

BABBITT RESIDENCE

PROJECT DESCRIPTION:

SUMMIT COUNTY
CITY OF HUDSON - DISTRICT 4 RESIDENTIAL HISTORIC DISTRICT

R-SINGLE FAMILY DWELLING

ADDITION

PARCEL: 3201263
OWNERS: BABBITT

SQUARE FOOTAGES

EXISTING
UNFINISHED BASEMENT 802 SF
FIRST FLOOR 821 SF
SECOND FLOOR 692 SF

TOTAL EXISTING FINISHED SF: 1513 SF

DEMOLISHED EXISTING SCREEN PORCH

PROPOSED

FINISHED BASEMENT 523 SF
FIRST FLOOR ADDITION 504 SF
SECOND FLOOR ADDITION 200 SF

TOTAL PROPOSED FINISHED SF: 1227 SF

EXISTING + PROPOSED FINISHED SF 2740 SF

BUILDER

POWERS CONSTRUCTION GROUP
944 OLD FARM TRAIL, MEDINA, OH 44256
P: 440.376.1470

CONTACT: MATT POWERS

ARCHITECT

PENINSULA ARCHITECTS
1775 MAIN STREET, PENINSULA, OH
P: 330.657.2800

CONTACT: - Nik Sirna

STRUCTURAL

IA LEWIN, PE AND ASSOCIATES
4110 MAYFIELD ROAD ST. B, SOUTH EUCLID, OH
P: 216.291.3131

CONTACT: - ISAAC LEWIN

CIVIL/SURVEYOR

CULP SURVEYING, LLC
3323 SPRING VALLEY ROAD, AKRON, OH
P: 330.659.4044

GENERAL NOTES:

- 1) THE CONTRACTOR WILL FURNISH ALL LABOR, MATERIAL, EQUIPMENT, PERMITS, TAXES, AND INSURANCE NECESSARY TO COMPLETE THE WORK INDICATED AND/ OR IMPLIED IN THE CONSTRUCTION DOCUMENTS UNLESS NOTED OTHERWISE AND WILL COORDINATE THE WORK RESPONSIBILITIES OF ALL SUBCONTRACTORS. ALL LABOR AND MATERIALS TO CARRY OUT FULLY THE INTENTIONS OF THE PLANS AND SPECIFICATIONS ARE PART OF THE CONTRACT, WHETHER OR NOT SPECIFICALLY DOCUMENTED.
- 2) ALL WORK WILL CONFORM TO THE CURRENT OHIO BUILDING, MECHANICAL & PLUMBING CODES, ALL WELL AS THE CURRENT NATIONAL BOARD OF FIRE UNDERWRITERS AND ALL OTHER APPLICABLE CITY CODES, LOCAL LAWS, AND AUTHORITIES HAVING JURISDICTION. CODE STANDARDS AND PUBLICATIONS OF PRIVATE AND PUBLIC BODIES MENTIONED WITHIN THE SPECIFICATIONS OR ON THE DRAWINGS, WILL BE CONSIDERED TO BE THOSE IN FORCE AT THE TIME OF THE CONTRACT AWARD.
- 3) THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONTROLLED INSPECTIONS AND ANY TECHNICAL TESTING REQUIRED FOR CONTROLLED INSPECTIONS AS STIPULATED BY ALL APPLICABLE CODES.
- 4) ALL MANUFACTURED ARTICLES, MATERIALS, AND EQUIPMENT WILL BE NEW AND FREE OF DEFECTS AND WILL BE SUPPLIED, INSTALLED, CONNECTED, ERECTED, USED, CLEANED, AND CONDITIONED AS DIRECTED BY THE RESPECTIVE MANUFACTURERS, UNLESS SPECIFIED OTHERWISE.
- 5) THE CONTRACTOR WILL NOTIFY THE ARCHITECT OF ANY ERRORS, OMISSIONS, CONFLICTS, OR AMBIGUITIES IN AND BETWEEN THE DRAWINGS AND THE SPECIFICATIONS PRIOR TO PROCEEDING WITH THE WORK. IF SUCH NOTICE IS NOT FURNISHED TO THE ARCHITECT, THE CONTRACTOR WILL BE DEEMED TO HAVE INSPECTED THE DRAWINGS AND SPECIFICATIONS AND TO HAVE FOUND THEM IN PROPER FORM FOR EXECUTION.
- 6) THE CONTRACTOR WILL FULLY ACQUAINT HIMSELF WITH ALL EXISTING CONDITIONS: WILL VISIT AND INSPECT THE WORK AREA AND ADJACENT AREAS; WILL TAKE ALL FIELD MEASUREMENTS AS REQUIRED FOR THE PROPERT EXECUTION OF THE WORK; AND WILL SATISFY HIMSELF AS TO THE NATURE, LOCATIONS, AND SCOPE OF WORK, INCLUDING ALL EQUIPMENT AND MATERIALS REQUIRED FOR THE PROPER EXECUTION OF THE WORK IN EVERY PARTICULAR INSTANCE WHICH MIGHT IN ANYWAY AFFECT THE COST AND TIME SCHEDULE OF THE JOB. THE CONTRACTOR WILL VERIFY ALL DIMENSIONS BY MEASUREMENTS AT THE JOB SITE, AND WILL TAKE ANY OTHER MEASUREMENTS NECESSARY TO VERIFY THE DRAWINGS TO PROPERLY LAYOUT HIS WORK. ANY DISCREPANCIES AFFECTING THE LAYOUT OF THE WORK WILL BE CALLED TO THE ARCHITECT'S ATTENTION BY THE CONTRACTOR. NO WORK WILL PROCEED UNTIL SUCH DISCREPANCY IS RECTIFIED.
- 7) THE CONTRACTOR REPRESENTS THAT HE HAS HAD ADEQUATE ACCESS TO THE JOB SITE AND BUILDING AREA IN WHICH THE WORK IS TO BE PERFORMED, THAT HE HAS SATISFIED HIMSELF AS TO THE NATURE AND LOCATION OF WORK, INCLUDING ANY OBSTRUCTIONS, SCOPE OF WORK, ACTUAL LEVELS, THE EQUIPMENT AND FACILITIES NEEDED PRELIMINARY TO AND DURING THE EXECUTION OF THE WORK AND ALL OTHER MATTERS, WHICH CAN IN ANY WAY AFFECT THE WORK OR THE COST THEREOF UNDER THIS CONTRACT, AND THAT HE HAS STUDIED THE CONTRACT DOCUMENTS AND ALL OTHER DOCUMENTS PERTAINING TO THE INSTALLATION OF OTHER TRADES WHICH MAY INFLUENCE HIS WORK.
- 8) THE CONTRACTOR WILL ASSUME FULL RESPONSIBILITY, INCLUDING RESPONSIBILITY FOR ALL RELATED COSTS FOR ANY AND ALL WORK DONE WITHOUT THE APPROVAL OF THE ARCHITECT IF SUCH WORK IS IN CONFLICT WITH THE CONTRACT, DRAWINGS, OR SPECIFICATIONS.
- 9) THE OWNER WILL ESTABLISH THE LIMITS OF THE CONSTRUCTION SITE IN ADDITION TO ANY CONTRACT LIMIT LINES SHOWN IN THE DRAWINGS. THE CONTRACTOR WILL CONTINUE HIS OPERATIONS WITHIN THESE LIMITS, UNLESS UPON WRITTEN REQUEST AND REPLY, A VARIANCE IS AGREED TO BY THE OWNER. THE CONTRACTOR WILL BE RESPONSIBLE FOR TRESPASS ON AND/ OR DAMAGE TO OTHER PROPERTY BY ANY OF HIS EMPLOYEES OR HIS SUBCONTRACTOR'S EMPLOYEES.
- 10) THE CONTRACTOR WILL BE RESPONSIBLE FOR THE SAFE WORKING CONDITIONS AT THE SITE. THE ARCHITECT AND OWNER WILL NOT BE DEEMED TO HAVE ANY RESPONSIBILITY OR LIABILITY IN CONNECTION HERewith.
- 11) CONSTRUCTION OPERATIONS WILL NOT INVOLVE INTERRUPTION OF HEATING, WATER, ELECTRICAL, OR OTHER SERVICES TO ANY PORTION OF THE BUILDING OUTSIDE THE LIMITS OF THE CONSTRUCTION SITE DESCRIBED IN NOTE 9.
- 12) THE CONTRACTOR WILL BE RESPONSIBLE FOR CORRECTING ANY DEFICIENCIES CAUSED BY DEFECTIVE OR ILL TIMED WORK AT NO ADDITIONAL COST TO THE OWNER.
- 13) THE CONTRACTOR WILL BE RESPONSIBLE FOR CUTTING, FITTING, OR PATCHING AS REQUIRED TO COMPLETE THE WORK OR TO MAKE ITS PARTS FIT TOGETHER PROPERLY. THE CONTRACTOR WILL NOT CUT, PATCH, DAMAGE, OR ALTER INSTALLED WORK WITHOUT CONSENT OF THE ARCHITECT.
- 14) NO SUBSTITUTIONS ARE PERMITTED EXCEPT WHERE THE TERM "APPROVED EQUAL" APPEARS. ALL SUBSTITUTIONS MUST BE APPROVED IN WRITING BY THE ARCHITECT. THE CONTRACTOR IS TO SUBMIT SAMPLES OR CATALOG CUTS OF ALL VISIBLE MATERIALS AND EQUIPMENT FOR THE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION.
- 15) CONTRACTORS ARE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, APPROVALS, AND CERTIFICATES OF OCCUPANCY. CONTRACTOR TO CONTACT VILLAGE OF LAKEMORE AND REQUEST INSPECTIONS AND PROVIDE PAYMENT AS REQUIRED FOR REVIEWS.
- 16) CONTRACTOR IS RESPONSIBLE FOR REPAIR OR REPLACEMENT OF FINISHES DAMAGED BY DEMOLITION OR NEW WORK.



