

TOPOGRAPHIC SURVEY & SITE PLAN

for
~The White Residence~
to be built by
LDA Builders, Inc.

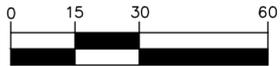
Situated in the City of Hudson, County of Summit and
State of Ohio: And known as being a part of
Original Hudson Township Lot No. 7

- PRELIMINARY
- FINAL: 9/01/20
- REVISED

1. Removed Future Garage - 9/2/20



Know what's below.
Call before you dig.



SCALE: 1" = 30'

DATUM:
B.O.B.: S.P.C. GRID NORTH
VERT: NAVD88

LEGEND

- 998 - Ex. Contour
- 1000 - Ex. County GIS Contour
- 1002 - PR. CONTOUR
- Ex. Tree Line
- PR. CLEARING LIMITS

- TREE TO BE REMOVED

AS-BUILT PR. GRADE - PR. DRAINAGE DIRECTION/SWALE

- PR. SILT FENCE

WP - PR. CONC. WASHOUT PIT (TO BE MAINT'N'D. DURING CONSTRUCTION).

CE - PR. CONST. ENTRANCE (70 L.F. OF #1&2 LIMESTONE (12" THICK) ON GEO-FABRIC).

- PR. DOWNSPOUT LOCATION

Ex. = Existing PR. = PROPOSED

- Ex. Utility Pole & Pedestals

- Ex. Mailbox - Ex. Well

- Ex. San./Stm. MH.

- Ex. Stm. Inlets

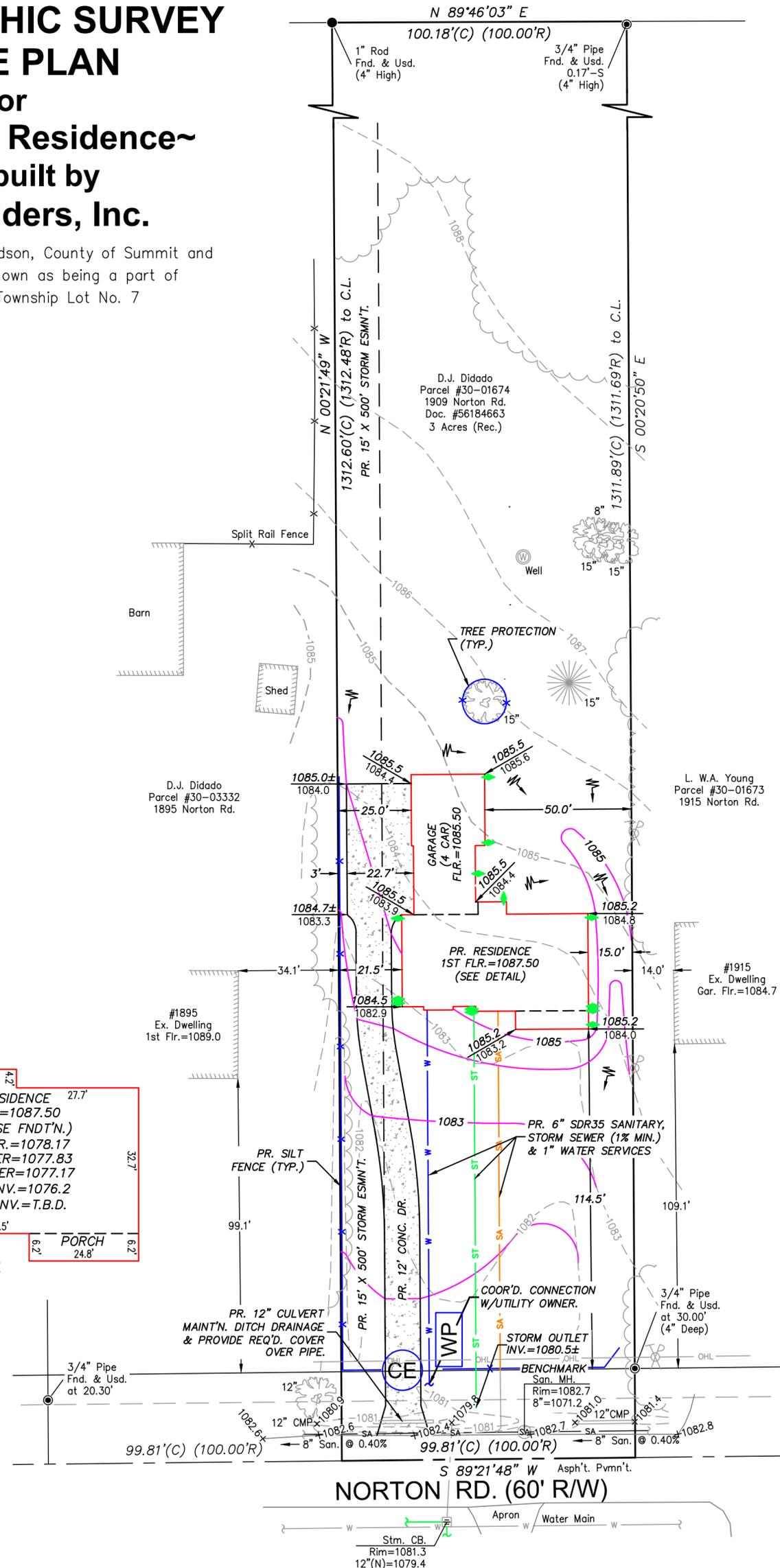
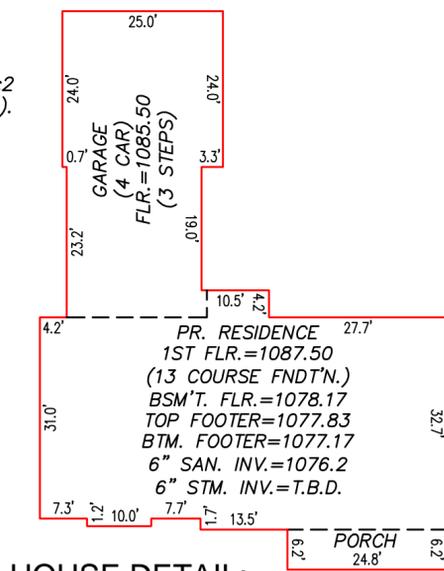
- Ex. Hyd./Valve & Shutoff

- Ex. Gas Valve & Shutoff

- Iron Pin Fnd.

