

APPROVED: STAFF APPROVAL DATE

APPROVED: ENGINEERING DEPT. APPROVAL DATE

APPROVED: LANDSCAPE ARCHITECT APPROVAL DATE

BUILDER: PULTE HOMES OF OHIO, LLC.

ADDRESS: 387 MEDINA ROAD SUITE 1700, MEDINA, OHIO 44256

PHONE: 330-239-1587

OWNER:

ADDRESS:

PHONE:

NOTES: DOWNSPOUTS TO BE CONNECTED TO STORM SEWER CONNECTION  
SUMP PUMP REQUIRED FOR FOOTER DRAINS

INITIAL SITE BENCHMARK: SUMMIT COUNTY GEODETIC MONUMENT HU 118  
STATE PLAN COORDINATE  
N 572,745.649  
E 2,250,912.641  
ELEVATION = 1006.912 NAVD 1988

NOTE: PER ARB, EGRESS WINDOW WELLS SHOULD BE NO MORE THAN 6" ABOVE FINISHED GRADE

NOTE: FINAL LOCATION OF (3) TREES TO BE DETERMINED AND INSTALLED BY PURCHASER IN COMPLIANCE WITH CITY OF HUDSON LAND DEVELOPMENT CODE (1207.04J).

NOTE: PURCHASER TO INSTALL MINIMUM OF 3 TREES PER MUNICIPAL REQUIREMENTS

NOTE: PURCHASER TO INSTALL LANDSCAPING PER CITY OF HUDSON LANDSCAPING REQUIREMENTS.

DATE OF SURVEY: JULY 7th, 2021

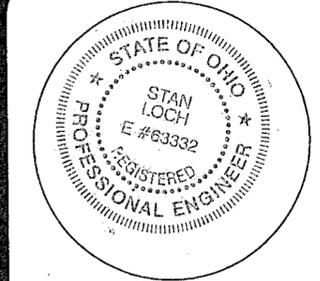
GRAPHIC SCALE



( IN FEET ) 1 inch = 20 ft.

CURVE TABLE with columns: CURVE, LENGTH, RADIUS, TANGENT, CHORD, BEARING, DELTA

NOTE: PLEASE TAKE NOTICE. THE FOUNDATION SHOWN ON THIS SITE PLAN IS TAKEN FROM BASE PLANS ONLY. PROPER VERIFICATION WILL BE REQUIRED.



I CERTIFY THAT THIS PLAN WAS PREPARED BY ME AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Signature of Stan R. Loch, dated 7-19-2021, and title: STAN R. LOCH P.E. #63332

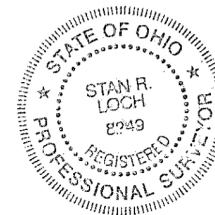
5425 WARNER ROAD - SUITE 12  
VALLEY VIEW, OHIO 44125  
440-602-9071



ENGINEERING and SURVEYING  
Civil Engineering · Land Surveying

SHEET CONTENT

SITE PLAN FOR PULTE HOMES SUBLot 176 6634 ROSEWOOD TRAIL IN THE RESERVE AT RIVER OAKS SUBDIVISION PH. 4 SITUATED IN THE CITY OF HUDSON COUNTY OF SUMMIT STATE OF OHIO



OHIO HUDSON ENGINEERING DEPARTMENT

- Approved (checked)
Approved, as noted
Rejected

Reviewed By: Anthony L. Calabro
8:01 am, Aug 26, 2021

- 1 = PROP 1" WAT CONN
2 = PROP 6" PVC SAS CONW @ 1.0% MIN 10% MAX
3 = PROP 6" PVC SIS CONN @ 1.0% MIN 10% MAX

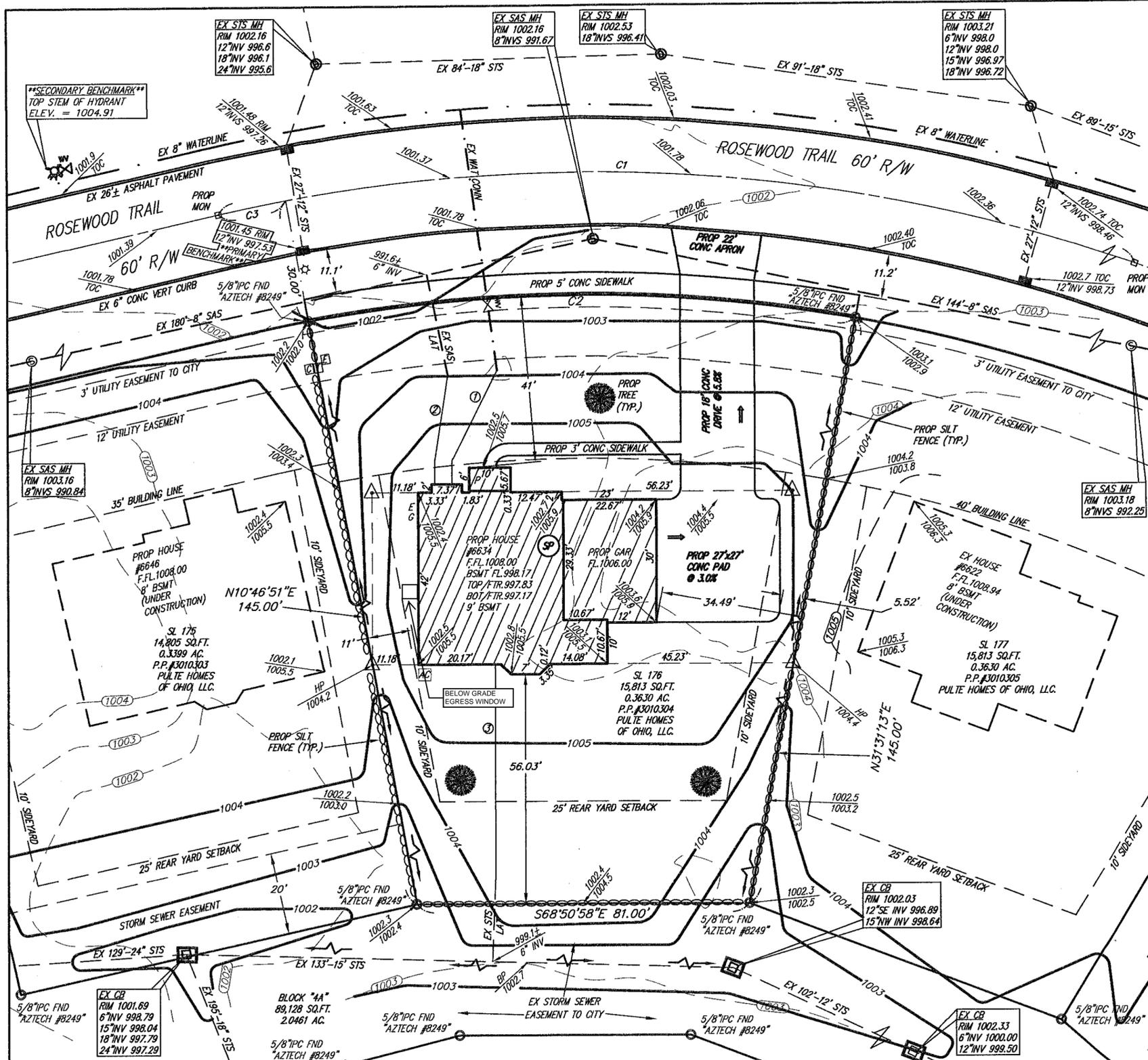
NOTE: ALL PROPOSED FOOTERS WILL REQUIRE SURVEY CERTIFICATION ONCE SET AND PRIOR TO THE COMPLETION OF HOME CONSTRUCTION

LEGEND:

- Proposed Tree, Prop Monument, Ex Curb Inlet, Ex Sanitary Manhole, Ex Yard Drain, Iron Pin Found, Existing Grade, Proposed Grade, Prop Silt Fence, Inlet Protection, Electric Box, Telephone Pedestal, Light Post, Ex Hydrant, Ex Water Valve, Sump Pump, Ex Storm Manhole, Swale, Flow Arrow, Air Conditioner, Electric Connection, Gas Connection, Offset Hub, Cable Pedestal

REVISIONS table with columns: NO., DATE, DESCRIPTION, BY

Scale and Drawing Information table with columns: HORIZ. SCALE, VERT. SCALE, DRAWN BY, DATE, CHECKED BY, DRAWING NO., JOB NO., SHEET





# OHIO DIVISION - LOT 176

River Oaks



## Atwater

### PLAN SHEET INDEX

SHT.	DESCRIPTION
0.00	COVER SHEET
1.30c	FULL BASEMENT FOUNDATION PLAN
2.00	FINISHED BASEMENT PLAN
2.10a	FIRST FLOOR PLAN
2.11a	PLAN DETAILS
2.11b	PLAN DETAILS
2.11c	PLAN DETAILS
2.20a	SECOND FLOOR PLAN
3.30a	TYPICAL BUILDING SECTIONS
3.31a	TYPICAL WALL SECTIONS
3.31b	TYPICAL WALL SECTIONS
AD 3.7	ARCHITECTURAL DETAILS
6.10	FIRST FLOOR ELECTRICAL PLAN
6.11	SECOND FLOOR ELECTRICAL PLAN
7.09d1	ELEVATION "8" - FRONT AND REAR ELEVATIONS
7.09d2	ELEVATION "8" - SIDE ELEVATIONS AND ROOF PLAN
S-1.0	1ST FLOOR FRAMING PLAN
S-1.1	1ST FLOOR FRAMING PLAN
S-1.2	1ST FLOOR FRAMING PLAN
S-1.3	1ST FLOOR FRAMING PLAN
S-1.4	1ST FLOOR FRAMING PLAN
S-1.5	1ST FLOOR FRAMING PLAN
S-1.6	1ST FLOOR FRAMING PLAN
S-2.0	2ND FLOOR FRAMING PLAN
S-2.1	2ND FLOOR FRAMING PLAN
S-2.2	2ND FLOOR FRAMING PLAN
S-2.3	2ND FLOOR FRAMING PLAN
S-3.0	ROOF FRAMING PLAN
S-3.1	ROOF FRAMING PLAN
S-3.2	ROOF FRAMING PLAN
S-3.3	ROOF FRAMING PLAN
SD.01	TYPICAL FOUNDATION DETAILS
SD.02	TYPICAL FOUNDATION DETAILS
SD.03	TYPICAL FOUNDATION DETAILS

### 1 - GENERAL BUILDING & DESIGN REQUIREMENTS

1) THE ATTACHED PLANS & SPECIFICATIONS ARE THE SOLE PROPERTY OF PULTE HOMES INC. ANY UNAUTHORIZED USE OF THESE PLANS WITHOUT PRIOR WRITTEN CONSENT OF PULTE HOMES INC. IS STRICTLY PROHIBITED.  
 2) PULTE HOMES INC. DESIGNS & BUILDS HOUSING AS SET FORTH BY THE FORMAT AND PROVISIONS OF THE RESIDENTIAL CODE OF OHIO (RCO), AND THE NATIONAL ELECTRIC CODE (NEC). ANY NON-CONFORMING DOCUMENTS DISCOVERED BY THE CONTRACTOR OR HIS AGENTS SHALL BE CALLED TO THE IMMEDIATE ATTENTION OF PULTE HOMES INC. BY CALLING (651) 452-5200.  
 3) THESE PLANS ARE SUBJECT TO MODIFICATIONS TO MEET CODE REQUIREMENTS AND/OR TO FACILITATE MECHANICAL/ELECTRICAL/PLUMBING INSTALLATION AND/OR TO IMPLEMENT DESIGN IMPROVEMENTS. ANY INTENTION TO MODIFY THESE PLANS MUST BE APPROVED IN WRITING BY PULTE HOMES INC.  
 4) CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AFFECTING CONTRACTOR'S PRODUCTS, INSTALLATIONS, OR FABRICATIONS IN THE FIELD PRIOR TO EXPEDITING THE CONSTRUCTION OF SUCH WORK. FIELD VERIFY ALL DIMENSIONS - DO NOT SCALE DRAWINGS!! CONTRACTOR IS RESPONSIBLE FOR SURVEYING THE PROJECT AND BECOMING FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK INCLUDING BUT NOT LIMITED TO SITE AND SOIL BEARING CONDITIONS.  
 5) ERRORS AND OMISSIONS WHICH MAY OCCUR IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, IN WRITING, AND WRITTEN INSTRUCTION SHALL BE OBTAINED PRIOR TO PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY ERRORS, DISCREPANCIES, OR OMISSIONS FOR WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT PRIOR TO CONSTRUCTION AND/OR FABRICATION OF THE WORK.

### 2 - SITE CONSTRUCTION

1) SOIL BEARING CALCULATIONS BASED ON 2000 PSF MIN  
 2) BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS.  
 3) BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS BACKFILL TO NOT DAMAGE THE FOUNDATION WALLS OR ANY WATERPROOFING/ DAMPROOFING MATERIALS.

### 3 - CONCRETE

1) ALL CONCRETE EXPOSED TO EXTERIOR ELEMENTS SHOULD BE AIR ENTRAINED 4-6%  
 2) SLOPE ON DRIVE SHALL BE NO LESS THAN 2% OR 1/4" PER FOOT- PREFERABLY 4% OR 1/2" PER FOOT. THE FRONT STOOP SHALL HAVE SLOPE EQUAL TO 1" PER FOOT. THE RAISED WALK IN GARAGE SHALL HAVE A 1/2" PER FOOT SLOPE AND DRIVE SLAB SHALL BE SLOPED MIN. 1/4" PER FOOT.  
 3) SOME COLUMN DIMENSIONS ARE FROM CENTER OF COLUMN TO EXTERIOR FACE OF BASEMENT WALL.  
 4) BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS.  
 5) BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS TO NOT DAMAGE THE FOUNDATION WALLS OR WATERPROOFING / DAMPROOFING MATERIALS.  
 6) MUD SILLS SHALL BE TREATED MEMBERS AND SECURED BY ANCHOR BOLTS AND/OR STRAPS AS SPECIFIED IN THE DRAWINGS, DETAILS, AND SPECIFICATIONS.  
 7) CALCULATIONS FOR COLUMN PADS BASED ON 2000 PSF SOIL BEARING.  
 8) FOUNDATION WALLS & FOOTER DEPTH TO BE VERIFIED IN FIELD.

### 4 - MASONRY

1) ALL EXTERIOR BRICK MUST MEET ASTM C-216 FOR "SW" CONDITIONS  
 2) MASONRY VENEER SHALL BE ATTACHED TO SUPPORTING WALLS w/ 22GA x 7/8" CORRUGATED METAL TIES AT 24" O.C.  
 3) FLASHING BEHIND MASONRY SHALL BE 14# BUILDING PAPER OR FELT OR APPROVED EQUAL ATTACHED TO THE SHEATHING TO PREVENT MOISTURE PENETRATION.  
 4) WEEPHOLES SHALL BE PROVIDED ALONG THE OUTSIDE WYTHE OF EXTERIOR MASONRY WALLS AT 33" O.C. MAX. SHALL BE A MIN. OF 3/16" IN DIAMETER, AND LOCATED IMMEDIATELY ABOVE THE FLASHING

### 5 - METALS

1) ALL STUDS TO BE 2x4 SPF OR EQUAL UNLESS NOTED OTHERWISE.  
 2) USE DBL TOP PLATES 16" OC ON BOTH FIRST AND SECOND FLOOR AT ALL EXTERIOR AND LOAD BEARING CONDITIONS ALL OTHER PARTITION WALL USE SINGLE TOP PLATE 24"OC.

### 6 - WOOD AND PLASTICS

1) STRUCTURAL FLOOR MEMBERS SHALL NOT BE CUT, BORED, OR NOTCHED IN EXCESS OF THE LIMITATIONS SPECIFIED PER CODE  
 2) THE ENDS OF EACH JOIST, BEAM, OR GIRDER SHALL HAVE NOT LESS THAN 1.5 INCHES (38MM) OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3 INCHES (76MM) ON MASONRY OR CONCRETE OR AS OTHERWISE SPECIFIED PER CODE  
 3) ANY CONVENTIONAL FLOOR JOISTS SHOWN DOUBLED ON PLANS TO BE GLUED AT INSTALLATION AND NAILED W/ 3-16d NAILS @ 16" O.C. MULTIPLE PLYS OF ENGINEERED LUMBER TO BE ASSEMBLED PER MANUF. RECOMM.  
 4) SHOP DRAWINGS FOR ANY AND ALL ENGINEERED FLOOR SYSTEMS TO BE SUBMITTED TO ARCHITECT TO REVIEW IN CONFORMANCE WITH THESE CONSTRUCTION DOCUMENTS. WHERE THE CONSTRUCTION DOCUMENTS DO NOT ADDRESS METHODOLOGY, CONTRACTOR TO BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

### 7 - THERMAL & MOISTURE PROTECTION

1) INSTALL FIRE STOPPING AND/ OR DRAFT STOPPING AS REQUIRED.  
 2) ATTIC VENTILATION SHALL BE PROVIDED AT 1/150th OF THE AREA OF THE SPACE VENTILATED. CROSS VENTILATION WITH HALF OF THE VENTILATED AREA SHALL BE PROVIDED BY RIDGE OR GABLE VENTS AND THE OTHER HALF BY EAIVE OR CORNICE VENTS. VENTS SHALL BE PLACED SO AS TO NOT ALLOW INFILTRATION OF RAIN OR SNOW.  
 3) PROVIDE APPROVED TILE BACKER BOARD FOR ALL SHOWER AND BATH SPACE  
 4) PROVIDE ICE-SHIELD PER CODE  
 5) ROOF VENTING TO BE PROVIDED AS SHOWN. SOFFIT, RIDGE, AND OTHER ROOF VENTS TO BE INSTALLED AS NOTED ON THE DRAWINGS & AS PER MANUFACTURERS RECOMMENDATIONS.  
 6) HOUSE WRAP & FLASHING TO BE INSTALLED PER PULTE BEST PRACTICES.

### 8 - DOORS AND WINDOWS

1) WINDOW CALL OUT PER WINDOW SCHEDULE VERIFY WINDOW MANUFACTURER WITH PROJECT MANAGER  
 2) REVIEW ALL WINDOW HDR HEIGHTS PER PLATE HT. AND VERIFY W/ ELEVATIONS AND CORNICE DETAILS  
 3) TEMPERED GLASS SHALL BE USED IN ALL HAZARDOUS AREAS  
 4) FRONT DOOR WIDTH AS REQUIRED BY CODE  
 5) GARAGE DOOR AS REQUIRED BY CODE  
 6) EMERGENCY - SLEEPING ROOMS SHALL HAVE AT LEAST ONE EGRESS OPENING OF NOT LESS THAN 5.7 SF AND A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR.

### 15 - MECHANICALS

1) FACTORY BUILT CHIMNEYS AND FIREPLACES SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS, AND ARE SUBJECT TO MECHANICAL INSPECTION  
 2) PROVIDE EXTERIOR AIR INTAKE FOR COMBUSTION AIR.

### 16 - ELECTRICAL

1) ALL ELECTRICAL INSTALLATION SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRIC CODE (NEC). ALL MATERIAL AND EQUIPMENT SHALL BEAR THE LABEL OF APPROVAL OF THE UNDERWRITERS LABORATORIES, INC.  
 2) ELECTRICAL CONTRACTOR SHALL VERIFY SPACE REQUIRED FOR METER INSTALLATION BEFORE CONSTRUCTION AND SHALL NOTIFY GENERAL CONTRACTOR OF ANY DISCREPANCIES.  
 3) VERIFY LOCATION OF ALL RECEPTACLES FOR APPLIANCES WITH MANUFACTURER SPECIFICATIONS.  
 4) GROUND FAULT INTERRUPTS SHALL BE LOCATED PER THE NEC.  
 5) ALL SWITCHES SHALL BE INSTALLED AT 3'-2" ABOVE FINISHED FLOOR TO CENTERLINE OF SWITCH UNLESS NOTED OTHERWISE.  
 6) ALL CONVENIENCE OUTLETS SHALL BE INSTALLED W/ CENTERLINE OF OUTLET LOCATED 1'-3" ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE.  
 7) ALL CONVENIENCE OUTLETS WITH SWITCHES TO BE SWITCH AT TOP ONLY.  
 8) ALL EXTERIOR WALL BRACKET FIXTURES SHALL BE INSTALLED AT 5'-6" ABOVE ADJACENT DOOR SILL HEIGHT TO CENTERLINE OF FIXTURE.  
 9) APPROVED SMOKE DETECTORS SHALL BE LOCATED ON EVERY STORY OF THE DWELLING UNIT AS PER CODE (SEE SHEET 6.0XX FOR LOCATIONS). WHERE MORE THAN ONE DETECTOR IS REQUIRED THEY SHALL BE INTERCONNECTED. POWER SOURCE SHALL BE BUILDING POWER w/ BATTERY BACKUP.

