wall or ceiling. Enclosed, accessible space under stairs shall have walls, under-stair surface, and any soffits protected on the enclosed with minimum 1/2" gypsum board.

**FASTENERS: NAIL APPLICATION:** Nails shall be spaced not to exceed 7" on ceilings, or 8" on sidewalls, a minimum of 3/8" and a maximum of 1/2" from edges and ends of gypsum board. Gypsum board nails or annular ring nails, such as the GWB-54, are recommended. **SCREW APPLICATION:** Screw application is often preferred as the screw holds the gypsum board tight against the framing when applied as recommended. Type W 1 1/4" Drywall Screws are driven with an electric screw gun equipped with adjustable screw depth control and a #2 Phillips bit. If framing is spaced up to 16" o.c., screws are spaced 12" o.c. max on ceilings and 16" o.c. max on walls. If framing is spaced 24" o.c., screw spacing must not exceed 12" o.c. Minimum screw penetration shall be 5/8" for wood studs.

**GYPSON BOARD BENDING RADII:** Lengthwise Bending: 1/4" (6.4 mm) = 5'-0" radius; 3/8" (9.4 mm) = 7'-6" radius; 1/2" (12.7 mm) = 10'-0" radius; 5/8" (15.9 mm) = 15'-0" radius; Note: To achieve tighter bending radii, use 1/4" High Flex Gypsum Board.

**GYPSON BOARD FINISHING:** Execution of finishing is to conform to Gypsum Association publication GA 214-10: Recommended Levels of Gypsum Board Finish. Levels shall be attained according to ASTM C 840, "The Standard Specification for Application and Finishing of Gypsum Board." Tape all edges, all joints throughout bedded, taped and feathered, and all drywall corners finished with metal corner bead. All finish surfaces to be smooth, free of cracks, breaks, bulges, ridges, etc., with all topping compound well feathered and sanded and thoroughly concealed. Carefully cut around all electric, HVAC or other openings. Furr walls and ceilings as required where installed adjacent to existing plastered surfaces.

**Level 4:** If the final decoration is to be a flat paint, light texture or lightweight wall covering, a Level 4 finish is required. As stated in Level 4, "All joints and interior angles shall have tape embedded in joint compound and shall be immediately wiped with a joint knife leaving a thin coating of joint compound over all joints and interior angles. Two separate coats of joint compound shall be applied over all flat joints and one separate coat of joint compound shall be applied over interior angles. Fastener heads and accessories shall be covered with three separate coats of joint compound. All joint compound shall be smooth and free of tool marks and ridges." It is recommended that the prepared surface be coated with a drywall primer prior to the application of final finishes. **Level 5:** Level 5 finish is recommended for areas where severe lighting conditions exist and areas that are to receive gloss, semi-gloss, enamel or non-textured flat paints. Level 5 requires all the operations in Level 4. Additionally, a thin skim coat of joint compound, or material manufactured especially for this purpose, is applied to the entire surface. A skim coat of joint compound is intended to conceal small imperfections in joints and on the surface of the gypsum board to help conceal joints and create the appearance of flatness. A skim coat will also smooth the texture of the paper, minimize differences in surface porosity, and create a more uniform surface to which the final decoration can be applied. The Level 5 finish is required to achieve the highest degree of quality by providing a uniform surface and minimizing the possibility of joint photographing and/or fasteners showing through the final decoration.

**CEILING TEXTURES:** Smooth  
**FIRE-RATED GYPSON BOARD: 5/8" fire-rated drywall** to be installed and finished as required by all governing building codes. Panel complies with requirements of ASTM C 1396, Type X. Typically, all attached garage walls and ceiling to be fire-rated.

**MOLD AND MOISTURE RESISTANT GYPSON BOARD:** Gold Bond® BRAND XP Gypsum Board or equal, panel complies with requirements of ASTM C 1396. Mold/Mildew Resistance: 10 when tested in accordance with ASTM D 3273. Moisture resistant drywall shall be used in areas prone to moisture, such as bathrooms, laundry rooms, basements, garages, kitchens and utility rooms. Also may be used as tile backer in limited wet areas, such as bathroom and basement walls, as well as kitchen and laundry wall tile areas.