- Iron Pipe Fnd.

- Mon. Fnd.



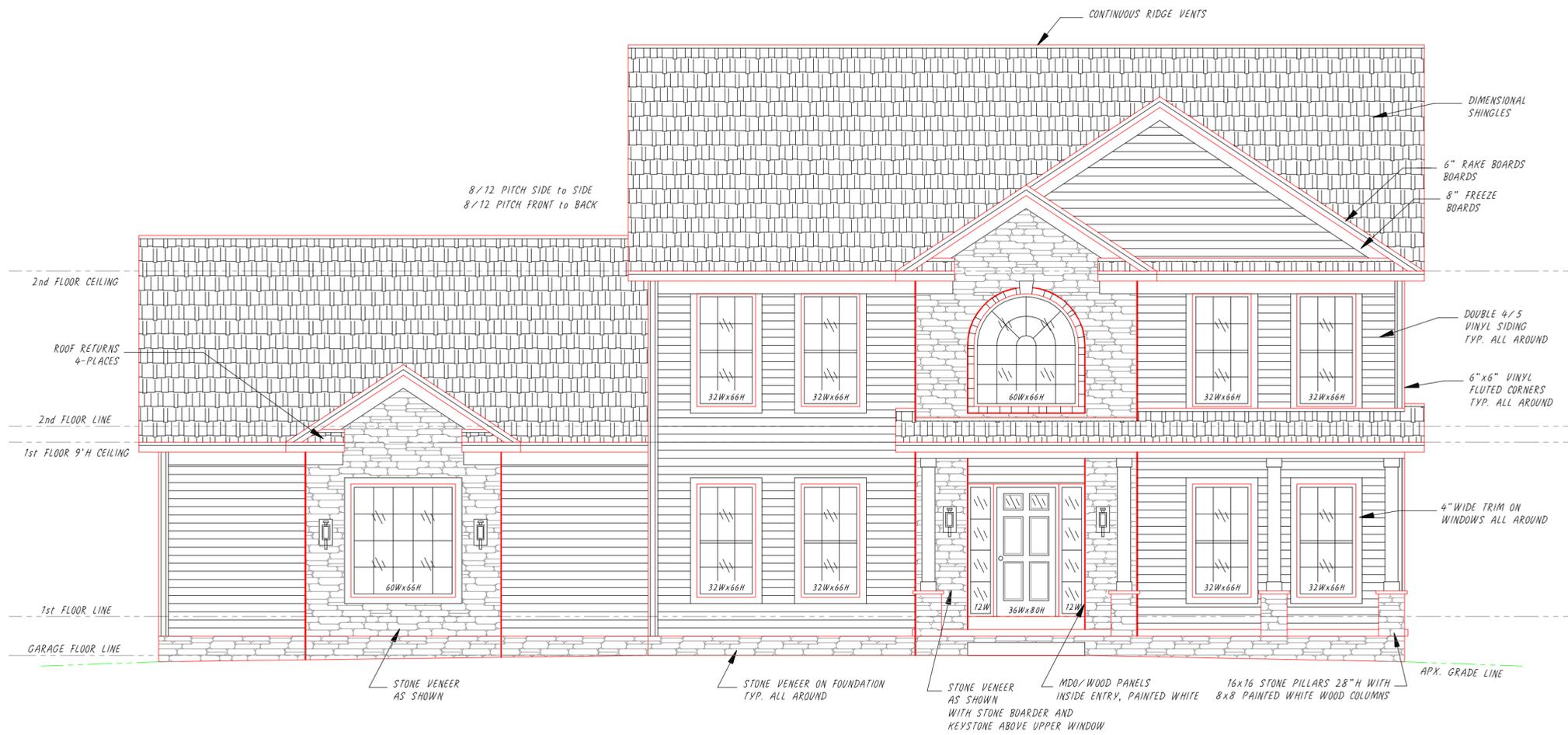
CONSTRUCTION NOTES:

1. Contractor must verify all foundation dimensions and proposed grades shown on this plan. Any errors resulting from failure to check or to notify the surveyor of any changes shall not be the responsibility of Apex Land Surveying.
2. Contractor to notify utilities protection services/ O.U.P.S. prior to construction.
3. Silt fence must surround all excavation areas so that no silt escapes site.
4. All grades shall comply w/corresponding government office.
5. Maintain positive yard drainage away from house and a minimum slope of 1% along all swales.
6. Contractor shall verify location and depths of existing laterals & verify if proper connections can be made to house. Contact corresponding government office or utility owner if discrepancies occur.
7. All sewer connections must maintain a minimum slope of 1%.
8. Footer drain & downspouts are to be tied into storm drain. Refer to house plans for downspout locations.
9. a foundation sump pump is required.
10. The location of utilities shown hereon are based on observed evidence of above ground appurtenances used along with plan information provided to the surveyor. The location of these utilities may vary and are subject to field verification prior to construction. Additional utilities may be encountered.
11. This plan does not represent a boundary survey, pursuant to ORC 4733-37.
12. There was no search for easements of record, right-of-ways, restrictive covenants, encumbrances, ownership title evidence, or any other facts that a title search may disclose.

