

20 October 2020

Nick Sugar, AICP
Senior Planner, City of Hudson
1140 Terex Road
Hudson, OH 44236

Re: 63 Owen Brown Street AHBR Window Follow-up

Dear Mr. Sugar,

As a follow-up to the 9/9/20 AHBR Meeting, where the board finally approved the project with certain conditions, I wanted to reach out to the City regarding the windows.

During the 9/9/20 AHBR meeting, I was a bit surprised and felt that I was put in a difficult position, when a board member submitted and referred to an artist illustration of the house and the one 6/6 window drawn from 1874, and that the board decision appeared to be solely based on this artist rendering from 147 years ago. Please refer to the attached images "Historic Windows", page 1. This illustration also neglects to show the frieze boards, corner pilasters and details that we see on the house today. This further suggests that the artist rendering is simply an interpretation, not an actual representation of the house.

Without going into the history of the windows for this house (please refer to my earlier 8/26 "Owner Letter"), we have recently obtained additional documents that support the proposed 2/2 windows that had been presented (refer to "Historic Windows" PDF).

Pages 2, 3, and 4 show historic photographs of the house (date unknown) that clearly show the 2/2 window sashes. In addition, pages 5, 6, 7 and 8 are hand drawn elevations of the house that were submitted and approved by the AHBR in 1983, when the house was moved from the Hudson High School property to Owen Brown Street. While the approved hand drawings clearly indicate 2/2 windows (as also seen in the historic photographs), we know that the 6/6 windows installed in 1983 during the renovation, were not original to house, and that they were salvaged/purchased from another house in eastern Ohio.

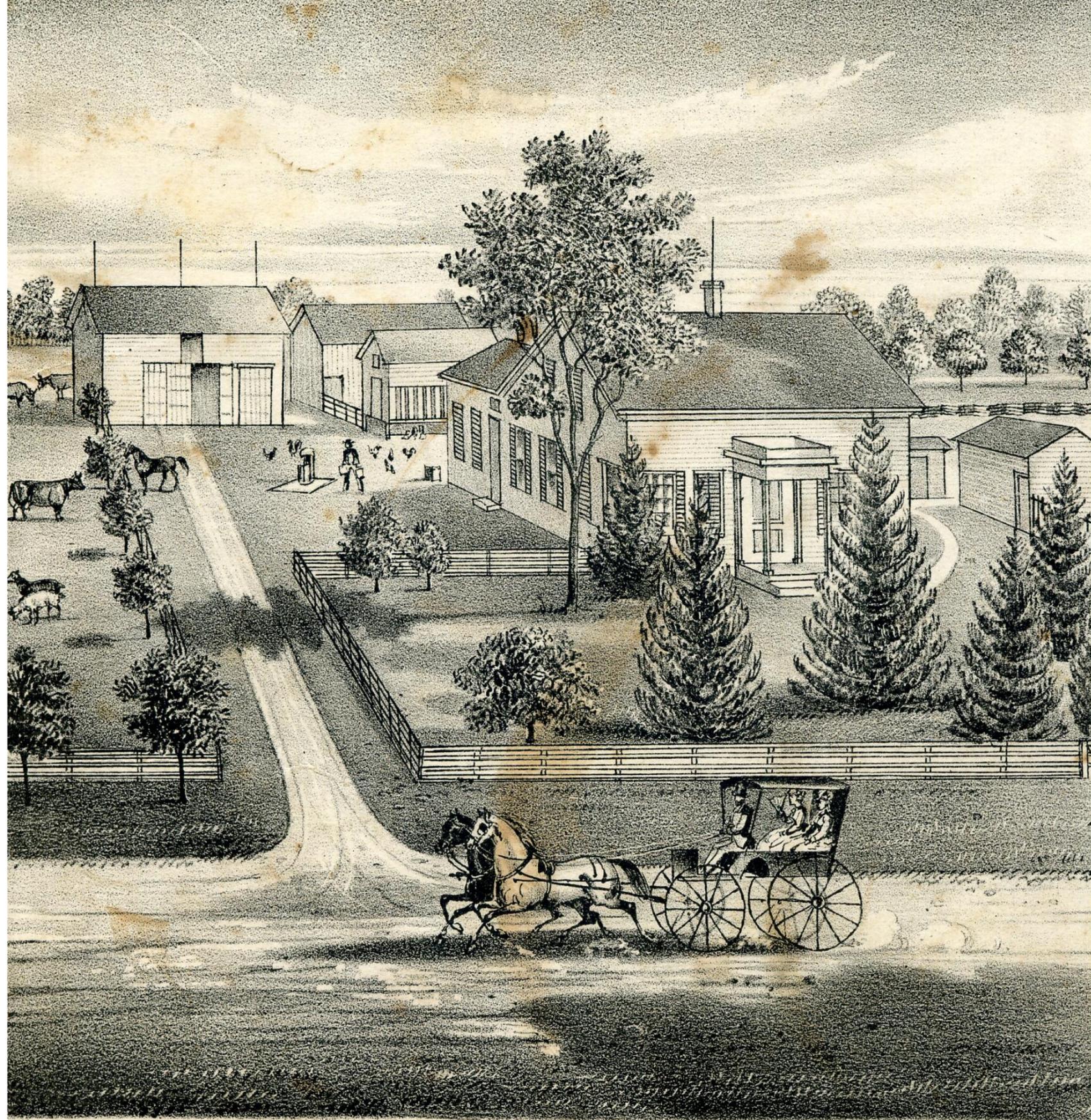
While I am in general agreement about a board members comments that "Greek Revival" style structures commonly are seen with 6/6, there are also many examples of this style/period home with the 2/2 windows.

Lastly, we have just received the final bid for all the Pella Reserve Traditional Windows, where there is a \$6,350 upcharge for the 6/6 putty glaze exterior grilles, which I was not anticipating in the project budget. Refer to the attached Pella Bid. Unfortunately, we are also under a tight deadline, as Pella Window orders need to be in before 10/30/20, when Pella will be increasing their pricing by 15%, for another project budget increase of \$5,500. At this point, I have been put in a difficult situation with a potential \$11,850 increase for the windows alone.

While we have now gone through three (3) AHBR meetings for approval, I am re-submitting the project again to the AHBR, in hopes that the board will review the new images and drawings provided in support of our proposed 2/2 windows.

Thank you for your time and consideration. I look forward to reviewing the material with the AHBR on October 28th.

Sincerely,
Keith Morris



RES. OF GEORGE BENTLEY ESQ.
HUDSON, OHIO.

