

Meeting Date:

May 10, 2021

Location:

695 Boston Mills Road

Parcel Number

3203767

Request:

Amendment to Site Plan approval 2020-576 – Revised Landscaping Design

Applicant:

Geis Companies

Property Owner:

City of Hudson

Zoning:

D6-Western Hudson Gateway

Case Manager:

Nick Sugar

Staff Recommendation

Approval subject to conditions on page three.

Contents

- Revised Landscaping Plan 4.20.21
- Revised Site Plan 4.21.21
- Previously Approved Plans 11.6.2020



Existing Conditions, City of Hudson GIS

Project Background:

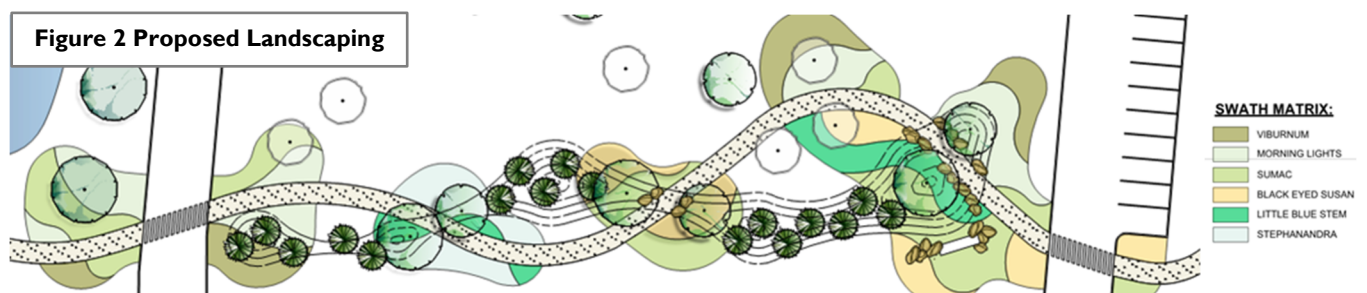
At the August 10, 2020 meeting, the Planning Commission approved a site plan for a 43,200 sq. ft. office building owned and operated by Fleet Response at 695 Boston Mills Road. A zoning certificate has since been released and the building is currently under construction.

The applicant has submitted a revised landscaping plan, prepared by Vizmeg Landscaping, for consideration. The plan would modify the front portion of the property by installing a gravel walking path surrounded by landscaped mounds. An interior walking path would be built in addition to the public multi-purpose path along Boston Mills Road. The mounds would vary in height from 3'-5' and would be landscaped with a variety of trees supplemented by low growing shrubs and flowering plants.

Adjacent Development:

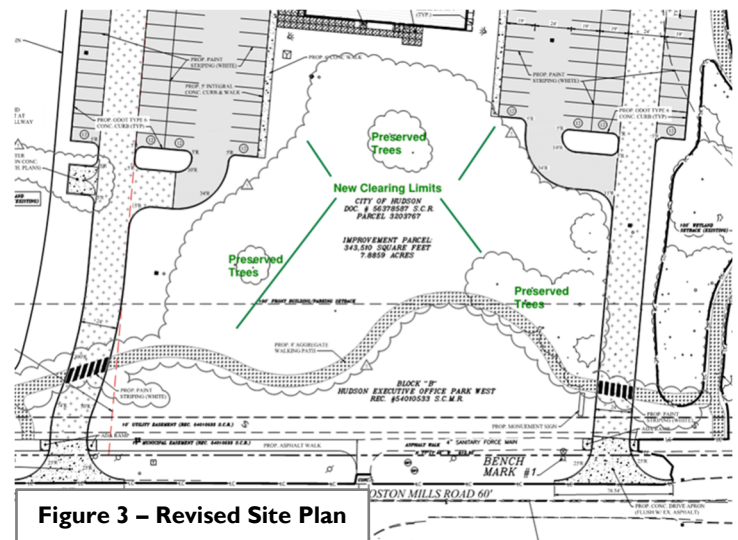
The site is adjacent to commercial/industrial development to the north of Boston Mills Road and the Reserve at River Oaks residential subdivision to the south.