SURVEYED BY:

APEX LAND SURVEYING
KELLY D. DUNFORD, P.S. 8182
2858 FULMER DR., SILVER LAKE, OH
(330) 928-7750
ps8182@sbcglobal.net
www.apexlandsurveying.com

TITLE: TOPO & SITE PLAN	DATE: AUG. 2020
CLIENT: LDA BUILDERS	PROJ.: 2020128
SCALE: 1" = 30'	FILE: 2020128.dwg
DRAWN BY: KDD	CHECKED BY: KDD
CREW: KDD & GRE	SHEET: 1 OF 1
SHEET SIZE: 17" X 22"	



Front Elevation (1909 Norton Road)



Rear Elevation

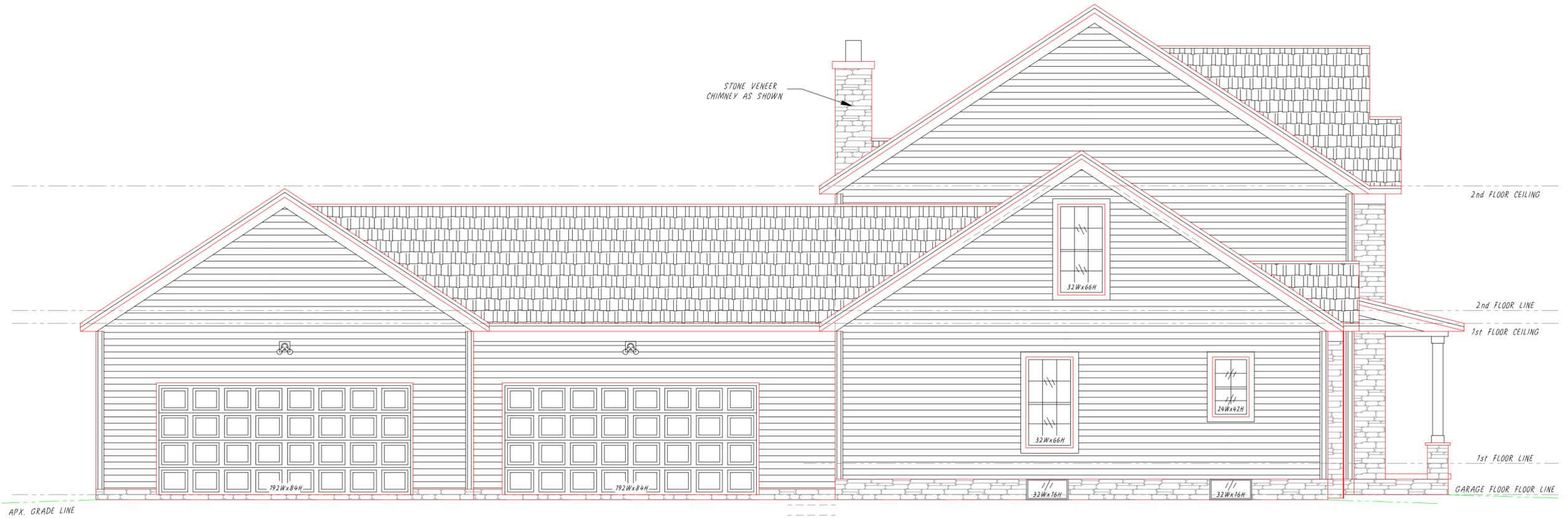
PARCLE # 30-01674
 part of original S/L 23 Darrow Farms
 1909 Norton Road, Hudson, Ohio 44236
 Apx. Lot Size - 100' Frontage x 1372.47' Deep, apx. 3.03 acres
 Overall House Size - 63'8\"/>

S1909

ILIDA BUILDERS
 INCORPORATED
 Boston Hts., Ohio U.S.A. * Phone/Fax Clevel(330) 528-3800 * Akron(330) 342-4240
 CAMBRIDGE modified/exp'd 2-STORY (3041 sq.ft.) NO. 20-51909-10
 FRONT & REAR ELEVATIONS