Summit County Atlas, 1874

Chloe-Wright House, 1835

63 Owen Brown Street Restoration



Historic Photograph, Front Elevation with 2/2 lites

Chloe-Wright House, 1835

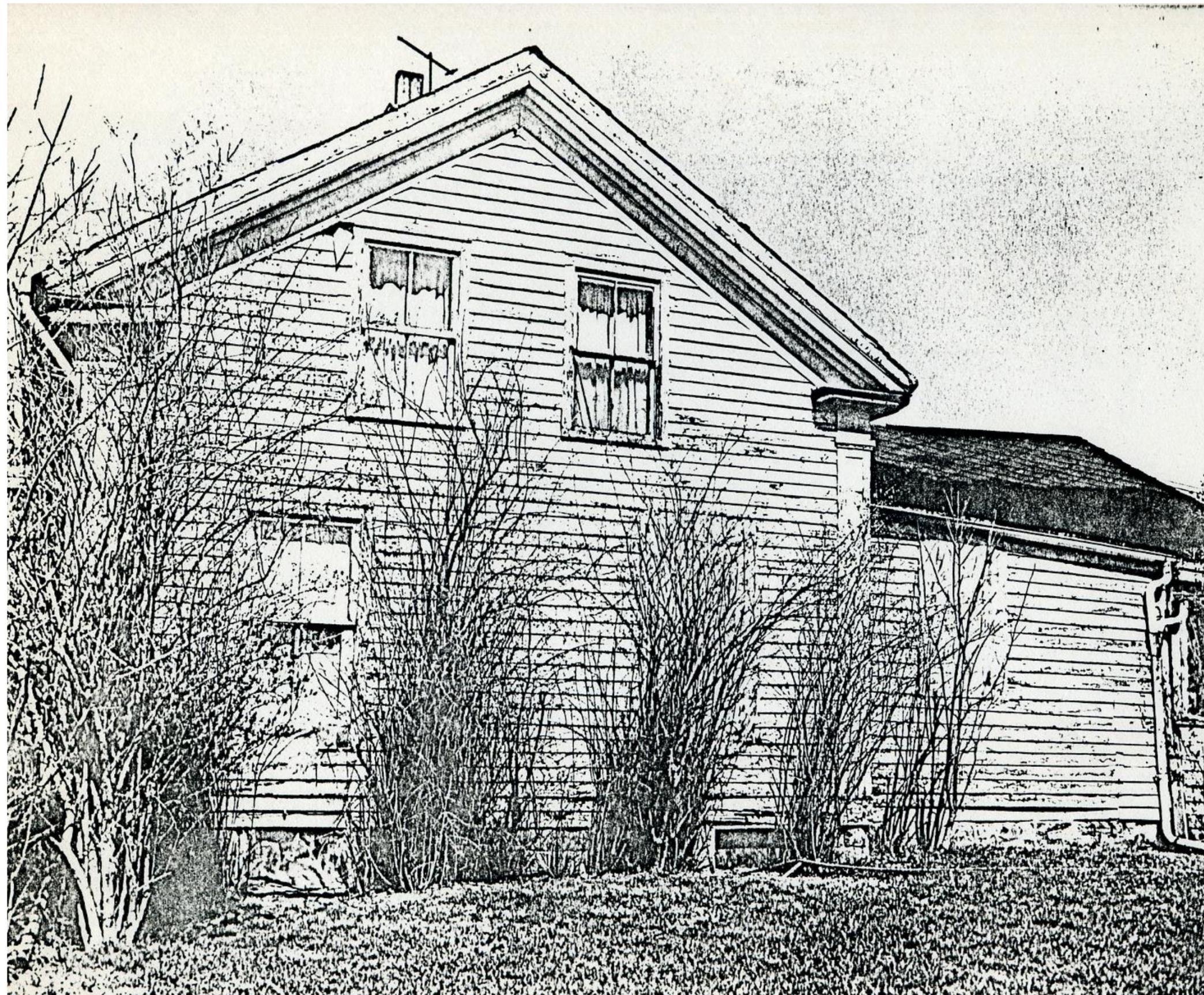
63 Owen Brown Street Restoration



Historic Photograph, Left Side Elevation with 2/2 lites

Chloe-Wright House, 1835

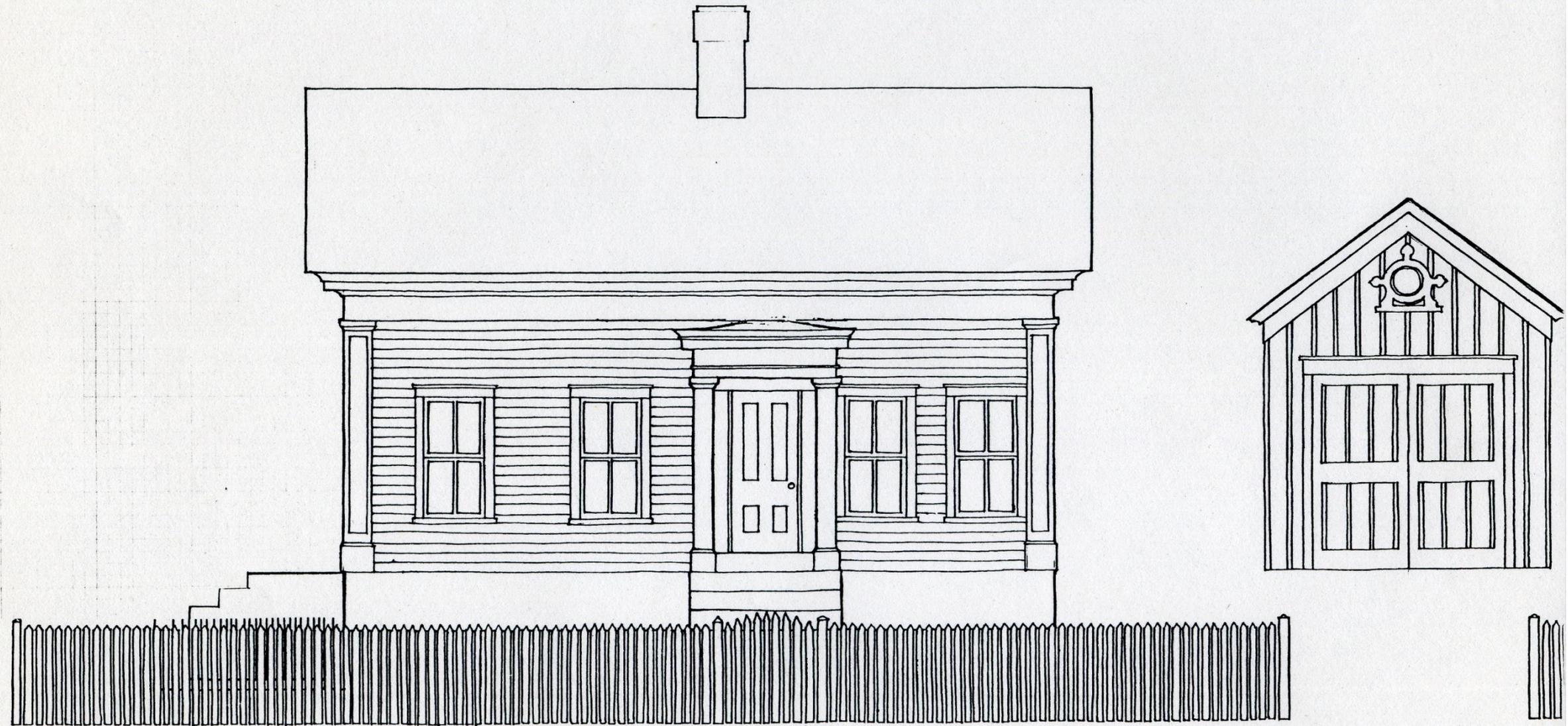
63 Owen Brown Street Restoration



Historic Photograph, Right Side Elevation with 2/2 lites

Chloe-Wright House, 1835

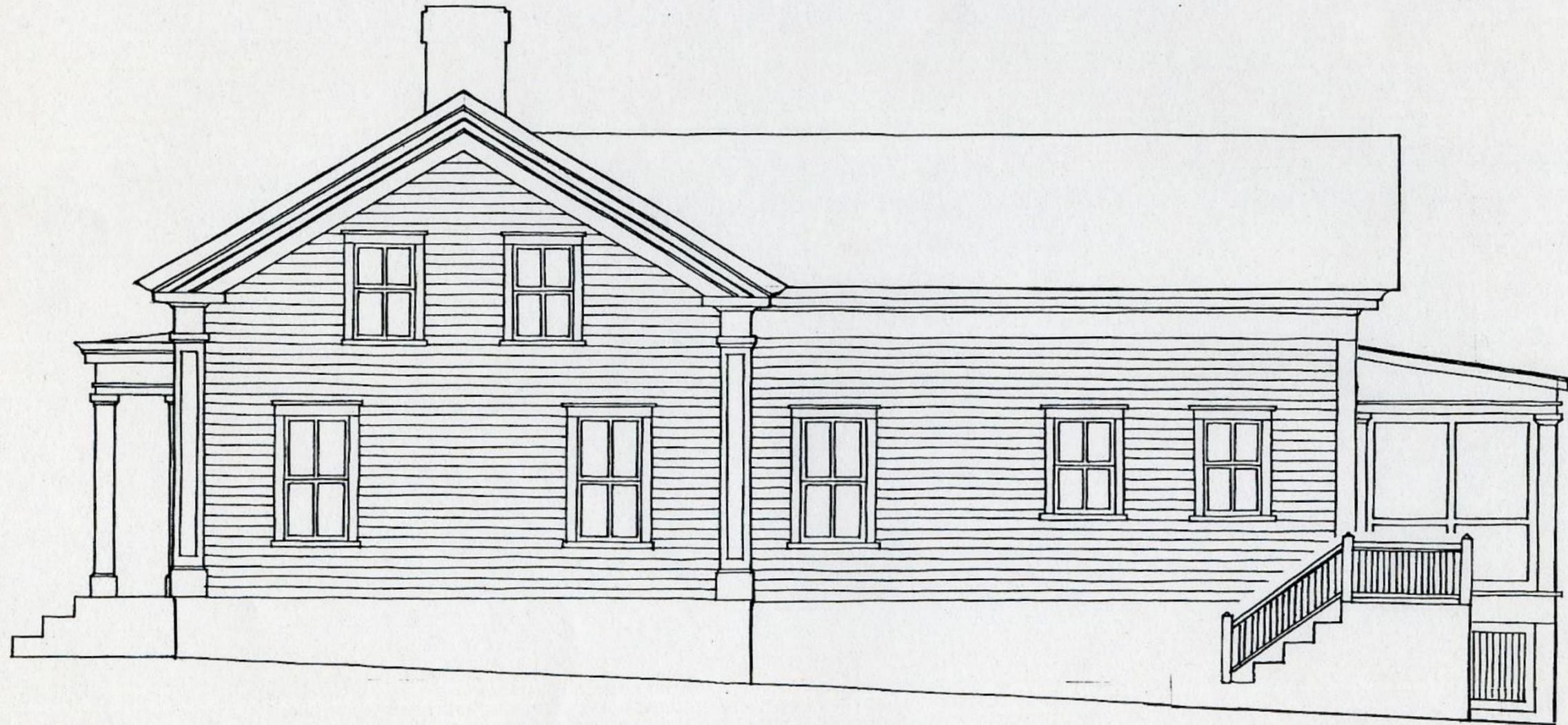
63 Owen Brown Street Restoration



AHBR Submittal, Hand drawn South (Front) Elevation, 1983

Chloe-Wright House, 1835

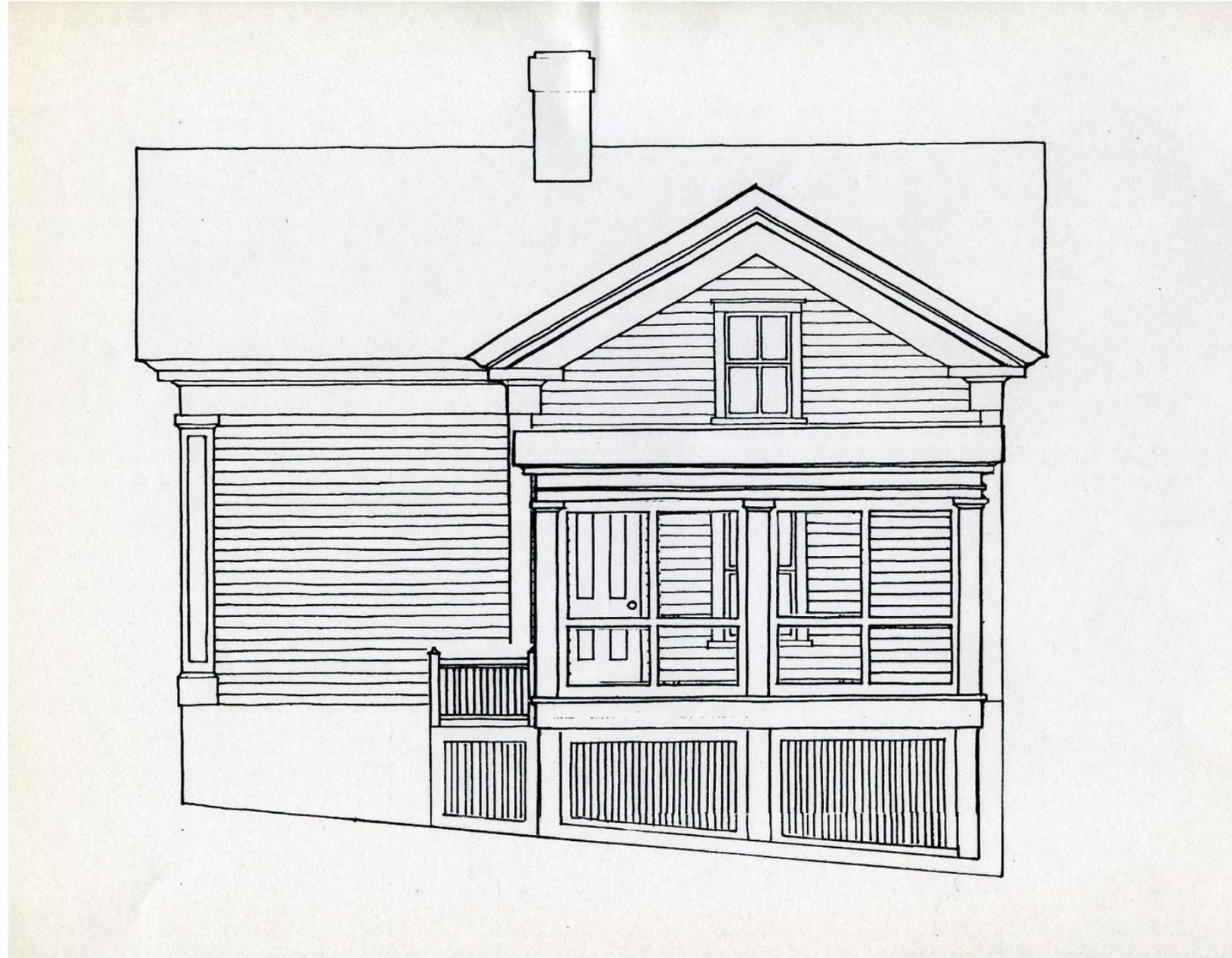
63 Owen Brown Street Restoration



AHBR Submittal, Hand drawn East (Side) Elevation, 1983

Chloe-Wright House, 1835

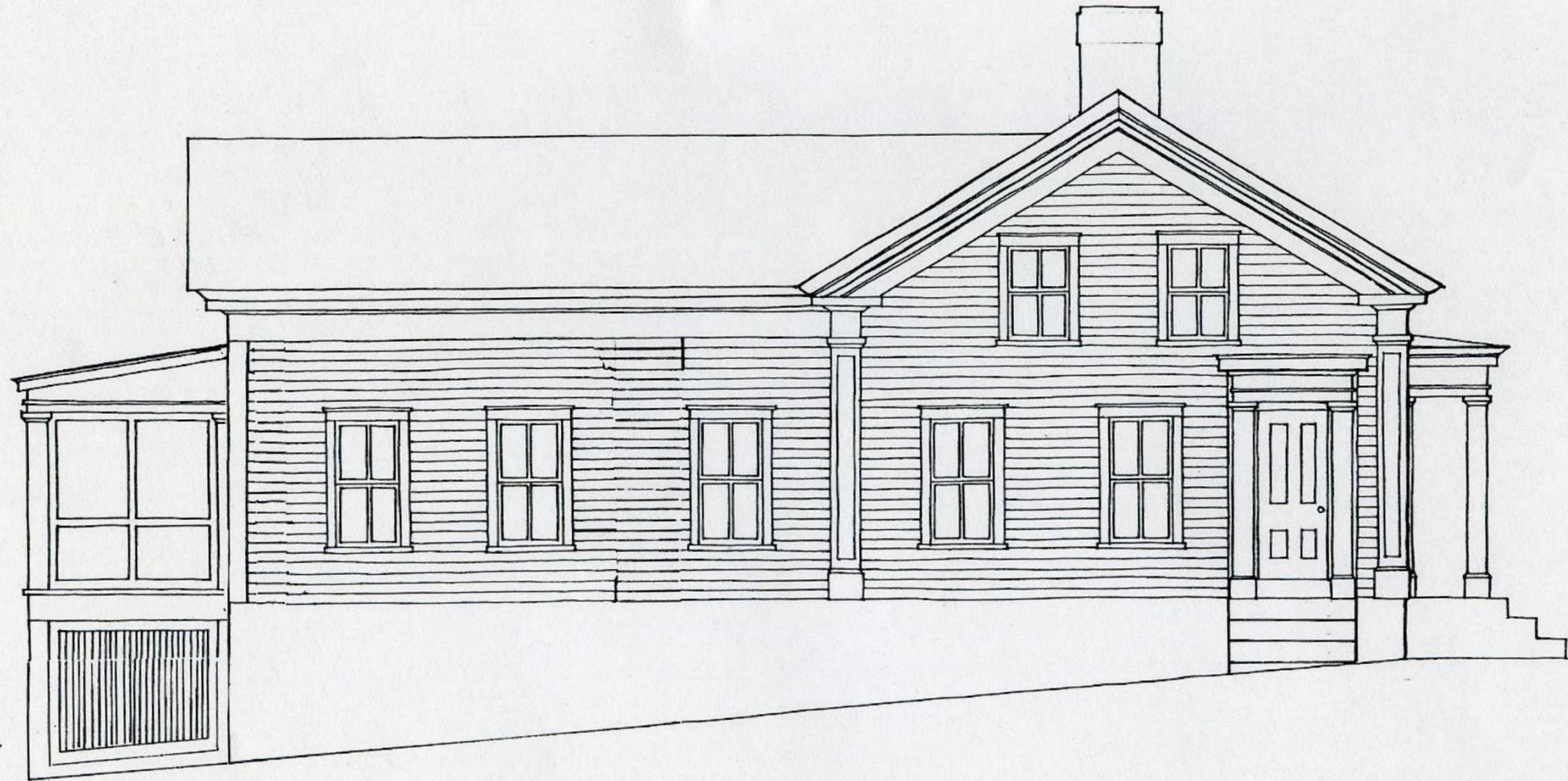
63 Owen Brown Street Restoration



AHBR Submittal, Hand drawn North (Back) Elevation, 1983

Chloe-Wright House, 1835

63 Owen Brown Street Restoration



AHBR Submittal, Hand drawn West (Side) Elevation, 1983

Chloe-Wright House, 1835

63 Owen Brown Street Restoration



Proposal - Summary

Pella Window and Door Showroom of Akron
2965 West Market Street

Akron, OH 44333

Phone Number: (330) 836-5548

Fax Number: (330) 836-5547

Quote Number: 13256488

Quote Name: Full Frame 2/2 lites

Project Name: Morris Res - Folta Const

Sales Rep Name: Burford, Paul

Sales Rep Phone: 330-836-5548

Sales Rep Email: paul_burford@gunton.com

Sales Rep Fax:

Quote Information

Customer Name: FOLTA CONSTRUCTION CO.

Primary Phone: 3306500707

Fax Number: (330) 6500707

Mobile Phone: (330) 6205832

Customer Number: 1002268368

Contact Name:

Great Plains #: 299227

Quoted Date: 10/14/2020

Order Type: Non-Installed Sales

Customer Account: 1000297800

Customer Notes: Pella Reserve Products:
*Hartford Green Exterior
*Primed Interior
*5/8" ILT Grille as drawn on prints
*Half Screen on Hung Windows in Vivid View Material
*Black Spoon Hardware on Hung Windows

Must confirm New Frame Sizing - Prior to Ordering

**New Opening Units contain 4-9/16" Jamb Depth

**New Units are Full Frame with Nailing Fins

Change to a 6/6 lites in hung windows for an additional \$6,343.41

Pricing Good Until October 30th, 2020 @ 1pm.

Line #	Qty	Rough Opening	Description	Location	Item Price	Ext'd Price
10	4		Pella® Reserve, Traditional, Double Hung, Hartford Green	Front Living	\$1,331.19	\$5,324.76
15	3		Pella® Reserve, Traditional, Double Hung, Hartford Green	Entry	\$1,331.19	\$3,993.57