### GENERAL FRAMING SPECS AND CONSTRUCTION NOTES STAIRS:

1) THE MAXIMUM RISER HEIGHT SHALL BE 7 3/4 INCHES (210 MM) AND THE MINIMUM TREAD DEPTH SHALL BE 10 INCHES (229 MM).  
 2) HANDRAILS HAVING MINIMUM AND MAXIMUM HEIGHTS OF 34 INCHES AND 38 INCHES SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS.  
 3) HANDRAIL AND BALUSTRADE (WHERE PRESENT) SHALL BE CONSTRUCTED PER CODE  
 4) ALL REQUIRED HAND RAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS W/ 2 OR MORE RISERS FROM A POINT ABOVE THE THE TOP RISER OF A FLIGHT TO A POINT ABOVE THE LOWEST RISER OF THE FLIGHT. ENDS SHALL BE RETURNED OR SHALL TERMINATE AT NEWEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1.5" BETWEEN THE WALL AND HAND RAIL.

### WALLS:

1) ALL STUDS TO BE 2x4 SPF OR EQUAL UNLESS NOTED OTHERWISE.  
 2) USE DBL TOP PLATES 16" OC ON BOTH FIRST AND SECOND FLOOR AT ALL EXTERIOR AND LOAD BEARING CONDITIONS ALL OTHER PARTITION WALL USE SINGLE TOP PLATE 24"OC.

### FLOORS:

1) STRUCTURAL FLOOR MEMBERS SHALL NOT BE CUT, BORED, OR NOTCHED IN EXCESS OF THE LIMITATIONS SPECIFIED PER CODE  
 2) THE ENDS OF EACH JOIST, BEAM, OR GIRDER SHALL HAVE NOT LESS THAN 1.5 INCHES (38MM) OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3 INCHES (76MM) ON MASONRY OR CONCRETE OR AS OTHERWISE SPECIFIED PER CODE  
 3) ANY CONVENTIONAL FLOOR JOISTS SHOWN DOUBLED ON PLANS TO BE GLUED AT INSTALLATION AND NAILED W/ 3-16d NAILS @ 16" O.C. MULTIPLE PLYS OF ENGINEERED LUMBER TO BE ASSEMBLED PER MANUF. RECOMM.  
 4) SHOP DRAWINGS FOR ANY AND ALL ENGINEERED FLOOR SYSTEMS TO BE SUBMITTED TO ARCHITECT TO REVIEW IN CONFORMANCE WITH THESE CONSTRUCTION DOCUMENTS. WHERE THE CONSTRUCTION DOCUMENTS DO NOT ADDRESS METHODOLOGY, CONTRACTOR TO BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

### FRAMING:

1) ALL FRAMING DIMENSIONS TO FACE OF MEMBER/SHEATHING.  
 2) ALL BEARING HEADERS TO BE 2X8 SPF #2 OR EQUAL UNLESS NOTED OTHERWISE.  
 3) ALL 2x10 & 2x12 HEADERS TO BE SPF #2 UNLESS NOTED OTHERWISE.  
 4) ALL 2x8 HEADERS TO BE SPF #2 UNLESS NOTED OTHERWISE.  
 5) PROVIDE 1x BLOCKING UNDER ALL EXTERIOR SLIDING DOORS.  
 6) ALL BEAMS & HEADERS SHALL HAVE A MINIMUM OF (1) 2x JACK STUD & (1) 2x KING STUD. THE NUMBER OF STUDS LABELED ON PLANS INDICATES THE NUMBER OF JACK STUDS ONLY (UNLESS NOTED OTHERWISE).  
 7) TWO-PLY CONVENTIONAL BEAMS TO BE FACE-NAILED W/2 ROWS 16d COMMON NAILS STAGGERED @16" O.C. UNLESS NOTED OTHERWISE. THREE-PLY CONVENTIONAL BEAMS TO BE NAILED AS ABOVE FROM EACH SIDE. MULTIPLE PLYS OF ENGINEERED LUMBER TO BE ASSEMBLED PER MANUF. RECOMM.  
 8) JOIST HANGERS, WHERE REQUIRED, SHALL BE USED WITHOUT ANGLES.  
 9) INSTALL FIRE STOPPING AND/ OR DRAFT STOPPING AS REQUIRED.

### ROOF:

1) HIP AND VALLEY RAFTERS SHALL BE SUPPORTED AT RIDGE DOWN TO BEARING PARTITION. CUT ENDS OF RAFTERS SHALL BE FULLY SUPPORTED WALL AND RIDGE.  
 2) SHOP DRAWINGS FOR ANY AND ALL ENGINEERED ROOF TRUSS SYSTEMS TO BE SUBMITTED TO ARCHITECT TO REVIEW IN CONFORMANCE WITH THESE CONSTRUCTION DOCUMENTS. WHERE THE CONSTRUCTION DOCUMENTS DO NOT ADDRESS METHODOLOGY, CONTRACTOR TO BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

### LIGHT & VENT CALCULATIONS:

ROOM	SQ. FT.	LIGHT REQ'D	LIGHT SUPP	VENT REQ'D	VENT SUPP	NOTES
FIRST FLOOR						
PLANNING CENTER	115	9.2	24.80	4.60	10.60	
GATHERING ROOM	367	29.36	49.60	14.68	21.20	
KITCHEN/NOOK	331	26.48	46.94	13.24	22.72	
DINING ROOM	161	12.88	24.80	6.44	10.60	
DEN	173	14.08	37.20	7.04	15.90	
POWDER ROOM	35	N/A	N/A	1.12	50.00	
SECOND FLOOR						
GAME ROOM	299	23.92	46.80	11.96	19.60	
OWNER'S SUITE	282	22.64	40.80	11.32	17.20	
BEDROOM 2	131	10.48	26.80	5.24	11.90	
BEDROOM 3	159	12.16	23.40	6.08	9.80	
BEDROOM 4	152	12.16	35.17	6.08	14.70	
OWNER'S BATH	111	N/A	24.80	118.8	120.00	
TOILET ENCLOSURE	16	N/A	N/A	20.9	50.00	
BATH 3	48	N/A	N/A	58.40	60.00	
BATH 4	37	2.96	5.20	1.48	50.00	
SUNROOM	110	8.80	62.00	4.40	26.50	
GUEST SUITE	153	12.24	35.10	6.12	14.70	
BSMT. BATH	44	N/A	N/A	1.48	50.00	
BATH 1	35	N/A	N/A	37.40	50.00	

### APPLICABLE CODES:

Building Code: 2019 RCO  
 Plumbing Code: 2017 Plumbing Code  
 Mechanical Code: 2017 Mechanical Code  
 Energy Code: 2019 Energy Code Ohio  
 Electrical Code: 2017 NEC  
 Fire Code: 2014 International Fire Code

### SQUARE FOOTAGE INDEX:

DESCRIPTION OF AREA	AREA
FIRST FLOOR	1621 SQ. FT.
SECOND FLOOR	1758 SQ. FT.
ANSI STAR	N/A SQ. FT.
TOTAL	3379 SQ. FT.
GARAGE	808 SQ. FT.
PORCH	60 SQ. FT.
TOTAL AREA UNDER ROOF	2489 SQ. FT.
UNFINISHED BASEMENT	1522 SQ. FT.

PLOTTED: July 22, 2021 / Anna Lee / PLAN-3295-RO-COVER.DWG

(c) Copyright: PulteGroup, Inc. - 2013

Cleveland Division  
387 Medina Rd. Suite 1700  
Medina, OH 44256



Cover Sheet  
Specifications & General Notes

PRODUCTION MANAGER  
Cobe Kirksey  
CURRENT RELEASE DATE: 07/20/2021

REV #	DATE	DESCRIPTION
△		
△		
△		
△		
△		
△		
△		
△		
△		
△		

PROJECT TYPE  
SINGLE FAMILY

COMMUNITY NAME  
RIVER OAKS  
LOT 176  
LAWSON COMMUNITY ID

GARAGE HANDING  
GARAGE LEFT

SPECIFICATION LEVEL  
TBD

PLAN NAME  
ATWATER  
NPC PLAN NUMBER  
1642  
LAWSON PLAN ID  
LEGACY PLAN NUMBER / NAME  
PLAN 3295

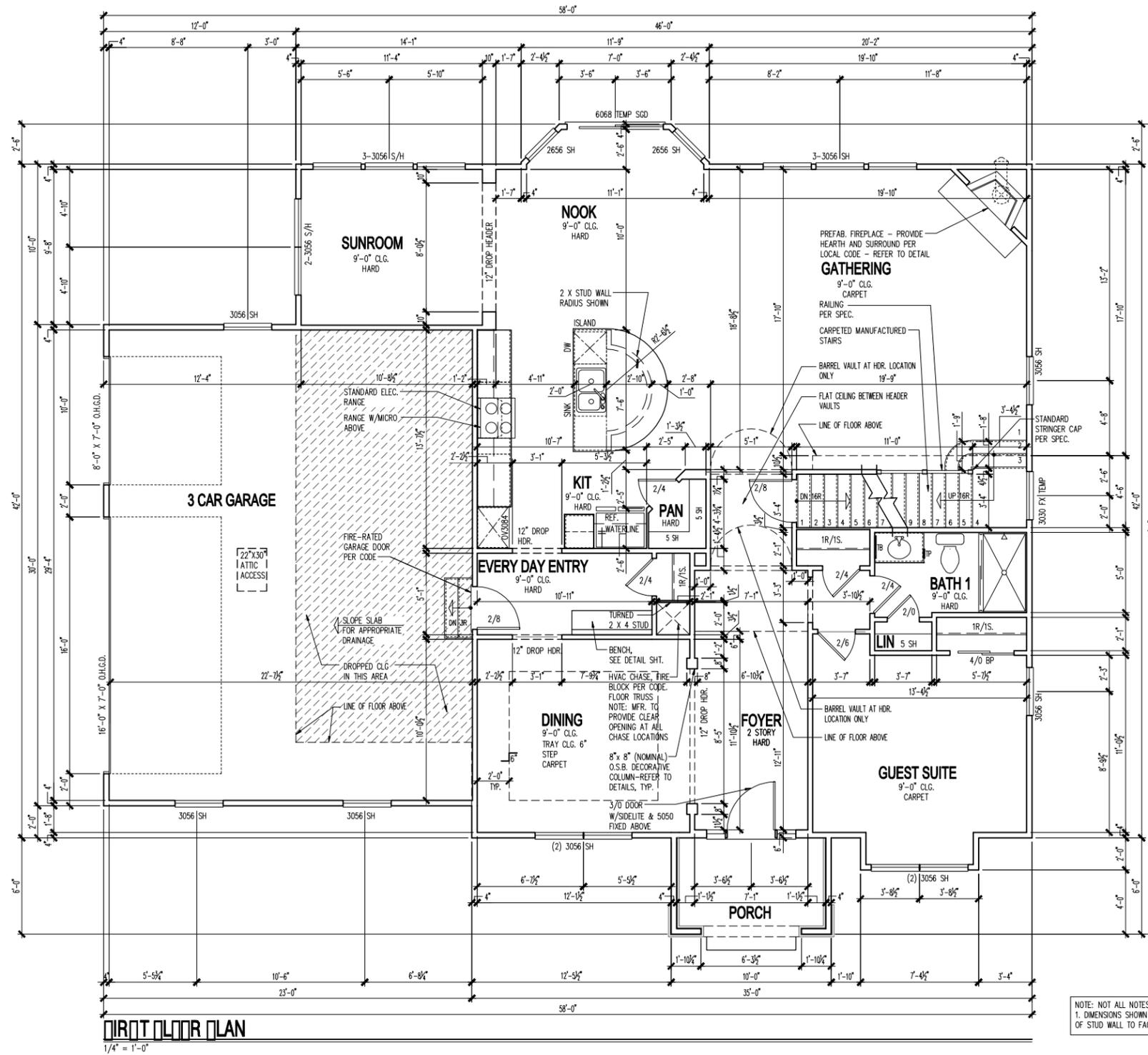
SHEET  
0.00

ENGINEER OF RECORD: MULHERN & KULP ENGINEERS  
ARCHITECT OF RECORD: GODDUCO DESIGN - ARCHITECTS

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS







NOTE: NOT ALL NOTES APPLY  
 1. DIMENSIONS SHOWN ARE FROM FACE OF STUD WALL TO FACE OF STUD WALL.

**FIRST FLOOR PLAN**  
 1/4" = 1'-0"

**Cleveland Division**  
 387 Medina Rd. Suite 1700  
 Medina, OH 44256



**First Floor Plan**

PRODUCTION MANAGER  
Cobe Kirksey  
 CURRENT RELEASE DATE: 07/20/2021

REV #	DATE	DESCRIPTION

PROJECT TYPE  
**SINGLE FAMILY**

COMMUNITY NAME  
**RIVER OAKS LOT 176**  
 LAWSON COMMUNITY ID

GARAGE HANDING  
**GARAGE LEFT**

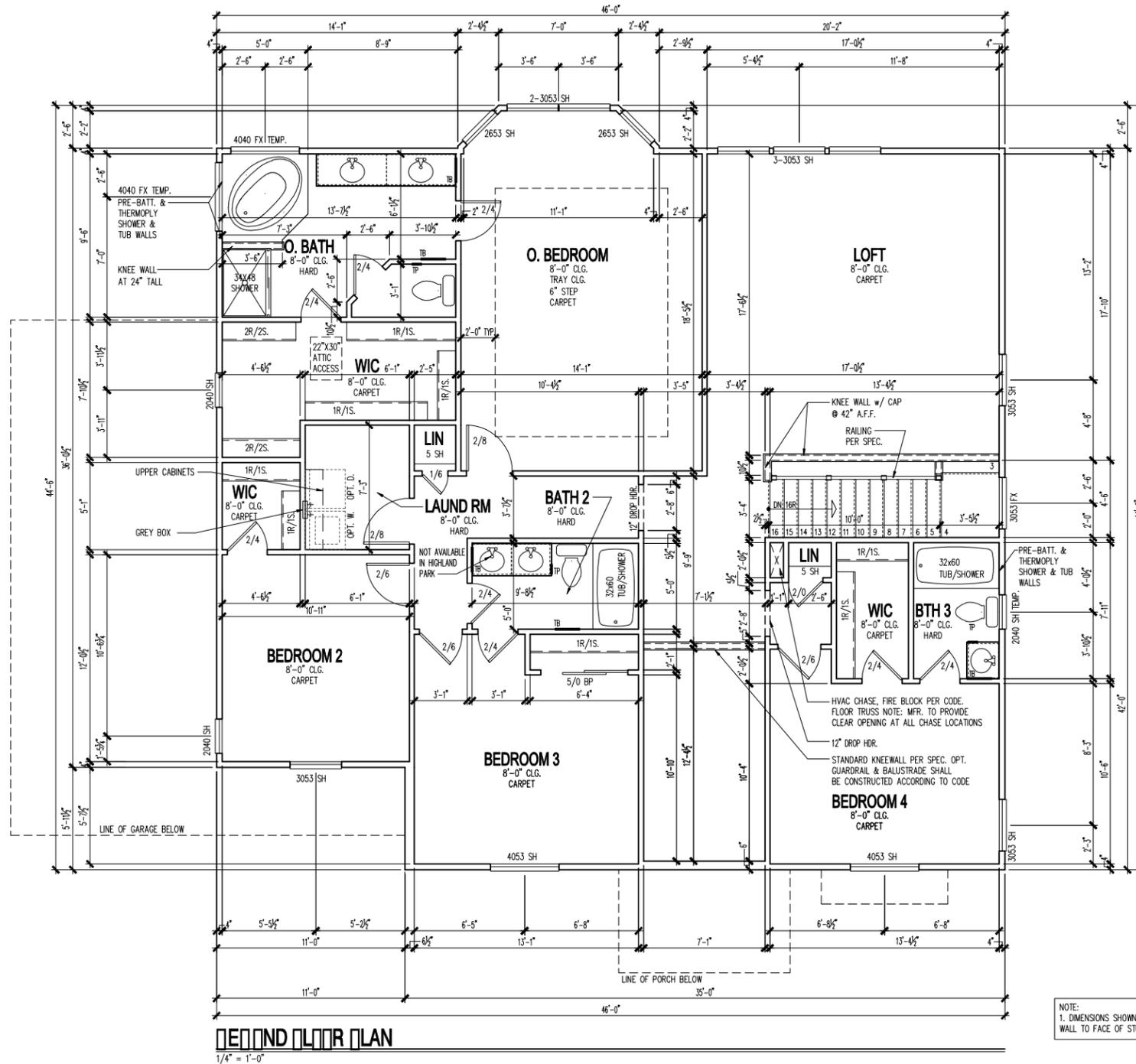
SPECIFICATION LEVEL  
**TBD**

PLAN NAME  
**ATWATER**  
 NPC PLAN NUMBER  
**1642**  
 LAWSON PLAN ID  
 LEGACY PLAN NUMBER / NAME  
**PLAN 3295**

SHEET  
**2.10a**

ENGINEER OF RECORD: MULHERN & KULP ENGINEERS  
 ARCHITECT OF RECORD: GODOLICO DESIGN - ARCHITECTS

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS



**Second Floor Plan**

REV #	DATE	DESCRIPTION

PRODUCTION MANAGER  
Cobe Kirksey  
CURRENT RELEASE DATE: 07/20/2021

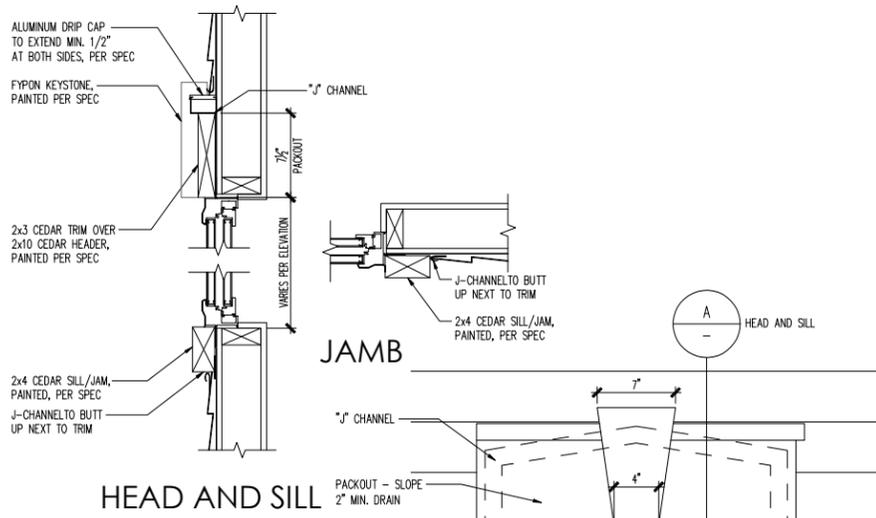
PROJECT TYPE  
**SINGLE FAMILY**

COMMUNITY NAME  
**RIVER OAKS LOT 176**  
LAWSON COMMUNITY ID

GARAGE HANDLING  
**GARAGE LEFT**

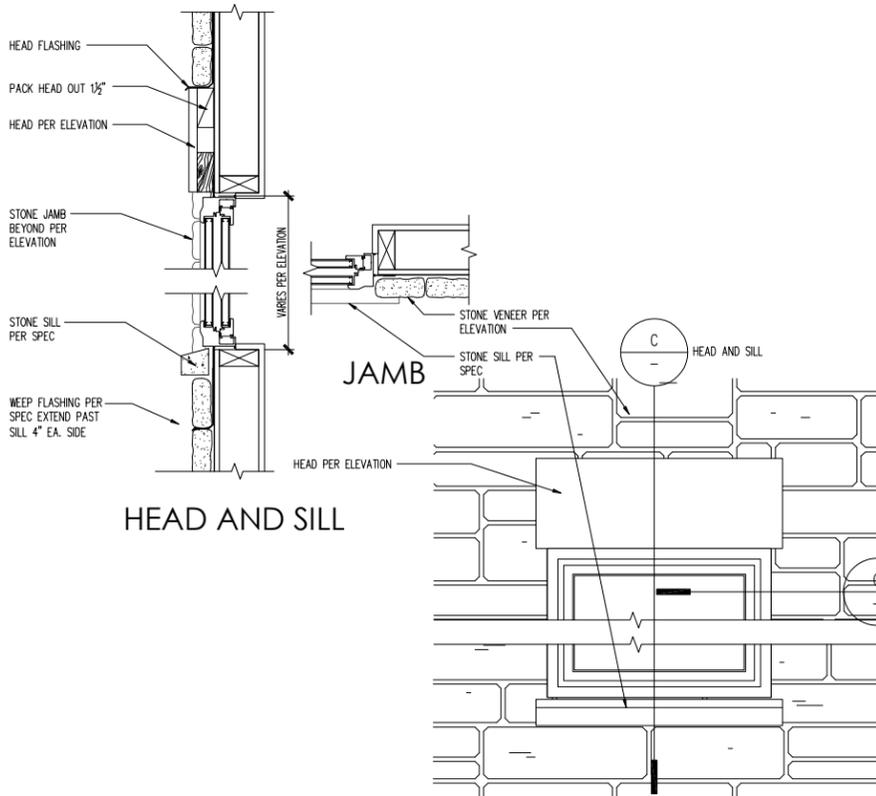
PLAN NAME  
**ATWATER**  
NPC PLAN NUMBER  
**1642**  
LAWSON PLAN ID  
LEGACY PLAN NUMBER / NAME  
**PLAN 3295**