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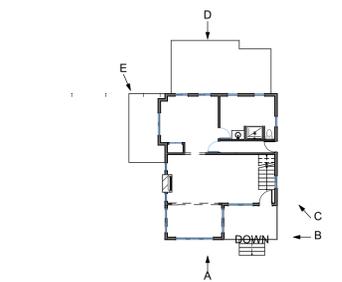
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B



D



SHEET INDEX

G1.00	COVER SHEET
C1.00	SITE PLAN
A0.00	EXISTING FOUNDATION PLAN
A0.01	EXISTING FIRST FLOOR PLAN & DEMO PLAN
A0.02	EXISTING SECOND FLOOR PLAN & DEMO PLAN
A1.00	FOUNDATION PLAN
A1.01	BASEMENT FLOOR PLAN
A1.02	FIRST FLOOR PLAN
A1.03	SECOND FLOOR PLAN
A1.04	ROOF PLAN
A2.01	EXISTING ELEVATIONS
A2.02	EXTERIOR ELEVATIONS
A3.01	BUILDING SECTIONS
A3.02	WALL SECTIONS

PENINSULA
ARCHITECTS

P.O. Box 235 | 1775 Main Street
Peninsula, OH 44264

v 330.657.2800 f 330.657.2419
www.pa-architects.com

PROGRESS
NOT FOR
CONSTRUCTION

Babbitt Residence
27 Roslyn, Hudson, OH 44236

PROJECT #:

Project No:

DATE

ISSUE

01/07/21 DO PROGRESS

01/22/21 DO PROGRESS

03/03/21 DO PROGRESS

06/07/21 DO PROGRESS

06/07/21 CD PROGRESS

08/16/21 ARCHITECTURE REVIEW BOARD

08/23/21 ARCHITECTURE REVIEW BOARD

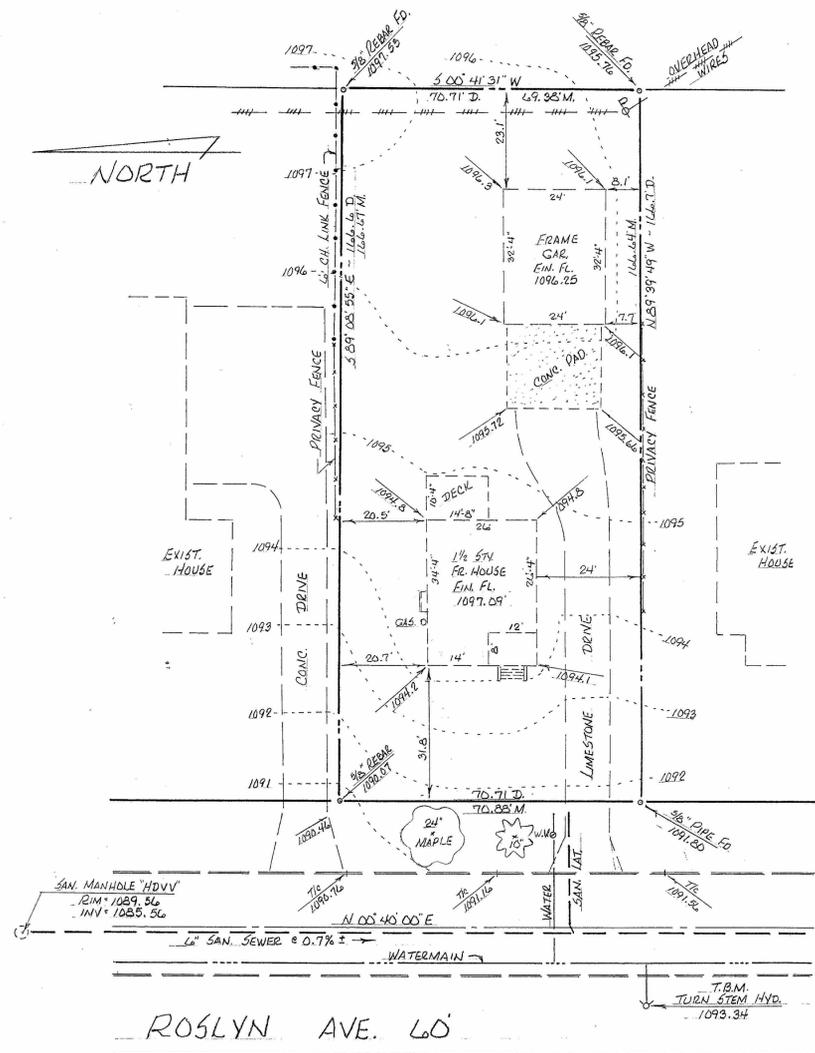
08/27/21 ARCHITECTURE REVIEW BOARD

SCALE

AS NOTED

COVER SHEET

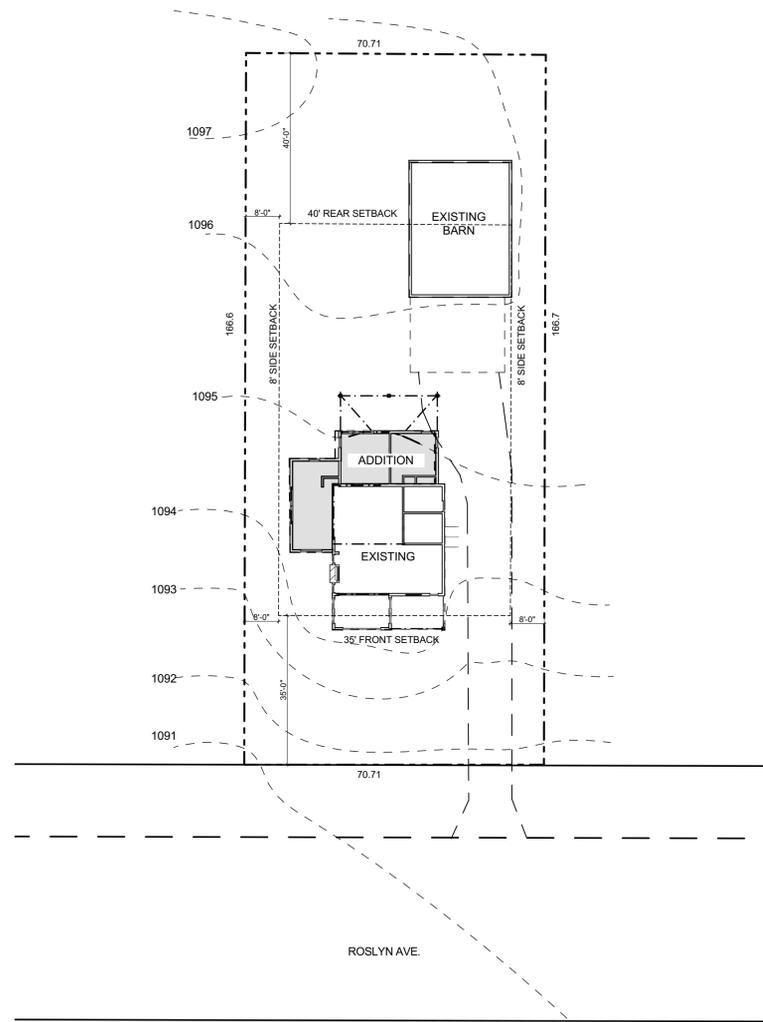
G1.00



Lauri Renee Culp

LAURI R. CULP, PS 7834
CULP SURVEYING, LLC
3323 SPRING VALLEY ROAD
AKRON, OHIO 44333
330-659-4044

1 EXISTING SITE PLAN
SCALE: 1" = 20'



2 PROPOSED SITE PLAN
SCALE: 1" = 20'

PROJECT #	Project No.
DATE	ISSUE
01/07/21	DO PROGRESS
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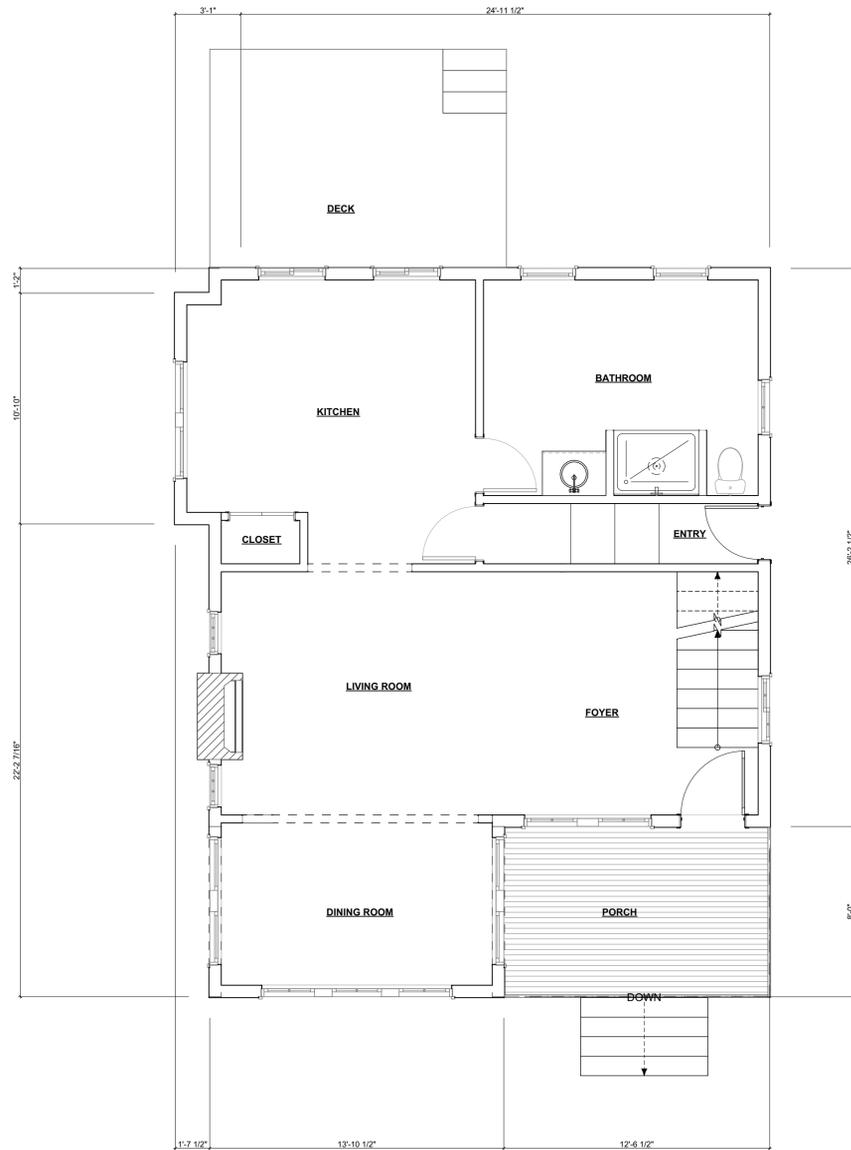
SCALE AS NOTED