20	1		Pella® Reserve, Traditional, Double Hung, Hartford Green	Bath	\$1,453.95	\$1,453.95
25	1		Pella® Reserve, Traditional, Double Hung, Hartford Green	New Bath	\$1,183.63	\$1,183.63
30	1		Pella® Reserve, Traditional, Double Hung, Hartford Green	Pantry	\$1,331.19	\$1,331.19
35	2		Pella® Reserve, Traditional, Double Hung, Hartford Green	Kitchen Sink	\$1,038.91	\$2,077.82
40	1		Pella® Reserve, Traditional, Double Hung, Hartford Green	Kitchen Back	\$1,453.95	\$1,453.95
45	2		Pella® Reserve, Traditional, Double Hung, Hartford Green	Kitchen Side	\$1,331.19	\$2,662.38
50	1		Pella® Reserve, Traditional, Double Hung, Hartford Green	Butler Pantry	\$1,331.19	\$1,331.19
55	2		Pella® Reserve, Traditional, Double Hung, Hartford	Bed 1	\$1,221.59	\$2,443.18

For more information regarding the finishing, maintenance, service and warranty of all Pella® products, visit the Pella® website at www.pella.com

<u>Line #</u>	<u>Qty</u>	<u>Rough Opening</u>	<u>Description</u>	<u>Location</u>	<u>Item Price</u>	<u>Ext'd Price</u>
			Green			
60	2		Pella® Reserve, Traditional, Double Hung, Hartford Green	Owners Bed	\$1,221.59	\$2,443.18
65	1		Pella® Reserve, Traditional, Awning Vent, Hartford Green	Owners Bath New	\$962.10	\$962.10
70	1		Pella® Reserve, Traditional, Awning Vent, Hartford Green	Owners Bath New	\$1,145.62	\$1,145.62
75	1		Pella® Reserve, Traditional, Awning Vent, Hartford Green	Owners Bath New	\$962.10	\$962.10
80	1		Pella® Reserve, Traditional, Double Hung, Hartford Green	New Stairs Landing	\$1,208.25	\$1,208.25
81	1		Pella® Reserve, Traditional, Double Hung, Hartford Green	Old Bed 3	\$1,221.59	\$1,221.59
85	1		Pella® Reserve, Traditional, Awning Vent, Hartford Green	Bath New	\$962.10	\$962.10
90	1		Pella® Reserve, Traditional, Awning Vent, Hartford Green	Bath New	\$1,145.62	\$1,145.62
95	1		Pella® Reserve, Traditional, Awning Vent, Hartford Green	Bath New	\$962.10	\$962.10

** Indicates pricing for line is not complete. The product must be approved by Pella before final pricing will be calculated.

For more information regarding the finishing, maintenance, service and warranty of all Pella® products, visit the Pella® website at www.pella.com

Order Totals	
Taxable Subtotal	\$34,268.28
Sales Tax @ 6.75%	\$2,313.11
Non-taxable Subtotal	\$0.00
Total	\$36,581.39
Deposit Received	\$0.00
Amount Due	\$36,581.39

Thank You For Your Interest In Pella® Products

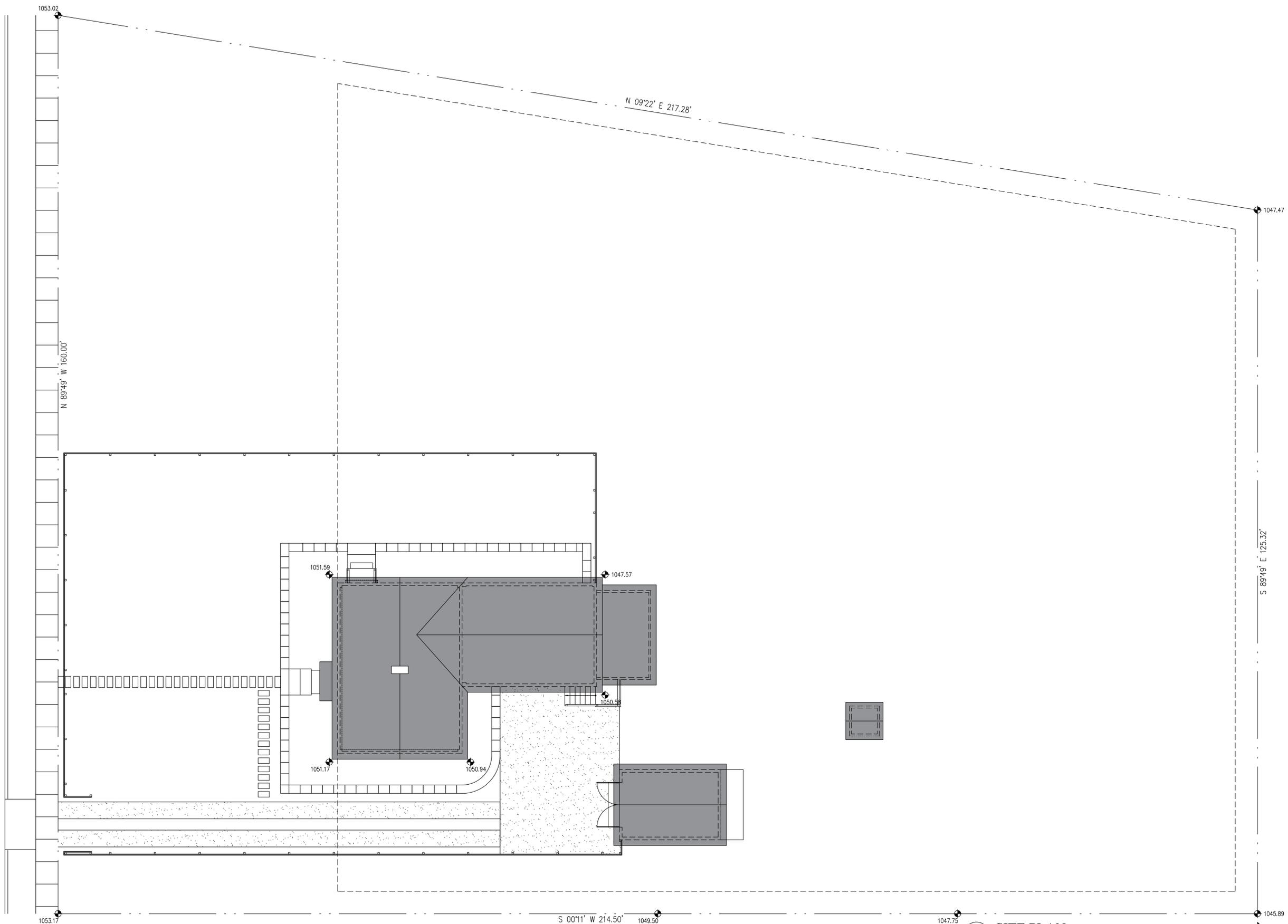
TERMS & CONDITIONS:

This Quote is Good for 30 Days.