Project Background (cont'd)



Additionally, the proposal would clear the area between the proposed mounding and the building, with selective tree preservation and additional tree plantings. The proposal would preserve mature gum and elm trees in this location.

The request is before the board as preservation of the front yard vegetation was discussed during the August 10, 2020 meeting as part of the accommodations to meet applicable landscape requirements and to soften the architecture of the building in relation to adjacent residential. Staff has prepared the following review comments for the proposal.



Staff Review Comments

- **Section 1205.09(e)(3)(B) – Minimum Front Yard Setbacks:** The LDC requires a 100' building/parking setback from Boston Mills Road. The previously approved layout was developed to site the building towards the rear of the property to meet this requirement. The proposed landscaping plan will not affect this setback requirement.
- **Section 1207.18(b)(6) Wetlands/Riparian Setbacks:** The proposed revisions would not affect existing wetland or riparian setbacks.
- **Section 1207.18(b)(3) – Limits of Disturbance:** This section requires establishing limits of disturbance to preserve significant trees or vegetation and minimize visual impacts from and to the development and protect scenic views. Staff notes previous discussions with Planning Commission referenced preserving

the front foliage to obscure development and create a more natural setting for the building; however, it was also acknowledged a future phase may be developed to extend the front of the building.

To preserve the original intent of the discussions related to compatibility with surrounding development, staff recommends the applicant ensure a minimum Bufferyard E (40 feet) along the property frontage to be compatible with the buffering which is currently provided by the preserved area. This is the city’s most substantial landscaping bufferyard and represents a mixture of canopy trees, understory trees, shrubs and evergreens per 100’ lineal feet. The existing undisturbed area contains significant brush rather than mature woodland plantings. The replacement of the brush with expanded landscaping will enhance the street presence from Boston Mills Road.

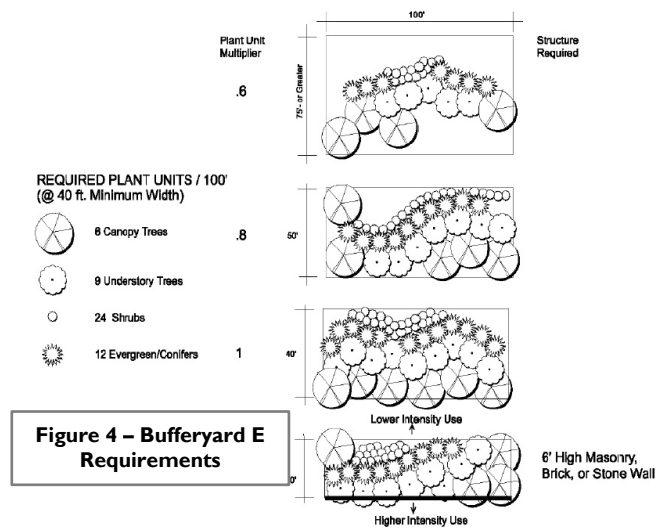


Figure 4 – Bufferyard E Requirements

Staff notes the proposed plan shows substantial plantings along the proposed mounds, however; the applicant would need to identify all proposed tree species and incorporate additional plantings to verify compliance with Bufferyard E.

Findings:

The staff finds that the application is in substantial compliance with the use, zoning development site plan, and other governmental regulations, and land disturbance and grading review contained in Section 1204.04.

Required PC Action

The PC shall consider the development application, the staff report, and then take final action. PC shall approve, approve with conditions, or deny the application based on its compliance with the appropriate review standards. All decisions of the Commission shall be based on findings of fact related to the relevant standards of the Code.

Recommendation

Approve the modified application for the proposed site improvements/landscaping plan for Fleet Response at 695 Boston Mills Road per Case 2020-576, according to the plans received April 26, 2021 subject to the following conditions:

1. A minimum Bufferyard E shall be installed along the frontage of the property.