SITE PLAN

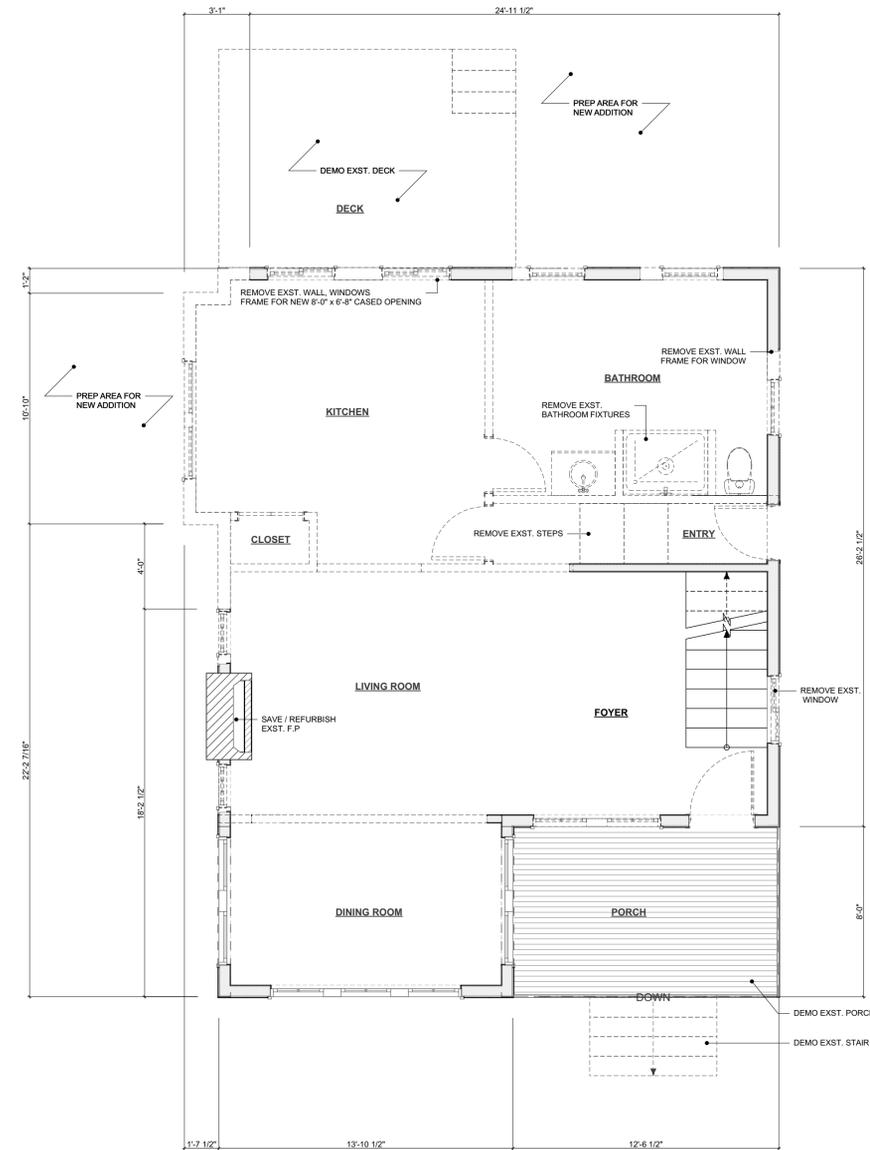
C1.00

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01/07/21	DO PROGRESS
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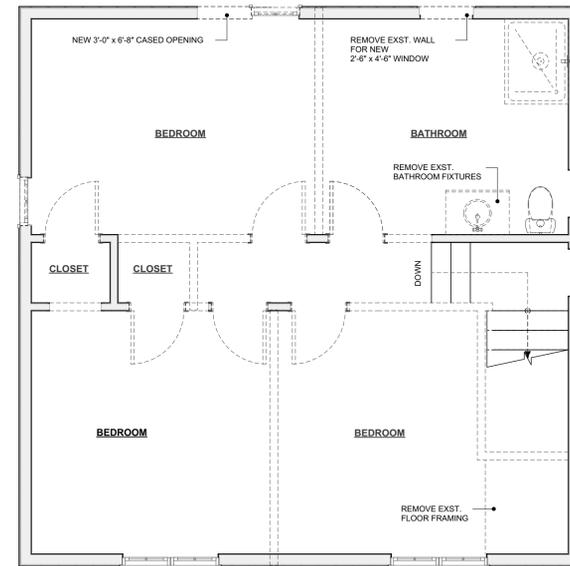
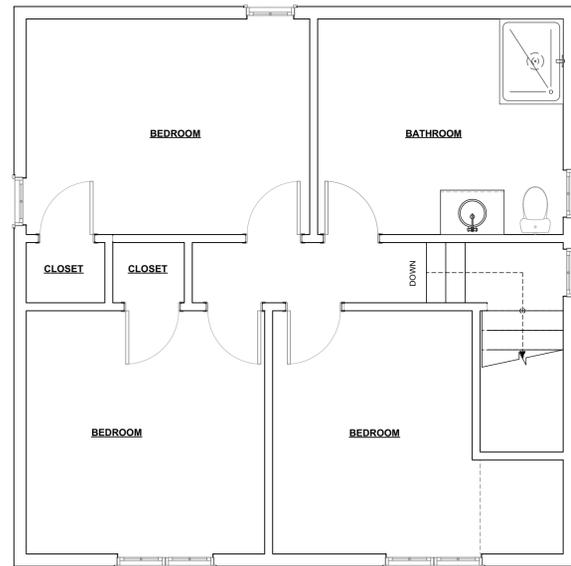
SCALE	AS NOTED
EXISTING FIRST FLOOR PLAN & DEMO PLAN	



1 EXISTING FIRST FLOOR PLAN



2 FIRST FLOOR DEMO PLAN



1 EXISTING SECOND FLOOR

SCALE: 1/4" = 1'-0"



2 SECOND FLOOR DEMO PLAN

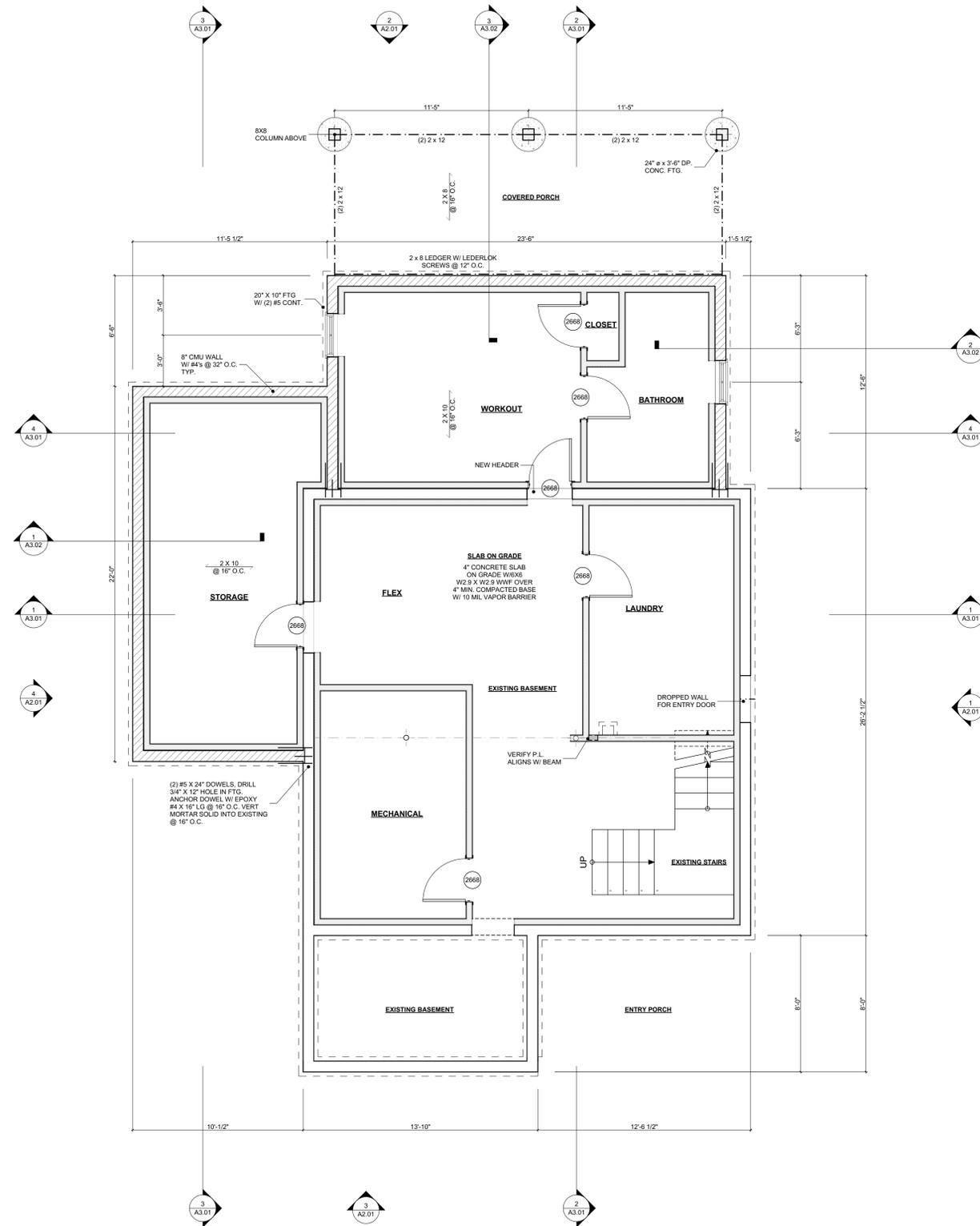
SCALE: 1/4" = 1'-0"



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08/23/21	ARCHITECTURE REVIEW BOARD
08/27/21	ARCHITECTURE REVIEW BOARD