For more information regarding the finishing, maintenance, service and warranty of all Pella® products, visit the Pella® website at www.pella.com

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OWEN BROWN STREET



1 SITE PLAN
SCALE: 1/8" = 1'-0"



MORRIS RESIDENCE - RESTORATION
63 Owen Brown Street
Hudson, Ohio 44236

Date	Description
07/24/20	PROGRESS SET
08/04/20	AHBR SUBMITTAL
08/12/20	AHBR MEETING
08/26/20	AHBR MEETING
09/09/20	AHBR APPROVAL
10/05/20	BID/PRICING
10/20/20	AHBR SUBMITTAL

Scale: As Noted

Site Plan

A0.1

1 2 3 4 5 6 7 8 9 10

H

TOP OF RIDGE
EL. +18'-10"
TOP OF RIDGE
EL. +17'-1"



1 EXISTING SOUTH (FRONT) ELEVATION
SCALE: 1/4" = 1'-0"

G

SECOND FLOOR LEVEL
EL. +8'-4-3/4"

F

FIRST FLOOR LEVEL
EL. +0'-0"



2 EXISTING EAST (RIGHT) ELEVATION
SCALE: 1/4" = 1'-0"

E

TOP OF RIDGE
EL. +18'-10"
TOP OF RIDGE
EL. +17'-1"



3 EXISTING NORTH (BACK) ELEVATION
SCALE: 1/4" = 1'-0"

D

SECOND FLOOR LEVEL
EL. +8'-4-3/4"

C

FIRST FLOOR LEVEL
EL. +0'-0"

SECOND FLOOR LEVEL
EL. +8'-1-1/4"



4 EXISTING WEST (LEFT) ELEVATION
SCALE: 1/4" = 1'-0"

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KEYNOTES: ① →

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LEGEND:

MORRIS RESIDENCE - RESTORATION

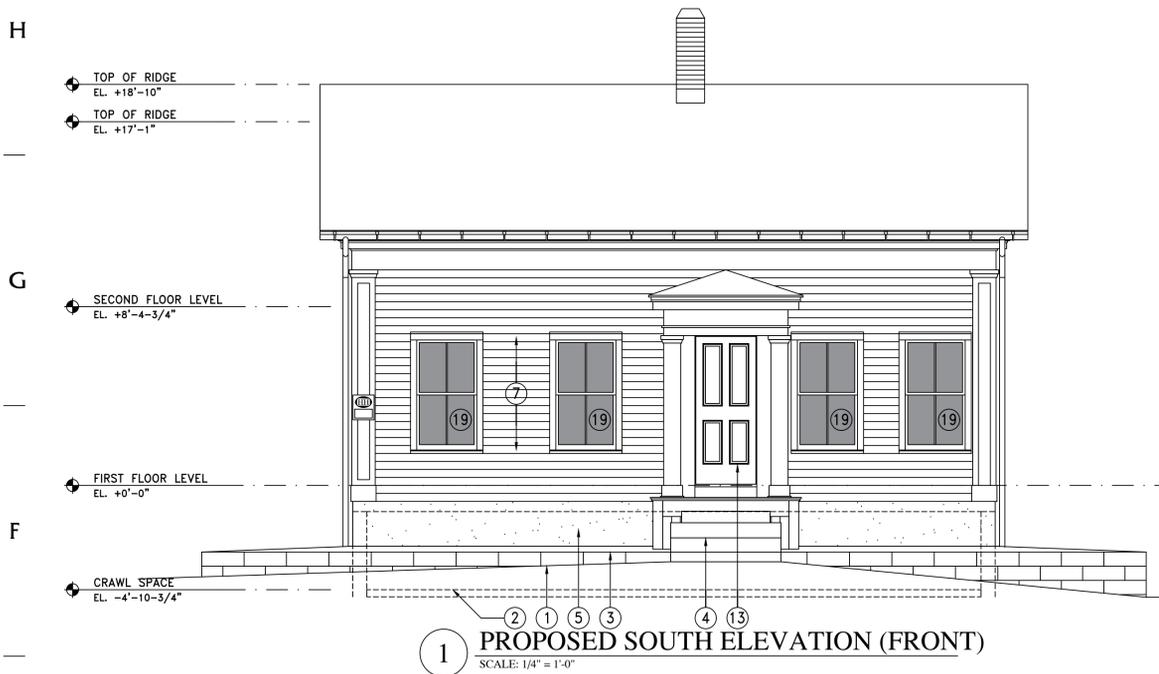
63 Owen Brown Street
Hudson, Ohio 44236

Date	Activity
07/24/20	PROGRESS SET
08/04/20	AHBR SUBMITTAL
08/12/20	AHBR MEETING
08/26/20	AHBR MEETING
09/09/20	AHBR APPROVAL
10/05/20	BID/PRICING
10/20/20	AHBR SUBMITTAL

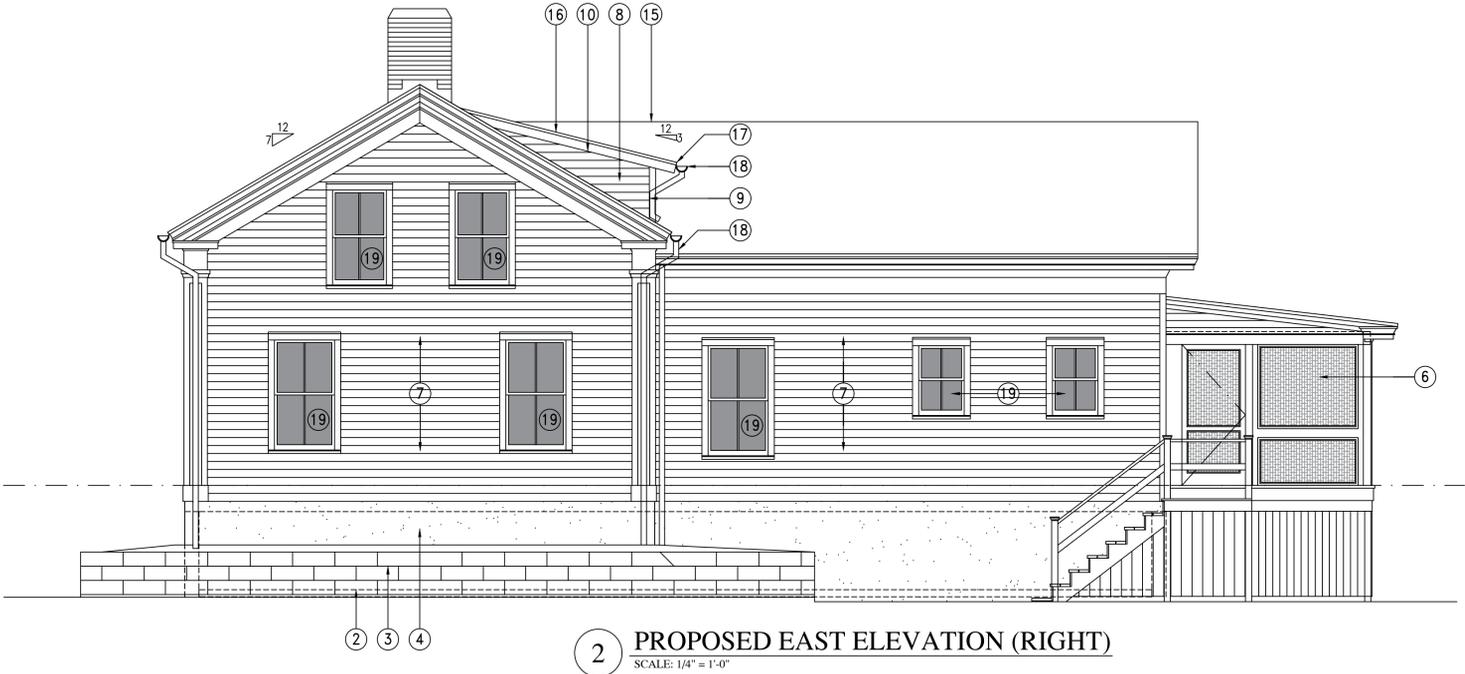
Scale As Noted

Existing Building Elevations

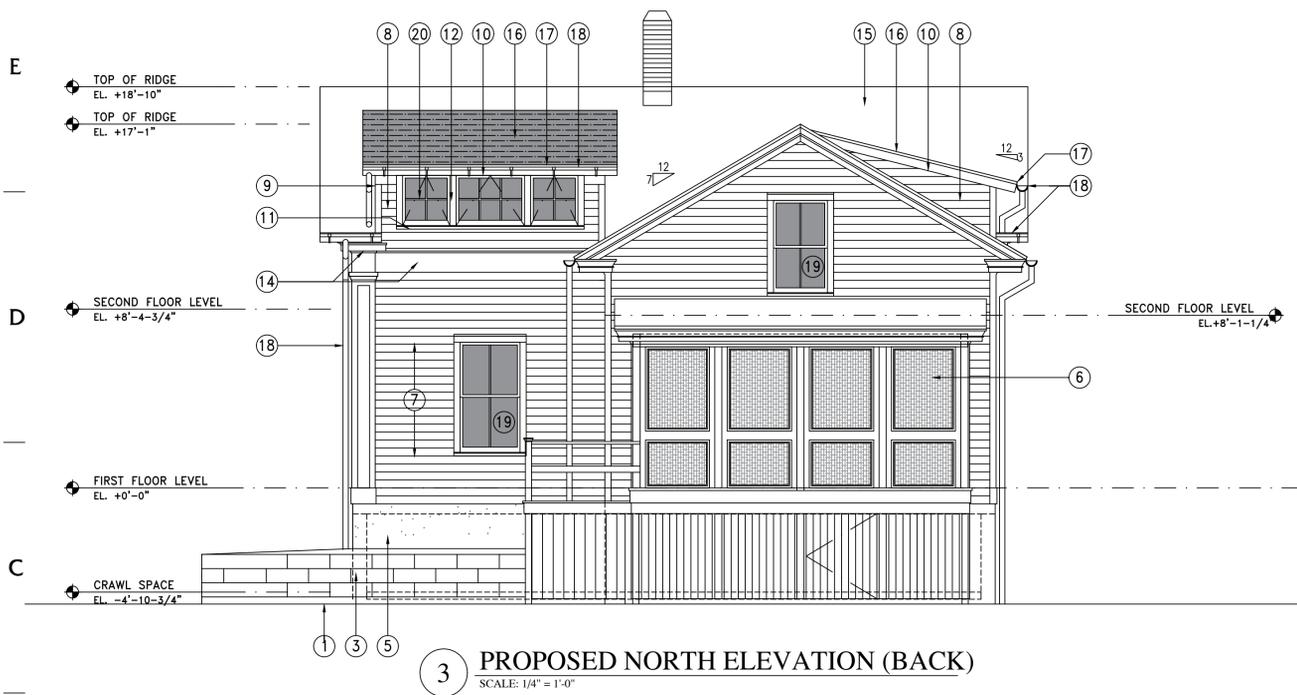
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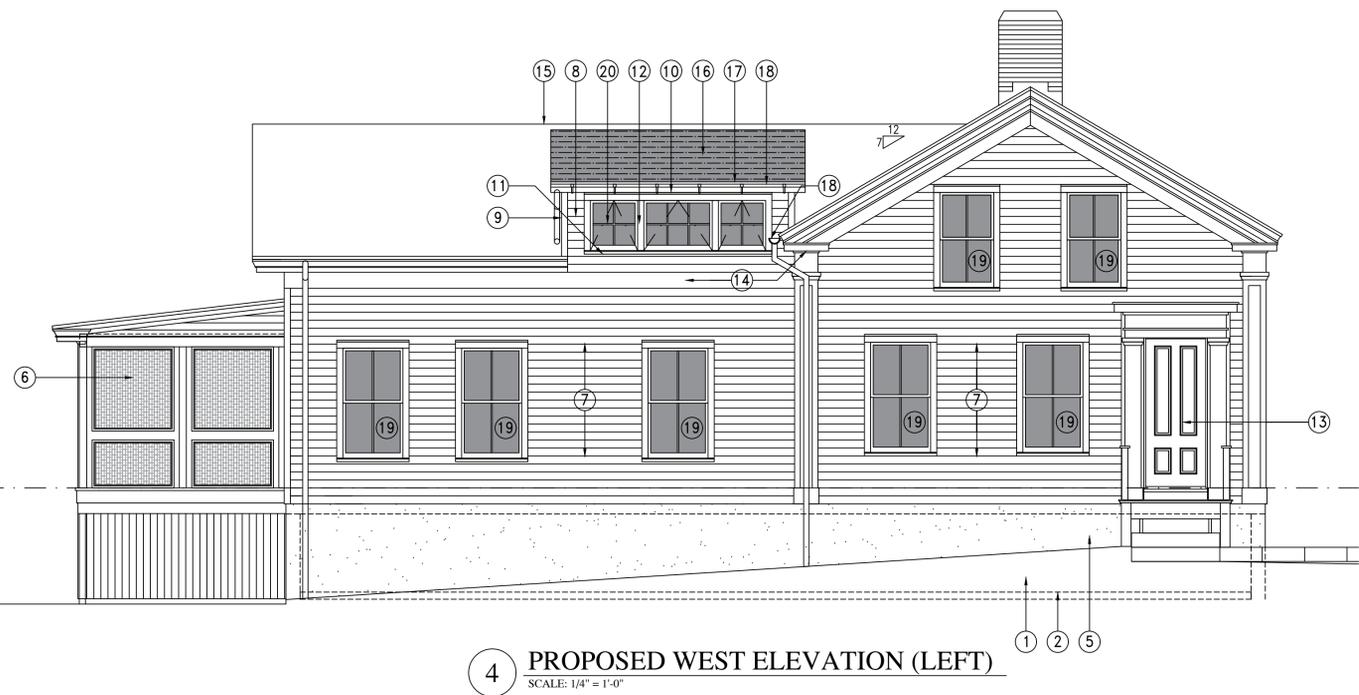
1 PROPOSED SOUTH ELEVATION (FRONT)
SCALE: 1/4" = 1'-0"