SCALE	DATE	BY	DATE
3/16" = 1'	080820		
DR'N	CK'D		
AP'VD	/		

CUSTOMER
Jonathan & Anna White



Left Side Elevation



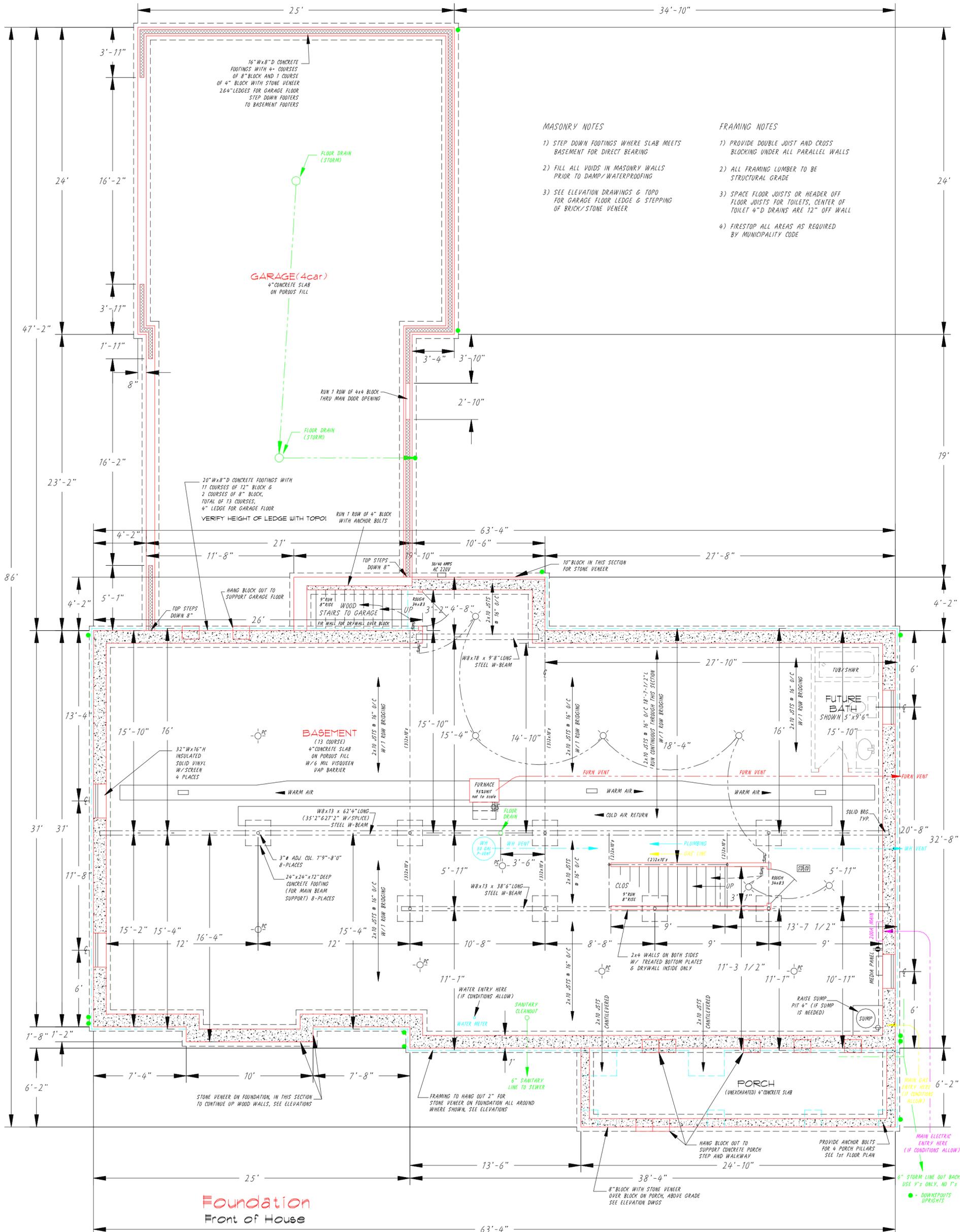
Right Side Elevation

ILIDA BUILDERS
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 CAMBRIDGE modified/exp'd 2-STORY (3047 sq.ft.) NO. 20-51909-11
 LEFT & RIGHT SIDE ELEVATIONS



REVISIONS	BY	DATE

SCALE 3/16" = 1'
 DATE 080820
 DR'N CK'D
 AP'VD /
 CUSTOMER
Jonathan & Anna White



MASONRY NOTES

- 1) STEP DOWN FOOTINGS WHERE SLAB MEETS BASEMENT FOR DIRECT BEARING
- 2) FILL ALL VOIDS IN MASONRY WALLS PRIOR TO DAMP/WATERPROOFING
- 3) SEE ELEVATION DRAWINGS & TOPO FOR GARAGE FLOOR LEDGE & STEPPING OF BRICK/STONE VENEER

FRAMING NOTES

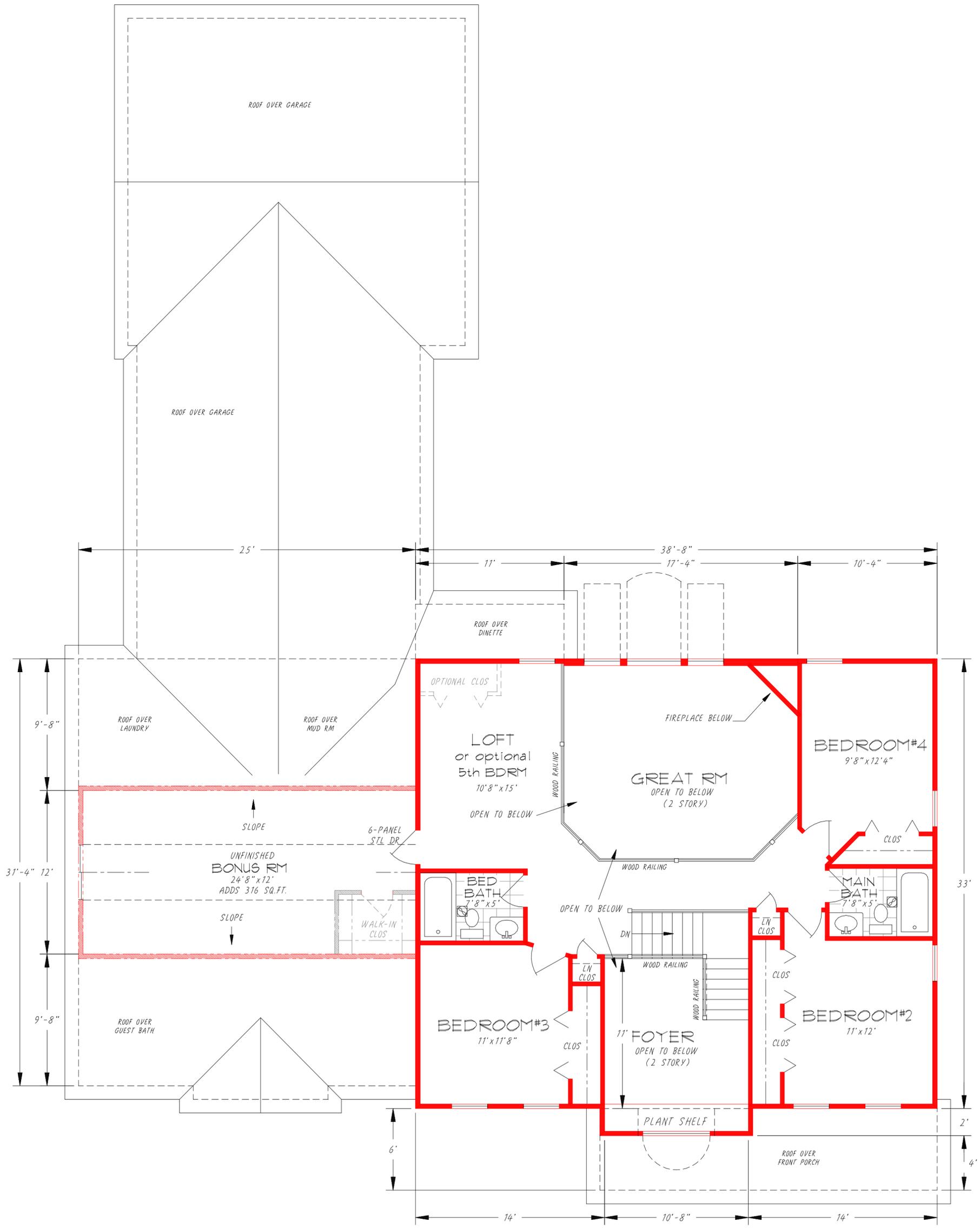
- 1) PROVIDE DOUBLE JOIST AND CROSS BLOCKING UNDER ALL PARALLEL WALLS
- 2) ALL FRAMING LUMBER TO BE STRUCTURAL GRADE
- 3) SPACE FLOOR JOISTS OR HEADER OFF FLOOR JOISTS FOR TOILETS, CENTER OF TOILET 4" D DRAINS ARE 12" OFF WALL
- 4) FIRESTOP ALL AREAS AS REQUIRED BY MUNICIPALITY CODE