ENGINEER OF RECORD: MULHERN & KULP ENGINEERS  
ARCHITECT OF RECORD: GODOLICO DESIGN - ARCHITECTS  
SHEET  
**2.20a**



**HEAD AND SILL**

**A WNDW TRIM DETAIL**  
SCALE: 1 1/2" = 1'-0"

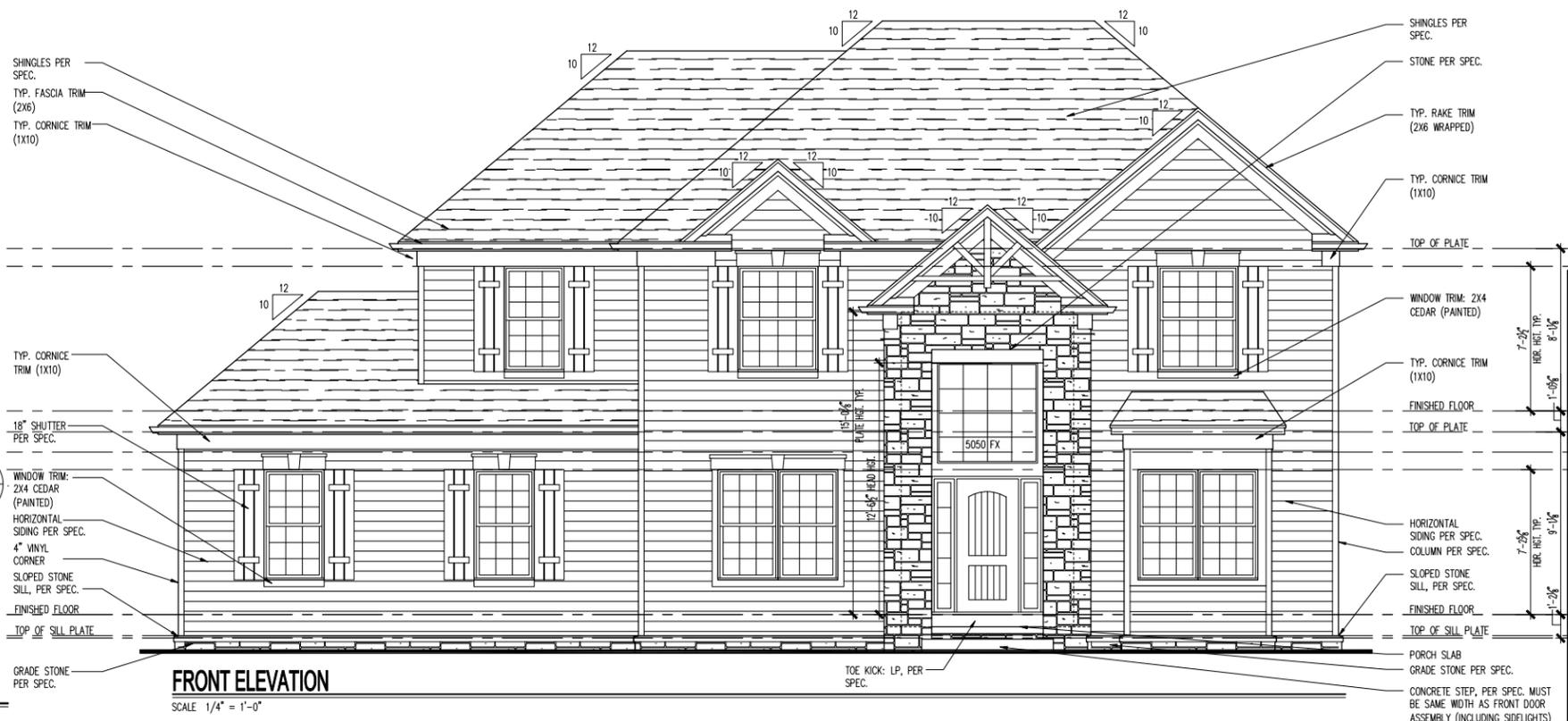


**HEAD AND SILL**

**B WNDW TRIM DETAIL**  
SCALE: 1 1/2" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"

(c) Copyright: PulteGroup, Inc. - 2013

**Cleveland Division**  
387 Medina Rd. Suite 1700  
Medina, OH 44256



**Elevation - 8**  
Front and Rear Elevations

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

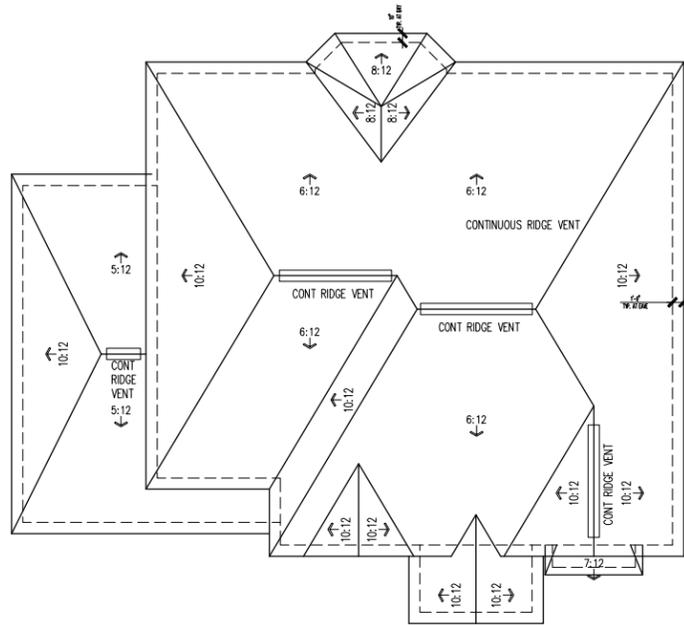
REV #	DATE	DESCRIPTION

PRODUCTION MANAGER Cobe Kirksey CURRENT RELEASE DATE: 07/20/2021
PROJECT TYPE <b>SINGLE FAMILY</b>
COMMUNITY NAME <b>RIVER OAKS LOT 176</b> LAWSON COMMUNITY ID
GARAGE HANDING <b>GARAGE LEFT</b>
SPECIFICATION LEVEL <b>TBD</b>
PLAN NAME <b>ATWATER</b> NPC PLAN NUMBER <b>1642</b> LAWSON PLAN ID
LEGACY PLAN NUMBER / NAME <b>PLAN 3295</b>
SHEET <b>7.08a1</b>

PLOTTED: July 22, 2021 / Anupam Jain / PLAN-3295-RO-ELD.DWG

ENGINEER OF RECORD: MULHORN & KULP ENGINEERS  
ARCHITECT OF RECORD: GODDUCO DESIGN - ARCHITECTS

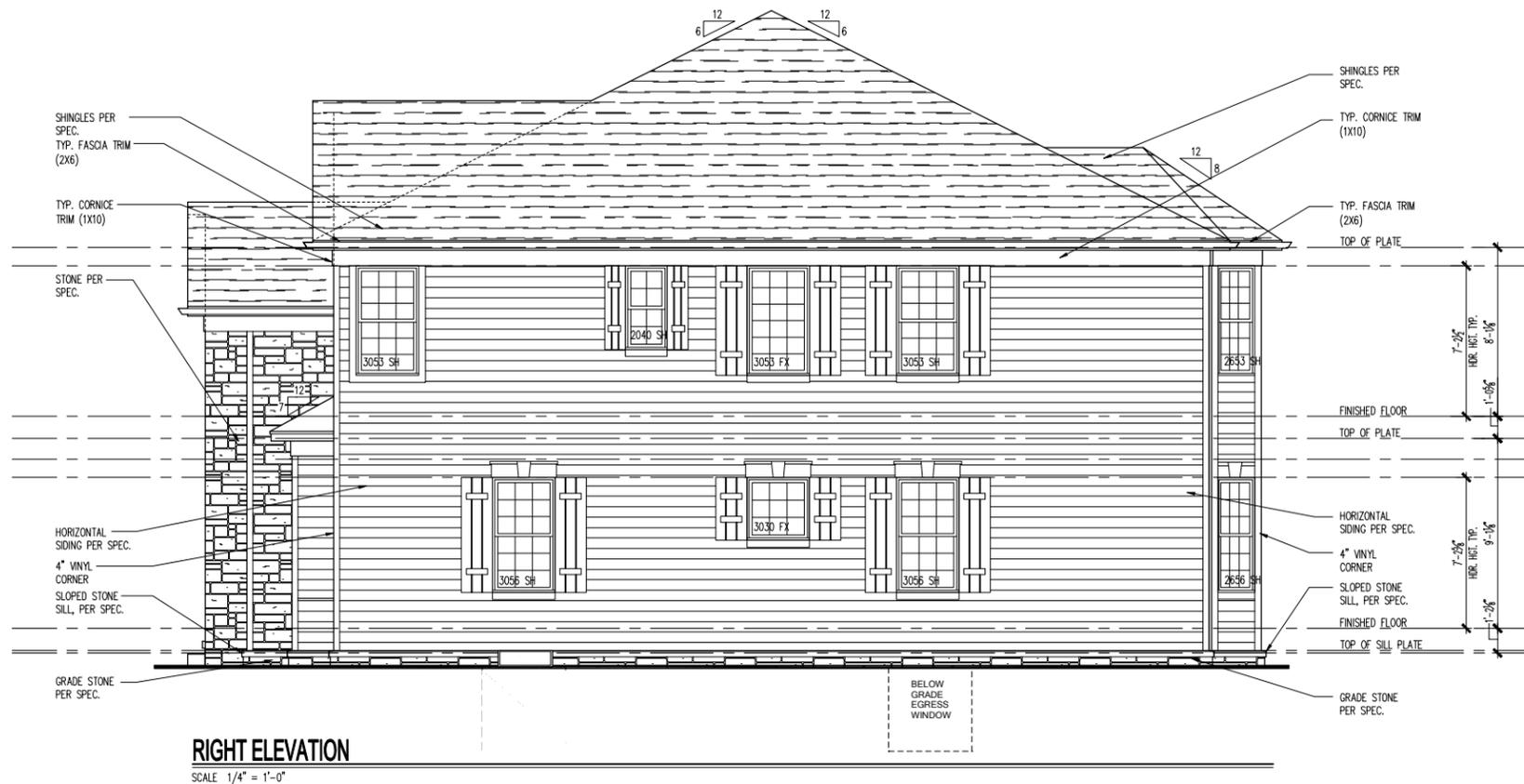
ATTIC VENTILATION SCHEDULE													
8 ELEVATION	1ST FLOOR ROOF			2ND FLOOR ROOF			GARAGE ROOF						
	LOC	AREA	REQ'D	SUPP	AREA	REQ'D	SUPP	AREA	REQ'D	SUPP	AREA	REQ'D	SUPP
RISE	-	-	-	1883	3.16	3.75	404	0.67	1.65	-	-	-	-
EAVE	-	-	-	3.16	3.54	0.67	1.25	-	-	-	-	-	-
TOTAL	-	-	-	6.31	7.29	1.34	2.90	-	-	-	-	-	-



**ROOF PLAN**  
SCALE 1/8" = 1'-0"



**LEFT ELEVATION**  
SCALE 1/4" = 1'-0"



**RIGHT ELEVATION**  
SCALE 1/4" = 1'-0"

**Cleveland Division**  
387 Medina Rd. Suite 1700  
Medina, OH 44256



**Elevation - 8**  
Side Elevations and Roof Plan

REV #	DATE	DESCRIPTION
△		
△		
△		
△		
△		
△		
△		

PRODUCTION MANAGER  
Cobe Kirksey  
CURRENT RELEASE DATE: 07/20/2021

PROJECT TYPE  
**SINGLE FAMILY**

COMMUNITY NAME  
**RIVER OAKS LOT 176**  
LAWSON COMMUNITY ID

GARAGE HANDING  
**GARAGE LEFT**

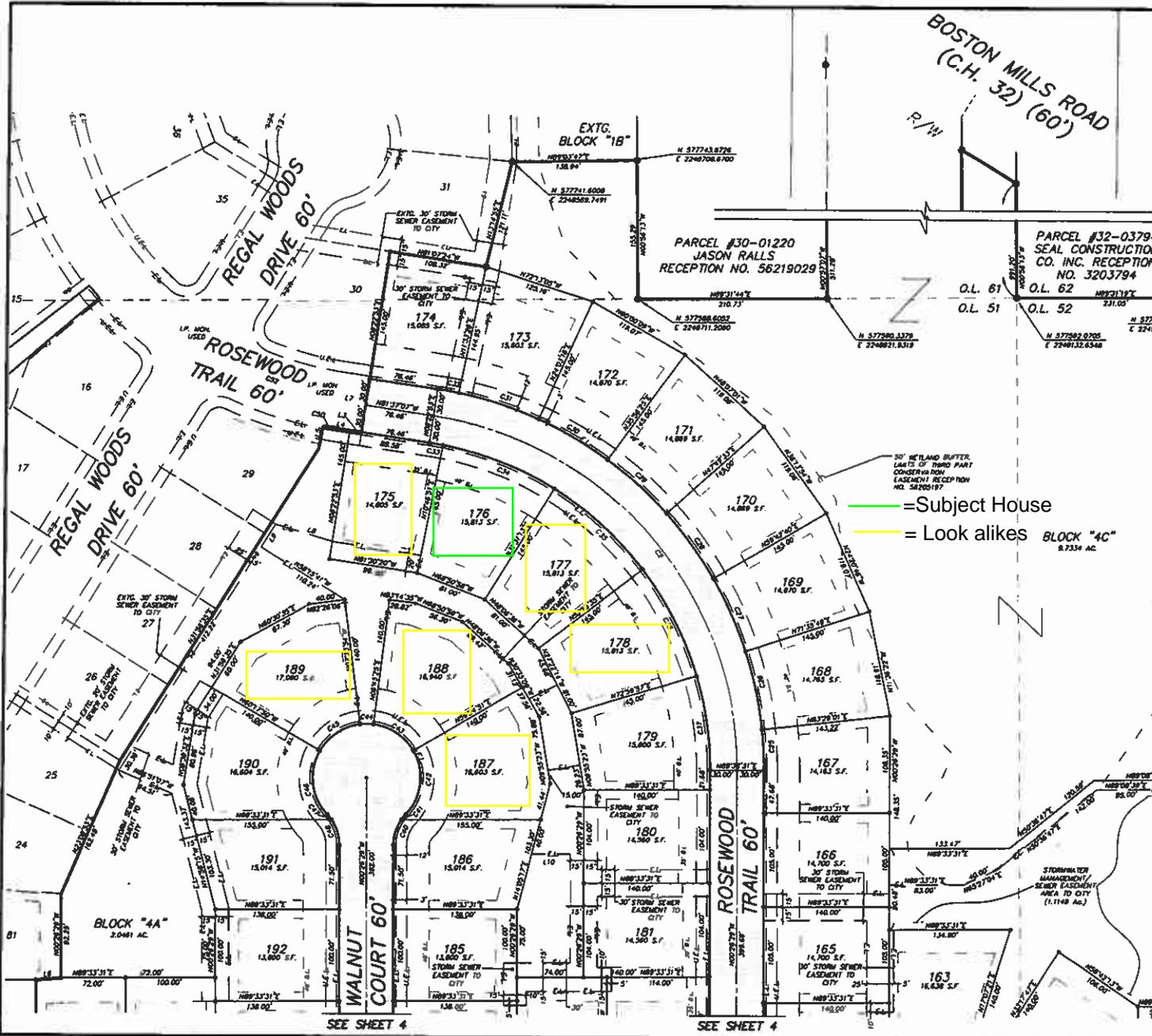
SPECIFICATION LEVEL  
**TBD**

PLAN NAME  
**ATWATER**  
NPC PLAN NUMBER  
**1642**  
LAWSON PLAN ID

LEGACY PLAN NUMBER / NAME  
**PLAN 3295**

SHEET  
**7.08a2**

ENGINEER OF RECORD: MULHERN & KULP ENGINEERS  
ARCHITECT OF RECORD: GODOLICO DESIGN - ARCHITECTS



LINE TABLE		
LINE	LENGTH	BEARING
L1	6.5'	N82°27'00\"
L2	2.00'	N89°33'31\"
L3	13.12'	N81°37'07\"
L4	18.10'	N81°37'07\"
L5	25.00'	N0°00'15\"
L6	38.07'	N85°28'23\"
L7	37.22'	N81°37'07\"
L8	85.00'	N74°47'07\"
L9	30.00'	N31°56'25\"
L10	43.12'	N89°33'31\"