2 PROPOSED EAST ELEVATION (RIGHT)
SCALE: 1/4" = 1'-0"



3 PROPOSED NORTH ELEVATION (BACK)
SCALE: 1/4" = 1'-0"



4 PROPOSED WEST ELEVATION (LEFT)
SCALE: 1/4" = 1'-0"

KEYNOTES: ①

- | | | |
|---|--|---|
| <ul style="list-style-type: none"> 1. LINE OF EXISTING GRADE 2. LINE OF EXISTING CRAWL SPACE CONCRETE SLAB AND CMU BLOCK FOUNDATION WALL BELOW 3. EXISTING SANDSTONE BLOCK LANDSCAPE RETAINING WALL 4. EXISTING SANDSTONE BLOCK STEPS 5. EXISTING PARGE COAT FINISH OVER EXISTING CMU BLOCK FOUNDATION WALL. 6. EXISTING SCREENED-IN PORCH 7. EXISTING CEDAR WOOD HORIZONTAL LAP SIDING TO REMAIN. REPAIR/REPLACE ROTTED BOARDS, AS REQUIRED. PAINTED. 8. NEW CEDAR WOOD HORIZONTAL LAP SIDING AT SHED DORMER, TO MATCH EXISTING WITH 4.5" EXPOSURE. PAINTED. | <ul style="list-style-type: none"> 9. 1"x4" CORNER TRIM TO MATCH EXISTING. PAINTED. 10. 1"x6" RAKE AND FASCIA BOARD. PAINTED. 11. NEW WOOD WINDOW SILL TO MATCH EXISTING PROFILE. PAINTED. TYPICAL. 12. NEW WOOD WINDOW TRIM/SURROUND TO MATCH EXISTING PROFILE AND DETAILS. PAINTED. TYPICAL. 13. EXISTING WOOD PANELED DOOR TO BE RESTORED AND REFINISHED. PROVIDE NEW WEATHER STRIPPING AND THRESHOLD AND HARDWARE. BALDWIN HARDWARE TO HAVE OIL-RUBBED BRONZE FINISH. 14. EXISTING WOOD FRIEZE BOARD AND CORNICE RETURN TO REMAIN. 15. EXISTING ASPHALT SHINGLED ROOF | <ul style="list-style-type: none"> 16. NEW ASPHALT SHINGLED ROOF AT SHED DORMER. PINNACLE PRISTINE "HEARTHSTONE" ARCHITECTURAL SHINGLE. PROVIDE ICE & WATER UNDERLAYMENT FOR ENTIRE ROOF. 17. PROVIDE NEW METAL DRIP EDGE, PAINT TO MATCH TRIM COLOR. 18. NEW PRE-FINISHED PAINTED ALUMINUM 5" HALF-ROUND GUTTER, HANGERS, 3" PLAIN ROUND DOWNSPOUT W/ BRACKETS AND CHEATS, AS REQUIRED. PAINT TO MATCH TRIM COLOR. 19. NEW PELLA "RESERVE TRADITIONAL" ALUMINUM-CLAD, WOOD DOUBLE-HUNG WINDOW WITH 2/2 LITE AND 1LT GRILLE. ALL HARDWARE TO BE OIL-RUBBED BRONZE FINISH 20. NEW PELLA "RESERVE TRADITIONAL" ALUMINUM-CLAD, WOOD AWNING WINDOW WITH 1LT GRILLE. ALL HARDWARE TO HAVE OIL-RUBBED BRONZE FINISH. |
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NOTES:

CHRISTOPHER BACH ARCHITECTURE
6745 St. James Circle | Hudson, Ohio 44236
v. 330.563.9612 | c. 330.687.1604
christobach@windstream.net

MORRIS RESIDENCE - RESTORATION
63 Owen Brown Street
Hudson, Ohio 44236

Date	Event
07/24/20	PROGRESS SET
08/04/20	AHBR SUBMITTAL
08/12/20	AHBR MEETING
08/26/20	AHBR MEETING
09/09/20	AHBR APPROVAL
10/05/20	BID/PRICING
10/20/20	AHBR SUBMITTAL

Scale: As Noted
Proposed Building Elevations

A2.1



Chloe-Wright House, 1835
63 Owen Brown Street Restoration



Existing House South Elevation (Front)

63 Owen Brown Street Restoration



Existing House West Elevation (Left)
63 Owen Brown Street Restoration



Existing House North Elevation (Back)

63 Owen Brown Street Restoration



Existing House North Elevation (Back)

63 Owen Brown Street Restoration



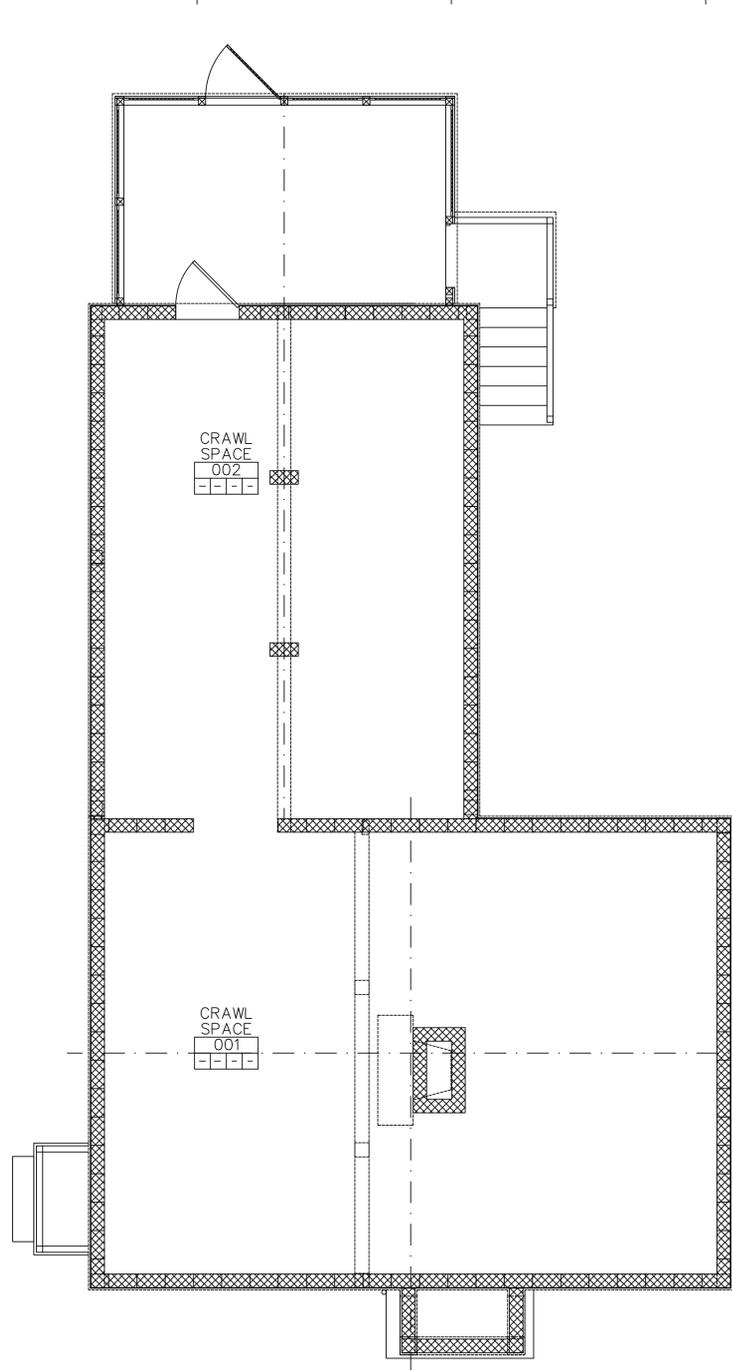
Existing House East Elevation (Side)
63 Owen Brown Street Restoration



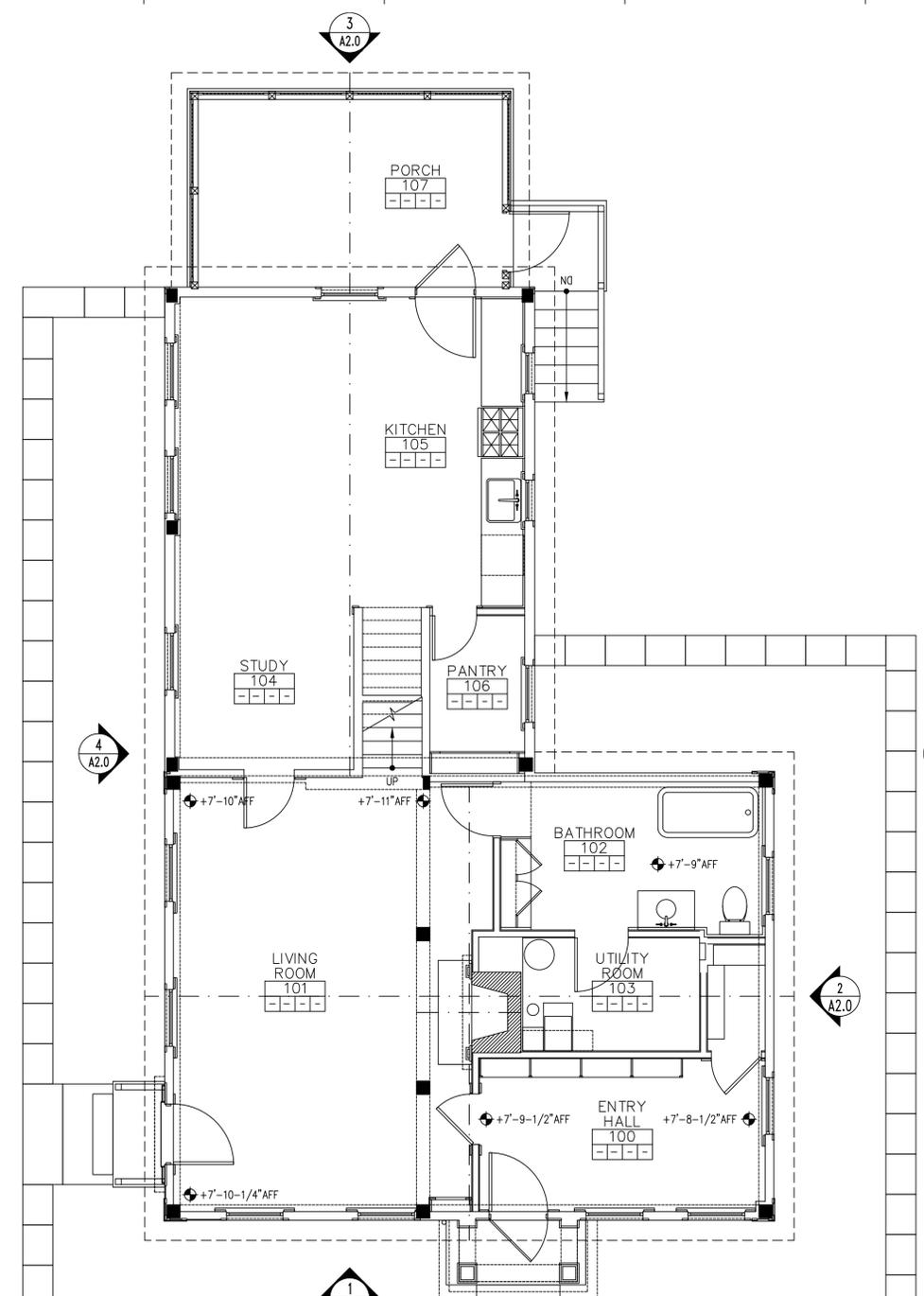
Existing House East Elevation (Right) & Window