CUSTOMER
Jonathan & Anna White

SCALE	REVISIONS	BY	DATE
3/16" = 1'			
DATE			
DR'N			
AP'VD			



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 CAMBRIDGE modified/exp'd 2-STORY (3041 sq.ft.) NO. 20-51909-22
FOUNDATION PLAN



Floor Plan (2nd Floor)
Front of House

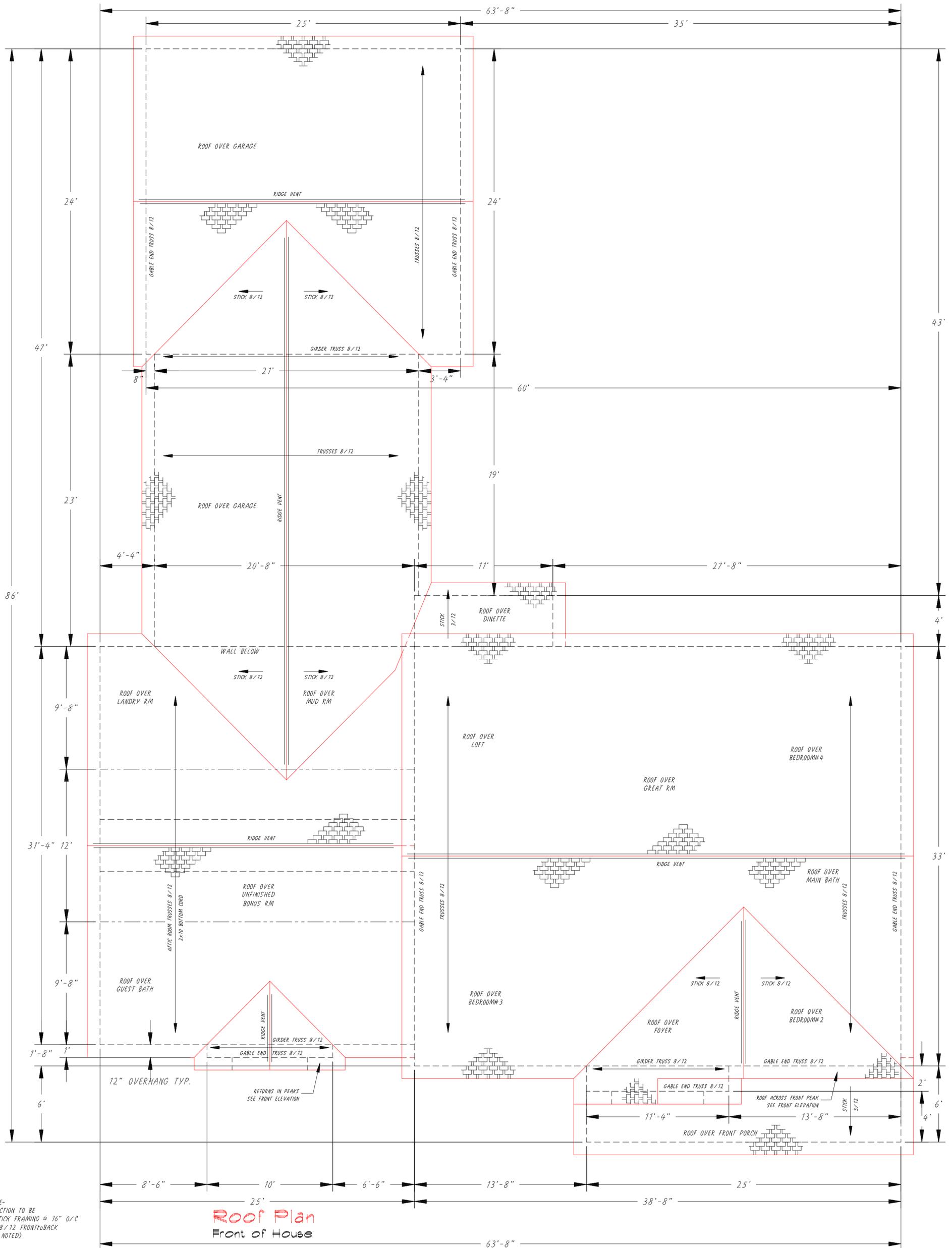
CUSTOMER
**Jonathan & Anna
White**

SCALE
3/16" = 1'
DATE
080820
DR'N
/Z CK'D
AP'VD

REVISIONS	BY	DATE



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CAMBRIDGE modified/exp'd 2-STORY (3041 sq.ft.) NO. 20-51909-24
FLOOR PLAN (2nd Floor)