SCALE AS NOTED
EXISTING SECOND
FLOOR PLAN & DEMO
PLAN

A0.02



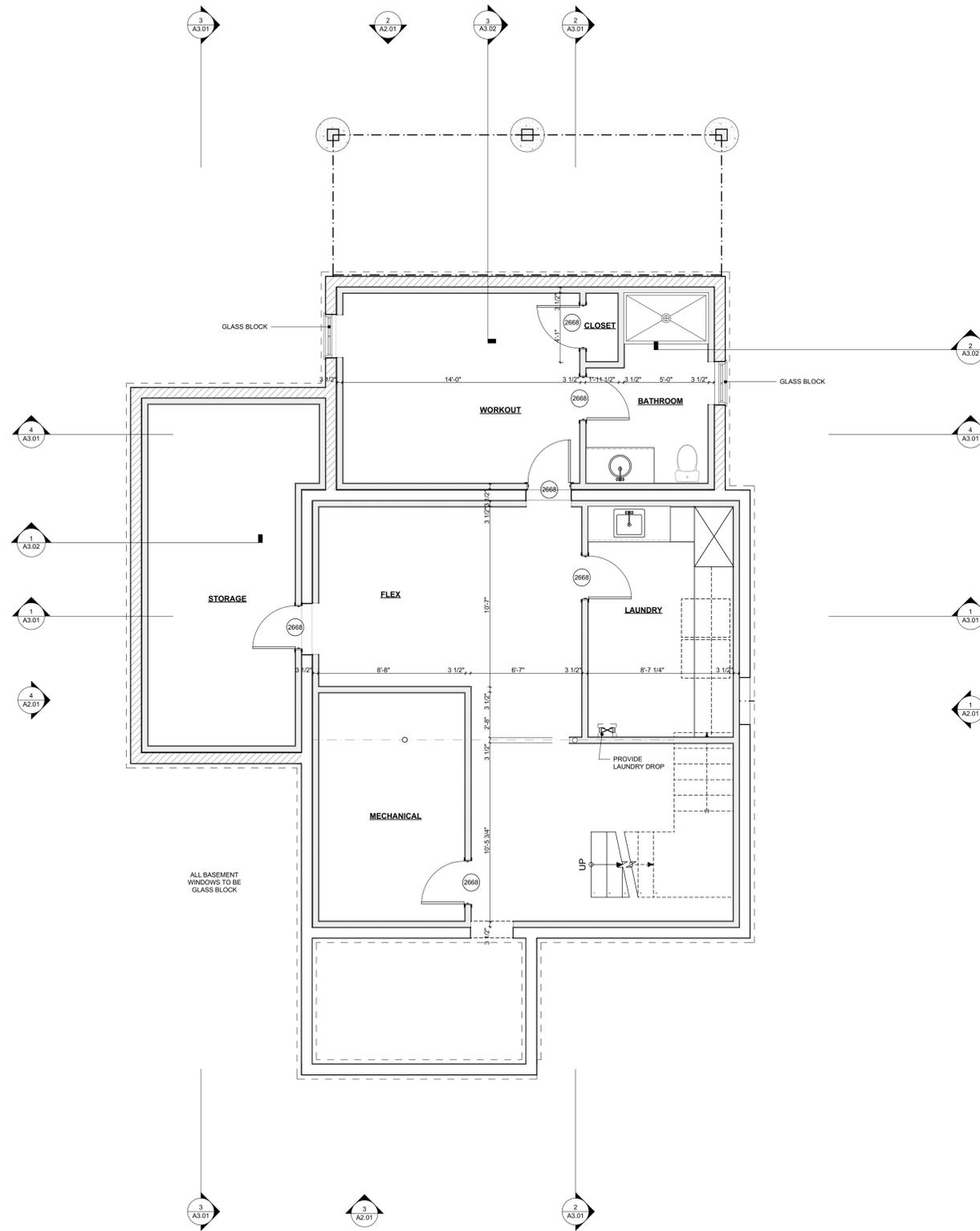
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08/23/21	ARCHITECTURE REVIEW BOARD
08/27/21	ARCHITECTURE REVIEW BOARD

SCALE AS NOTED

FOUNDATION PLAN

A1.00





1 BASEMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"

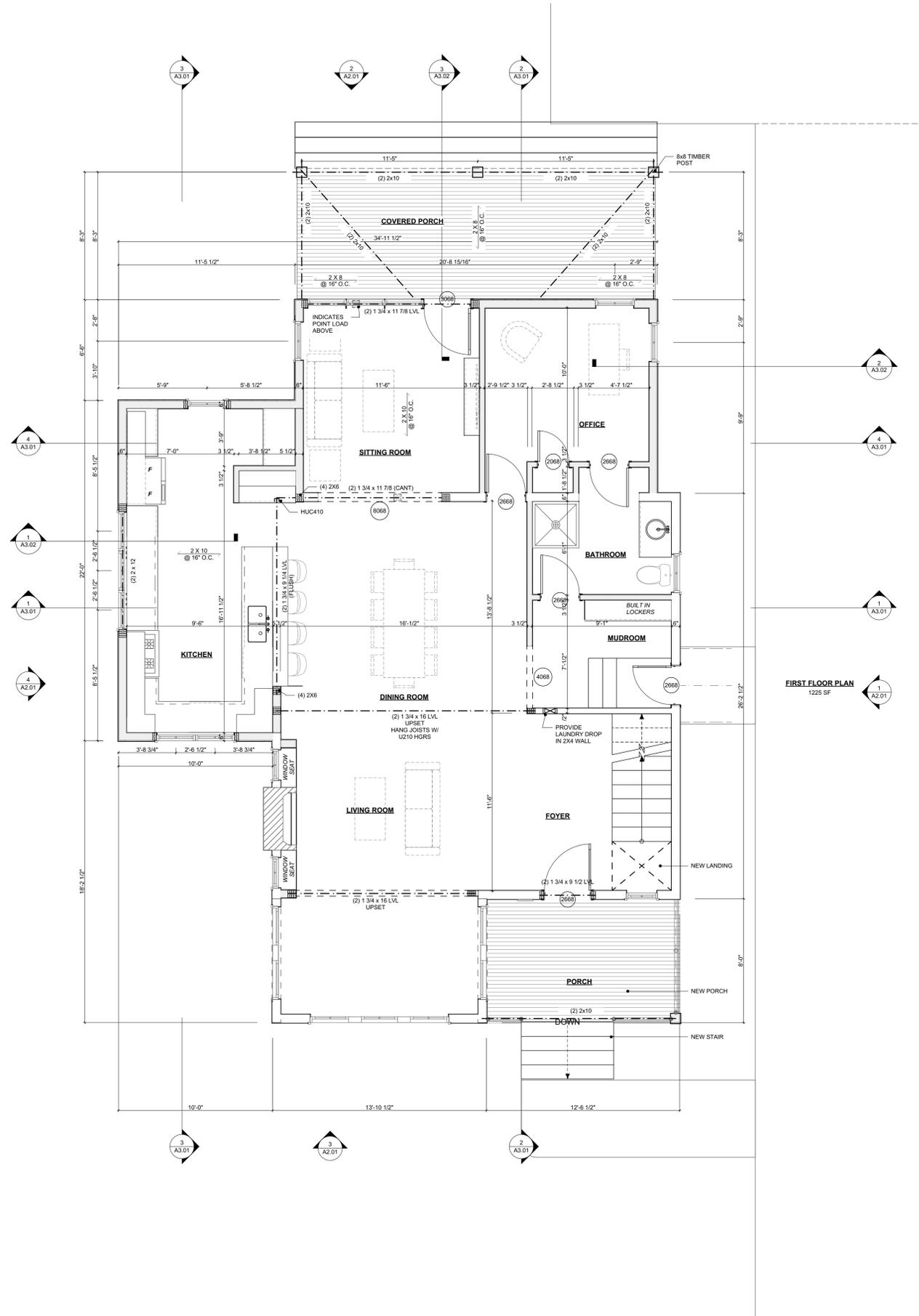


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06/07/21	DO PROGRESS
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08/27/21	ARCHITECTURE REVIEW BOARD

SCALE AS NOTED

BASEMENT FLOOR PLAN

A1.01



FIRST FLOOR PLAN
1225 SF

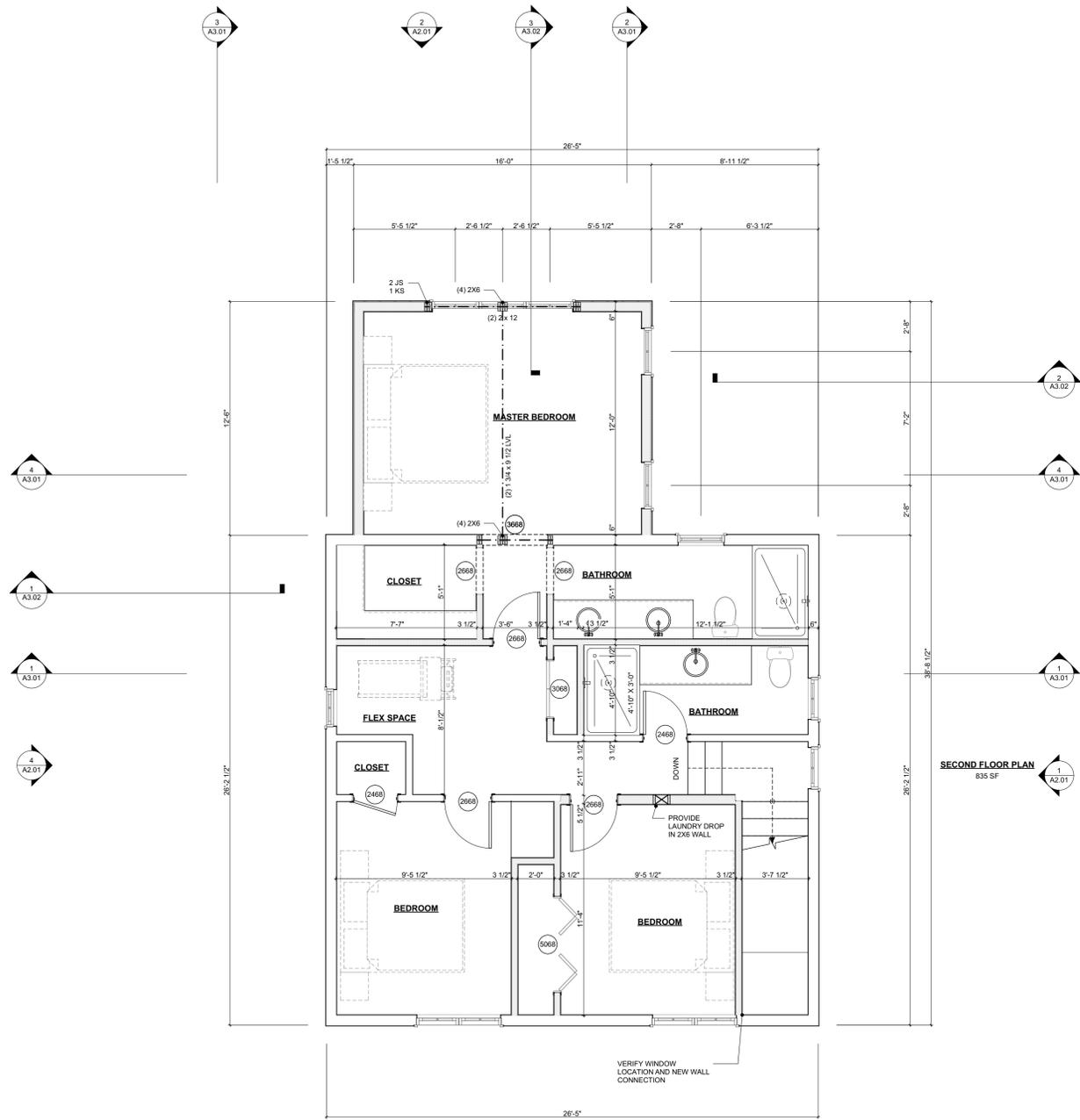
1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

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01/22/21	DO PROGRESS
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08/27/21	ARCHITECTURE REVIEW BOARD

SCALE AS NOTED

FIRST FLOOR PLAN

A1.02



SECOND FLOOR PLAN
835 SF

1 SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



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08/23/21	ARCHITECTURE REVIEW BOARD
08/27/21	ARCHITECTURE REVIEW BOARD