**BACKER BOARD:** Cementitious, water durable, board surfaced with fiberglass reinforcing mesh on front and back, long edges wrapped; and complying with ANSI A118.9 and ASTM C 1325. Approved fasteners: Nails: 1-1/2-in. long, hot dipped galvanized, and in accordance with FS FF-N-105B, Type 2, Style 20. Screws: Hi-Lo thread screws (No. 8) wafer head, corrosion-resistant, 1-1/4 in. or 1-5/8 in. long, and complying with ASTM C 1002. Joint Treatment: Use alkali-resistant fiberglass mesh tape intended for use with cement board. Install in accordance with ANSI A108.11 and Manufacturer's Recommendations: "PermaBase Cement Board Construction Guide," 110831, National Gypsum Co.

**CERAMIC/PORCELAIN/STONE TILE:** Tile shall be selected by The Owner under allowance and installed per the latest edition of The Tile Council of America specifications as follows:  
**THIN-SET FLOORS:** Dry-set or latex-Portland cement mortar bond coat over 1/2" cementitious-backer board (USG Dur-rock or equal) over plywood sub floor, per F144. Tape joints with 4" Dur-rock tape set into tile setting material.

**TUB/SHOWER SURROUNDS/BACKSPLASH:** Dry-set or latex-Portland cement mortar bond coat on 1/2" cementitious-backer board (USG Dur-rock or equal) over wood studs, W244 or B412. Add waterproof membrane over cementitious backer board for tub decks.

**TILE WAINSCOT (DRY AREAS/BACKSPLASHES):** Dry-set or latex Portland cement mortar bond coat or adhesive (organic adhesive in accordance with ANSI A136.1, Type 1) over water-resistant gypsum-board on wood studs, apply per B413.

**THRESHOLDS:** Tapered marble thresholds shall be installed at transitions between tile flooring and adjacent flooring surfaces, and shall be installed per Tile Council of America specification TH 611.

**SEALING:** All porous stone, ceramic tile, or other porous flooring and wall tile shall be sealed following installation to prevent staining, and other precautions taken to prevent damage to such tile work.

**INTERLOCKING RUBBER FLOORING:** Rubber flooring to be Ultimate RB Zip-Tile or approved equal, installed per manufacturer's specifications. Color to be selected by Owner.

**INTERIOR PAINTING:**  
**PREPARATION:** Prior to starting the Work, The Contractor shall inspect all surfaces to be painted or stained to ascertain that all such surfaces are dry, clean and in perfect condition for finishing. Wood surfaces shall be smoothly sanded; all nail and screw holes and imperfections filled with non-shrinking putty and refilled as required so that these imperfections are indiscernible; and all knots, pitch pockets and saps streaks primed with shellac. After priming fill gaps between trim and walls/ceilings with paintable latex/silicone caulk and wipe smooth.

**MATERIALS:** Painting materials to be Sherwin Williams, Pratt and Lambert, Benjamin-Moore, or approved equal, delivered to job in new, unopened containers. Paint or finish shall be of color, shade, sheen and texture as selected and approved by The Owner prior to commencement of work, samples presented on a reasonably large area.

**EXECUTION:** Finish work shall be of uniform shades, free from shadows, runs, sags, grain, grain variations (when stained) and dust, dirt or other airborne particles. Where surfaces of different colors meet, the final appearance shall be of a fine, straight line. All light fixtures, electric outlet covers, HVAC grills, hardware, or other removable materials adjacent to painted surfaces shall be removed and replaced after painting is completed. Other built-in materials adjacent to painted surfaces shall be carefully masked prior to painting/staining.

**INTERIOR PAINTED WOOD OR MDF trim work:** shall be painted with three coats: First, alkyd enamel primer; Second and third, alkyd base enamel, Benjamin Moore Impervo or equal, finish as selected by Owner, second coat tinted to differentiate from final coat. Putty prior to primer coat. Sand between coats. All window muntin grilles to be painted or stained at inside to match adjacent woodwork finish, and painted at exterior to match window color.

**STAINED WOODWORK:** to be stain finished with three coats: First, stain/sealer; Second and third, clear polyurethane or approved equal, satin finish. Sand between coats.

**DRYWALL WALLS AND CEILINGS:** to be painted with three coats: First, latex wall primer; Second and third, latex enamel. After initial priming, inspect all surfaces and re-prime as required following surface corrections, if any. Prime and paint all edges of all doors, including top and bottom edges, after trimming, shaving, undercutting or other adjustments to doors. Prime and finish paint all edges of windows and exterior doors.