NOTE-
 ROOF CONSTRUCTION TO BE
 TRUSSES @ 24" O/C & STICK FRAMING @ 16" O/C
 8/12 SIDETO/SIDE & 8/12 FRONT/BACK
 (UNLESS NOTED)

Roof Plan
 Front of House

CUSTOMER
 Jonathan & Anna
 White

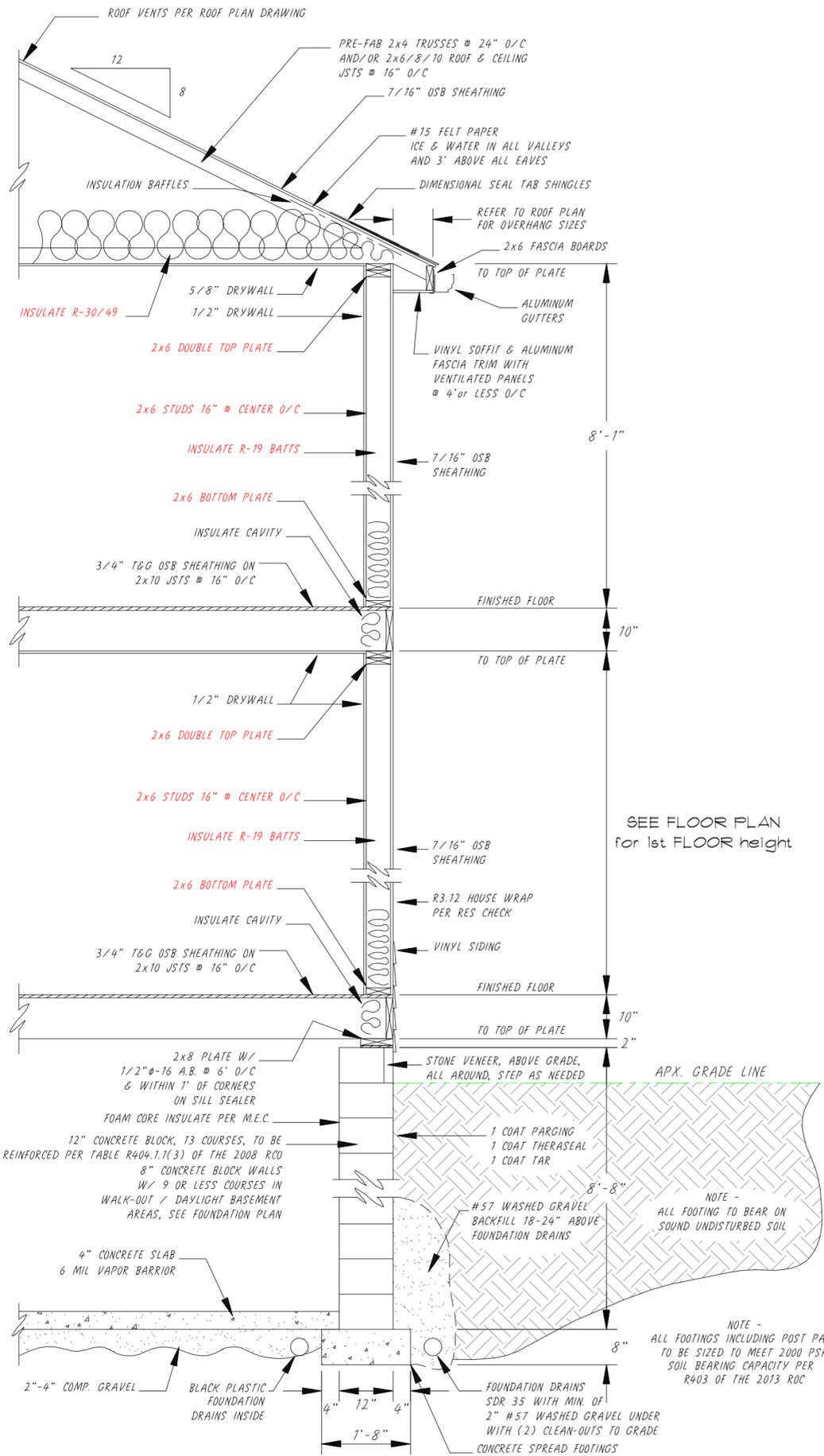
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 /Z
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REVISIONS