CURVE TABLE							
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA	DELTA
C1	300.00'	187.75'	102.82'	184.13'	N00°37'12\"	37°48'38\"	37°48'38\"
C2	400.00'	586.72'	343.70'	520.50'	N41°09'48\"	87°50'36\"	87°50'36\"
C3	300.00'	63.80'	63.19'	65.58'	N08°11'08\"	1°43'33\"	1°43'33\"
C4	300.00'	57.78'	28.88'	57.71'	N01°28'58\"	1°00'15\"	1°00'15\"
C5	60.00'	32.55'	16.88'	31.88'	N08°00'33\"	3°18'08\"	3°18'08\"
C6	60.00'	3.80'	1.94'	3.86'	N08°46'52\"	3°45'26\"	3°45'26\"
C7	60.00'	68.72'	36.40'	63.87'	N28°34'78\"	6°34'48\"	6°34'48\"
C8	60.00'	53.82'	28.87'	52.04'	N01°18'78\"	31°23'08\"	31°23'08\"
C9	60.00'	52.47'	31.18'	55.30'	N01°30'31\"	54°53'00\"	54°53'00\"
C10	60.00'	78.85'	46.27'	73.28'	N23°34'78\"	75°18'38\"	75°18'38\"
C11	60.00'	14.48'	7.28'	14.48'	N88°07'31\"	1°30'23\"	1°30'23\"
C12	30.00'	65.77'	24.63'	44.18'	N48°49'42\"	5°28'43\"	5°28'43\"
C13	370.00'	67.64'	34.00'	67.46'	N15°25'42\"	14°31'12\"	14°31'12\"
C14	370.00'	30.70'	15.37'	30.68'	N48°58'38\"	6°28'33\"	6°28'33\"
C15	370.00'	6.10'	3.05'	6.10'	N01°05'18\"	1°17'41\"	1°17'41\"
C16	30.00'	67.12'	30.00'	62.43'	N44°33'31\"	80°00'00\"	80°00'00\"
C17	60.00'	28.37'	14.40'	28.11'	N78°00'48\"	2°08'28\"	2°08'28\"
C18	60.00'	62.40'	34.30'	58.82'	N32°00'31\"	58°35'10\"	58°35'10\"
C19	60.00'	62.40'	34.30'	58.82'	N88°34'38\"	58°35'10\"	58°35'10\"
C20	60.00'	18.87'	10.08'	18.88'	N88°43'37\"	18°04'27\"	18°04'27\"
C21	60.00'	81.29'	48.27'	78.22'	N85°34'50\"	77°37'40\"	77°37'40\"
C22	50.00'	33.80'	18.08'	33.16'	N45°37'58\"	38°44'38\"	38°44'38\"
C23	50.00'	31.14'	16.72'	30.88'	N77°28'40\"	2°13'43\"	2°13'43\"
C24	30.00'	67.12'	30.00'	62.43'	N45°28'38\"	80°00'00\"	80°00'00\"
C25	430.00'	65.58'	22.82'	45.37'	N63°28'44\"	8°04'36\"	8°04'36\"
C26	430.00'	86.21'	44.77'	88.05'	N12°27'33\"	11°53'12\"	11°53'12\"
C27	430.00'	88.20'	44.78'	88.04'	N24°20'48\"	11°53'10\"	11°53'10\"
C28	430.00'	88.20'	44.78'	88.04'	N38°13'34\"	11°53'10\"	11°53'10\"
C29	430.00'	88.20'	44.78'	88.04'	N48°07'04\"	11°53'10\"	11°53'10\"
C30	430.00'	88.20'	44.78'	88.04'	N80°00'00\"	11°53'10\"	11°53'10\"
C31	430.00'	83.78'	47.08'	83.60'	N72°11'38\"	12°29'47\"	12°29'47\"
C32	430.00'	23.84'	11.82'	23.64'	N80°01'48\"	3°10'38\"	3°10'38\"
C33	370.00'	18.48'	7.25'	18.48'	N80°25'08\"	2°32'58\"	2°32'58\"
C34	370.00'	133.83'	67.71'	133.20'	N88°30'38\"	20°44'28\"	20°44'28\"
C35	370.00'	133.83'	67.71'	133.20'	N48°00'38\"	20°44'28\"	20°44'28\"
C36	370.00'	133.83'	67.71'	133.20'	N32°22'14\"	20°44'28\"	20°44'28\"
C37	370.00'	108.94'	53.84'	108.58'	N88°01'34\"	18°23'33\"	18°23'33\"
C38	30.00'	67.12'	30.00'	62.43'	N44°33'31\"	80°00'00\"	80°00'00\"
C39	30.00'	67.12'	30.00'	62.43'	N43°28'28\"	80°00'00\"	80°00'00\"
C40	50.00'	30.32'	15.64'	28.88'	N18°33'31\"	34°04'53\"	34°04'53\"
C41	50.00'	7.50'	3.78'	7.48'	N38°38'12\"	8°25'48\"	8°25'48\"
C42	60.00'	78.85'	46.78'	71.78'	N08°00'28\"	7°29'28\"	7°29'28\"
C43	60.00'	55.14'	28.88'	51.22'	N58°34'31\"	5°28'24\"	5°28'24\"
C44	60.00'	15.00'	7.54'	14.88'	N88°23'44\"	1°47'28\"	1°47'28\"
C45	60.00'	55.22'	29.74'	51.20'	N58°04'08\"	5°24'50\"	5°24'50\"
C46	60.00'	78.85'	46.78'	71.78'	N02°32'34\"	7°28'10\"	7°28'10\"
C47	50.00'	7.50'	3.78'	7.48'	N39°28'11\"	8°25'48\"	8°25'48\"
C48	50.00'	30.32'	15.64'	28.88'	N17°48'33\"	34°04'53\"	34°04'53\"
C49	30.00'	67.12'	30.00'	62.43'	N44°33'31\"	80°00'00\"	80°00'00\"
C50	430.00'	12.17'	6.08'	12.17'	N80°48'27\"	1°37'20\"	1°37'20\"
C51	300.00'	6.78'	3.38'	6.78'	N01°05'18\"	1°17'41\"	1°17'41\"
C52	400.00'	164.48'	83.47'	163.33'	N89°00'18\"	2°33'14\"	2°33'14\"

— = Subject House  
— = Look alikes

**THE RESERVE AT RIVER OAKS SUBDIVISION PHASE 4**  
 DONALD E. BIRNBAUM & ASSOCIATES, INC.  
 Civil, Engineering & Surveying  
 1100 West 10th Street, Suite 200  
 Omaha, NE 68104  
 N.E. E.K. FEB. 2019 3  
 4272-4



# OHIO DIVISION - LOT 175

River Oaks



## Atwater

### PLAN SHEET INDEX

SHT.	DESCRIPTION
0.00	COVER SHEET
1.30b	FULL BASEMENT FOUNDATION PLAN
2.10a	FIRST FLOOR PLAN
2.11a	PLAN DETAILS
2.11b	PLAN DETAILS
2.11c	PLAN DETAILS
2.20a	SECOND FLOOR PLAN
3.30a	TYPICAL BUILDING SECTIONS
3.31a	TYPICAL WALL SECTIONS
3.31b	TYPICAL WALL SECTIONS
6.10	FIRST FLOOR ELECTRICAL PLAN
6.11	SECOND FLOOR ELECTRICAL PLAN
7.04a2	ELEVATION "4" - FRONT AND REAR ELEVATIONS
7.04a3	ELEVATION "4" - SIDE ELEVATIONS AND ROOF PLAN
S-1.0	1ST FLOOR FRAMING PLAN
S-1.1	1ST FLOOR FRAMING PLAN
S-1.2	1ST FLOOR FRAMING PLAN
S-1.3	1ST FLOOR FRAMING PLAN
S-1.4	1ST FLOOR FRAMING PLAN
S-1.5	1ST FLOOR FRAMING PLAN
S-1.6	1ST FLOOR FRAMING PLAN
S-2.0	2ND FLOOR FRAMING PLAN
S-2.1	2ND FLOOR FRAMING PLAN
S-2.2	2ND FLOOR FRAMING PLAN
S-2.3	2ND FLOOR FRAMING PLAN
S-3.0	ROOF FRAMING PLAN
S-3.1	ROOF FRAMING PLAN
S-3.2	ROOF FRAMING PLAN
S-3.3	ROOF FRAMING PLAN
SD.01	TYPICAL FOUNDATION DETAILS
SD.02	TYPICAL FOUNDATION DETAILS
SD.03	TYPICAL FOUNDATION DETAILS

### 1 - GENERAL BUILDING & DESIGN REQUIREMENTS

- THE ATTACHED PLANS & SPECIFICATIONS ARE THE SOLE PROPERTY OF PULTE HOMES INC. ANY UNAUTHORIZED USE OF THESE PLANS WITHOUT PRIOR WRITTEN CONSENT OF PULTE HOMES INC. IS STRICTLY PROHIBITED.
- PULTE HOMES INC. DESIGNS & BUILDS HOUSING AS SET FORTH BY THE FORMAT AND PROVISIONS OF THE RESIDENTIAL CODE OF OHIO (RCO), AND THE NATIONAL ELECTRIC CODE (NEC). ANY NON-CONFORMING DOCUMENTS DISCOVERED BY THE CONTRACTOR OR HIS AGENTS SHALL BE CALLED TO THE IMMEDIATE ATTENTION OF PULTE HOMES INC. BY CALLING (651) 452-5200.
- THESE PLANS ARE SUBJECT TO MODIFICATIONS TO MEET CODE REQUIREMENTS AND/OR TO FACILITATE MECHANICAL/ELECTRICAL/PLUMBING INSTALLATION AND/OR TO IMPLEMENT DESIGN IMPROVEMENTS. ANY INTENTION TO MODIFY THESE PLANS MUST BE APPROVED IN WRITING BY PULTE HOMES INC.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AFFECTING CONTRACTOR'S PRODUCTS, INSTALLATIONS, OR FABRICATIONS IN THE FIELD PRIOR TO EXPEDITING THE CONSTRUCTION OF SUCH WORK. FIELD VERIFY ALL DIMENSIONS - DO NOT SCALE DRAWINGS!! CONTRACTOR IS RESPONSIBLE FOR SURVEYING THE PROJECT AND BECOMING FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK INCLUDING BUT NOT LIMITED TO SITE AND SOIL BEARING CONDITIONS.
- ERRORS AND OMISSIONS WHICH MAY OCCUR IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, IN WRITING, AND WRITTEN INSTRUCTION SHALL BE OBTAINED PRIOR TO PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY ERRORS, DISCREPANCIES, OR OMISSIONS FOR WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT PRIOR TO CONSTRUCTION AND/OR FABRICATION OF THE WORK.

### 2 - SITE CONSTRUCTION

- SOIL BEARING CALCULATIONS BASED ON 2000 PSF MIN
- BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS.
- BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS BACKFILL TO NOT DAMAGE THE FOUNDATION WALLS OR ANY WATERPROOFING/ DAMPROOFING MATERIALS.

### 3 - CONCRETE

- ALL CONCRETE EXPOSED TO EXTERIOR ELEMENTS SHOULD BE AIR ENTRAINED 4-6%.
- SLOPE ON DRIVE SHALL BE NO LESS THAN 2% OR 1/4" PER FOOT- PREFERABLY 4% OR 1/2" PER FOOT. THE FRONT STOOP SHALL HAVE SLOPE EQUAL TO 1" PER FOOT. THE RAISED WALK IN GARAGE SHALL HAVE A 1/2" PER FOOT SLOPE AND DRIVE SLAB SHALL BE SLOPED MIN. 1/4" PER FOOT.
- SOME COLUMN DIMENSIONS ARE FROM CENTER OF COLUMN TO EXTERIOR FACE OF BASEMENT WALL.
- BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS.
- BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS TO NOT DAMAGE THE FOUNDATION WALLS OR WATERPROOFING / DAMPROOFING MATERIALS.
- MUD SILLS SHALL BE TREATED MEMBERS AND SECURED BY ANCHOR BOLTS AND/OR STRAPS AS SPECIFIED IN THE DRAWINGS, DETAILS, AND SPECIFICATIONS.
- CALCULATIONS FOR COLUMN PADS BASED ON 2000 PSF SOIL BEARING.
- FOUNDATION WALLS & FOOTER DEPTH TO BE VERIFIED IN FIELD.

### 4 - MASONRY

- ALL EXTERIOR BRICK MUST MEET ASTM C-216 FOR "SW" CONDITIONS
- MASONRY VENEER SHALL BE ATTACHED TO SUPPORTING WALLS w/ 22GA x 7/8" CORRUGATED METAL TIES AT 24" O.C.
- FLASHING BEHIND MASONRY SHALL BE 14# BUILDING PAPER OR FELT OR APPROVED EQUAL ATTACHED TO THE SHEATHING TO PREVENT MOISTURE PENETRATION.
- WEEPHOLES SHALL BE PROVIDED ALONG THE OUTSIDE WYTHE OF EXTERIOR MASONRY WALLS AT 33" O.C. MAX. SHALL BE A MIN. OF 3/16" IN DIAMETER, AND LOCATED IMMEDIATELY ABOVE THE FLASHING

### 5 - METALS

### 6 - WOOD AND PLASTICS

### 7 - THERMAL & MOISTURE PROTECTION

- INSTALL FIRE STOPPING AND/ OR DRAFT STOPPING AS REQUIRED.
- ATTIC VENTILATION SHALL BE PROVIDED AT 1/150th OF THE AREA OF THE SPACE VENTILATED. CROSS VENTILATION WITH HALF OF THE VENTILATED AREA SHALL BE PROVIDED BY RIDGE OR GABLE VENTS AND THE OTHER HALF BY EAVE OR CORNICE VENTS. VENTS SHALL BE PLACED SO AS TO NOT ALLOW INFILTRATION OF RAIN OR SNOW.
- PROVIDE APPROVED TILE BACKER BOARD FOR ALL SHOWER AND BATH SPACE
- PROVIDE ICE-SHIELD PER CODE
- ROOF VENTING TO BE PROVIDED AS SHOWN. SOFFIT, RIDGE, AND OTHER ROOF VENTS TO BE INSTALLED AS NOTED ON THE DRAWINGS & AS PER MANUFACTURERS RECOMMENDATIONS.
- HOUSE WRAP & FLASHING TO BE INSTALLED PER PULTE BEST PRACTICES.

### 8 - DOORS AND WINDOWS

- WINDOW CALL OUT PER WINDOW SCHEDULE VERIFY WINDOW MANUFACTURER WITH PROJECT MANAGER
- REVIEW ALL WINDOW HDR HEIGHTS PER PLATE HT. AND VERIFY W/ ELEVATIONS AND CORNICE DETAILS
- TEMPERED GLASS SHALL BE USED IN ALL HAZARDOUS AREAS
- FRONT DOOR WIDTH AS REQUIRED BY CODE
- GARAGE DOOR AS REQUIRED BY CODE
- EMERGENCY - SLEEPING ROOMS SHALL HAVE AT LEAST ONE EGRESS OPENING OF NOT LESS THAN 5.7 SF AND A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR.

### 15 - MECHANICALS

- FACTORY BUILT CHIMNEYS AND FIREPLACES SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS, AND ARE SUBJECT TO MECHANICAL INSPECTION
- PROVIDE EXTERIOR AIR INTAKE FOR COMBUSTION AIR.

### 16 - ELECTRICAL

- ALL ELECTRICAL INSTALLATION SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRIC CODE (NEC). ALL MATERIAL AND EQUIPMENT SHALL BEAR THE LABEL OF APPROVAL OF THE UNDERWRITERS LABORATORIES, INC.
- ELECTRICAL CONTRACTOR SHALL VERIFY SPACE REQUIRED FOR METER INSTALLATION BEFORE CONSTRUCTION AND SHALL NOTIFY GENERAL CONTRACTOR OF ANY DISCREPANCIES.
- VERIFY LOCATION OF ALL RECEPTACLES FOR APPLIANCES WITH MANUFACTURER SPECIFICATIONS.
- GROUND FAULT INTERRUPTS SHALL BE LOCATED PER THE NEC.
- ALL SWITCHES SHALL BE INSTALLED AT 3'-2" ABOVE FINISHED FLOOR TO CENTERLINE OF SWITCH UNLESS NOTED OTHERWISE.
- ALL CONVENIENCE OUTLETS SHALL BE INSTALLED W/ CENTERLINE OF OUTLET LOCATED 1'-3" ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE.
- ALL CONVENIENCE OUTLETS WITH SWITCHES TO BE SWITCH AT TOP ONLY.
- ALL EXTERIOR WALL BRACKET FIXTURES SHALL BE INSTALLED AT 5'-6" ABOVE ADJACENT DOOR SILL HEIGHT TO CENTERLINE OF FIXTURE.
- APPROVED SMOKE DETECTORS SHALL BE LOCATED ON EVERY STORY OF THE DWELLING UNIT AS PER CODE (SEE SHEET 6.0XX FOR LOCATIONS). WHERE MORE THAN ONE DETECTOR IS REQUIRED THEY SHALL BE INTERCONNECTED. POWER SOURCE SHALL BE BUILDING POWER w/ BATTERY BACKUP.

### GENERAL FRAMING SPECS AND CONSTRUCTION NOTES STAIRS:

- THE MAXIMUM RISER HEIGHT SHALL BE 7 3/4 INCHES (210 MM) AND THE MINIMUM TREAD DEPTH SHALL BE 10 INCHES (229 MM).
- HANDRAILS HAVING MINIMUM AND MAXIMUM HEIGHTS OF 34 INCHES AND 38 INCHES SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS.
- HANDRAIL AND BALUSTRADE (WHERE PRESENT) SHALL BE CONSTRUCTED PER CODE
- ALL REQUIRED HAND RAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS W/ 2 OR MORE RISERS FROM A POINT ABOVE THE TOP RISER OF A FLIGHT TO A POINT ABOVE THE LOWEST RISER OF THE FLIGHT. ENDS SHALL BE RETURNED OR SHALL TERMINATE AT NEWEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1.5" BETWEEN THE WALL AND HAND RAIL.

### WALLS:

- ALL STUDS TO BE 2x4 SPF OR EQUAL UNLESS NOTED OTHERWISE.
- USE DBL TOP PLATES 16" OC ON BOTH FIRST AND SECOND FLOOR AT ALL EXTERIOR AND LOAD BEARING CONDITIONS ALL OTHER PARTITION WALL USE SINGLE TOP PLATE 24"OC.

### FLOORS:

- STRUCTURAL FLOOR MEMBERS SHALL NOT BE CUT, BORED, OR NOTCHED IN EXCESS OF THE LIMITATIONS SPECIFIED PER CODE
- THE ENDS OF EACH JOIST, BEAM, OR GIRDER SHALL HAVE NOT LESS THAN 1.5 INCHES (38MM) OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3 INCHES (76MM) ON MASONRY OR CONCRETE OR AS OTHERWISE SPECIFIED PER CODE
- ANY CONVENTIONAL FLOOR JOISTS SHOWN DOUBLED ON PLANS TO BE GLUED AT INSTALLATION AND NAILED W/ 3-16d NAILS @ 16" O.C. MULTIPLE PLIES OF ENGINEERED LUMBER TO BE ASSEMBLED PER MANUF. RECOMM.
- SHOP DRAWINGS FOR ANY AND ALL ENGINEERED FLOOR SYSTEMS TO BE SUBMITTED TO ARCHITECT TO REVIEW IN CONFORMANCE WITH THESE CONSTRUCTION DOCUMENTS. WHERE THE CONSTRUCTION DOCUMENTS DO NOT ADDRESS METHODOLOGY, CONTRACTOR TO BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

### FRAMING:

- ALL FRAMING DIMENSIONS TO FACE OF MEMBER/SHEATHING.
- ALL BEARING HEADERS TO BE 2X8 SPF #2 OR EQUAL UNLESS NOTED OTHERWISE.
- ALL 2x10 & 2x12 HEADERS TO BE SPF #2 UNLESS NOTED OTHERWISE.
- ALL 2x8 HEADERS TO BE SPF #2 UNLESS NOTED OTHERWISE.
- PROVIDE 1x BLOCKING UNDER ALL EXTERIOR SLIDING DOORS.
- ALL BEAMS & HEADERS SHALL HAVE A MINIMUM OF (1) 2x JACK STUD & (1) 2x KING STUD. THE NUMBER OF STUDS LABELED ON PLANS INDICATES THE NUMBER OF JACK STUDS ONLY (UNLESS NOTED OTHERWISE).
- TWO-PLY CONVENTIONAL BEAMS TO BE FACE-NAILED W/2 ROWS 16d COMMON NAILS STAGGERED @16" O.C. UNLESS NOTED OTHERWISE. THREE-PLY CONVENTIONAL BEAMS TO BE NAILED AS ABOVE FROM EACH SIDE. MULTIPLE PLIES OF ENGINEERED LUMBER TO BE ASSEMBLED PER MANUF. RECOMM.
- JOIST HANGERS, WHERE REQUIRED, SHALL BE USED WITHOUT ANGLES.
- INSTALL FIRE STOPPING AND/ OR DRAFT STOPPING AS REQUIRED.