SCALE AS NOTED

SECOND FLOOR PLAN

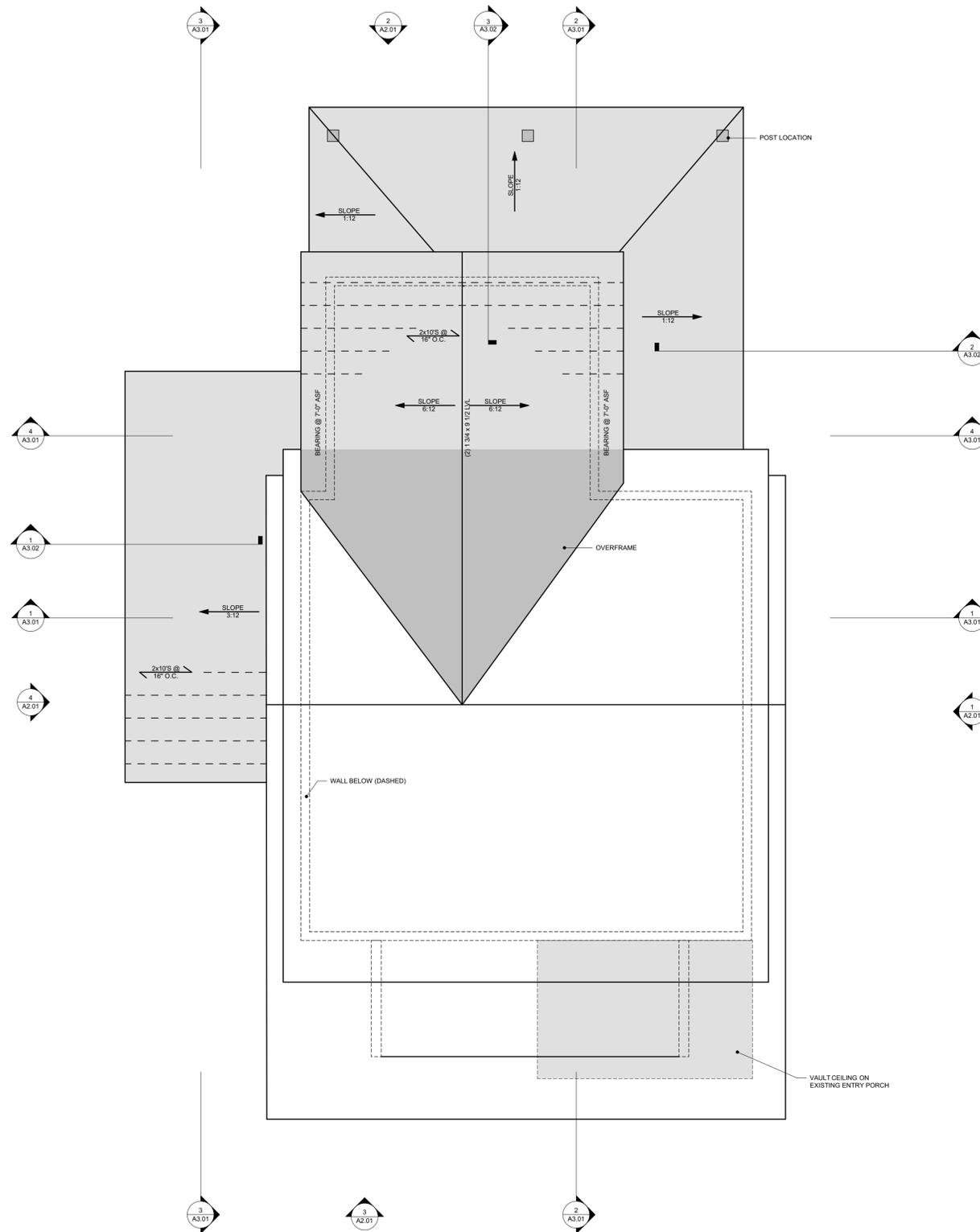
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PROJECT #:	Project No.
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03/03/21	DO PROGRESS
06/07/21	DO PROGRESS
06/07/21	CD PROGRESS
08/16/21	ARCHITECTURE REVIEW BOARD
08/23/21	ARCHITECTURE REVIEW BOARD
08/27/21	ARCHITECTURE REVIEW BOARD

SCALE AS NOTED

ROOF PLAN

A1.04



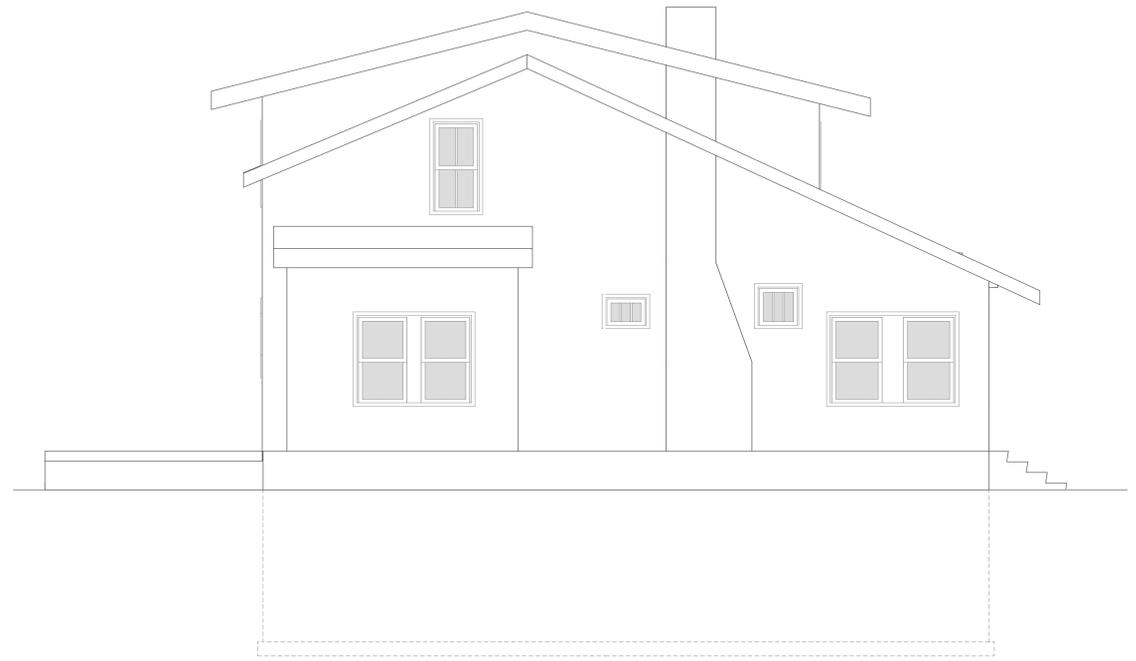
1 ROOF PLAN
SCALE: 1/4" = 1'-0"





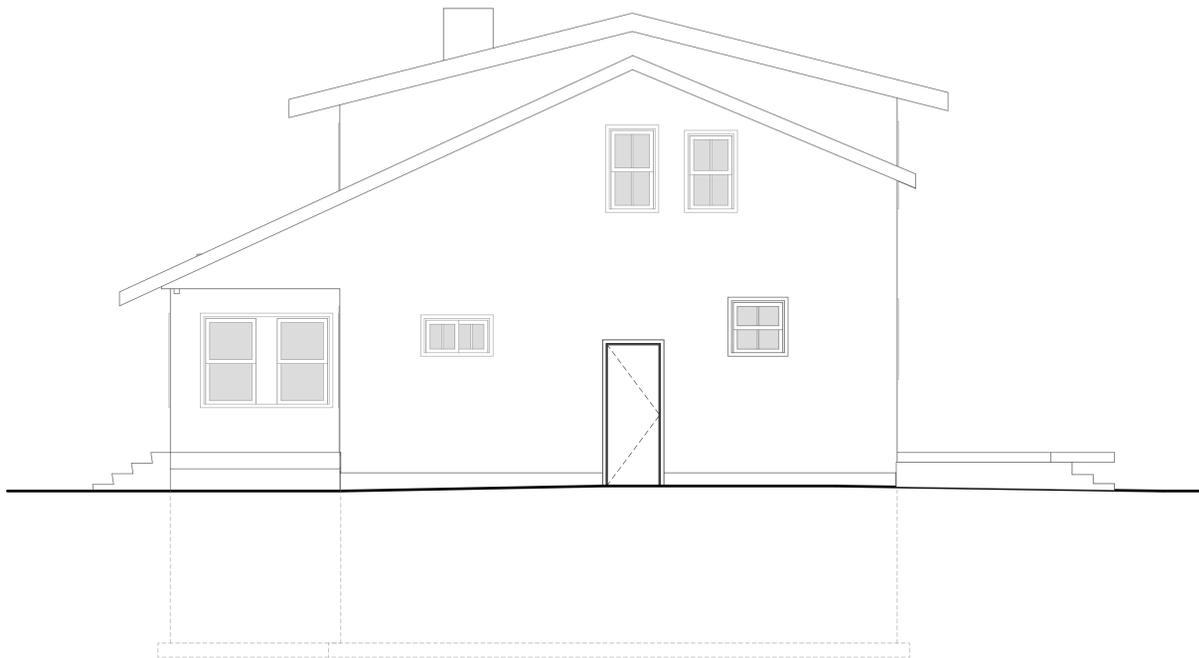
3 EXISTING WEST ELEVATION (FRONT OF HOUSE)

SCALE: 1/4" = 1'-0"



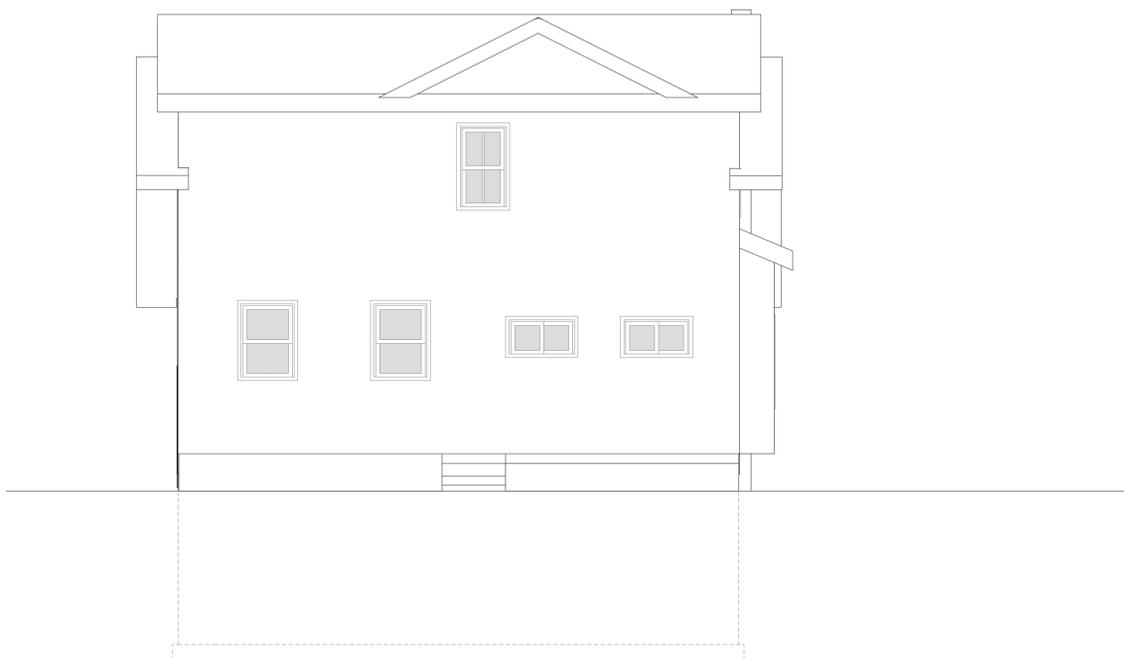
4 EXISTING NORTH ELEVATION (SIDE OF HOUSE)