63 Owen Brown Street Restoration

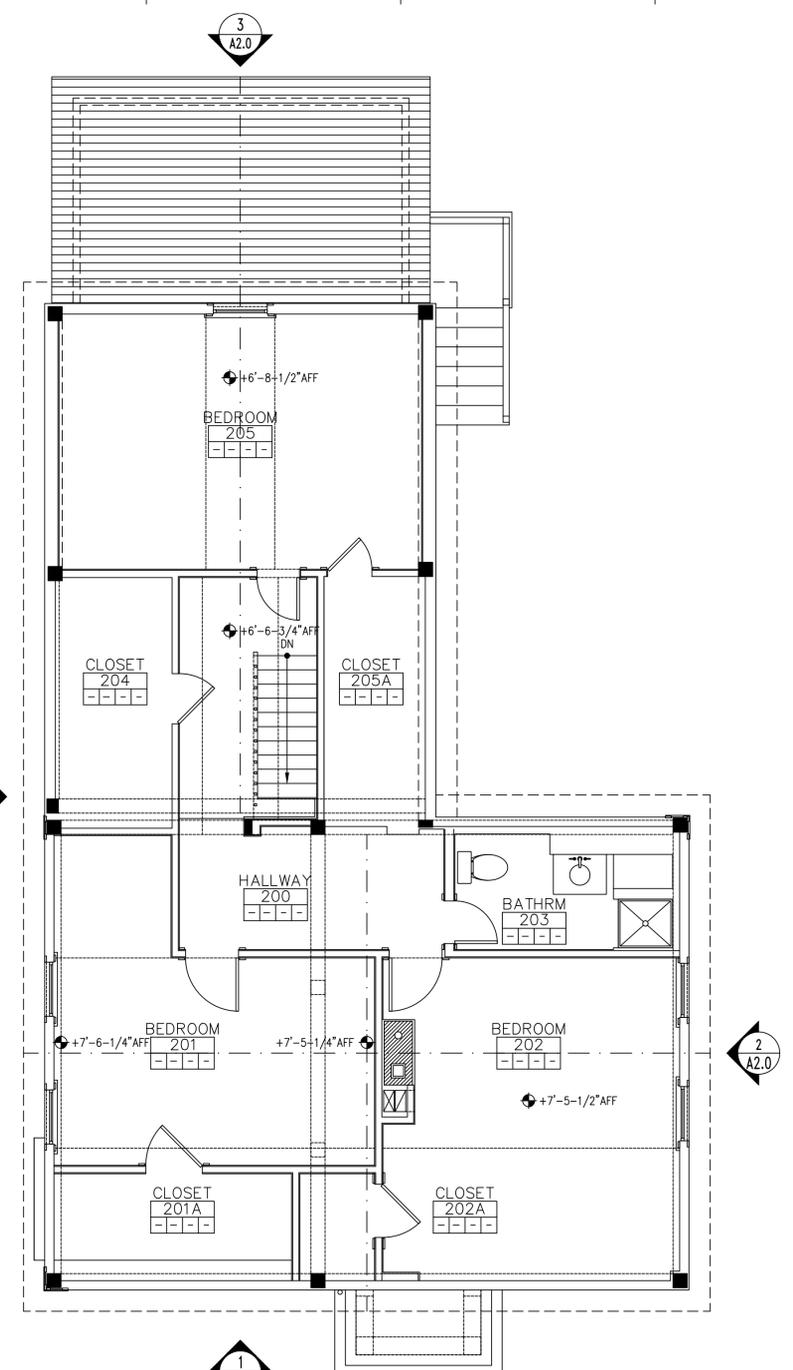
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1 EXISTING CRAWL SPACE PLAN
SCALE: 1/4" = 1'-0"



2 EXISTING FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



3 EXISTING SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

KEYNOTES:

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- A. ALL DIMENSIONS ARE TO FACE OF STUD (F.O.S.), UNLESS NOTED OTHERWISE
- B. REFER TO SHEET A4.0 INTERIOR ELEVATIONS FOR ADDITIONAL MATERIAL AND FINISH SCOPE OF WORK.

ROOM FINISH CODES:

FLOOR	BASE	WALL	CEILING
1 EXISTING CARPET	A EXISTING BRICK	1 EXISTING BRICK	A EXISTING PLASTER
2 EXISTING CONCRETE	B WOOD BD. STAINED	2 EXISTING PLASTER	B EXIST/ACT PLASTER
3 WOOD PLANK	C EXISTING/PATCH	3 WD. PANEL STAINED	C EXISTING WD. PANEL
4 EXISTING/PATCH		4 GYPSUM BD. PAINTED	D GYPSUM BD. PAINTED
		5 EXISTING/PATCH	E NO WORK

LEGEND:

- EXISTING MASONRY WALL
- EXISTING CONSTRUCTION
- REMOVE EXISTING CONSTRUCTION
- NEW CONSTRUCTION
- INDICATES EXISTING/NEW CEILING HEIGHT, ABOVE FINISHED FLOOR (A.F.F.) OR FINISHED FLOOR LEVEL (F.F.L.)
- ELECTRICAL POWER OUTLET

MORRIS RESIDENCE - RESTORATION
63 Owen Brown Street
Hudson, Ohio 44236

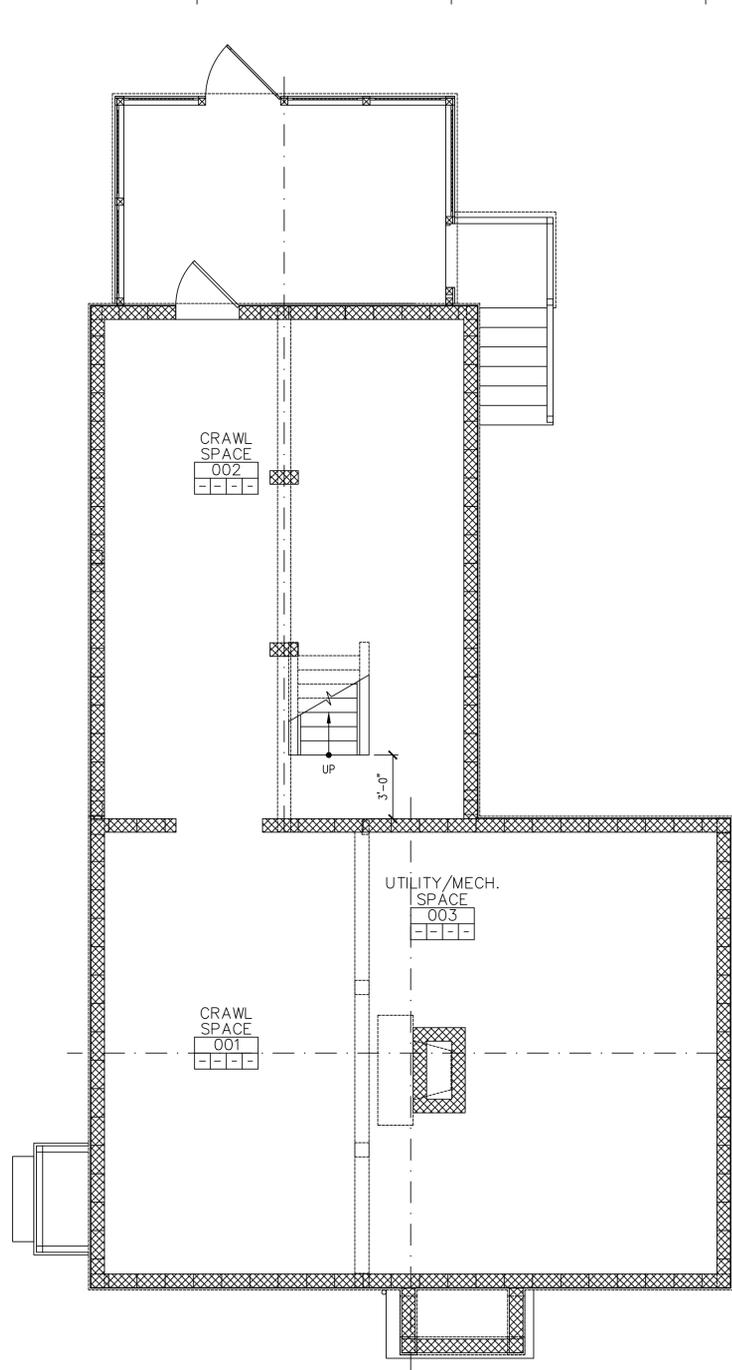
Date	PROGRESS SET
07/24/20	PROGRESS SET
08/04/20	AHBR SUBMITTAL
08/12/20	AHBR MEETING
08/26/20	AHBR MEETING
09/09/20	AHBR APPROVAL
10/05/20	BID/PRICING
10/20/20	AHBR SUBMITTAL