### ROOF:

- HIP AND VALLEY RAFTERS SHALL BE SUPPORTED AT RIDGE DOWN TO BEARING PARTITION. CUT ENDS OF RAFTERS SHALL BE FULLY SUPPORTED WALL AND RIDGE.
- SHOP DRAWINGS FOR ANY AND ALL ENGINEERED ROOF TRUSS SYSTEMS TO BE SUBMITTED TO ARCHITECT TO REVIEW IN CONFORMANCE WITH THESE CONSTRUCTION DOCUMENTS. WHERE THE CONSTRUCTION DOCUMENTS DO NOT ADDRESS METHODOLOGY, CONTRACTOR TO BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

### LIGHT & VENT CALCULATIONS:

ROOM	SQ. FT.	LIGHT REQ'D	LIGHT SUPP	VENT REQ'D	VENT SUPP	NOTES
FIRST FLOOR						
PLANNING CENTER	115	9.2	24.80	4.60	10.60	
GATHERING ROOM	367	29.36	49.60	14.68	21.20	
KITCHEN/NOOK	331	26.48	46.94	13.24	22.72	
DINING ROOM	161	12.88	24.80	6.44	10.60	
DEN	173	14.08	37.20	7.04	15.90	
POWDER ROOM	35	N/A	N/A	1.12	50.00	
SECOND FLOOR						
GAME ROOM	299	23.92	46.80	11.96	19.60	
OWNER'S SUITE	282	22.64	40.80	11.32	17.20	
BEDROOM 2	131	10.48	26.80	5.24	11.90	
BEDROOM 3	159	12.16	23.40	6.08	9.80	
BEDROOM 4	152	12.16	35.17	6.08	14.70	
OWNER'S BATH	111	N/A	24.80	118.8	120.00	
TOILET ENCLOSURE	16	N/A	N/A	20.9	50.00	
BATH 3	48	N/A	N/A	59.40	60.00	
BATH 4	37	2.96	5.20	1.48	50.00	
BATH 1	35	N/A	N/A	37.40	50.00	

### APPLICABLE CODES:

- Building Code: 2019 RCO
- Plumbing Code: 2017 Plumbing Code
- Mechanical Code: 2017 Mechanical Code
- Energy Code: 2019 Energy Code Ohio
- Electrical Code: 2017 NEC
- Fire Code: 2018 International Fire Code

(c) Copyright: PulteGroup, Inc. - 2013

**Cleveland Division**  
 387 Medina Rd. Suite 1700  
 Medina, OH 44256



COVER SHEET  
 Specifications & General Notes

PRODUCTION MANAGER  
 Cobe Kirksey  
 CURRENT RELEASE DATE: 05/04/2021

REV #	DATE	DESCRIPTION
△		
△		
△		
△		
△		
△		
△		
△		
△		

PROJECT TYPE  
**SINGLE FAMILY**

COMMUNITY NAME  
**RIVER OAKS LOT 175**  
 LAWSON COMMUNITY ID

GARAGE HANDING  
**GARAGE RIGHT**

SPECIFICATION LEVEL  
**TBD**

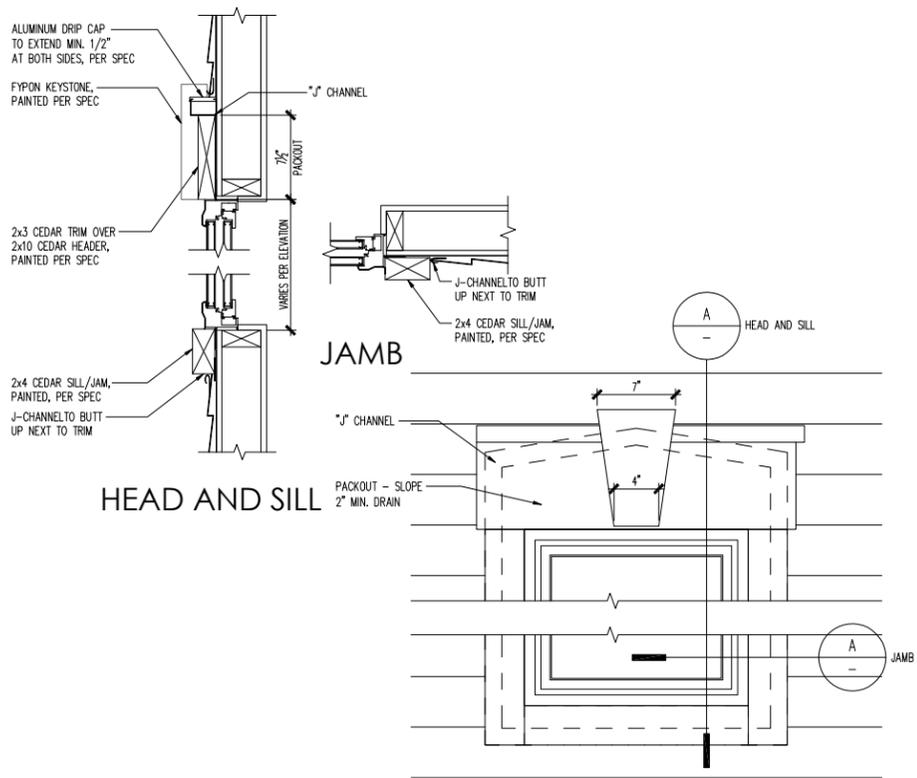
PLAN NAME  
**ATWATER**  
 NPC PLAN NUMBER  
**1642**  
 LAWSON PLAN ID  
 LEGACY PLAN NUMBER / NAME  
**PLAN 3295**

SHEET  
**0.00**

ENGINEER OF RECORD: MULHERN & KULP ENGINEERS  
 ARCHITECT OF RECORD: GODOLICO DESIGN - ARCHITECTS

PLOTTED: May 4, 2021 / Prem: Kumar / PLAN: 3295-RO-COV-01MS

**A WNDW TRIM DETAIL**  
SCALE: 1 1/2" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**Cleveland Division**  
387 Medina Rd. Suite 1700  
Medina, OH 44256



**Elevation #4**  
Front and Rear Elevations

PRODUCTION MANAGER  
Cobe Kirksey  
CURRENT RELEASE DATE: 05/04/2021

REV #	DATE	DESCRIPTION

PROJECT TYPE  
**SINGLE FAMILY**

COMMUNITY NAME  
**RIVER OAKS LOT 175**  
LAWSON COMMUNITY ID

GARAGE HANDING  
**GARAGE RIGHT**

SPECIFICATION LEVEL  
**TBD**

PLAN NAME  
**ATWATER**  
NPC PLAN NUMBER  
**1642**  
LAWSON PLAN ID

LEGACY PLAN NUMBER / NAME  
**PLAN 3295**

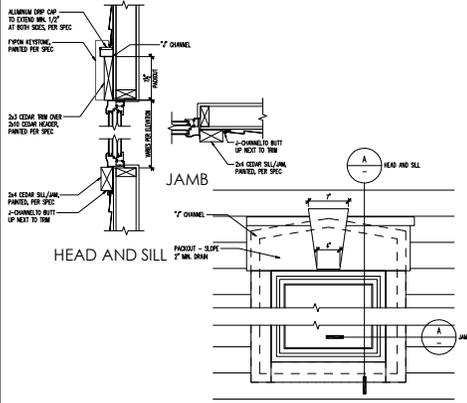
SHEET  
**7.04a2**

ENGINEER OF RECORD: MULHERN & KULP ENGINEERS  
ARCHITECT OF RECORD: GODOLICO DESIGN - ARCHITECTS

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS



**WINDOW TRIM DETAIL**  
SCALE: 1/2" = 1'-0"



(C) Copyright Building, Inc. 2021  
**Cleveland Division**  
 367 Medina Rd. Suite 1700  
 Medina, OH 44256  
**Delta**  
 Elevation - 9 Base-County  
 Front and Rear Elevations  
 GEOTECH: PLEASE REFER TO GEOTECH REPORT TO DETERMINE THE NATURE OF SOILS. SEE REPORT FOR SOIL CLASSIFICATION.  
 SELECT THE SINGLE FAMILY  
 RIVER OAKS LOT 177  
 CROWN COUNTY IN  
 GARAGE LEFT  
 TRD  
 CRAWFORD  
 TRD  
 PLAN 2843  
 7.09a2



# OHIO DIVISION - LOT 178

River Oaks



## HOLBROOK

### PLAN SHEET INDEX

SHT.	DESCRIPTION
0.00	COVER SHEET
1.30a	FULL BASEMENT FOUNDATION PLAN
2.00	FINISHED BASEMENT PLAN
2.10a	FIRST FLOOR PLAN
2.11a	PLAN DETAILS
2.11b	PLAN DETAILS
2.11c	PLAN DETAILS
2.20a	SECOND FLOOR PLAN
3.30a	TYPICAL BUILDING SECTIONS
3.31a	TYPICAL WALL SECTIONS
3.31b	TYPICAL WALL SECTIONS
6.10	FIRST FLOOR ELECTRICAL PLAN
6.11	SECOND FLOOR ELECTRICAL PLAN
7.01a	ELEVATION "1" - FRONT AND REAR ELEVATIONS
7.01a2	ELEVATION "1" - SIDE ELEVATIONS AND ROOF PLAN
S-1.0	1ST FLOOR FRAMING PLAN
S-1.1	1ST FLOOR FRAMING PLAN
S-1.2	1ST FLOOR FRAMING PLAN
S-1.3	1ST FLOOR FRAMING PLAN
S-1.4	1ST FLOOR FRAMING PLAN
S-2.0	2ND FLOOR FRAMING PLAN
S-2.1	2ND FLOOR FRAMING PLAN
S-2.2	2ND FLOOR FRAMING PLAN
S-2.3	2ND FLOOR FRAMING PLAN
S-3.0	ROOF FRAMING PLAN
S-3.0A	ROOF FRAMING PLAN
S-3.1	ROOF FRAMING PLAN
S-3.2	ROOF FRAMING PLAN
S-4.0	LATERAL BRACING DETAILS
S-4.1	LATERAL BRACING DETAILS

### 1 - GENERAL BUILDING & DESIGN REQUIREMENTS

- THE ATTACHED PLANS & SPECIFICATIONS ARE THE SOLE PROPERTY OF PULTE HOMES INC. ANY UNAUTHORIZED USE OF THESE PLANS WITHOUT PRIOR WRITTEN CONSENT OF PULTE HOMES INC. IS STRICTLY PROHIBITED.
- PULTE HOMES INC. DESIGNS & BUILDS HOUSING AS SET FORTH BY THE FORMAT AND PROVISIONS OF THE RESIDENTIAL CODE OF OHIO (RCO), AND THE NATIONAL ELECTRIC CODE (NEC). ANY NON-CONFORMING DOCUMENTS DISCOVERED BY THE CONTRACTOR OR HIS AGENTS SHALL BE CALLED TO THE IMMEDIATE ATTENTION OF PULTE HOMES INC. BY CALLING (651) 452-5200.
- THESE PLANS ARE SUBJECT TO MODIFICATIONS TO MEET CODE REQUIREMENTS AND/OR TO FACILITATE MECHANICAL/ELECTRICAL/PLUMBING INSTALLATION AND/OR TO IMPLEMENT DESIGN IMPROVEMENTS. ANY INTENTION TO MODIFY THESE PLANS MUST BE APPROVED IN WRITING BY PULTE HOMES INC.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AFFECTING CONTRACTOR'S PRODUCTS, INSTALLATIONS, OR FABRICATIONS IN THE FIELD PRIOR TO EXPEDITING THE CONSTRUCTION OF SUCH WORK. FIELD VERIFY ALL DIMENSIONS - DO NOT SCALE DRAWINGS! CONTRACTOR IS RESPONSIBLE FOR SURVEYING THE PROJECT AND BECOMING FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK INCLUDING BUT NOT LIMITED TO SITE AND SOIL BEARING CONDITIONS.
- ERRORS AND OMISSIONS WHICH MAY OCCUR IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, IN WRITING, AND WRITTEN INSTRUCTION SHALL BE OBTAINED PRIOR TO PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY ERRORS, DISCREPANCIES, OR OMISSIONS FOR WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT PRIOR TO CONSTRUCTION AND/OR FABRICATION OF THE WORK.

### 2 - SITE CONSTRUCTION

- SOIL BEARING CALCULATIONS BASED ON 2500 PSF MIN
- BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS.
- BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS BACKFILL TO NOT DAMAGE THE FOUNDATION WALLS OR ANY WATERPROOFING/DAMP-PROOFING MATERIALS.

### 3 - CONCRETE

- ALL CONCRETE EXPOSED TO EXTERIOR ELEMENTS SHOULD BE AIR ENTRAINED 4-6%.
- SLOPE ON DRIVE SHALE BE NO LESS THAN 2% OR 1/4" PER FOOT - PREFERABLY 4% OR 1/2" PER FOOT. THE FRONT STOOP SHALL HAVE SLOPE EQUAL TO 1" PER FOOT. THE RAISED WALK IN GARAGE SHALL HAVE A 1/2" PER FOOT SLOPE AND DRIVE SLAB SHALL BE SLOPED MIN. 1/4" PER FOOT.
- SOME COLUMN DIMENSIONS ARE FROM CENTER OF COLUMN TO EXTERIOR FACE OF BASEMENT WALL.
- BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS.
- BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS TO NOT DAMAGE THE FOUNDATION WALLS OR WATERPROOFING/DAMP-PROOFING MATERIALS.
- MUD SILLS SHALL BE TREATED MEMBERS AND SECURED BY ANCHOR BOLTS AND/OR STRAPS AS SPECIFIED IN THE DRAWINGS, DETAILS, AND SPECIFICATIONS.
- CALCULATIONS FOR COLUMN PADS BASED ON 2500 PSF SOIL BEARING.

### 4 - MASONRY

- ALL EXTERIOR BRICK MUST MEET ASTM C-216 FOR "SW" CONDITIONS
- MASONRY VENEER SHALL BE ATTACHED TO SUPPORTING WALLS W/ 22GA x 7/8" CORRUGATED METAL TIES AT 24" O.C.
- FLASHING BEHIND MASONRY SHALL BE 14# BUILDING PAPER OR FELT OR APPROVED EQUAL ATTACHED TO THE SHEATHING TO PREVENT MOISTURE PENETRATION.
- WEEPHOLES SHALL BE PROVIDED ALONG THE OUTSIDE W/ THE OF EXTERIOR MASONRY WALLS AT 33" O.C. MAX. SHALL BE A MIN. OF 3/16" IN DIAMETER, AND LOCATED IMMEDIATELY ABOVE THE FLASHING

### 5 - METALS

### 6 - WOOD AND PLASTICS

### 7 - THERMAL & MOISTURE PROTECTION

- INSTALL FIRE STOPPING AND/OR DRAFT STOPPING AS REQUIRED.
- ATTIC VENTILATION SHALL BE PROVIDED AT 1/150th OF THE AREA OF THE SPACE VENTILATED. CROSS VENTILATION WITH HALF OF THE VENTILATED AREA SHALL BE PROVIDED BY RIDGE OR GABLE VENTS AND THE OTHER HALF BY EAVE OR CORNICE VENTS. VENTS SHALL BE PLACED SO AS TO NOT ALLOW INFILTRATION OF RAIN OR SNOW.
- PROVIDE APPROVED TILE BACKER BOARD FOR ALL SHOWER AND BATH SPACE
- PROVIDE ICE-SHIELD PER CODE
- ROOF VENTING TO BE PROVIDED AS SHOWN. SOFT, RIDGE, AND OTHER ROOF VENTS TO BE INSTALLED AS NOTED ON THE DRAWINGS & AS PER MANUFACTURER'S RECOMMENDATIONS.
- HOUSE WRAP & FLASHING TO BE INSTALLED PER PULTE BEST PRACTICES.

### 8 - DOORS AND WINDOWS

- WINDOW CALL OUT PER WINDOW SCHEDULE VERIFY WINDOW MANUFACTURER WITH PROJECT MANAGER
- REVIEW ALL WINDOW HDR HEIGHTS PER PLATE HT. AND VERIFY W/ ELEVATIONS AND CORNICE DETAILS
- TEMPERED GLASS SHALL BE USED IN ALL HAZARDOUS AREAS
- FRONT DOOR WIDTH AS REQUIRED BY CODE
- GARAGE DOOR AS REQUIRED BY CODE
- EMERGENCY - SLEEPING ROOMS SHALL HAVE AT LEAST ONE EGRESS OPENING OF NOT LESS THAN 5.7 SF AND CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR.

### 15 - MECHANICALS

- FACTORY BUILT CHIMNEYS AND FIREPLACES SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS, AND ARE SUBJECT TO MECHANICAL INSPECTION
- PROVIDE EXTERIOR AIR INTAKE FOR COMBUSTION AIR.

### 16 - ELECTRICAL

- ALL ELECTRICAL INSTALLATION SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRIC CODE (NEC). ALL MATERIAL AND EQUIPMENT SHALL BEAR THE LABEL OF APPROVAL OF THE UNDERWRITERS LABORATORIES, INC.
- ELECTRICAL CONTRACTOR SHALL VERIFY SPACE REQUIRED FOR METER INSTALLATION BEFORE CONSTRUCTION AND SHALL NOTIFY GENERAL CONTRACTOR OF ANY DISCREPANCIES.
- VERIFY LOCATION OF ALL RECEPTACLES FOR APPLIANCES WITH MANUFACTURER SPECIFICATIONS.
- GROUND FAULT INTERRUPTS SHALL BE LOCATED PER THE NEC.
- ALL SWITCHES SHALL BE INSTALLED AT 3'-2" ABOVE FINISHED FLOOR TO CENTERLINE OF SWITCH UNLESS NOTED OTHERWISE.
- ALL CONVENIENCE OUTLETS SHALL BE INSTALLED W/ CENTERLINE OF OUTLET LOCATED 1'-3" ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE.
- ALL CONVENIENCE OUTLETS WITH SWITCHES TO BE SWITCH AT TOP ONLY.
- ALL EXTERIOR WALL BRACKET FIXTURES SHALL BE INSTALLED AT 5'-6" ABOVE ADJACENT DOOR SILL HEIGHT TO CENTERLINE OF FIXTURE.
- APPROVED SMOKE DETECTORS SHALL BE LOCATED ON EVERY STORY OF THE DWELLING UNIT AS PER CODE (SEE SHEET 6.XXX FOR LOCATIONS). WHERE MORE THAN ONE DETECTOR IS REQUIRED THEY SHALL BE INTERCONNECTED. POWER SOURCE SHALL BE BUILDING POWER W/ BATTERY BACKUP.

### GENERAL FRAMING SPECS AND CONSTRUCTION NOTES STAIRS:

- THE MAXIMUM RISER HEIGHT SHALL BE 7 3/4 INCHES (210 MM) AND THE MINIMUM TREAD DEPTH SHALL BE 10 INCHES (229 MM).
- HANDRAILS HAVING MINIMUM AND MAXIMUM HEIGHTS OF 34 INCHES AND 38 INCHES SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS.
- HANDRAIL AND BALUSTRADE (WHERE PRESENT) SHALL BE CONSTRUCTED PER CODE
- ALL REQUIRED HAND RAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS W/ 2 OR MORE RISERS FROM A POINT ABOVE THE TOP RISER OF A FLIGHT TO A POINT ABOVE THE LOWEST RISER OF THE FLIGHT. ENDS SHALL BE RETURNED OR SHALL TERMINATE AT NEWEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1.5" BETWEEN THE WALL AND HAND RAIL.

### WALLS:

- ALL STUDS TO BE 2x4 SPF OR EQUAL UNLESS NOTED OTHERWISE.
- USE DBL TOP PLATES 16" OC ON BOTH FIRST AND SECOND FLOOR AT ALL EXTERIOR AND LOAD BEARING CONDITIONS ALL OTHER PARTITION WALL USE SINGLE TOP PLATE 24"OC.