**FLOOR FINISHES:** New hardwood floors to be sanded and finished on-site and stair treads shall be stained and finished with three coats: First, stain/sealer; Second and third, polyurethane, varnish, or other satin finish as approved by The Owner. Shoe mold at new hardwood floors shall be finished using three coat process as noted above for woodwork.

**EXTERIOR PAINTING AND STAINING:**  
**PREPARATION:** The Contractor shall inspect, clean, and properly prepare all exterior surfaces that are to be painted or stained. The Architect shall be notified of any surfaces that cannot be brought up to proper standards for finishes specified. Sand any exposed wood to a fresh surface. Patch all nail holes with a wood filler or putty and sand smooth. Work to include application of sealant on all exterior joints between siding and windows, trim or other exterior openings or areas where moisture penetration is likely (see Division 7).

**NEW WOOD PRIMING:** prime and back-prime all new exterior wood trim and wood siding prior to installation. Prime all cut ends or rips prior to installation.

**EXTERIOR PAINTED WOOD TRIM AND SIDING:** The Contractor shall paint all exterior siding, trim and woodwork with one coat of alkyd-based stain-blocking primer (prior to installation). Finish paint with two coats of highest-quality exterior latex house paint, Sherwin-Williams 'Duration' or equal-, color and texture to match

existing. Include all exterior surfaces of windows and doors concealed by meeting rails or overlapping members.

**CELLULAR PVC OR BORAL TRIM:** shall be painted with two coats highest-quality latex acrylic house paint, color and sheen as approved by The Owner.

**HARDIE SIDING:** For cement fiber-reinforced siding, use specially formulated primer (SW Loxon or equal), where siding is not pre-primed, and two coats exterior house paint as specified above.

**Spec. Div. 10: Specialties**

**CUSTOM-BUILT CABINETS:** Cabinetry and Casework to be built with solid wood doors, drawers, and face-frames. Box and shelving construction to be veneer plywood, 1/2" thickness minimum for sides and backs, 3/4" min. thickness for shelving. Interior melamine finish for cabinet interiors at The Owner's option only. All construction to comply with Architectural Wood Institute Custom Grade Standards.

**CABINET HARDWARE:** Drawer glides to be full-extension, self-closing, soft close, under-mounted Blum Motion. Door hinges shall be fully concealed European-style with soft close/stopset butt hinges as selected by The Owner and shall include all required latches and stops. Adjustable shelving to use drilled holes with chrome pin shelf supports. Glass shelves, if indicated, to be thickness as recommended for span by glass supplier, tempered with polished edges all sides. Door glass, where required, shall be tempered and cushioned against wood door frame to avoid rattling. Cabinet pulls/knobs shall be furnished under Allowance and set by Contractor. All cabinetry and casework installation shall be by The Contractor. Install all cabinets level and plumb, securely fastened to walls and to each other, and scribed to walls. Cabinetry fabricator is responsible for field verifying all dimensions and clearances with trims, doors, windows, and appliances.

**COUNTERTOPS:** Provide counter and vanity material as shown on drawings. Colors and material types shall be approved by The Owner. For stone countertops, installation shall follow recommendations of the Granite and Marble Association. Reinforce base cabinets as required to support stone or concrete countertops, and notify/coordinate with The Architect if additional brackets or support is required for tops. Stone tops as selected by The Owner under Allowance shall be installed by marble supplier/ fabricator whose work shall include installation of any under-counter sinks or lavatories.

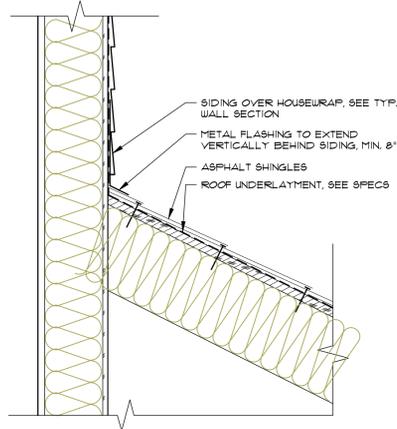
**CLOSET HARDWARE:** Closet rods to be polished stainless steel clad iron pipe, Knap & Vogt #770-1, set on KV #734 CHR closed flange and KV #735 CHR open flange.

**MIRRORS:** Mirrors to be 1/4" glass, with polished edges, to extend \_\_\_\_\_. Mirror in Dressing area to be 24" wide by 60" long, trimmed with molded wood frame. Include mirrors on \_\_\_\_\_ doors, where shown, to fully cover all panels.