SCALE: 1/4" = 1'-0"



1 EXISTING SOUTH ELEVATION (SIDE OF HOUSE)

SCALE: 1/4" = 1'-0"



2 EXISTING EAST ELEVATION (REAR OF HOUSE)

SCALE: 1/4" = 1'-0"

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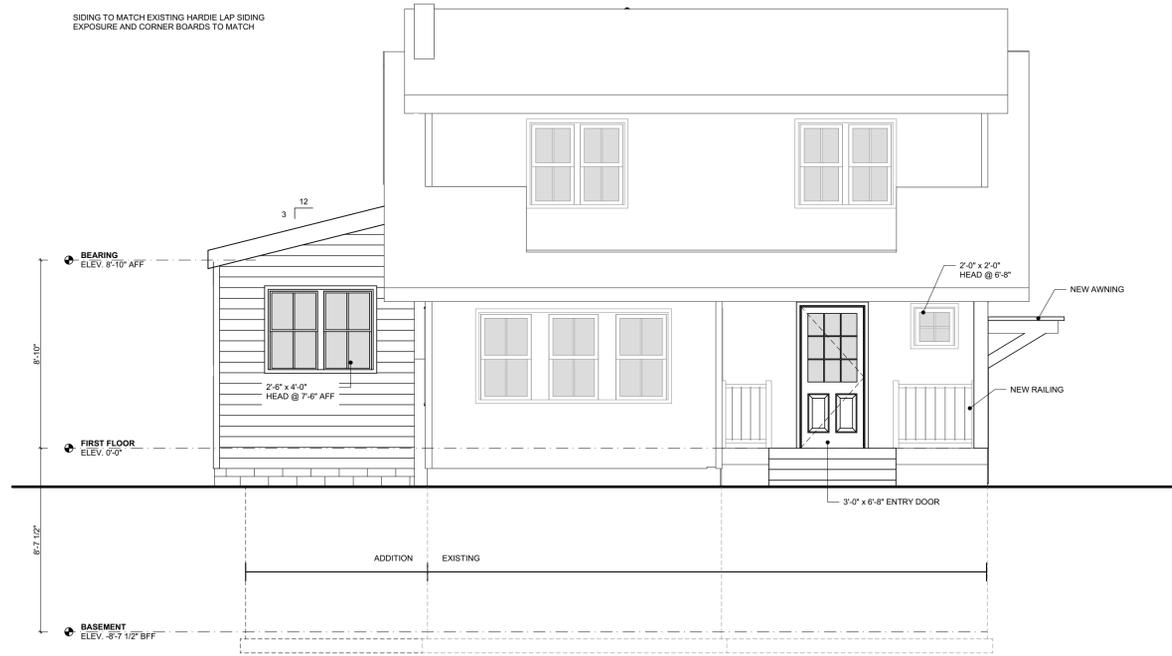
Babbitt Residence
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SCALE AS NOTED

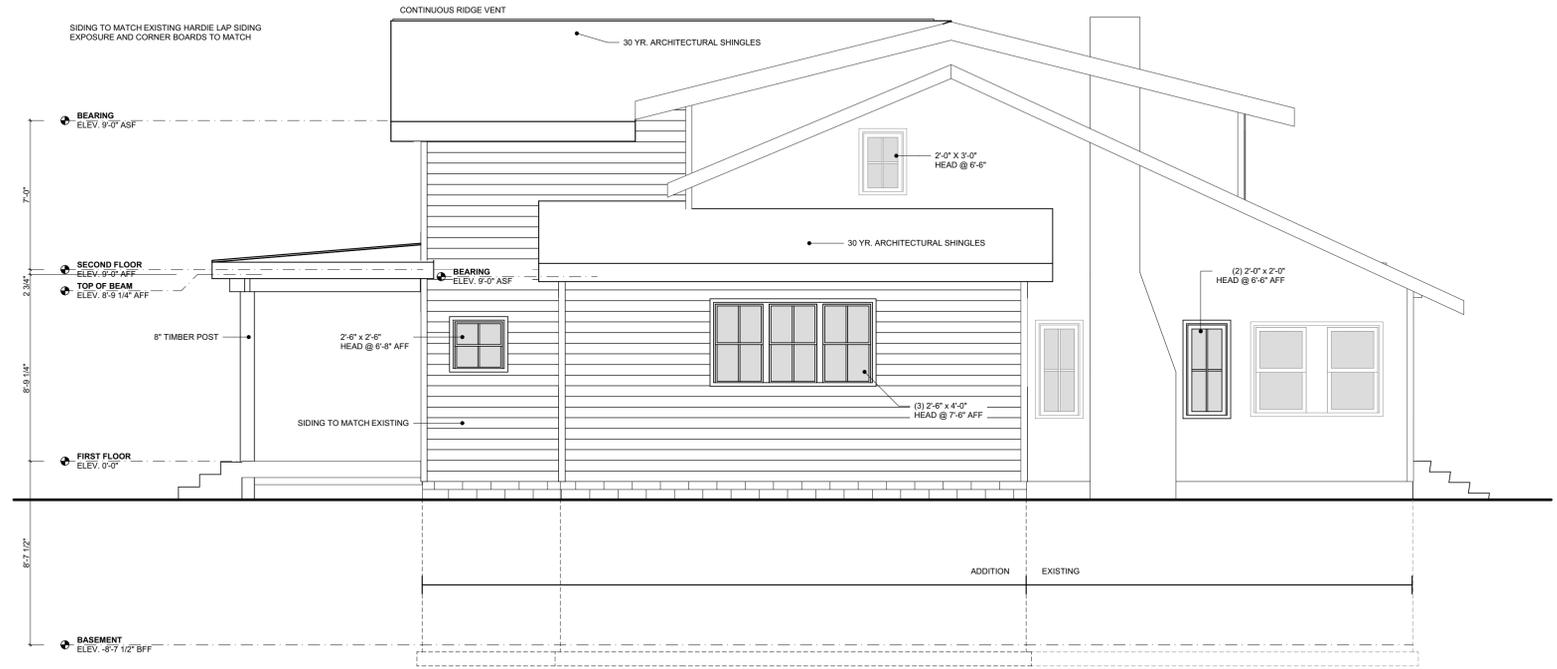
EXISTING ELEVATIONS

A2.01



3 WEST ELEVATION (FRONT OF HOUSE)

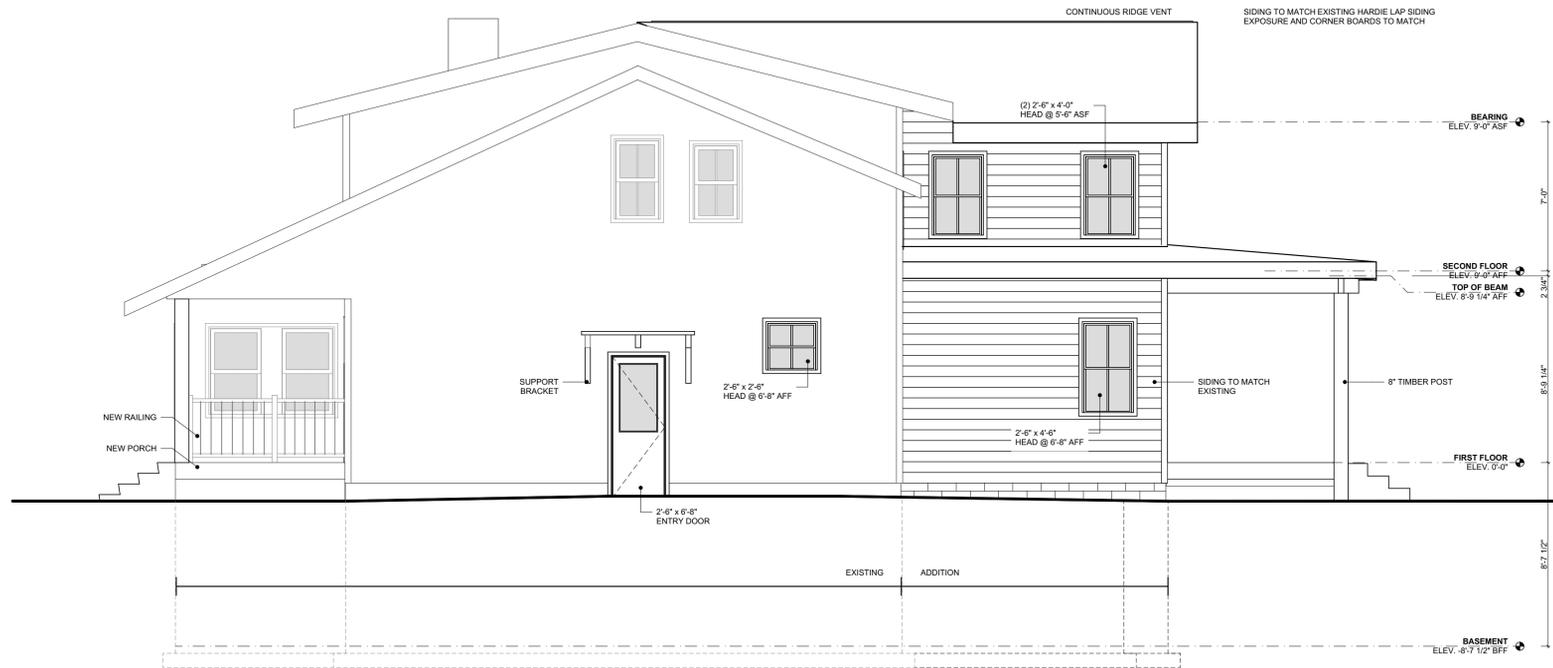
SCALE: 1/4" = 1'-0"