### FLOORS:

- STRUCTURAL FLOOR MEMBERS SHALL NOT BE CUT, BORED, OR NOTCHED IN EXCESS OF THE LIMITATIONS SPECIFIED PER CODE
- THE ENDS OF EACH JOIST, BEAM, OR GIRDER SHALL HAVE NOT LESS THAN 1.5 INCHES (38MM) OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3 INCHES (76MM) ON MASONRY OR CONCRETE OR AS OTHERWISE SPECIFIED PER CODE
- ANY CONVENTIONAL FLOOR JOISTS SHOWN DOUBLED ON PLANS TO BE GLUED AT INSTALLATION AND NAILED W/ 3-16d NAILS @ 16" O.C. MULTIPLE PLIES OF ENGINEERED LUMBER TO BE ASSEMBLED PER MANUF. RECOMM.
- SHOP DRAWINGS FOR ANY AND ALL ENGINEERED FLOOR SYSTEMS TO BE SUBMITTED TO ARCHITECT TO REVIEW IN CONFORMANCE WITH THESE CONSTRUCTION DOCUMENTS, WHERE THE CONSTRUCTION DOCUMENTS DO NOT ADDRESS METHODOLOGY, CONTRACTOR TO BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

### FRAMING:

- ALL FRAMING DIMENSIONS TO FACE OF MEMBER/SHEATHING.
- ALL BEARING HEADERS TO BE 2 X 8 #2 OR EQUAL UNLESS NOTED OTHERWISE.
- ALL 2x10 & 2x12 HEADERS TO BE DOUGLAS FIR LARCH (NORTH) - #2 UNLESS NOTED OTHERWISE.
- ALL 2x8 HEADERS TO BE #2 UNLESS NOTED OTHERWISE.
- PROVIDE 1x BLOCKING UNDER ALL EXTERIOR SLIDING DOORS.
- ALL BEAMS & HEADERS SHALL HAVE A MINIMUM OF (1) 2x JACK STUD & (1) 2x KING STUD. THE NUMBER OF STUDS LABELED ON PLANS INDICATES THE NUMBER OF JACK STUDS ONLY (UNLESS NOTED OTHERWISE).
- TWO-PLY CONVENTIONAL BEAMS TO BE FACE-NAILED W/2 ROWS 16d COMMON NAILS STAGGERED @16" O.C. UNLESS NOTED OTHERWISE. THREE-PLY CONVENTIONAL BEAMS TO BE NAILED AS ABOVE FROM EACH SIDE. MULTIPLE PLIES OF ENGINEERED LUMBER TO BE ASSEMBLED PER MANUF. RECOMM.
- JOIST HANGERS, WHERE REQUIRED, SHALL BE USED WITHOUT ANGLES.
- INSTALL FIRE STOPPING AND/OR DRAFT STOPPING AS REQUIRED.

### ROOF:

- HIP AND VALLEY RAFTERS SHALL BE SUPPORTED AT RIDGE DOWN TO BEARING PARTITION. CUT ENDS OF RAFTERS SHALL BE FULLY SUPPORTED WALL AND RIDGE.
- SHOP DRAWINGS FOR ANY AND ALL ENGINEERED ROOF TRUSS SYSTEMS TO BE SUBMITTED TO ARCHITECT TO REVIEW IN CONFORMANCE WITH THESE CONSTRUCTION DOCUMENTS, WHERE THE CONSTRUCTION DOCUMENTS DO NOT ADDRESS METHODOLOGY, CONTRACTOR TO BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

### WINDOW DATA:

SIMONTON WINDOWS PERFORMANCE DATA					
ARGON WITHOUT GRIDS	WINDOWS				
	R VALUE	U FACTOR	SHGC	VT	
3/4" LOW-E 270/CLEAR	3.13	0.32	0.28	0.54	
ARGON WITH GRIDS					
3/4" LOW-E/270 CLEAR	3.03	0.33	0.26	0.48	
SLIDING GLASS DOORS					
ARGON WITHOUT GRIDS	R VALUE	U FACTOR	SHGC	VT	
3/4" LOW-E 270/CLEAR	3.45	0.29	0.29	0.57	
ARGON WITH GRIDS					
3/4" LOW-E 270/CLEAR	3.23	0.31	0.26	0.50	

### SQUARE FOOTAGE INDEX:

DESCRIPTION OF AREA	AREA
ELEVATION 1	
FIRST FLOOR	1387 SQ. FT.
SECOND FLOOR	1786 SQ. FT.
ANSI STAIR	NA SQ. FT.
TOTAL	3173 SQ. FT.
GARAGE	703 SQ. FT.
PORCH	152 SQ. FT.
TOTAL AREA UNDER ROOF	2243 SQ. FT.
UNFINISHED BASEMENT	1306 SQ. FT.
FINISHED BASEMENT	943 SQ. FT.

### LIGHT & VENT CALCULATIONS:

ROOM	SQ. FT.	LIGHT REQ'D	LIGHT SUPP	VENT REQ'D	VENT SUPP	NOTES
PLAN CENTER	55	4.40	5.20	2.20	2.10	
KITCHEN/NOOK	325	26.00	64.94	13.00	31.62	
GATHERING	287	22.96	46.30	11.48	19.80	
POWDER ROOM	36	N/A	5.20	39.6	50.00	
DEN	123	9.84	46.30	4.92	19.80	
DINING ROOM	161	12.88	24.80	6.44	10.60	
OWNER'S SUITE	274	21.92	66.20	10.96	26.60	
OWNER'S BATHROOM	104	N/A	12.40	114.40	150	
TOILET ENCLOSURE	15	N/A	N/A	16.5	50	
BEDROOM 2	158	12.64	16.30	6.32	6.90	
BEDROOM 3	166	13.28	23.40	6.64	9.80	
BEDROOM 4	205	16.40	35.10	8.20	14.70	
BATH 2	60	N/A	N/A	66.00	100.00	
GAME ROOM	242	19.36	23.40	9.68	9.80	

### APPLICABLE CODES:

- Building Code: 2019 RCO
- Plumbing Code: 2017 Plumbing Code
- Mechanical Code: 2017 Mechanical Code
- Energy Code: 2019 Energy Code Ohio
- Electrical Code: 2017 NEC
- Fire Code: 2011 International Fire Code

Copyright PulteGroup, Inc. - 2011

**Cleveland Division**  
 387 Medina Rd, Suite 1700  
 Medina, OH 44256



COVER SHEET  
 Specifications & General Notes

PRODUCTION MANAGER  
 Gabe Kirksey  
 CURRENT RELEASE DATE: 07/27/2021

REV #	DATE	DESCRIPTION
△		
△		
△		
△		
△		
△		
△		
△		
△		

PROJECT TYPE  
**SINGLE FAMILY**

COMMUNITY NAME  
**RIVER OAKS LOT 178**  
 LAWSON COMMUNITY ID

GARAGE HANDING  
**GARAGE LEFT**

SPECIFICATION LEVEL  
**TBD**

PLAN NAME  
**HOLBROOK**  
 NPC PLAN NUMBER  
**TBD**  
 LAWSON PLAN ID  
 LEGACY PLAN NUMBER / NAME  
**PLAN 3140**

SHEET  
**0.00**

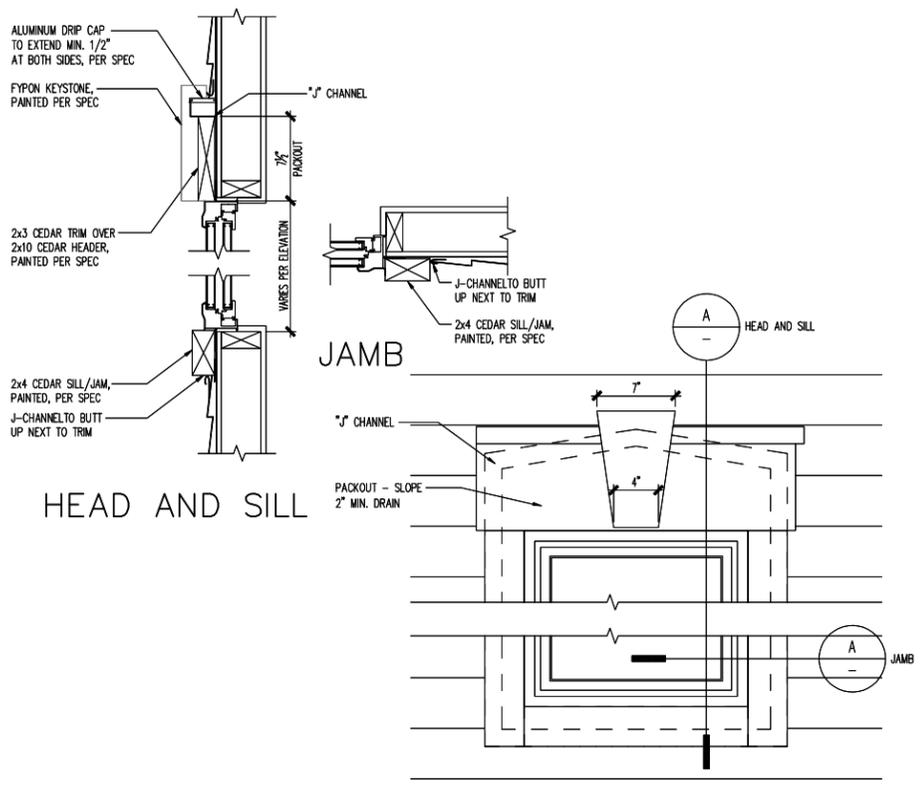
ENGINEER OF RECORD: MULHERN & KULP ENGINEERS ARCHITECT OF RECORD: GODDUCO DESIGN - ARCHITECTS

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

PLOTTED: July 27, 2021 / Rajeev Kumar / PLAN-3140-RO-EL01.DWG

### A WNDW TRIM DETAIL

SCALE: 1/2" = 1'-0"



### REAR ELEVATION

SCALE: 1/4" = 1'-0"



### FRONT ELEVATION

SCALE: 1/4" = 1'-0"

(c) Copyright PulteGroup, Inc. - 2011

**Cleveland Division**  
387 Medina Rd. Suite 1700  
Medina, OH 44256



Front Elevation - 1  
Front and Rear Elevations

PRODUCTION MANAGER  
Cobe Kirtsey  
CURRENT RELEASE DATE: 07/27/2021

REV #	DATE	DESCRIPTION

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

ENGINEER OF RECORD: MULHERN & KULP ENGINEERING  
ARCHITECT OF RECORD: GODOLICO DESIGN - ARCHITECTS

PROJECT TYPE  
**SINGLE FAMILY**

COMMUNITY NAME  
**RIVER OAKS LOT 178**  
LAWSON COMMUNITY ID

GARAGE HANDING  
**GARAGE LEFT**

SPECIFICATION LEVEL  
**TBD**

PLAN NAME  
**HOLBROOK**  
NPC PLAN NUMBER  
**TBD**  
LAWSON PLAN ID

LEGACY PLAN NUMBER / NAME  
**PLAN 3140**

SHEET  
**7.01a1**



# OHIO DIVISION - LOT 187

River Oaks



## Atwater

### PLAN SHEET INDEX

SHT.	DESCRIPTION
0.00	COVER SHEET
1.30c	FULL BASEMENT FOUNDATION PLAN
2.10a	FIRST FLOOR PLAN
2.11a	PLAN DETAILS
2.11b	PLAN DETAILS
2.11c	PLAN DETAILS
2.20a	SECOND FLOOR PLAN
3.30a	TYPICAL BUILDING SECTIONS
3.31a	TYPICAL WALL SECTIONS
3.31b	TYPICAL WALL SECTIONS
6.10	FIRST FLOOR ELECTRICAL PLAN
6.11	SECOND FLOOR ELECTRICAL PLAN
7.05a1	ELEVATION "S" - FRONT AND REAR ELEVATIONS
7.05a2	ELEVATION "S" - SIDE ELEVATIONS AND ROOF PLAN
S-1.0	1ST FLOOR FRAMING PLAN
S-1.1	1ST FLOOR FRAMING PLAN
S-1.2	1ST FLOOR FRAMING PLAN
S-1.3	1ST FLOOR FRAMING PLAN
S-1.4	1ST FLOOR FRAMING PLAN
S-1.5	1ST FLOOR FRAMING PLAN
S-1.6	1ST FLOOR FRAMING PLAN
S-2.0	2ND FLOOR FRAMING PLAN
S-2.1	2ND FLOOR FRAMING PLAN
S-2.2	2ND FLOOR FRAMING PLAN
S-2.3	2ND FLOOR FRAMING PLAN
S-3.0	ROOF FRAMING PLAN
S-3.1	ROOF FRAMING PLAN
S-3.2	ROOF FRAMING PLAN
S-3.3	ROOF FRAMING PLAN
SD.01	TYPICAL FOUNDATION DETAILS
SD.02	TYPICAL FOUNDATION DETAILS
SD.03	TYPICAL FOUNDATION DETAILS

### 1 - GENERAL BUILDING & DESIGN REQUIREMENTS

- THE ATTACHED PLANS & SPECIFICATIONS ARE THE SOLE PROPERTY OF PULTE HOMES INC. ANY UNAUTHORIZED USE OF THESE PLANS WITHOUT PRIOR WRITTEN CONSENT OF PULTE HOMES INC. IS STRICTLY PROHIBITED.
- PULTE HOMES INC. DESIGNS & BUILDS HOUSING AS SET FORTH BY THE FORMAT AND PROVISIONS OF THE RESIDENTIAL CODE OF OHIO (RCO), AND THE NATIONAL ELECTRIC CODE (NEC). ANY NON-CONFORMING DOCUMENTS DISCOVERED BY THE CONTRACTOR OR HIS AGENTS SHALL BE CALLED TO THE IMMEDIATE ATTENTION OF PULTE HOMES INC. BY CALLING (651) 452-5200.
- THESE PLANS ARE SUBJECT TO MODIFICATIONS TO MEET CODE REQUIREMENTS AND/OR TO FACILITATE MECHANICAL/ELECTRICAL/PLUMBING INSTALLATION AND/OR TO IMPLEMENT DESIGN IMPROVEMENTS. ANY INTENTION TO MODIFY THESE PLANS MUST BE APPROVED IN WRITING BY PULTE HOMES INC.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AFFECTING CONTRACTOR'S PRODUCTS, INSTALLATIONS, OR FABRICATIONS IN THE FIELD PRIOR TO EXPEDITING THE CONSTRUCTION OF SUCH WORK. FIELD VERIFY ALL DIMENSIONS - DO NOT SCALE DRAWINGS!! CONTRACTOR IS RESPONSIBLE FOR SURVEYING THE PROJECT AND BECOMING FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK INCLUDING BUT NOT LIMITED TO SITE AND SOIL BEARING CONDITIONS.
- ERRORS AND OMISSIONS WHICH MAY OCCUR IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, IN WRITING, AND WRITTEN INSTRUCTION SHALL BE OBTAINED PRIOR TO PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY ERRORS, DISCREPANCIES, OR OMISSIONS FOR WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT PRIOR TO CONSTRUCTION AND/OR FABRICATION OF THE WORK.

### 2 - SITE CONSTRUCTION

- SOIL BEARING CALCULATIONS BASED ON 2000 PSF MIN
- BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS.
- BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS BACKFILL TO NOT DAMAGE THE FOUNDATION WALLS OR ANY WATERPROOFING/ DAMPROOFING MATERIALS.

### 3 - CONCRETE

- ALL CONCRETE EXPOSED TO EXTERIOR ELEMENTS SHOULD BE AIR ENTRAINED 4-6%.
- SLOPE ON DRIVE SHALL BE NO LESS THAN 2% OR 1/4" PER FOOT- PREFERABLY 4% OR 1/2" PER FOOT. THE FRONT STOOP SHALL HAVE SLOPE EQUAL TO 1" PER FOOT. THE RAISED WALK IN GARAGE SHALL HAVE A 1/2" PER FOOT SLOPE AND DRIVE SLAB SHALL BE SLOPED MIN. 1/4" PER FOOT.
- SOME COLUMN DIMENSIONS ARE FROM CENTER OF COLUMN TO EXTERIOR FACE OF BASEMENT WALL.
- BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS.
- BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS TO NOT DAMAGE THE FOUNDATION WALLS OR WATERPROOFING / DAMPROOFING MATERIALS.
- MUD SILLS SHALL BE TREATED MEMBERS AND SECURED BY ANCHOR BOLTS AND/OR STRAPS AS SPECIFIED IN THE DRAWINGS, DETAILS, AND SPECIFICATIONS.
- CALCULATIONS FOR COLUMN PADS BASED ON 2000 PSF SOIL BEARING.
- FOUNDATION WALLS & FOOTER DEPTH TO BE VERIFIED IN FIELD.

### 4 - MASONRY

- ALL EXTERIOR BRICK MUST MEET ASTM C-216 FOR "SW" CONDITIONS
- MASONRY VENEER SHALL BE ATTACHED TO SUPPORTING WALLS w/ 22GA x 7/8" CORRUGATED METAL TIES AT 24" O.C.
- FLASHING BEHIND MASONRY SHALL BE 14# BUILDING PAPER OR FELT OR APPROVED EQUAL ATTACHED TO THE SHEATHING TO PREVENT MOISTURE PENETRATION.
- WEEPHOLES SHALL BE PROVIDED ALONG THE OUTSIDE WYTHE OF EXTERIOR MASONRY WALLS AT 33" O.C. MAX. SHALL BE A MIN. OF 3/16" IN DIAMETER, AND LOCATED IMMEDIATELY ABOVE THE FLASHING

### 5 - METALS

### 6 - WOOD AND PLASTICS

### 7 - THERMAL & MOISTURE PROTECTION

- INSTALL FIRE STOPPING AND/ OR DRAFT STOPPING AS REQUIRED.
- ATTIC VENTILATION SHALL BE PROVIDED AT 1/150th OF THE AREA OF THE SPACE VENTILATED. CROSS VENTILATION WITH HALF OF THE VENTILATED AREA SHALL BE PROVIDED BY RIDGE OR GABLE VENTS AND THE OTHER HALF BY EAVE OR CORNICE VENTS. VENTS SHALL BE PLACED SO AS TO NOT ALLOW INFILTRATION OF RAIN OR SNOW.
- PROVIDE APPROVED TILE BACKER BOARD FOR ALL SHOWER AND BATH SPACE
- PROVIDE ICE-SHIELD PER CODE
- ROOF VENTING TO BE PROVIDED AS SHOWN. SOFFIT, RIDGE, AND OTHER ROOF VENTS TO BE INSTALLED AS NOTED ON THE DRAWINGS & AS PER MANUFACTURERS RECOMMENDATIONS.
- HOUSE WRAP & FLASHING TO BE INSTALLED PER PULTE BEST PRACTICES.

### 8 - DOORS AND WINDOWS

- WINDOW CALL OUT PER WINDOW SCHEDULE VERIFY WINDOW MANUFACTURER WITH PROJECT MANAGER
- REVIEW ALL WINDOW HDR HEIGHTS PER PLATE HT. AND VERIFY W/ ELEVATIONS AND CORNICE DETAILS
- TEMPERED GLASS SHALL BE USED IN ALL HAZARDOUS AREAS
- FRONT DOOR WIDTH AS REQUIRED BY CODE
- GARAGE DOOR AS REQUIRED BY CODE
- EMERGENCY - SLEEPING ROOMS SHALL HAVE AT LEAST ONE EGRESS OPENING OF NOT LESS THAN 5.7 SF AND A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR.

### 15 - MECHANICALS

- FACTORY BUILT CHIMNEYS AND FIREPLACES SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS, AND ARE SUBJECT TO MECHANICAL INSPECTION
- PROVIDE EXTERIOR AIR INTAKE FOR COMBUSTION AIR.