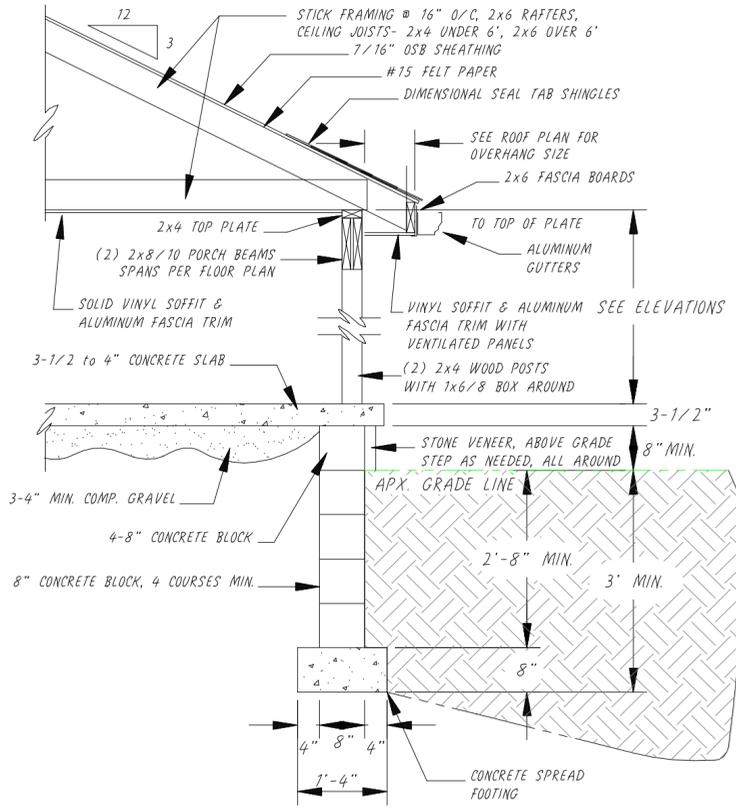
BY DATE



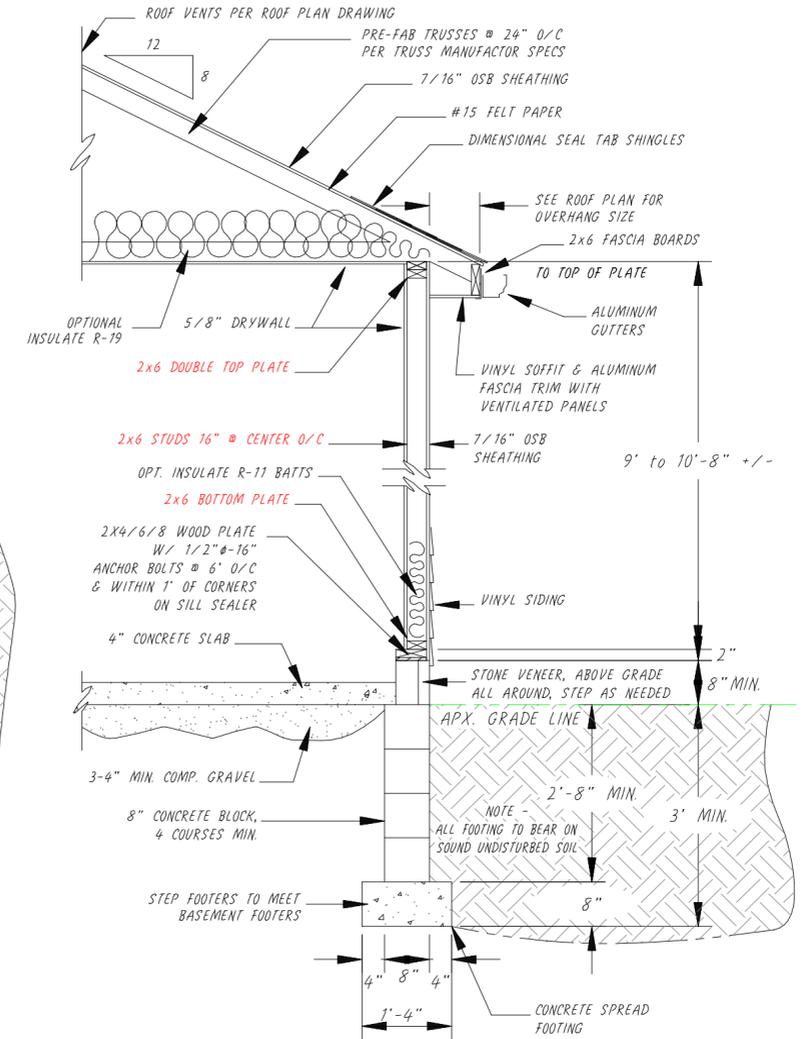
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 CAMBRIDGE modified/exp'd 2-STORY (3041 sq.ft.) NO.
 ROOF PLAN 20-61909-25



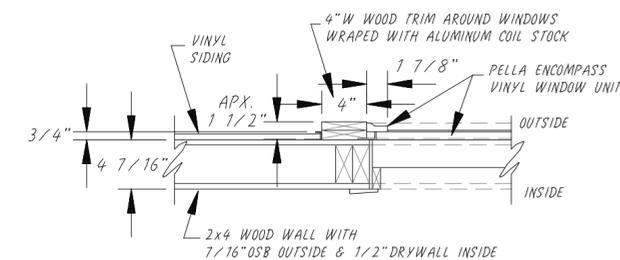
Main House Wall Cross Section View



Typical Porch Cross Section View



Garage Wall Cross Section View



Typical Window Section View
(Scale 1" = 1')

- CONSTRUCTION NOTES (2013 CODE)
- 1) ALL ROOF PITCHES TO BE AN 8/12 SIDE TO SIDE & AN 8/12 FRONT TO BACK, UNLESS NOTED, INCLUDING GARAGES, PORCHES & CANTILEVERS
 - 2) ALL PARALLEL WALLS TO HAVE DOUBLE JOISTS AND CROSS BLOCKING UNDER THEM
 - 3) GARAGE WALLS, BETWEEN GARAGE & HOUSE, AND GARAGE CEILING TO HAVE 5/8" FIRECODE DRYWALL
 - 4) BLOCK WALLS TO REINFORCED PER TABLE R404.1.1(4) OF THE 2013 ROC AND HAVE HORIZONTAL DOWELBAR EVERY APX. 3 COURSES
 - 5) ALL HEADERS TO BE A MIN. OF (2) 2x10'S WITH 7/16" OSB CENTER, OR LARGER AS INDICATED ON FLOOR PLANS
 - 6) ALL ROOF STICK FRAMING & OVERBUILDS TO BE A MIN. OF 2x6 FOR SPANS UNDER 14', A MIN. OF 2x8 FOR SPANS 14' TO 18' AND INCLUDE 2x8 SHOE PLATES, 2x8 RIDGE BOARDS AND 2x4 COLLAR TIES
 - 7) TRUSS ANCHORS TO BE INSTALLED PER SECTION R802.10.5 OF THE 2013 ROC.
 - 8) ALL DEAD AND LIVE LOADS TO BE PER THE 2013 ROC, AND MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS TO BE PER TABLE R307.5
 - 9) THE MAIN DOOR BETWEEN THE HOUSE AND GARAGE IS TO COMPLY WITH SECTION R309.1 OF THE 2013 ROC.