Scale As Noted
Existing/Demolition Plans

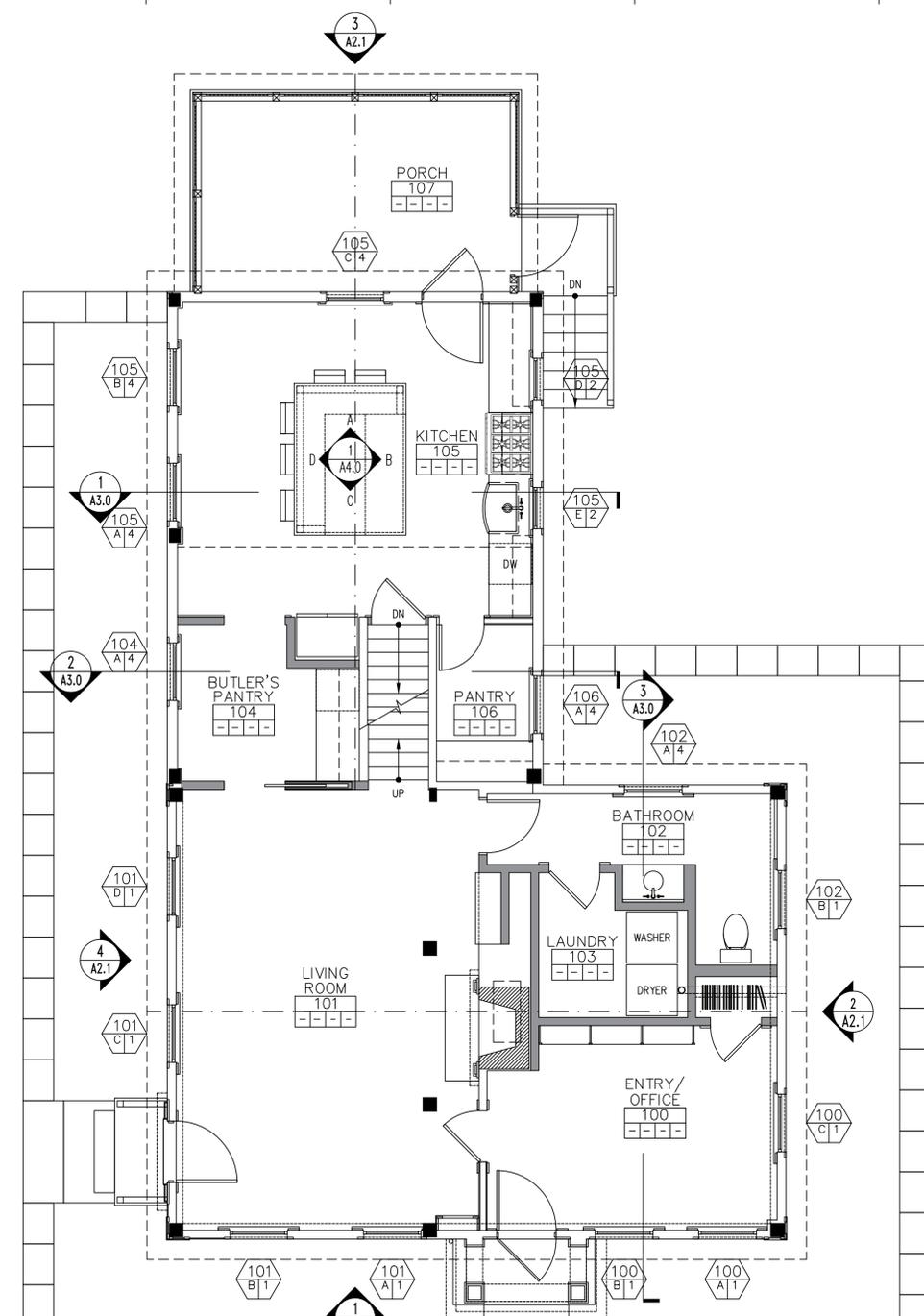
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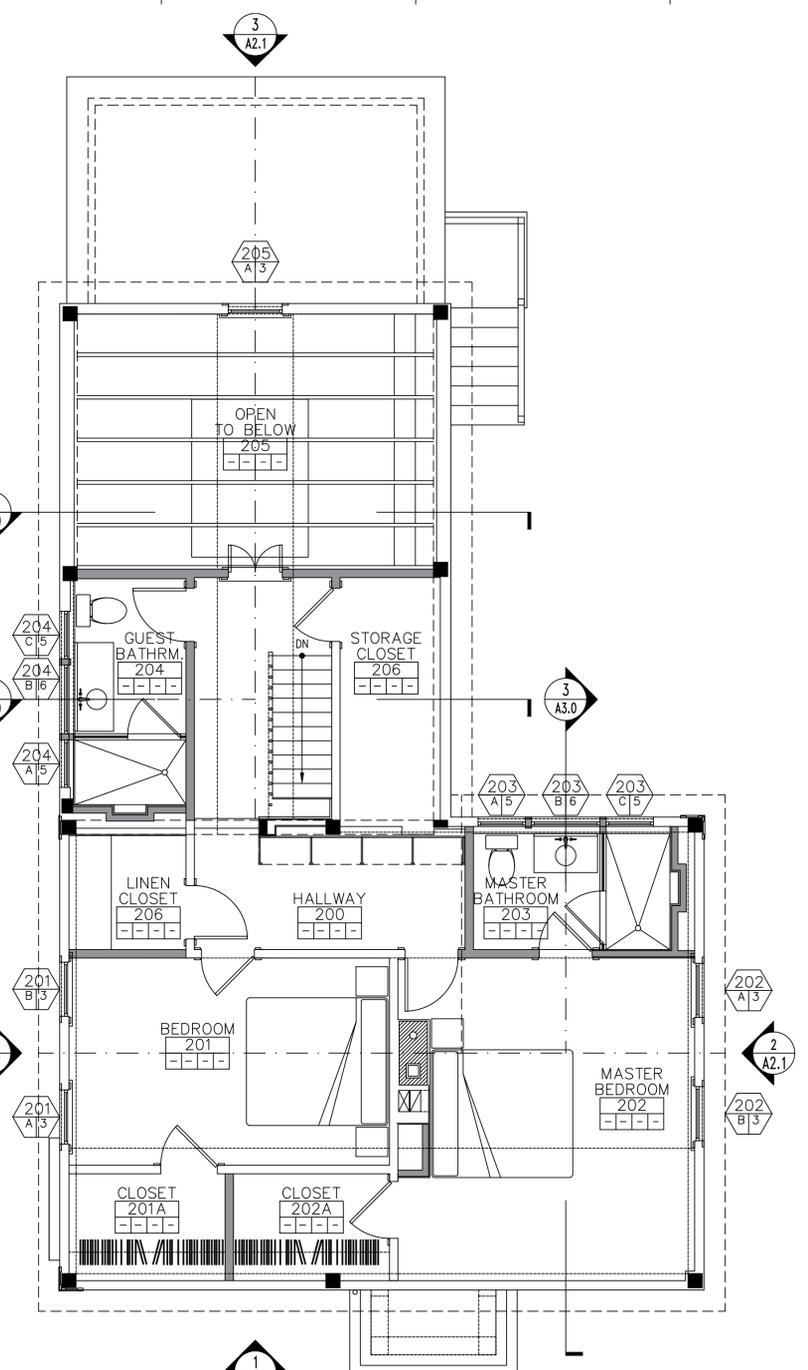
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1 PROPOSED CRAWL SPACE PLAN
SCALE: 1/4" = 1'-0"



2 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



3 PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

KEYNOTES:

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KEYNOTES:

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KEYNOTES:

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NOTES:

- A. ALL DIMENSIONS ARE TO FACE OF STUD (F.O.S.), UNLESS NOTED OTHERWISE
- B. REFER TO SHEET A4.0 INTERIOR ELEVATIONS FOR ADDITIONAL MATERIAL AND FINISH SCOPE OF WORK.

ROOM FINISH CODES:

FLOOR	BASE	WALL	CEILING
1 EXISTING CARPET	A EXISTING BRICK	1 EXISTING BRICK	A EXISTING PLASTER
2 EXISTING CONCRETE	B WOOD BD. STAINED	2 EXISTING PLASTER	B EXIST./ACT PLASTER
3 WOOD PLANK	C EXISTING/PATCH	3 WD. PANEL STAINED	C EXISTING WD. PANEL
4 EXISTING/PATCH		4 GYPSUM BD. PAINTED	D GYPSUM BD. PAINTED
		5 EXISTING/PATCH	E NO WORK

LEGEND:

- EXISTING MASONRY WALL
- EXISTING CONSTRUCTION
- REMOVE EXISTING CONSTRUCTION
- NEW CONSTRUCTION
- INDICATES EXISTING/NEW CEILING HEIGHT, ABOVE FINISHED FLOOR (A.F.F.) OR FINISHED FLOOR LEVEL (F.F.L.)
- ELECTRICAL POWER OUTLET

MORRIS RESIDENCE - RENOVATION
63 Owen Brown Street
Hudson, Ohio 44236

Date	DESCRIPTION
07/24/20	PROGRESS SET
08/04/20	AHBR SUBMITTAL
08/12/20	AHBR MEETING
08/26/20	AHBR MEETING
09/09/20	AHBR APPROVAL
10/05/20	BID/PRICING
10/20/20	AHBR SUBMITTAL

Scale: As Noted

Proposed Basement,
1st & 2nd Flr. Plans

A1.1

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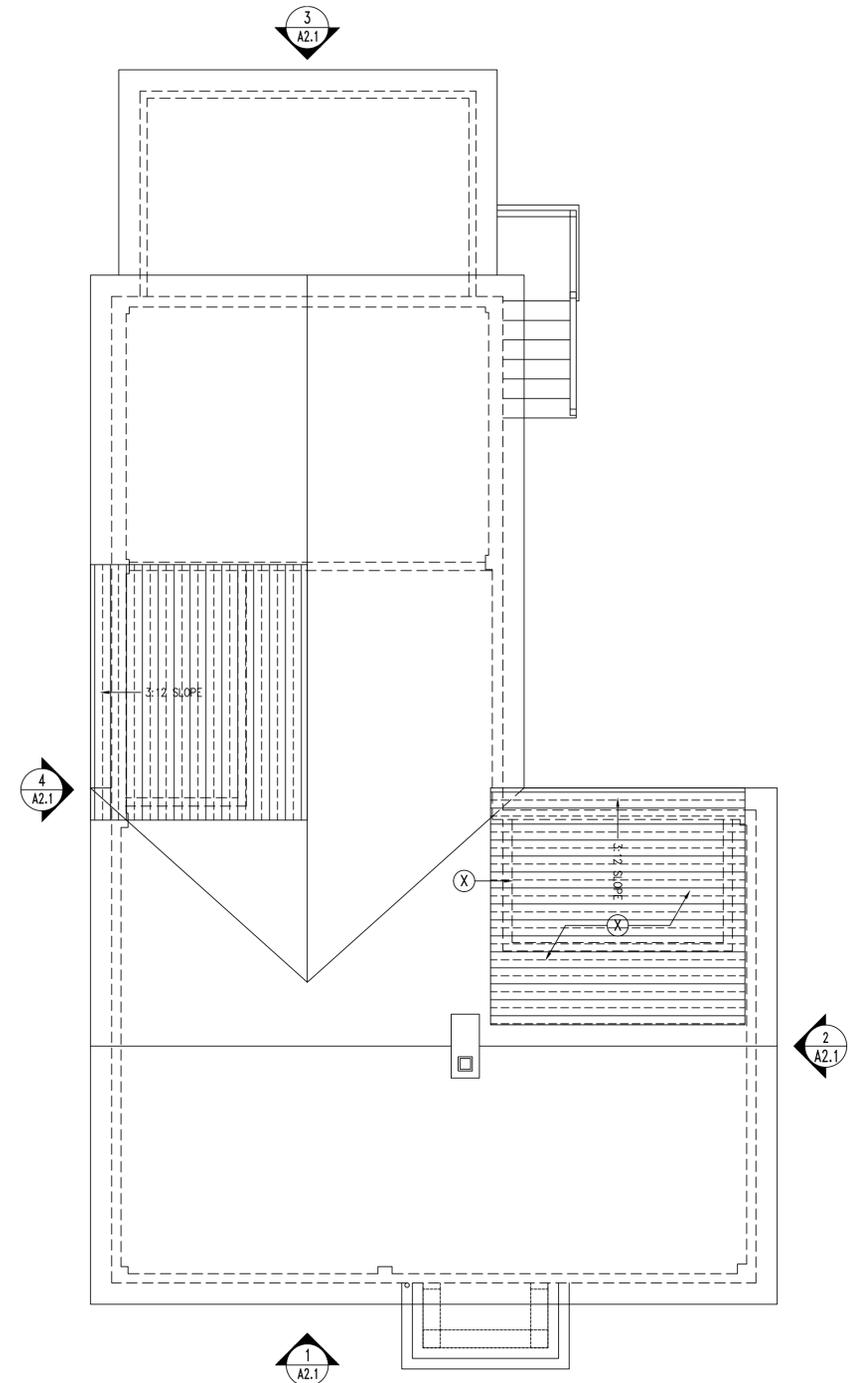
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1 PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"

KEYNOTES: ① →

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| 9. EDIT | 9. EDIT | 9. EDIT |

NOTES:

- A. ALL DIMENSIONS ARE TO FACE OF STUD (F.O.S.), UNLESS NOTED OTHERWISE
- B. REFER TO SHEET A4.0 INTERIOR ELEVATIONS FOR ADDITIONAL MATERIAL AND FINISH SCOPE OF WORK.