### 16 - ELECTRICAL

- ALL ELECTRICAL INSTALLATION SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRIC CODE (NEC). ALL MATERIAL AND EQUIPMENT SHALL BEAR THE LABEL OF APPROVAL OF THE UNDERWRITERS LABORATORIES, INC.
- ELECTRICAL CONTRACTOR SHALL VERIFY SPACE REQUIRED FOR METER INSTALLATION BEFORE CONSTRUCTION AND SHALL NOTIFY GENERAL CONTRACTOR OF ANY DISCREPANCIES.
- VERIFY LOCATION OF ALL RECEPTACLES FOR APPLIANCES WITH MANUFACTURER SPECIFICATIONS.
- GROUND FAULT INTERRUPTS SHALL BE LOCATED PER THE NEC.
- ALL SWITCHES SHALL BE INSTALLED AT 3'-2" ABOVE FINISHED FLOOR TO CENTERLINE OF SWITCH UNLESS NOTED OTHERWISE.
- ALL CONVENIENCE OUTLETS SHALL BE INSTALLED W/ CENTERLINE OF OUTLET LOCATED 1'-3" ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE.
- ALL CONVENIENCE OUTLETS WITH SWITCHES TO BE SWITCH AT TOP ONLY.
- ALL EXTERIOR WALL BRACKET FIXTURES SHALL BE INSTALLED AT 5'-6" ABOVE ADJACENT DOOR SILL HEIGHT TO CENTERLINE OF FIXTURE.
- APPROVED SMOKE DETECTORS SHALL BE LOCATED ON EVERY STORY OF THE DWELLING UNIT AS PER CODE (SEE SHEET 6.0XX FOR LOCATIONS). WHERE MORE THAN ONE DETECTOR IS REQUIRED THEY SHALL BE INTERCONNECTED. POWER SOURCE SHALL BE BUILDING POWER w/ BATTERY BACKUP.

### GENERAL FRAMING SPECS AND CONSTRUCTION NOTES STAIRS:

- THE MAXIMUM RISER HEIGHT SHALL BE 7 3/4 INCHES (210 MM) AND THE MINIMUM TREAD DEPTH SHALL BE 10 INCHES (229 MM).
- HANDRAILS HAVING MINIMUM AND MAXIMUM HEIGHTS OF 34 INCHES AND 38 INCHES SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS.
- HANDRAIL AND BALUSTRADE (WHERE PRESENT) SHALL BE CONSTRUCTED PER CODE
- ALL REQUIRED HAND RAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS W/ 2 OR MORE RISERS FROM A POINT ABOVE THE THE TOP RISER OF A FLIGHT TO A POINT ABOVE THE LOWEST RISER OF THE FLIGHT. ENDS SHALL BE RETURNED OR SHALL TERMINATE AT NEWEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1.5" BETWEEN THE WALL AND HAND RAIL.

### WALLS:

- ALL STUDS TO BE 2x4 SPF OR EQUAL UNLESS NOTED OTHERWISE.
- USE DBL TOP PLATES 16" OC ON BOTH FIRST AND SECOND FLOOR AT ALL EXTERIOR AND LOAD BEARING CONDITIONS ALL OTHER PARTITION WALL USE SINGLE TOP PLATE 24"OC.

### FLOORS:

- STRUCTURAL FLOOR MEMBERS SHALL NOT BE CUT, BORED, OR NOTCHED IN EXCESS OF THE LIMITATIONS SPECIFIED PER CODE
- THE ENDS OF EACH JOIST, BEAM, OR GIRDER SHALL HAVE NOT LESS THAN 1.5 INCHES (38MM) OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3 INCHES (76MM) ON MASONRY OR CONCRETE OR AS OTHERWISE SPECIFIED PER CODE
- ANY CONVENTIONAL FLOOR JOISTS SHOWN DOUBLED ON PLANS TO BE GLUED AT INSTALLATION AND NAILED W/ 3-16d NAILS @ 16" O.C. MULTIPLE PLIES OF ENGINEERED LUMBER TO BE ASSEMBLED PER MANUF. RECOMM.
- SHOP DRAWINGS FOR ANY AND ALL ENGINEERED FLOOR SYSTEMS TO BE SUBMITTED TO ARCHITECT TO REVIEW IN CONFORMANCE WITH THESE CONSTRUCTION DOCUMENTS. WHERE THE CONSTRUCTION DOCUMENTS DO NOT ADDRESS METHODOLOGY, CONTRACTOR TO BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

### FRAMING:

- ALL FRAMING DIMENSIONS TO FACE OF MEMBER/SHEATHING.
- ALL BEARING HEADERS TO BE 2X8 SPF #2 OR EQUAL UNLESS NOTED OTHERWISE.
- ALL 2x10 & 2x12 HEADERS TO BE SPF #2 UNLESS NOTED OTHERWISE.
- ALL 2x8 HEADERS TO BE SPF #2 UNLESS NOTED OTHERWISE.
- PROVIDE 1x BLOCKING UNDER ALL EXTERIOR SLIDING DOORS.
- ALL BEAMS & HEADERS SHALL HAVE A MINIMUM OF (1) 2x JACK STUD & (1) 2x KING STUD. THE NUMBER OF STUDS LABELED ON PLANS INDICATES THE NUMBER OF JACK STUDS ONLY (UNLESS NOTED OTHERWISE).
- TWO-PLY CONVENTIONAL BEAMS TO BE FACE-NAILED W/2 ROWS 16d COMMON NAILS STAGGERED @16" O.C. UNLESS NOTED OTHERWISE. THREE-PLY CONVENTIONAL BEAMS TO BE NAILED AS ABOVE FROM EACH SIDE. MULTIPLE PLIES OF ENGINEERED LUMBER TO BE ASSEMBLED PER MANUF. RECOMM.
- JOIST HANGERS, WHERE REQUIRED, SHALL BE USED WITHOUT ANGLES.
- INSTALL FIRE STOPPING AND/ OR DRAFT STOPPING AS REQUIRED.

### ROOF:

- HIP AND VALLEY RAFTERS SHALL BE SUPPORTED AT RIDGE DOWN TO BEARING PARTITION. CUT ENDS OF RAFTERS SHALL BE FULLY SUPPORTED WALL AND RIDGE.
- SHOP DRAWINGS FOR ANY AND ALL ENGINEERED ROOF TRUSS SYSTEMS TO BE SUBMITTED TO ARCHITECT TO REVIEW IN CONFORMANCE WITH THESE CONSTRUCTION DOCUMENTS. WHERE THE CONSTRUCTION DOCUMENTS DO NOT ADDRESS METHODOLOGY, CONTRACTOR TO BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

### LIGHT & VENT CALCULATIONS:

ROOM	SQ. FT.	LIGHT REQ'D	LIGHT SUPP	VENT REQ'D	VENT SUPP	NOTES
FIRST FLOOR						
PLANNING CENTER	115	9.2	24.80	4.60	10.60	
GATHERING ROOM	367	29.36	49.60	14.68	21.20	
KITCHEN/NOOK	331	26.48	46.94	13.24	22.72	
DINING ROOM	161	12.88	24.80	6.44	10.60	
DEN	173	14.08	37.20	7.04	15.90	
POWDER ROOM	35	N/A	N/A	1.12	50.00	
SECOND FLOOR						
GAME ROOM	299	23.92	46.80	11.96	19.60	
OWNER'S SUITE	282	22.64	40.80	11.32	17.20	
BEDROOM 2	131	10.48	26.80	5.24	11.90	
BEDROOM 3	159	12.16	23.40	6.08	9.80	
BEDROOM 4	152	12.16	35.17	6.08	14.70	
OWNER'S BATH	111	N/A	24.80	118.8	120.00	
TOILET ENCLOSURE	16	N/A	N/A	20.9	50.00	
BATH 3	48	N/A	N/A	59.40	60.00	
BATH 4	37	2.96	5.20	1.48	50.00	
BATH 1	35	N/A	N/A	37.40	50.00	

### APPLICABLE CODES:

Building Code: 2019 RCO  
 Plumbing Code: 2017 Plumbing Code  
 Mechanical Code: 2017 Mechanical Code  
 Energy Code: 2019 Energy Code Ohio  
 Electrical Code: 2017 NEC  
 Fire Code: 2018 International Fire Code

(c) Copyright: PulteGroup, Inc. - 2013

**Cleveland Division**  
 387 Medina Rd. Suite 1700  
 Medina, OH 44256



COVER SHEET  
 Specifications & General Notes

PRODUCTION MANAGER  
 Cobe Kirksey  
 CURRENT RELEASE DATE: 04/01/2021

REV #	DATE	DESCRIPTION
△		
△		
△		
△		
△		
△		
△		
△		
△		

PROJECT TYPE  
**SINGLE FAMILY**

COMMUNITY NAME  
**RIVER OAKS LOT 187**  
 LAWSON COMMUNITY ID

GARAGE HANDING  
**GARAGE RIGHT**

SPECIFICATION LEVEL  
**TBD**

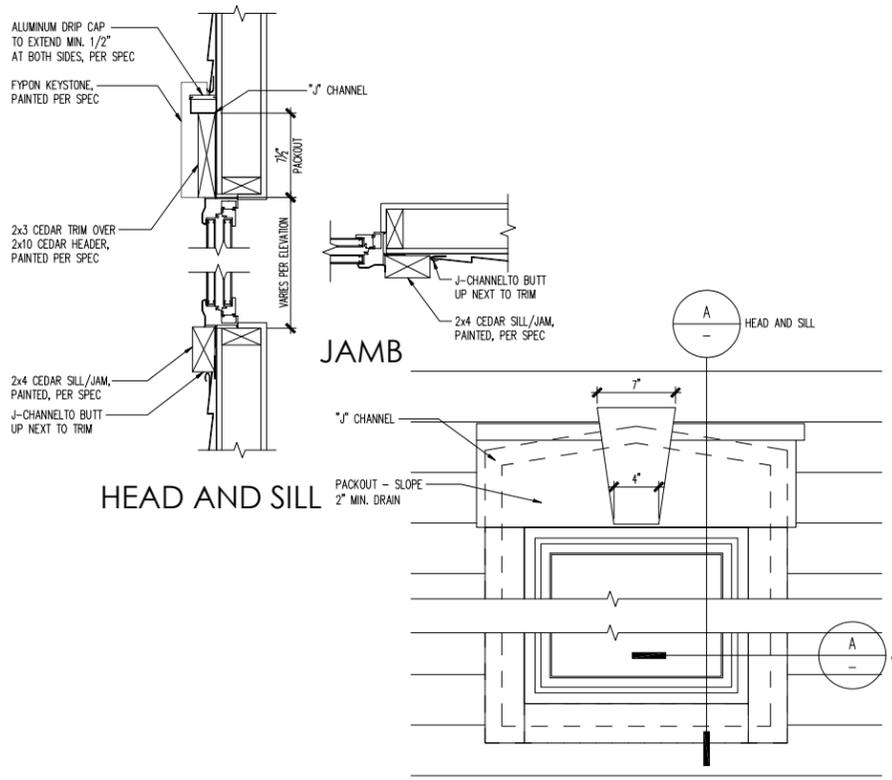
PLAN NAME  
**ATWATER**  
 NPC PLAN NUMBER  
**1642**  
 LAWSON PLAN ID  
 LEGACY PLAN NUMBER / NAME  
**PLAN 3295**

SHEET  
**0.00**

PLOTED: April 1, 2021 / Prem Kumar / PLAN: 3295-RC-CORR.DWG

ENGINEER OF RECORD: MULHERN & KULP ENGINEERS  
 ARCHITECT OF RECORD: GODOLICO DESIGN - ARCHITECTS  
 NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

**A WNDW TRIM DETAIL**  
SCALE: 1 1/2" = 1'-0"



(c) Copyright: PulteGroup, Inc. - 2013

**Cleveland Division**  
387 Medina Rd. Suite 1700  
Medina, OH 44256



Elevation #5  
Front and Rear Elevations

PRODUCTION MANAGER  
Cobe Kirksey  
CURRENT RELEASE DATE: 04/01/2021

REV #	DATE	DESCRIPTION

PROJECT TYPE  
**SINGLE FAMILY**

COMMUNITY NAME  
**RIVER OAKS LOT 187**  
LAWSON COMMUNITY ID

GARAGE HANDING  
**GARAGE RIGHT**

SPECIFICATION LEVEL  
**TBD**

PLAN NAME  
**ATWATER**  
NPC PLAN NUMBER  
**1642**  
LAWSON PLAN ID  
LEGACY PLAN NUMBER / NAME  
**PLAN 3295**

SHEET  
**7.05a1**

PLOTTED: April 1, 2021 / Prem Kumar / PLAN: 3295-RO-EL01.DWG

ENGINEER OF RECORD: MULHERN & KULP ENGINEERS  
ARCHITECT OF RECORD: GODOLCO DESIGN - ARCHITECTS

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS



# OHIO DIVISION - LOT 188

River Oaks



## Atwater

### PLAN SHEET INDEX

SHT.	DESCRIPTION
0.00	COVER SHEET
1.30c	FULL BASEMENT FOUNDATION PLAN
2.10a	FIRST FLOOR PLAN
2.11a	PLAN DETAILS
2.11b	PLAN DETAILS
2.11c	PLAN DETAILS
2.20a	SECOND FLOOR PLAN
3.30a	TYPICAL BUILDING SECTIONS
3.31a	TYPICAL WALL SECTIONS
3.31b	TYPICAL WALL SECTIONS
6.10	FIRST FLOOR ELECTRICAL PLANS
6.11	SECOND FLOOR ELECTRICAL PLAN
7.09a1	ELEVATION "9" - FRONT AND REAR ELEVATIONS
7.09a2	ELEVATION "9" - SIDE ELEVATIONS AND ROOF PLAN
S-1.0	1ST FLOOR FRAMING PLAN
S-1.1	1ST FLOOR FRAMING PLAN
S-1.2	1ST FLOOR FRAMING PLAN
S-1.3	1ST FLOOR FRAMING PLAN
S-1.4	1ST FLOOR FRAMING PLAN
S-1.5	1ST FLOOR FRAMING PLAN
S-1.6	1ST FLOOR FRAMING PLAN
S-2.0	2ND FLOOR FRAMING PLAN
S-2.1	2ND FLOOR FRAMING PLAN
S-2.2	2ND FLOOR FRAMING PLAN
S-2.3	2ND FLOOR FRAMING PLAN
S-3.0	ROOF FRAMING PLAN
S-3.1	ROOF FRAMING PLAN
S-3.2	ROOF FRAMING PLAN
S-3.3	ROOF FRAMING PLAN
S-4.0	WALL BRACING DETAILS
SD.01	TYPICAL FOUNDATION DETAILS
SD.02	TYPICAL FOUNDATION DETAILS
SD.03	TYPICAL FOUNDATION DETAILS

### 1 - GENERAL BUILDING & DESIGN REQUIREMENTS

- THE ATTACHED PLANS & SPECIFICATIONS ARE THE SOLE PROPERTY OF PULTE HOMES INC. ANY UNAUTHORIZED USE OF THESE PLANS WITHOUT PRIOR WRITTEN CONSENT OF PULTE HOMES INC. IS STRICTLY PROHIBITED.
- PULTE HOMES INC. DESIGNS & BUILDS HOUSING AS SET FORTH BY THE FORMAT AND PROVISIONS OF THE RESIDENTIAL CODE OF OHIO (RCO), AND THE NATIONAL ELECTRIC CODE (NEC). ANY NON-CONFORMING DOCUMENTS DISCOVERED BY THE CONTRACTOR OR HIS AGENTS SHALL BE CALLED TO THE IMMEDIATE ATTENTION OF PULTE HOMES INC. BY CALLING (651) 452-5200.
- THESE PLANS ARE SUBJECT TO MODIFICATIONS TO MEET CODE REQUIREMENTS AND/OR TO FACILITATE MECHANICAL/ELECTRICAL/PLUMBING INSTALLATION AND/OR TO IMPLEMENT DESIGN IMPROVEMENTS. ANY INTENTION TO MODIFY THESE PLANS MUST BE APPROVED IN WRITING BY PULTE HOMES INC.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AFFECTING CONTRACTOR'S PRODUCTS, INSTALLATIONS, OR FABRICATIONS IN THE FIELD PRIOR TO EXPEDITING THE CONSTRUCTION OF SUCH WORK. FIELD VERIFY ALL DIMENSIONS - DO NOT SCALE DRAWINGS! CONTRACTOR IS RESPONSIBLE FOR SURVEYING THE PROJECT AND BECOMING FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK INCLUDING BUT NOT LIMITED TO SITE AND SOIL BEARING CONDITIONS.
- ERRORS AND OMISSIONS WHICH MAY OCCUR IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, IN WRITING, AND WRITTEN INSTRUCTION SHALL BE OBTAINED PRIOR TO PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY ERRORS, DISCREPANCIES, OR OMISSIONS FOR WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT PRIOR TO CONSTRUCTION AND/OR FABRICATION OF THE WORK.

### 2 - SITE CONSTRUCTION

- SOIL BEARING CALCULATIONS BASED ON 2000 PSF MIN
- BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS.
- BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS BACKFILL TO NOT DAMAGE THE FOUNDATION WALLS OR ANY WATERPROOFING/ DAMPROOFING MATERIALS.

### 3 - CONCRETE

- ALL CONCRETE EXPOSED TO EXTERIOR ELEMENTS SHOULD BE AIR ENTRAINED 4-6%.
- SLOPE ON DRIVE SHALL BE NO LESS THAN 2% OR 1/4" PER FOOT- PREFERABLY 4% OR 1/2" PER FOOT. THE FRONT STOOP SHALL HAVE SLOPE EQUAL TO 1" PER FOOT. THE RAISED WALK IN GARAGE SHALL HAVE A 1/2" PER FOOT SLOPE AND DRIVE SLAB SHALL BE SLOPED MIN. 1/4" PER FOOT.
- SOME COLUMN DIMENSIONS ARE FROM CENTER OF COLUMN TO EXTERIOR FACE OF BASEMENT WALL.
- BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS.
- BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS TO NOT DAMAGE THE FOUNDATION WALLS OR WATERPROOFING / DAMPROOFING MATERIALS.
- MUD SILLS SHALL BE TREATED MEMBERS AND SECURED BY ANCHOR BOLTS AND/OR STRAPS AS SPECIFIED IN THE DRAWINGS, DETAILS, AND SPECIFICATIONS.
- CALCULATIONS FOR COLUMN PADS BASED ON 2000 PSF SOIL BEARING.
- FOUNDATION WALLS & FOOTER DEPTH TO BE VERIFIED IN FIELD.

### 4 - MASONRY

- ALL EXTERIOR BRICK MUST MEET ASTM C-216 FOR "SW" CONDITIONS
- MASONRY VENEER SHALL BE ATTACHED TO SUPPORTING WALLS w/ 22GA x 7/8" CORRUGATED METAL TIES AT 24" O.C.
- FLASHING BEHIND MASONRY SHALL BE 14# BUILDING PAPER OR FELT OR APPROVED EQUAL ATTACHED TO THE SHEATHING TO PREVENT MOISTURE PENETRATION.
- WEEPHOLES SHALL BE PROVIDED ALONG THE OUTSIDE WYTHE OF EXTERIOR MASONRY WALLS AT 33" O.C. MAX. SHALL BE A MIN. OF 3/16" IN DIAMETER, AND LOCATED IMMEDIATELY ABOVE THE FLASHING

### 5 - METALS

### 6 - WOOD AND PLASTICS

### 7 - THERMAL & MOISTURE PROTECTION

- INSTALL FIRE STOPPING AND/ OR DRAFT STOPPING AS REQUIRED.
- ATTIC VENTILATION SHALL BE PROVIDED AT 1/150th OF THE AREA OF THE SPACE VENTILATED. CROSS VENTILATION WITH HALF OF THE VENTILATED AREA SHALL BE PROVIDED BY RIDGE OR GABLE VENTS AND THE OTHER HALF BY EAVE OR CORNICE VENTS. VENTS SHALL BE PLACED SO AS TO NOT ALLOW INFILTRATION OF RAIN OR SNOW.
- PROVIDE APPROVED TILE BACKER BOARD FOR ALL SHOWER AND BATH SPACE
- PROVIDE ICE-SHIELD PER CODE
- ROOF VENTING TO BE PROVIDED AS SHOWN. SOFFIT, RIDGE, AND OTHER ROOF VENTS TO BE INSTALLED AS NOTED ON THE DRAWINGS & AS PER MANUFACTURERS RECOMMENDATIONS.
- HOUSE WRAP & FLASHING TO BE INSTALLED PER PULTE BEST PRACTICES.