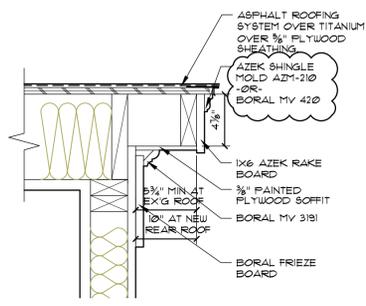
**TOILET AND BATH ACCESSORIES:** Toilet and Bath Accessories shall be selected by The Owner under Allowance and installed by The Contractor, and shall include towel bars/rings, robe hooks, toilet paper holders, toothbrush holders, etc. 2x blocking shall be provided behind all wall-mounted accessories.

**BATH AND SHOWER ENCLOSURES:** Tempered glass bath and shower enclosures and doors shall be selected by The Owner under Allowance and installed by The Contractor, material and labor to be covered by Allowance.

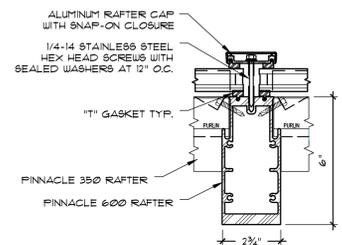
**ATTIC STAIRS:** Install Bessler Stairway Company (www.bessler.com) per manufacturer's recommendations. Model to be per drawings.



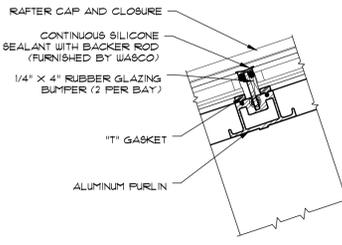
7 A-8 Roof Wall Intersection 3"=1'-0"



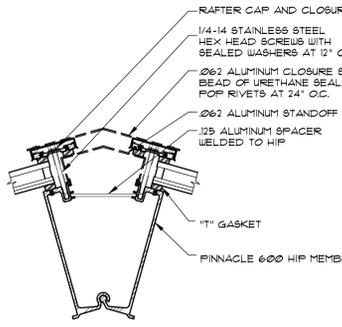
6 A-8 Rake Detail 3"=1'-0"



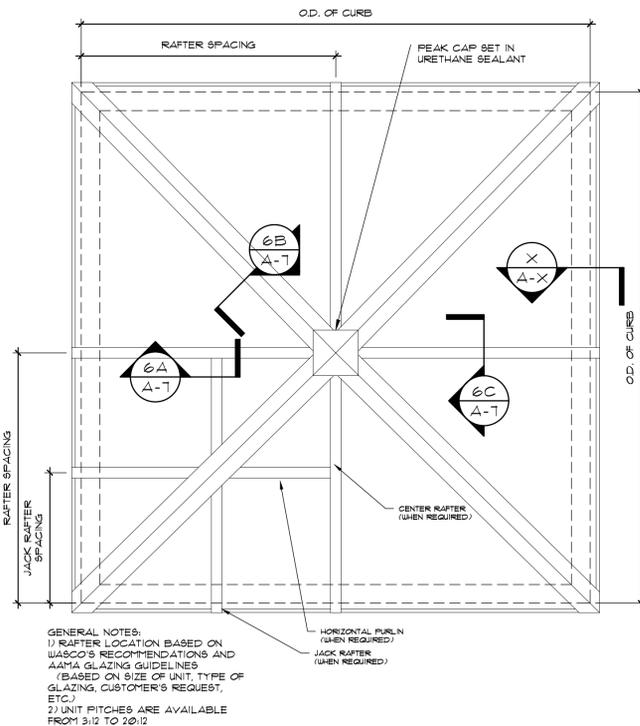
5 A-8 Skylight Details 3"=1'-0"