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 CAMBRIDGE modified/exp'd 2-STORY (3047 sq.ft.) NO. 20-51909-29
 CROSS SECTION VIEW & DETAILS

REVISIONS	DATE	BY

SCALE 5" = 1'
 DATE 08/20/20
 DR'N CK'D /Z
 AP'VD

CUSTOMER
Jonathan & Anna White



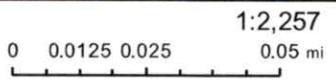
Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community, Esri, HERE, Garmin, (c) OpenStreetMap contributors, and the GIS user community

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RoadCenterlines2019 Parcels

Summit County Municipal Outlines

Override 1



Disclaimer:
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1887 Norton Rd, 3rd lot to the west



1891 Norton Rd, 2nd lot to the west



1895 Norton Rd, 1st lot to the west



1909 Norton Rd, subject lot



1915 Norton Rd, 1st lot east



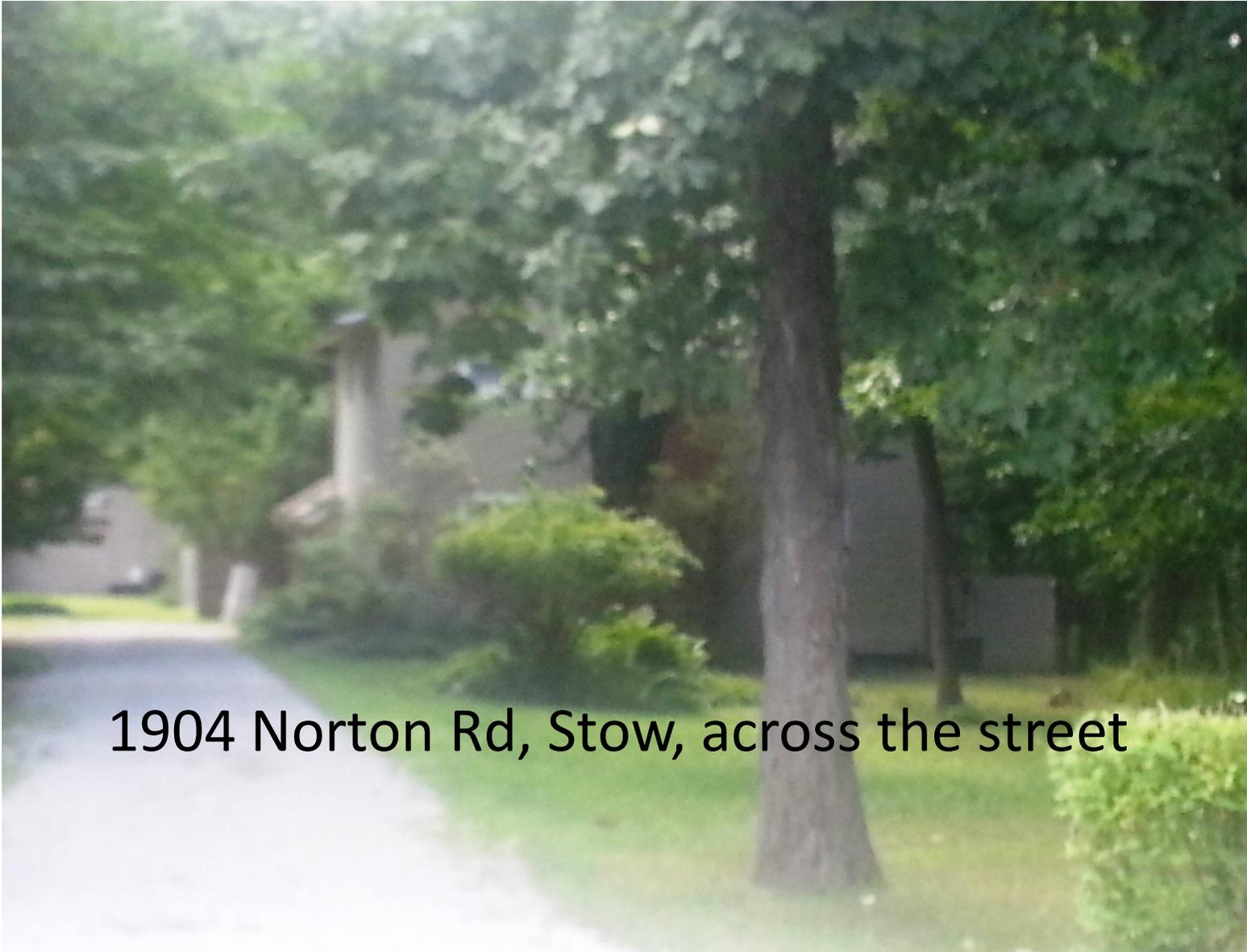
1919 Norton Rd, 2nd lot east



1939 Norton Rd, 3rd lot east



1930 Norton, Stow, across 1st lot east



1904 Norton Rd, Stow, across the street



Across to the west, condos in Stow