### 8 - DOORS AND WINDOWS

- WINDOW CALL OUT PER WINDOW SCHEDULE VERIFY WINDOW MANUFACTURER WITH PROJECT MANAGER
- REVIEW ALL WINDOW HDR HEIGHTS PER PLATE HT. AND VERIFY W/ ELEVATIONS AND CORNICE DETAILS
- TEMPERED GLASS SHALL BE USED IN ALL HAZARDOUS AREAS
- FRONT DOOR WIDTH AS REQUIRED BY CODE
- GARAGE DOOR AS REQUIRED BY CODE
- EMERGENCY - SLEEPING ROOMS SHALL HAVE AT LEAST ONE EGRESS OPENING OF NOT LESS THAN 5.7 SF AND A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR.

### 15 - MECHANICALS

- FACTORY BUILT CHIMNEYS AND FIREPLACES SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS, AND ARE SUBJECT TO MECHANICAL INSPECTION
- PROVIDE EXTERIOR AIR INTAKE FOR COMBUSTION AIR.

### 16 - ELECTRICAL

- ALL ELECTRICAL INSTALLATION SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRIC CODE (NEC). ALL MATERIAL AND EQUIPMENT SHALL BEAR THE LABEL OF APPROVAL OF THE UNDERWRITERS LABORATORIES, INC.
- ELECTRICAL CONTRACTOR SHALL VERIFY SPACE REQUIRED FOR METER INSTALLATION BEFORE CONSTRUCTION AND SHALL NOTIFY GENERAL CONTRACTOR OF ANY DISCREPANCIES.
- VERIFY LOCATION OF ALL RECEPTACLES FOR APPLIANCES WITH MANUFACTURER SPECIFICATIONS.
- GROUND FAULT INTERRUPTS SHALL BE LOCATED PER THE NEC.
- ALL SWITCHES SHALL BE INSTALLED AT 3'-2" ABOVE FINISHED FLOOR TO CENTERLINE OF SWITCH UNLESS NOTED OTHERWISE.
- ALL CONVENIENCE OUTLETS SHALL BE INSTALLED W/ CENTERLINE OF OUTLET LOCATED 1'-3" ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE.
- ALL CONVENIENCE OUTLETS WITH SWITCHES TO BE SWITCH AT TOP ONLY.
- ALL EXTERIOR WALL BRACKET FIXTURES SHALL BE INSTALLED AT 5'-6" ABOVE ADJACENT DOOR SILL HEIGHT TO CENTERLINE OF FIXTURE.
- APPROVED SMOKE DETECTORS SHALL BE LOCATED ON EVERY STORY OF THE DWELLING UNIT AS PER CODE (SEE SHEET 6.XXX FOR LOCATIONS). WHERE MORE THAN ONE DETECTOR IS REQUIRED THEY SHALL BE INTERCONNECTED. POWER SOURCE SHALL BE BUILDING POWER w/ BATTERY BACKUP.

### GENERAL FRAMING SPECS AND CONSTRUCTION NOTES STAIRS:

- THE MAXIMUM RISER HEIGHT SHALL BE 7 3/4 INCHES (210 MM) AND THE MINIMUM TREAD DEPTH SHALL BE 10 INCHES (259 MM).
- HANDRAILS HAVING MINIMUM AND MAXIMUM HEIGHTS OF 34 INCHES AND 38 INCHES SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS.
- HANDRAIL AND BALLUSTRADE (WHERE PRESENT) SHALL BE CONSTRUCTED PER CODE
- ALL REQUIRED HAND RAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS W/ 2 OR MORE RISERS FROM A POINT ABOVE THE THE TOP RISER OF A FLIGHT TO A POINT ABOVE THE LOWEST RISER OF THE FLIGHT. ENDS SHALL BE RETURNED OR SHALL TERMINATE AT NEWEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1.5" BETWEEN THE WALL AND HAND RAIL.

### WALLS:

- ALL STUDS TO BE 2x4 SPF OR EQUAL UNLESS NOTED OTHERWISE.
- USE DBL TOP PLATES 16" OC ON BOTH FIRST AND SECOND FLOOR AT ALL EXTERIOR AND LOAD BEARING CONDITIONS ALL OTHER PARTITION WALL USE SINGLE TOP PLATE 24"OC.

### FLOORS:

- STRUCTURAL FLOOR MEMBERS SHALL NOT BE CUT, BORED, OR NOTCHED IN EXCESS OF THE LIMITATIONS SPECIFIED PER CODE
- THE ENDS OF EACH JOIST, BEAM, OR GIRDER SHALL HAVE NOT LESS THAN 1.5 INCHES (38MM) OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3 INCHES (76MM) ON MASONRY OR CONCRETE OR AS OTHERWISE SPECIFIED PER CODE
- ANY CONVENTIONAL FLOOR JOISTS SHOWN DOUBLED ON PLANS TO BE GLUED AT INSTALLATION AND NAILED W/ 3-16d NAILS @ 16" O.C. MULTIPLE PLYS OF ENGINEERED LUMBER TO BE ASSEMBLED PER MANUF. RECOMM.
- SHOP DRAWINGS FOR ANY AND ALL ENGINEERED FLOOR SYSTEMS TO BE SUBMITTED TO ARCHITECT TO REVIEW IN CONFORMANCE WITH THESE CONSTRUCTION DOCUMENTS. WHERE THE CONSTRUCTION DOCUMENTS DO NOT ADDRESS METHODOLOGY, CONTRACTOR TO BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

### FRAMING:

- ALL FRAMING DIMENSIONS TO FACE OF MEMBER/SHEATHING.
- ALL BEARING HEADERS TO BE 2x8 SPF #2 OR EQUAL UNLESS NOTED OTHERWISE.
- ALL 2x10 & 2x12 HEADERS TO BE SPF #2 UNLESS NOTED OTHERWISE.
- ALL 2x8 HEADERS TO BE SPF #2 UNLESS NOTED OTHERWISE.
- PROVIDE 1x BLOCKING UNDER ALL EXTERIOR SLIDING DOORS.
- ALL BEAMS & HEADERS SHALL HAVE A MINIMUM OF (1) 2x JACK STUD & (1) 2x KING STUD. THE NUMBER OF STUDS LABELED ON PLANS INDICATES THE NUMBER OF JACK STUDS ONLY (UNLESS NOTED OTHERWISE).
- TWO-PLY CONVENTIONAL BEAMS TO BE FACE-NAILED W/2 ROWS 16d COMMON NAILS STAGGERED @16" O.C. UNLESS NOTED OTHERWISE. THREE-PLY CONVENTIONAL BEAMS TO BE NAILED AS ABOVE FROM EACH SIDE. MULTIPLE PLYS OF ENGINEERED LUMBER TO BE ASSEMBLED PER MANUF. RECOMM.
- JOIST HANGERS, WHERE REQUIRED, SHALL BE USED WITHOUT ANGLES.
- INSTALL FIRE STOPPING AND/ OR DRAFT STOPPING AS REQUIRED.

### ROOF:

- HIP AND VALLEY RAFTERS SHALL BE SUPPORTED AT RIDGE DOWN TO BEARING PARTITION. CUT ENDS OF RAFTERS SHALL BE FULLY SUPPORTED WALL AND RIDGE.
- SHOP DRAWINGS FOR ANY AND ALL ENGINEERED ROOF TRUSS SYSTEMS TO BE SUBMITTED TO ARCHITECT TO REVIEW IN CONFORMANCE WITH THESE CONSTRUCTION DOCUMENTS. WHERE THE CONSTRUCTION DOCUMENTS DO NOT ADDRESS METHODOLOGY, CONTRACTOR TO BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

### LIGHT & VENT CALCULATIONS:

ROOM	SQ. FT.	LIGHT REQ'D	LIGHT SUPP	VENT REQ'D	VENT SUPP	NOTES
FIRST FLOOR						
PLANNING CENTER	115	9.2	24.80	4.60	10.60	
GATHERING ROOM	367	29.36	49.60	14.68	21.20	
KITCHEN/NOOK	331	26.48	46.94	13.24	22.72	
DINING ROOM	161	12.88	24.80	6.44	10.60	
DEN	173	14.08	37.20	7.04	15.90	
POWDER ROOM	35	N/A	N/A	1.12	50.00	
SECOND FLOOR						
GAME ROOM	299	23.92	46.80	11.96	19.60	
OWNER'S SUITE	282	22.64	40.80	11.32	17.20	
BEDROOM 2	131	10.48	26.80	5.24	11.90	
BEDROOM 3	159	12.16	23.40	6.08	9.80	
BEDROOM 4	152	12.16	35.17	6.08	14.70	
OWNER'S BATH	111	N/A	24.80	118.8	120.00	
TOILET ENCLOSURE	16	N/A	N/A	20.9	50.00	
BATH 3	48	N/A	N/A	59.40	60.00	
BATH 4	37	2.96	5.20	1.48	50.00	
SUNROOM	110	8.80	62.00	4.40	26.50	
BATH 1	35	N/A	N/A	37.40	50.00	

### APPLICABLE CODES:

- Building Code: 2019 RCO
- Plumbing Code: 2017 Plumbing Code
- Mechanical Code: 2017 Mechanical Code
- Energy Code: 2019 Energy Code Ohio
- Electrical Code: 2017 NEC
- Fire Code: 2011 International Fire Code

(c) Copyright, PulteGroup, Inc. - 2013



Cover Sheet  
Specifications & General Notes

REV #	DATE / DESCRIPTION
△	
△	
△	
△	
△	
△	
△	
△	
△	
△	

ENGINEER OF RECORD: MULHERN, & KULP ENGINEERS  
ARCHITECT OF RECORD: GODOLCO DESIGN - ARCHITECTS

PROJECT TYPE  
**SINGLE FAMILY**

COMMUNITY NAME  
**RIVER OAKS LOT 188**

LAWSON COMMUNITY ID  
---

GARAGE HANDING  
**GARAGE RIGHT**

SPECIFICATION LEVEL  
**TBD**

PLAN NAME  
**ATWATER**

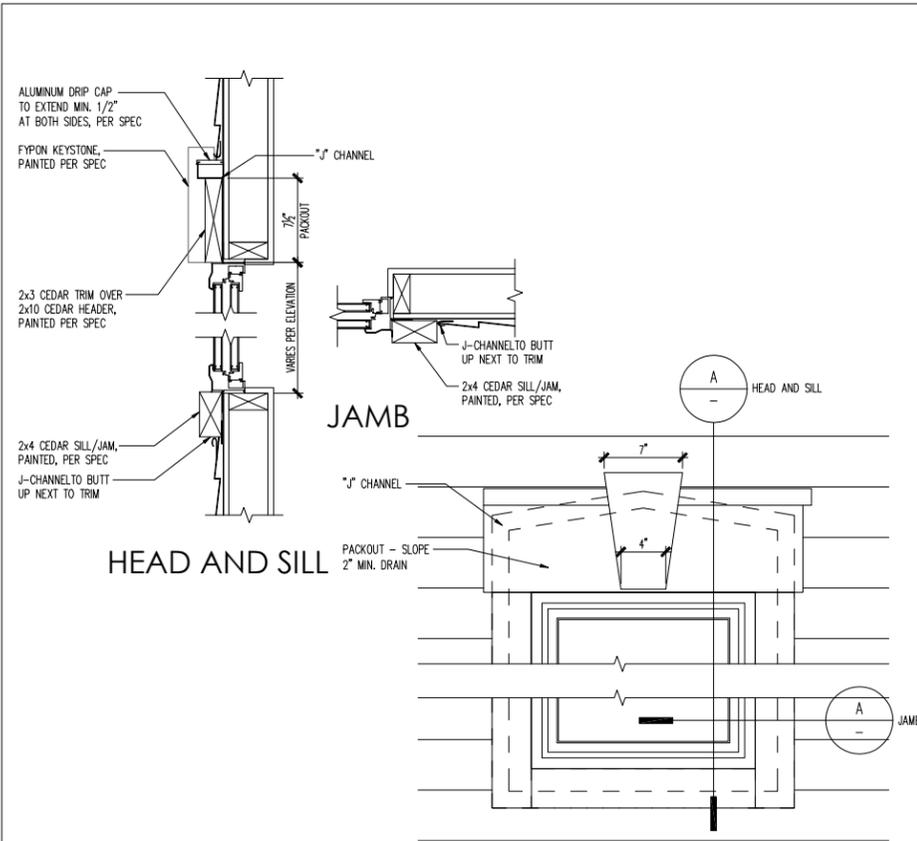
NPC PLAN NUMBER  
**1642**

LAWSON PLAN ID  
---

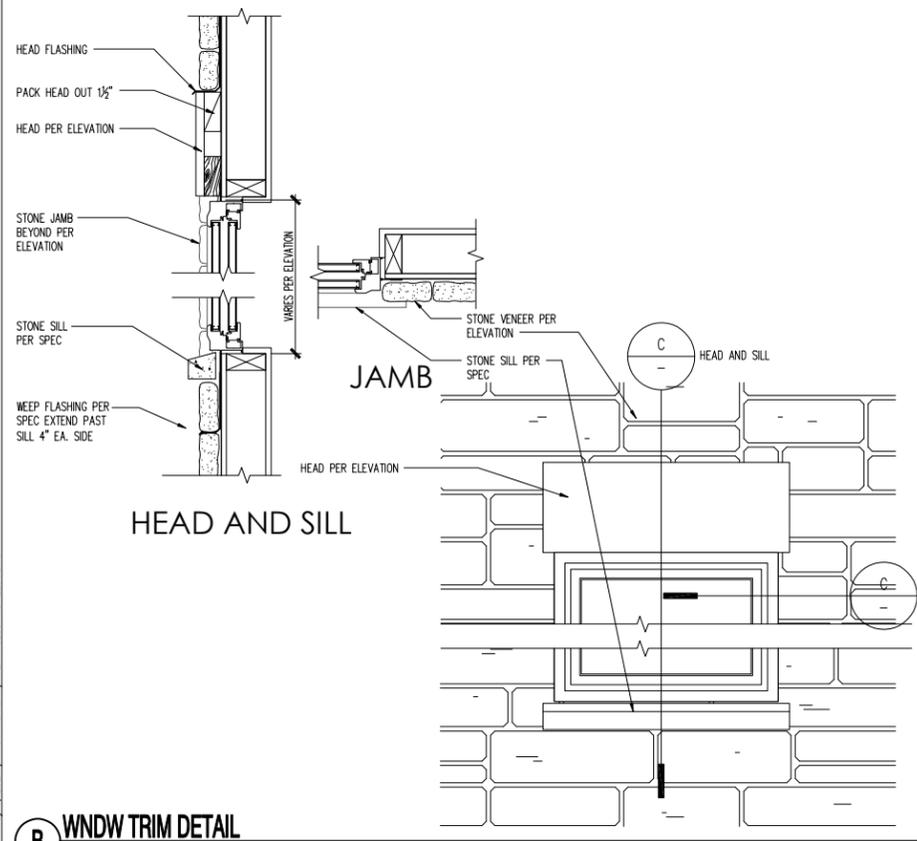
LEGACY PLAN NUMBER / NAME  
**PLAN 3295**

SHEET  
**0.00**

PLOTTED: March 15, 2024 / Prem Kumar / PLAN-3295-RD-COVER.DWG



**A WNDW TRIM DETAIL**  
SCALE: 1 1/2"=1'-0"



**B WNDW TRIM DETAIL**  
SCALE: 1 1/2"=1'-0"



**REAR ELEVATION**  
SCALE 1/4" = 1'-0"



**FRONT ELEVATION**  
SCALE 1/4" = 1'-0"

(c) Copyright: PulteGroup, Inc. - 2013



**Elevation - 9**  
Front and Rear Elevations

PRODUCTION MANAGER  
Cobe Kirksey  
CURRENT RELEASE DATE: 03/15/2021

REV #	DATE	DESCRIPTION

PROJECT TYPE  
**SINGLE FAMILY**

COMMUNITY NAME  
**RIVER OAKS LOT 188**  
LAWSON COMMUNITY ID

GARAGE HANDING  
**GARAGE RIGHT**

SPECIFICATION LEVEL  
**TBD**

PLAN NAME  
**ATWATER**  
NPC PLAN NUMBER  
**1642**  
LAWSON PLAN ID

LEGACY PLAN NUMBER / NAME  
**PLAN 3295**

SHEET  
**7.09a1**

PLOTTED: May 4, 2021 / Prem Kumar / PLAN-3295-R0-EL04.DWG

ENGINEER OF RECORD: MULHORN & KULP ENGINEERS  
ARCHITECT OF RECORD: GODOLCO DESIGN - ARCHITECTS

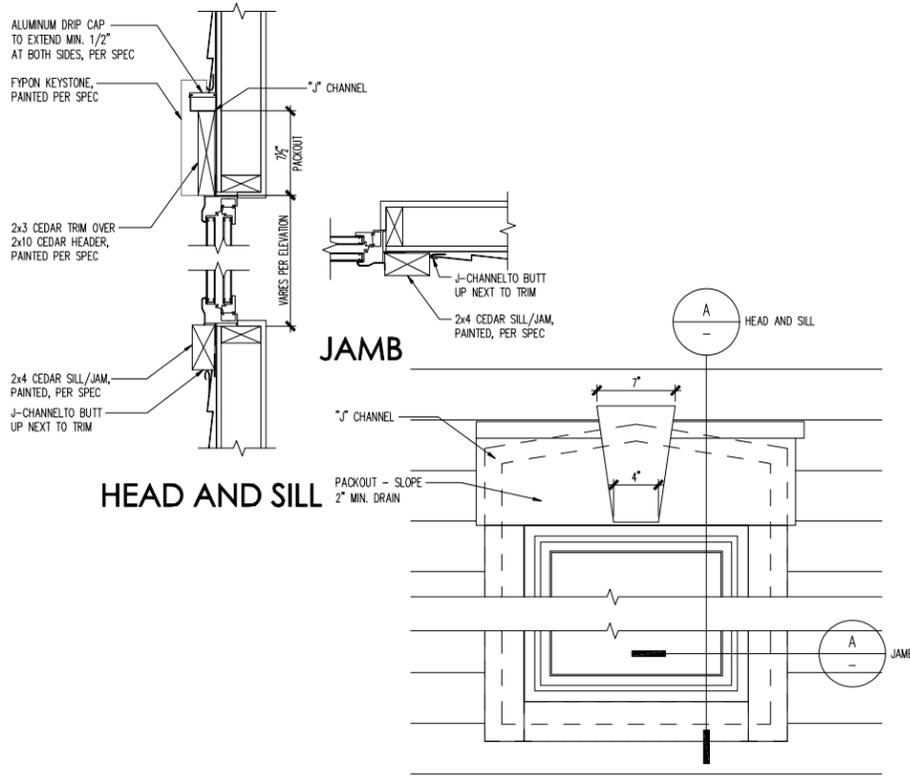
NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS



PLOTTED: October 6, 2020 / Prem Kumar / PLAN-3627-RD-EI.01.DWG

### A WNDW TRIM DETAIL

SCALE: 1 1/2" = 1'-0"



### REAR ELEVATION

SCALE: 1/4" = 1'-0"



### FRONT ELEVATION

SCALE: 1/4" = 1'-0"

White vinyl railing per spec

(c) Copyright: PulteGroup, Inc. - 2013

**Cleveland Division**  
 387 Medina Rd. Suite 1700  
 Medina, OH 44256



**Front Elevation**  
**Front and Rear Elevations**

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

REV #	DATE	DESCRIPTION

PRODUCTION MANAGER Cobe Kirksey CURRENT RELEASE DATE: 10/06/2020
PROJECT TYPE <b>SINGLE FAMILY</b>
COMMUNITY NAME <b>RIVER OAKS LOT 189</b>
LAWSON COMMUNITY ID ---
GARAGE HANDING <b>GARAGE LEFT</b>
SPECIFICATION LEVEL <b>TBD</b>
PLAN NAME <b>DRESDEN</b>
NPC PLAN NUMBER <b>1760</b>
LAWSON PLAN ID ---
LEGACY PLAN NUMBER / NAME <b>PLAN 3627</b>
SHEET <b>7.01a2</b>

ENGINEER OF RECORD: MULHERN & KULP ENGINEERS  
 ARCHITECT OF RECORD: GODOLICO DESIGN - ARCHITECTS