4 NORTH ELEVATION (SIDE OF HOUSE)

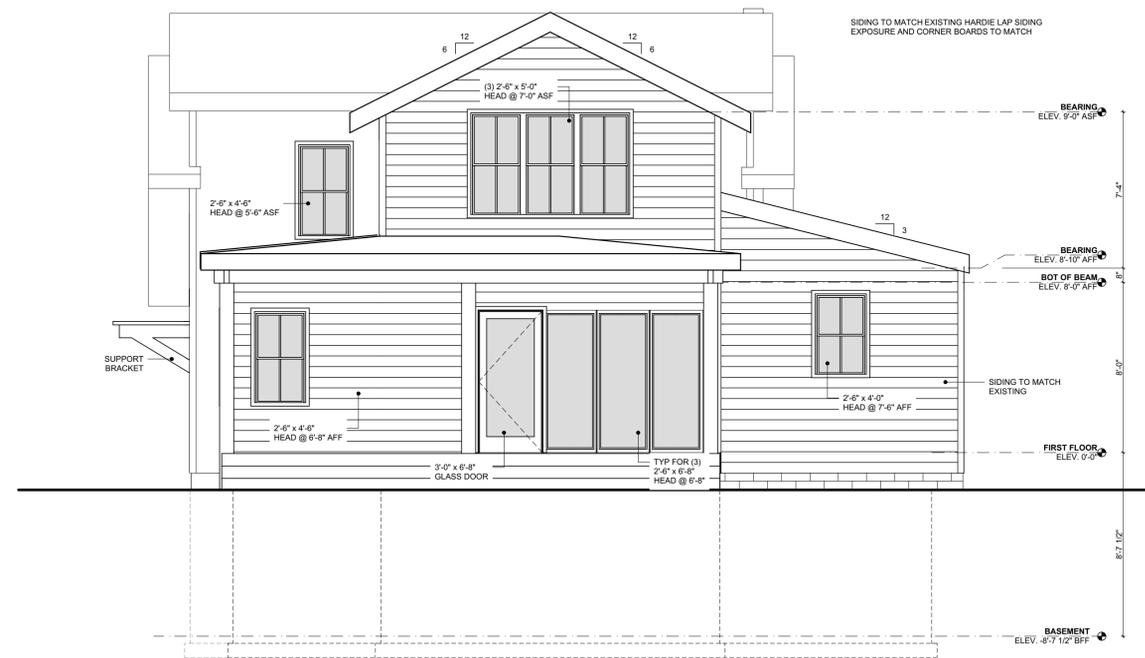
SCALE: 1/4" = 1'-0"

GENERAL NOTES:
- REPLACE ALL EXISTING SIDING
- ALL BASEMENT WINDOWS TO BE REPLACED WITH GLASS BLOCK



1 SOUTH ELEVATION (SIDE OF HOUSE)

SCALE: 1/4" = 1'-0"



2 EAST ELEVATION (REAR OF HOUSE)

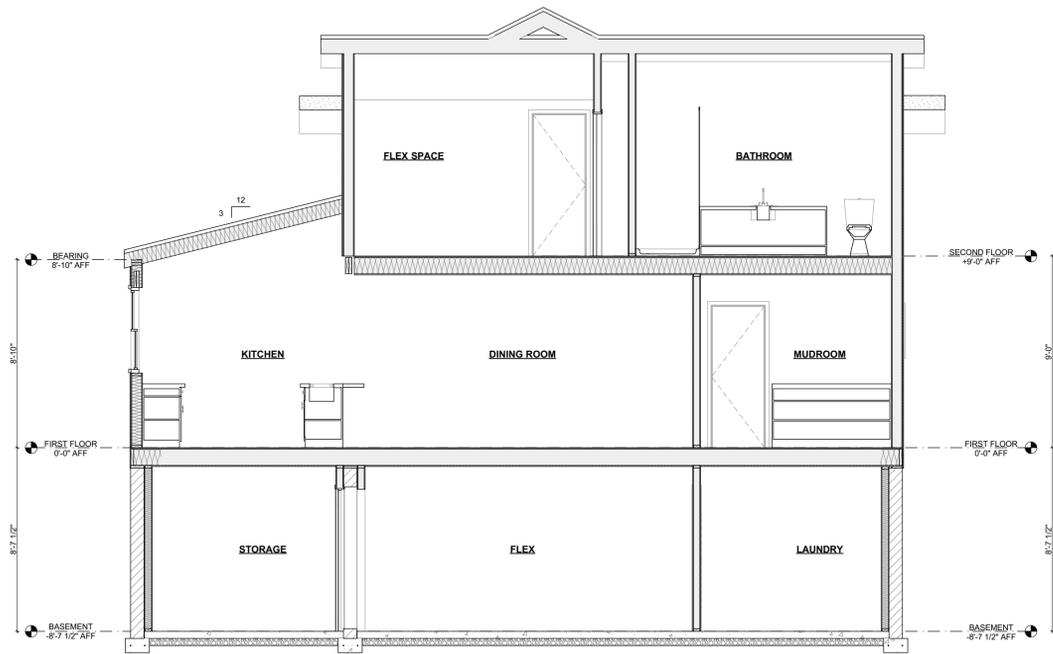
SCALE: 1/4" = 1'-0"

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SCALE AS NOTED

EXTERIOR
ELEVATIONS

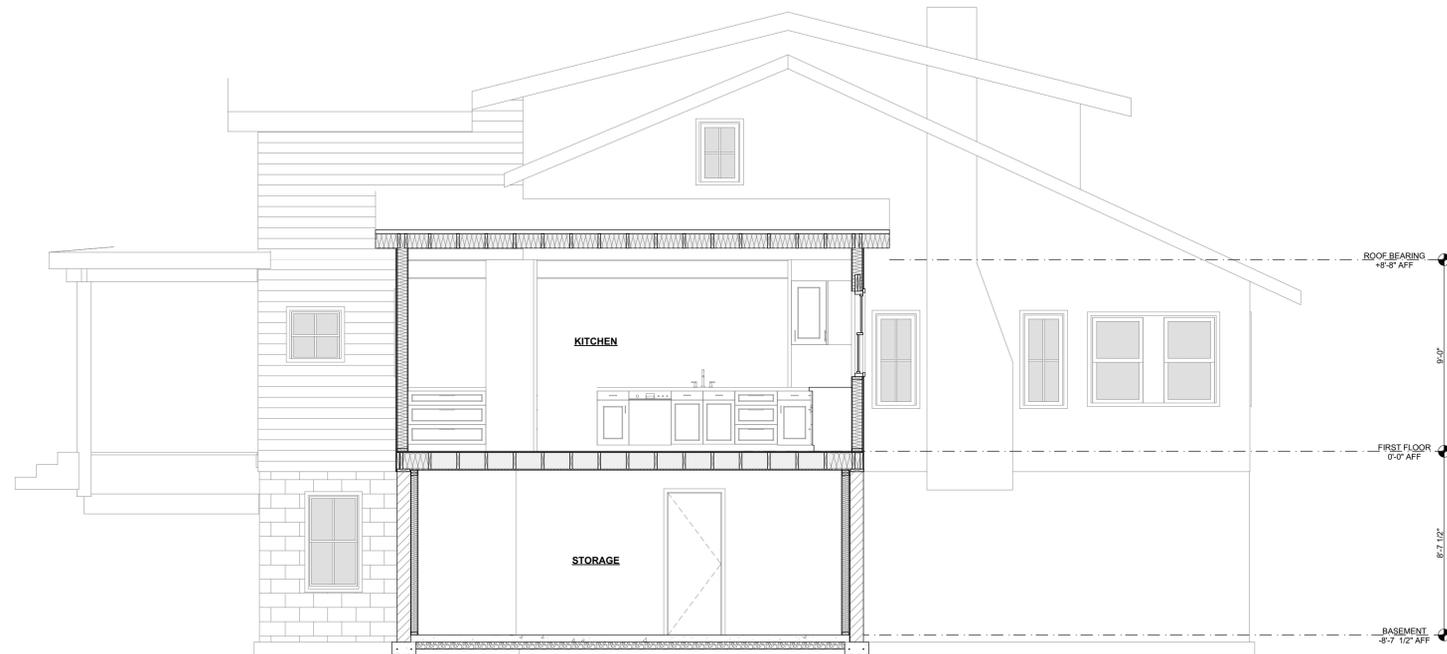
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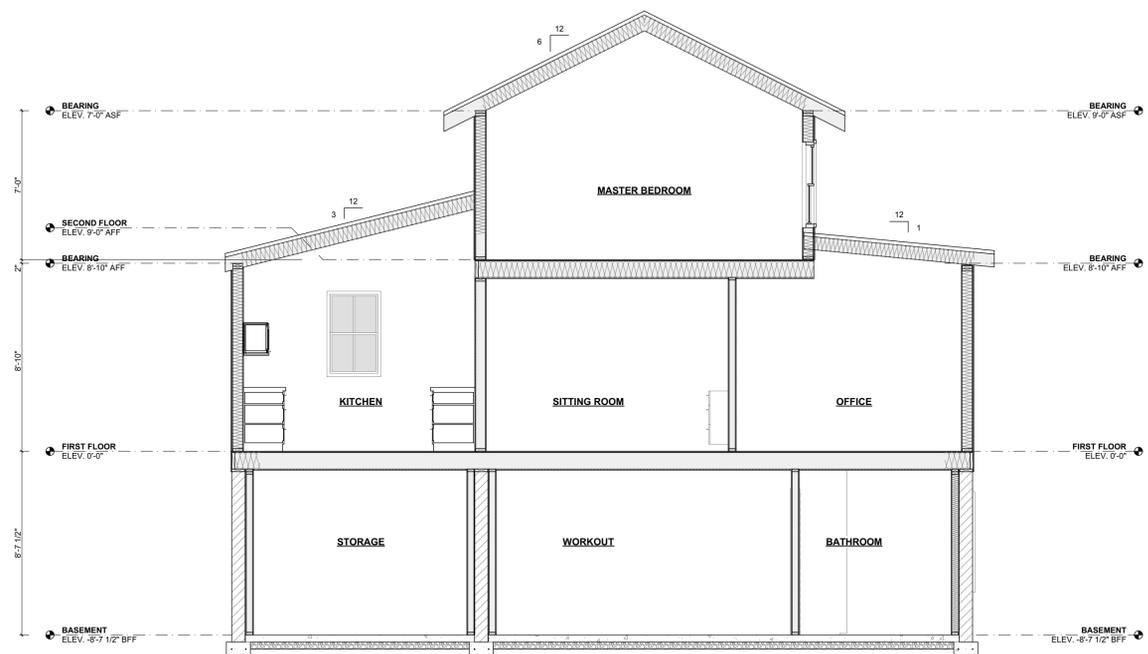
1 FLEX SPACE SECTION
SCALE: 1/4" = 1'-0"