ROOM FINISH CODES:

FLOOR	BASE	WALL	CEILING
1 EXISTING CARPET	A EXISTING BRICK	1 EXISTING BRICK	A EXISTING PLASTER
2 EXISTING CONCRETE	B WOOD BD. STAINED	2 EXISTING PLASTER	B EXIST./ACT PLASTER
3 WOOD PLANK	C EXISTING/PATCH	3 WD. PANEL STAINED	C EXISTING WD. PANEL
4 EXISTING/PATCH		4 GYPSUM BD. PAINTED	D GYPSUM BD. PAINTED
		5 EXISTING/PATCH	E NO WORK

LEGEND:

- EXISTING MASONRY WALL
- EXISTING CONSTRUCTION
- REMOVE EXISTING CONSTRUCTION
- NEW CONSTRUCTION
- INDICATES EXISTING/NEW CEILING HEIGHT, ABOVE FINISHED FLOOR (A.F.F.) OR FINISHED FLOOR LEVEL (F.F.L.)
- ELECTRICAL POWER OUTLET

MORRIS RESIDENCE - RENOVATION

63 Owen Brown Street
Hudson, Ohio 44236

Date	Event
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10/05/20	BID/PRICING
10/20/20	AHBR SUBMITTAL

Scale As Noted

Proposed Roof & Reflected Clg. Plans

A1.2

Pella® Reserve™

Traditional Wood & Clad/Wood



Exquisitely designed windows and doors with unparalleled historical detailing.

Double-Hung Interior



Double-Hung Exterior



- **Historical details**

Our most historically authentic line of wood windows and patio doors. Featuring through-stile construction, deliberate proportions and intricate profiles. Pella Reserve products are the ideal choice for historical renovations and traditional building projects.

- **Authentic hardware**

Complement your project with historically authentic spoon-lock window hardware. Our Antiek casement window hardware is inspired by period furniture to deliver authentic traditional style.

- **Architectural interest**

Featuring the industry's only foam spacer solution, Pella's Integral Light Technology® grille helps capture the look of true-divided-light without sacrificing energy performance. Further your aesthetic with the putty profile, recreated with historically accurate angles – providing meaningful depth and a realistic shadow. Pella Reserve products offer the industry's deepest sash dimension.

- **Virtually unlimited customization**

If you can dream it, we can build it with our most customizable product line. From extra tall to extra wide, Pella can craft unique windows that complement your aesthetic. Custom sizes, grille patterns and designs, finishes, wood types and glass options are available.

- **Tailor-made solutions**

From preliminary drawings to installation, Pella's expert team of architects, engineers, drafters and consultants can work to deliver custom window and door solutions for your project. Partner with Pella to achieve your unique vision without concessions.

- **Intentional innovation**

Winner of the 2019 Most Innovative Window from Window and Door Magazine, the Integrated Rolscreen® retractable screen preserves aesthetic view. It is a double- and single-hung screen that appears when you open the window, and rolls away, out of sight, when you close it.

- **Durable interiors and extruded aluminum exteriors**

Create a custom exterior color to meet your design needs or choose from 27 standard color options. Interior finish options are available in four paints, eleven stains and primed and ready-to-paint.

- **ENERGY STAR® certified¹**

Pella wood products offer energy-efficient options that will meet or exceed ENERGY STAR guidelines in all 50 states. Pella Reserve products with triple-pane glass have been awarded the ENERGY STAR Most Efficient Mark in 2020.¹

- **Testing beyond requirements**

At Pella, our products are tested beyond requirements to help ensure they have long-lasting performance and reduce call-backs for you.

- **Best limited lifetime warranty²**

Pella Reserve products are covered by the best limited lifetime warranty in the business for wood windows and patio doors.²

Available in these window and patio door styles:



Special shape windows also available.

^{1,2} See back cover for disclosures.

Product Specifications

Window & Patio Door Styles	Min. Width	Min. Height	Max. Width	Max. Height	Performance Class & Grade	Performance Values			Frame / Install
						U-Factor	SHGC	STC	
Awning	13-3/4"	13-3/4"	53"	29"	LC40-CW50	0.25-0.29	0.18-0.47	27-33	Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
Precision Fit Awning	17"	17"	53"	29"	R50-CW50	0.28-0.32	0.18-0.47	27-33	Pocket Replacement
Casement	13-3/4"	13-3/4"	41"	96"	R35-CW50	0.25-0.29	0.18-0.47	27-35	Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
Precision Fit Casement	17"	17"	35"	73"	R45-CW50	0.28-0.33	0.18-0.47	27-30	Pocket Replacement
Fixed Casement	10"	10"	144"	144"	R35-CW50	0.25-0.29	0.18-0.47	27-35	Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
Precision Fit Fixed Casement	17"	17"	59"	73"	R45-CW50	0.28-0.33	0.18-0.47	27-30	Pocket Replacement
Double-Hung	14"	24-3/8"	48"	96"	CW40-CW50	0.25-0.30	0.19-0.53	26-34	Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
Precision Fit Double-Hung	13-1/2"	23-3/4"	48"	84"	CW40-CW50	0.25-0.31	0.19-0.53	26-30	Pocket Replacement
Monumental Hung	13-3/4"	24"	72"	144"	LC25-CW50	0.25-0.30	0.17-0.47	29-34	Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
In-Swing Hinged Patio Door (Single)	18"	36"	48"	199-1/2"	LC40-LC55	0.25-0.29	0.14-0.40	31-32	
In-Swing Hinged Patio Door (Double)	36"	36"	96"	119-1/2"	LC40-LC55	0.25-0.29	0.14-0.40	31-32	
Out-Swing Hinged Patio Door (Single)	18"	36"	48"	119-1/2"	R50-LC70	0.25-0.30	0.14-0.39	30-32	
Out-Swing Hinged Patio Door (Double)	36"	36"	96"	119-1/2"	R50-LC70	0.25-0.30	0.14-0.39	30-32	
Sliding Patio Door (O)	30-3/4"	74"	60-3/4"	119-1/2"	LC25-LC70	0.29-0.32	0.15-0.42	-	
Sliding Patio Door (OX, XO)	59-1/4"	74"	119-1/2"	119-1/2"	LC25-LC70	0.29-0.32	0.15-0.42	29-35	
Sliding Patio Door (OXO)	90"	74"	180"	119-1/2"	LC25-LC70	0.29-0.32	0.15-0.42	-	
Sliding Patio Door (OXXO)	116-1/8"	74"	236-1/8"	119-1/2"	LC25-LC70	0.29-0.32	0.15-0.42	-	
Multi-Slide Patio Door	40-1/4"	50-1/2"	701-5/8"	119-1/2"	R15-LC25 ³	0.30 - 0.36	0.15 - 0.46	-	
Bifold Patio Door	31-3/4"	55-1/2"	312"	119-1/2"	R15-R25 ³	0.26-0.44	0.13-0.45	-	For more info visit PellaADM.com

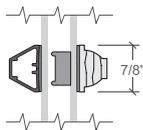
Window sizes available in 1/8" increments

Special sizes available. For more information regarding performance, visit installpella.com/performance. For more information regarding frame and installation types, visit PellaADM.com.

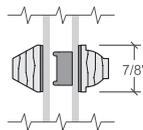
Grilles

Integral Light Technology®

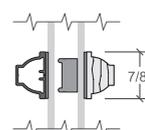
Choose the look of true divided light featuring the industry's only foam spacer.



Putty Glaze Exterior with Ogee Interior⁴
5/8", 7/8", 1-1/4" or 2"



Putty Glaze Exterior with Ogee Interior⁴
5/8", 7/8", 1-1/4" or 2"

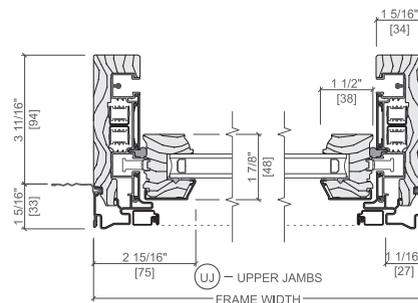


Ogee Exterior with Ogee Interior⁴
5/8", 7/8", 1-1/4" or 2"

Cross Sections

Cross Sections

The double-hung cross sections provide visual reference to the historic putty exterior profile and traditional, beveled Ogee interior that add architectural interest to your project.



Optional Fold-out Installation Fin

^{3,4} See back cover for disclosures.

Window Hardware

Classic Collection

Get a timeless look with authentic styles in classic finishes.



Fold-away Crank
Antiek



Spoon-Style Lock

Finishes:



Champagne

White

Brown

Matte Black



Oil-Rubbed Bronze

Satin Nickel

Bright Brass

Antique Brass

Rustic Collection

Create a distinct and charming look with distressed finishes.



Fold-away Crank
Antiek



Spoon-Style Lock

Finishes:



Distressed Bronze

Distressed Nickel

Essential Collection

Select from popular designs and finishes to suit every style.



Fold-away Crank



Cam-Action Lock

Finishes:



Champagne

White

Brown

Matte Black



Oil-Rubbed Bronze

Satin Nickel

Bright Brass

Patio Door Hardware

Classic Collection

Choose timeless pieces, created in collaboration with Baldwin® Hardware, for a look that will never go out of style.

BALDWIN



Hinged & Bifold Patio Door Handle
Locus | Virago



Sliding & Multi-Slide Patio Door Handle
Ambrose



Multi-Slide Patio Door Handle^{5,6}

Finishes:



Matte Black

Oil-Rubbed Bronze

Satin Nickel

Bright Brass



Antique Brass

Essential Collection

Elevate your style and transform a home with elegant selections.



Hinged & Bifold Patio Door Handle



Sliding Patio Door Handle



Multi-Slide Patio Door Handle^{5,6}

Finishes:



Champagne

White

Brown

Matte Black



Oil-Rubbed Bronze

Satin Nickel

Bright Brass

^{5,6} See back cover for disclosures.

Colors

Wood Types

Choose the wood species that best complements your project's interior.



Pine



Douglas Fir



Mahogany

Custom solutions:



White Oak



Red Oak



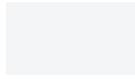
Cherry



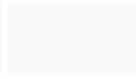
Maple

Prefinished Pine Interior Colors

Custom interior finishes, unfinished or primed and ready-to-paint are also available.



White



Bright White



Linen White



Artisan Greige



Natural Stain



Wheat Stain



Golden Oak Stain



Early American Stain



Provincial Stain



Dark Mahogany Stain



Red Mahogany Stain



Espresso Stain



Skyline Gray Stain



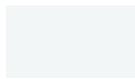
Charcoal Stain



Black Stain

Extruded Aluminum-Clad Exterior Colors

Our low-maintenance EnduraClad® exterior finish resists fading. Take durability one step further with EnduraClad Plus which also resists chalking and corrosion.⁷



White



Tan



Putty



Brown



Classic White



Vanilla Cream



Poplar White



Almond



Sand Dune



Honeysuckle



Fossil



Portobello



Deep Olive



Auburn Brown



French Roast



Summer Sage



Hemlock



Hartford Green



Morning Sky Gray



Eldridge Gray



Iron Ore



Black



Naval



Stormy Blue



Real Red



Brick Red



Cranberry

Custom colors are also available.

Added Peace of Mind

Integrated Security Sensors

Integrated wireless security sensors maintain aesthetics, streamline security installation and ensure no warranty loss is caused by post-installation drilling. Sensors can be monitored via the free Pella® Insynctive® App and are compatible with major security panel systems.⁸ For more information, go to connectpella.com.



The confidence of Pella's warranty.

Pella® Reserve™ products are covered by the best limited lifetime warranty for wood windows and patio doors.²

¹ Some Pella products may not meet ENERGY STAR® guidelines in Canada. For more information, contact your local Pella sales representative or go to energystar.gc.ca.

² Based on comparing written limited warranties of leading national wood window and wood patio door brands. See written limited warranty for details, including exceptions and limitations, at installpella.com/warranties or contact Pella Customer Service.

³ Ratings are contingent on product configurations.

⁴ Color-matched to your product's interior and exterior color.

⁵ Flush multi-slide handle is a Pella exclusive design.

⁶ Flush multi-slide handle is not available in Antique Brass, Champagne or Polished Nickel.

⁷ EnduraClad Plus protective finish is not available with all colors. See your local Pella sales representative for availability.

⁸ Requires the Insynctive App on a smart device, an Insynctive Bridge and a wireless home router with internet connection.