4 A-8 Skylight Details 3"=1'-0"

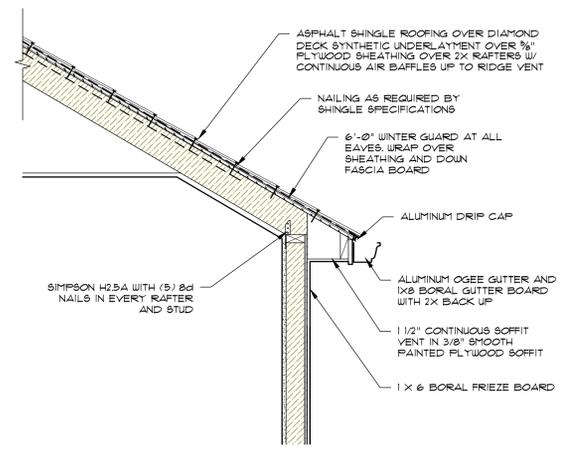


3 A-8 Skylight Details 3"=1'-0"

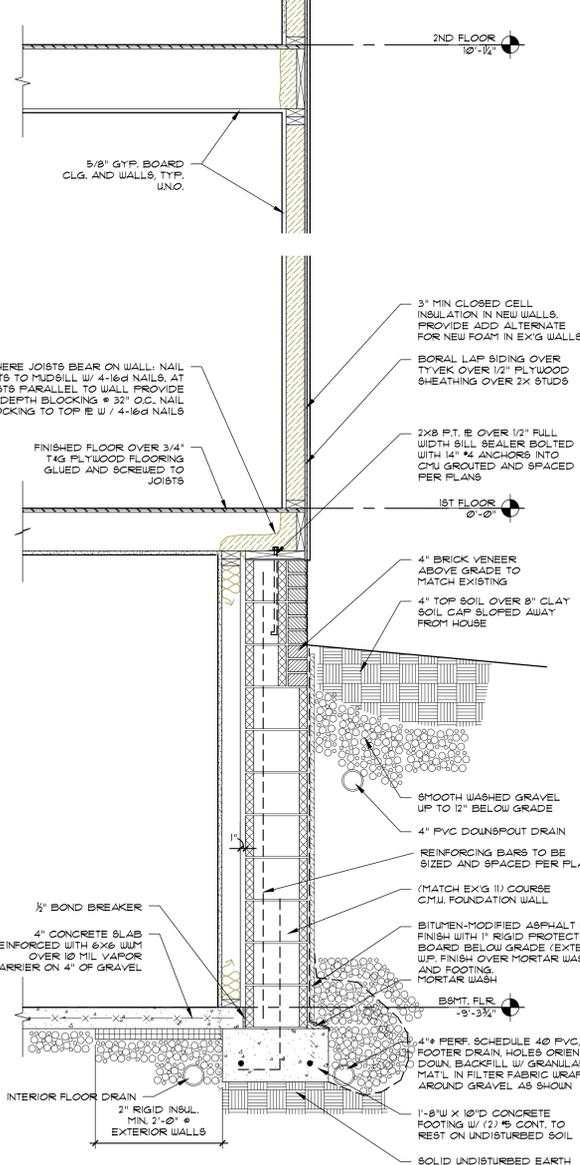


2 A-8 Skylight Plan Detail 3/4"=1'-0"

GENERAL NOTES:  
1) RAFTER LOCATION BASED ON WASC0'S RECOMMENDATIONS AND AAMA'S GLAZING GUIDELINES (BASED ON SIZE OF UNIT, TYPE OF GLAZING, CUSTOMER'S REQUEST, ETC.)  
2) UNIT PITCHES ARE AVAILABLE FROM 3:12 TO 20:12



1 A-8 Wall Section 3/4"=1'-0"



Rebecca L. Pantuso, License No. 0914809  
Expiration Date 12/31/2019

CLEMENS PANTUSO

architecture

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CLEMENS PANTUSO ARCHITECTURE

Additions and Renovations to  
The Gasparovic Residence  
74 Fox Trace Lane, Hudson OH 44236

Wall Sections, Spec. Div. 9-10

Job number	1845
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Issued for	12.14.18 Client Review
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A-8



NOTICE OF PUBLIC HEARING  
HUDSON COUNTY  
PLANNING BOARD  
PUBLIC HEARING  
ON THE  
PROPOSED  
ZONING ORDINANCE  
AMENDMENTS  
AND  
REZONING APPLICATIONS  
FOR THE  
TOWNSHIP OF  
HUDSON COUNTY  
NEW JERSEY  
ON  
TUESDAY, OCTOBER 10, 2017  
AT 7:00 PM  
AT THE  
PLANNING BOARD  
ROOM  
1000  
MOUNTAIN VIEW AVENUE  
SPRINGFIELD TOWNSHIP  
HUDSON COUNTY  
NEW JERSEY  
07081



DUPONT Tyvek HomeWrap



DUPONT Tyvek HomeWrap



DUPONT Tyvek HomeWrap



DUPONT Tyvek HomeWrap

DUPONT Tyvek HomeWrap



DUPONT Tyvek HomeWrap





Looking From City Owned  
Property to the West



Screen Porch