2 OFFICE SECTION
SCALE: 1/4" = 1'-0"



3 KITCHEN SECTION
SCALE: 1/4" = 1'-0"

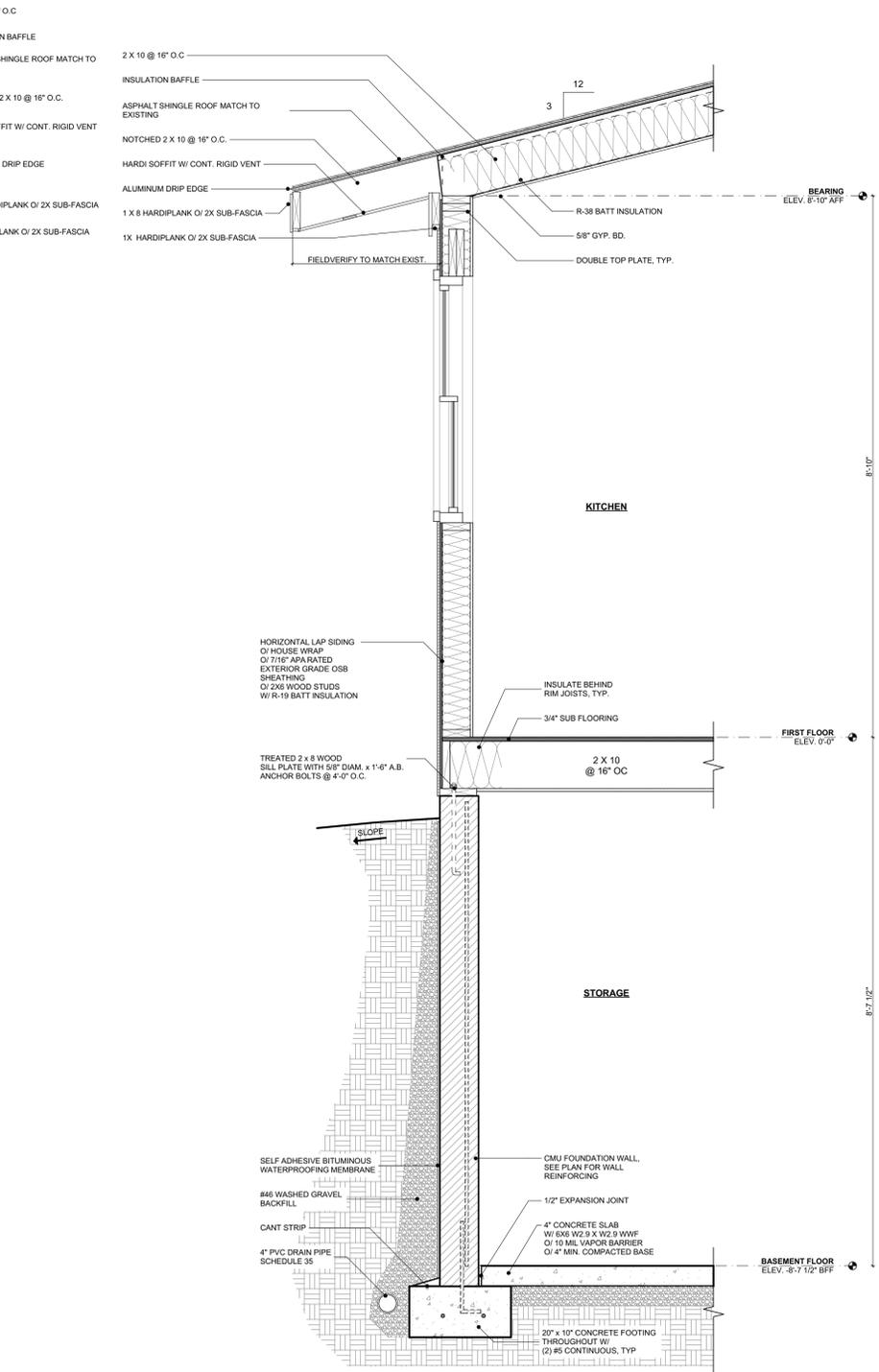
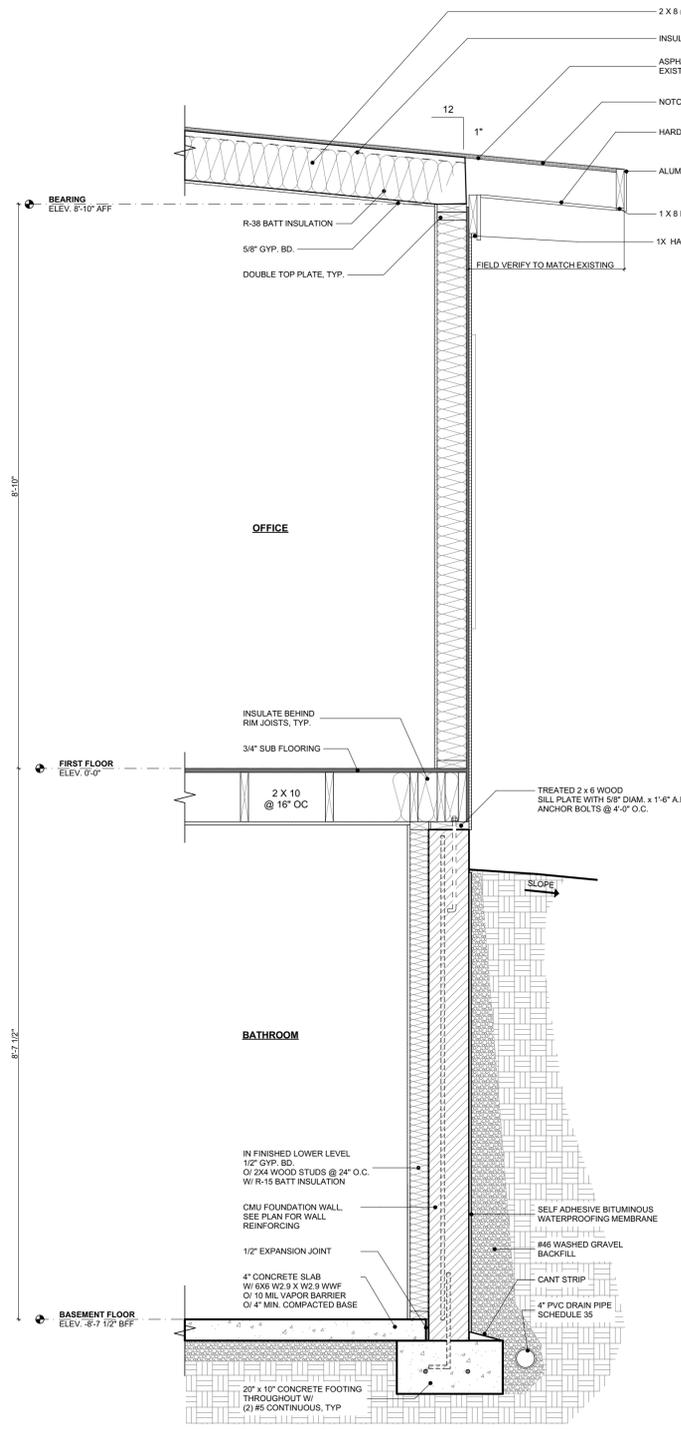
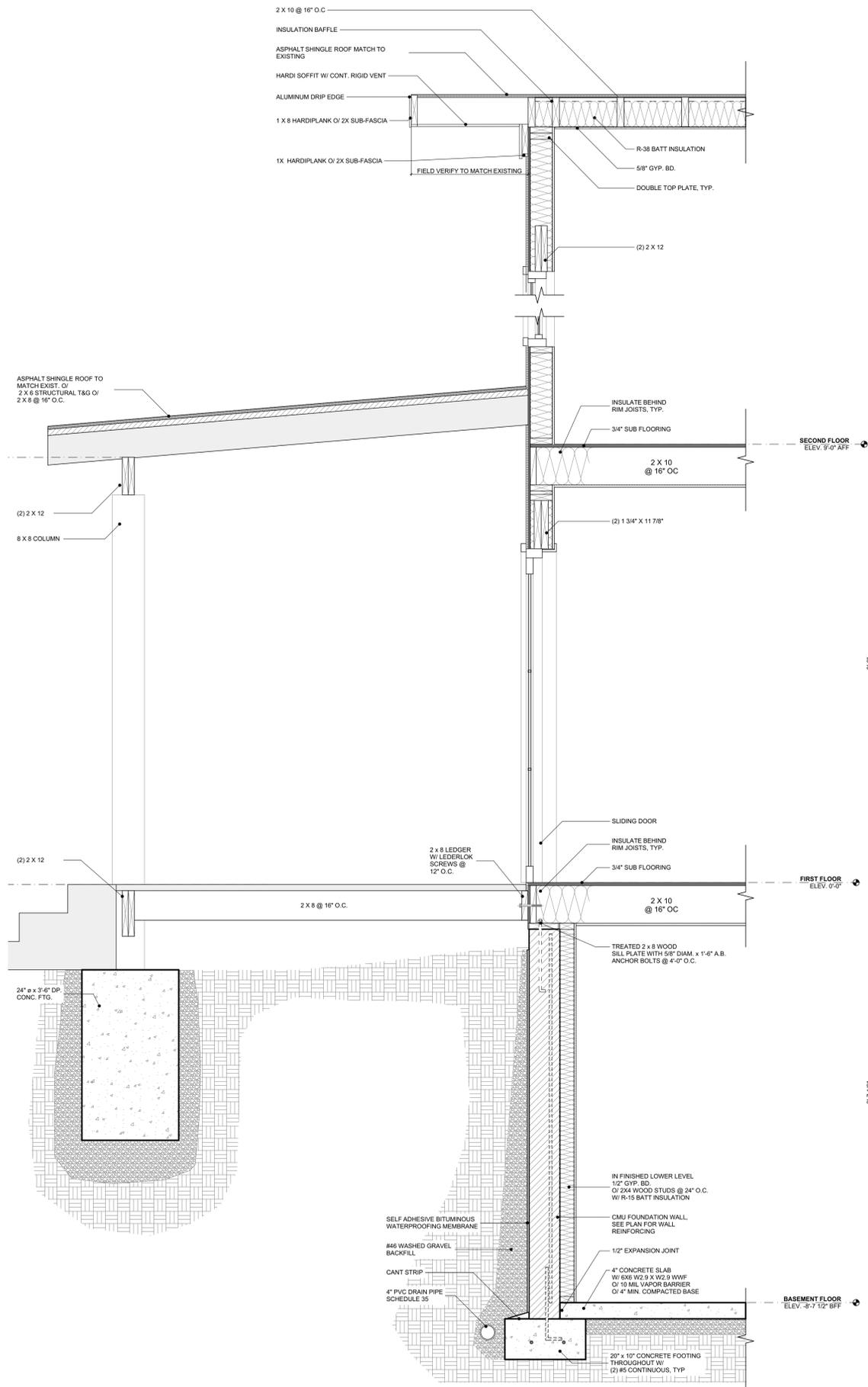


4 MASTER BEDROOM SECTION
SCALE: 1/4" = 1'-0"

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08/27/21	ARCHITECTURE REVIEW BOARD

SCALE AS NOTED

BUILDING SECTIONS



3 WALL SECTION AT BACK PORCH / TWO STORY
SCALE: 3/4" = 1'-0"

2 WALL SECTION AT OFFICE
SCALE: 3/4" = 1'-0"

1 WALL SECTION AT KITCHEN
SCALE: 3/4" = 1'-0"

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08/23/21	ARCHITECTURE REVIEW BOARD
08/27/21	ARCHITECTURE REVIEW BOARD

SCALE AS NOTED

WALL SECTIONS

A3.02