

# Residential Renovation for: Jeff & Kari Forsyth

## Situated in the State of Ohio, City of Hudson

### GENERAL NOTES:

**CONTRACTORS:**  
EACH CONTRACTOR IS TO FAMILIARIZE THEMSELVES WITH CONDITIONS AT THE JOB SITE PRIOR TO THE START OF THEIR WORK. DO NOT SCALE DRAWINGS. USE PLAN DIMENSIONS. IF DISCREPANCIES WITH DRAWINGS ARE DISCOVERED AT ANY TIME BEFORE OR DURING CONSTRUCTION NOTIFY PROJECT DESIGNER OR CONTRACTOR IMMEDIATELY BEFORE PROCEEDING. MAINTAIN ONE (1) COMPLETE SET OF APPROVED CONSTRUCTION DRAWINGS ON THE JOB SITE AT ALL TIMES. ALL WORK TO BE PERFORMED IN A GOOD WORKMANLIKE MANNER, IN ACCORDANCE WITH APPLICABLE CURRENT NATIONAL, STATE AND LOCAL CODES, ORDINANCES AND AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT. CONTRACTORS ARE RESPONSIBLE FOR LOCAL CODE INTERPRETATIONS FOR THEIR TRADE. ALL PRODUCTS AND MATERIALS TO BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. COORDINATE ALL UTILITIES PRIOR TO CONSTRUCTION. DEVIATION FROM THE CONSTRUCTION DOCUMENTS MUST FIRST BE APPROVED BY CONTRACTOR, AND AUTHORIZED THROUGH WRITTEN CHANGE ORDER FORM SUBMITTED BY THE CONTRACTOR. EACH CONTRACTOR IS RESPONSIBLE FOR DAILY CLEAN-UP AND REMOVAL OF DEBRIS FROM THE JOB SITE. ALL CONTRACTORS WILL GUARANTEE ALL MATERIALS AND WORKMANSHIP FOR THE PERIOD OF ONE (1) YEAR. IT IS UNDERSTOOD THAT THESE DRAWINGS ARE GENERIC WITH RESPECT TO CONSTRUCTION DETAILING, STRUCTURAL DETAILING AND FINISH DETAILING. THE OWNER AND CONTRACTOR ACCEPTS ALL RESULTING DETAILS AND AESTHETICS, SPECIFIED OR UNSPECIFIED, AND UNDER NO CIRCUMSTANCES SHALL THE DESIGNER BE HELD RESPONSIBLE.

**TRUSSES:**  
ALL TRUSSES ARE TO BE DESIGNED BY THE TRUSS MANUFACTURER WITH DETAILED DRAWINGS DESCRIBING TRUSS LAYOUTS AND LOAD CALCULATIONS USED TO DESIGN THE TRUSSES. IT IS THE BUILDER AND/OR OWNER'S RESPONSIBILITY TO SUPPLY ANY/OR ALL OF THIS INFORMATION IF REQUESTED BY THE BUILDING DEPARTMENT TO ISSUE BUILDING PERMITS. IT IS ALSO THE RESPONSIBILITY OF THE TRUSS MANUFACTURER TO VERIFY, AND IF NECESSARY, ADJUST THE SIZE OF OR ADD ANY BEAM OR HEADER THAT IS DIRECTLY EFFECTED OR REQUIRED TO CARRY THE ROOF LOADS. IN THIS EVENT, THE TRUSS MANUFACTURER SHALL CONTACT FIDEI ARCHITECTURE IN ORDER TO UPDATE THE DRAWINGS.

**SOIL BEARING:**  
FOUNDATIONS SHOWN ON THESE DRAWINGS ARE DESIGNED FOR AN ALLOWABLE SOIL BEARING PRESSURE OF 1,500 PSF. WALLS ARE DESIGNED FOR AN EQUIVALENT FLUID PRESSURE OF 55PCF. IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO DETERMINE THAT THE SOIL IS ADEQUATE TO SUPPORT THIS BUILDING ON THE FOUNDATION AND THE WALLS SHOWN AND ALSO, DETERMINING THAT THE TOTAL AND DIFFERENTIAL SETTLEMENTS OF THE FOUNDATIONS ARE WITHIN THE TOLERABLE LIMITS OF THIS STRUCTURE AND THAT 55PCF IS THE CORRECT WALL LOADINGS. THE BUILDER AND/OR OWNER IS ENCOURAGED TO OBTAIN THE SERVICES OF A SOILS ENGINEERING FIRM TO DETERMINE THE SUITABILITY OF THE FOUNDATIONS AND THE WALLS SHOWN ON THESE DRAWINGS TO SAFELY SUPPORT THE STRUCTURE WITH NO DETRIMENTAL EFFECT TO THE BUILDING.

**RADON:**  
IT IS THE RESPONSIBILITY OF THE BUILDER TO INFORM THE OWNER OR IF THE OWNER IS ACTING AS HIS OR HER OWN CONTRACTOR TO KNOW THAT ALL HOUSES HAVE A POTENTIAL TO HAVE RADON LEVELS WHICH MAY EXCEED THE RECOMMENDED LEVELS ESTABLISHED BY THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY. THE BUILDER AND/OR OWNER SHALL DECIDE WHAT ACTION, IF ANY, SHOULD BE TAKEN CONCERNING RADON. IT IS THE RESPONSIBILITY OF FIDEI ARCHITECTURE TO DETERMINE IF A RADON ABATEMENT SYSTEM IS REQUIRED.

**ATTICS:**  
ALL ENCLOSED ATTICS AND RAFTER SPACES SHALL HAVE CROSS VENTILATION WITH THE NET FREE VENTILATION AREA NOT LESS THAN 1/300 OF THE AREA TO BE VENTILATED. ALL OPENINGS SHALL BE PROTECTED AGAINST THE ENTRANCE OF THE SNOW AND RAIN.

**MECHANICALS:**  
ALL PLUMBING, ELECTRICAL, HEATING AND COOLING SYSTEMS SHALL COMPLY WITH ALL ORDINANCES SET FORTH BY THE LOCAL GOVERNING BUILDINGS AND ZONING DEPARTMENTS. PLUMBING SHALL ALSO COMPLY WITH THE OHIO PLUMBING CODE. ELECTRICAL SHALL ALSO COMPLY WITH THE NATIONAL ELECTRIC CODE AND THE OHIO BASIC BUILDING CODE.

**FIRE STOPPING:**  
SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: CONCEALED SPACES OF STUD WALLS AND PARTITIONS A THE CEILING AND FLOOR, OR ROOF LEVELS. AT ALL INTERCONNECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES SUCH AS OCCURS AT SOFFITS OVER CABINETS, DROP CEILINGS, ETC. ALSO AROUND VENTS, PIPES, AND CHIMNEYS AT CEILING AND FLOOR LEVELS WITH NON COMBUSTIBLE MATERIALS.

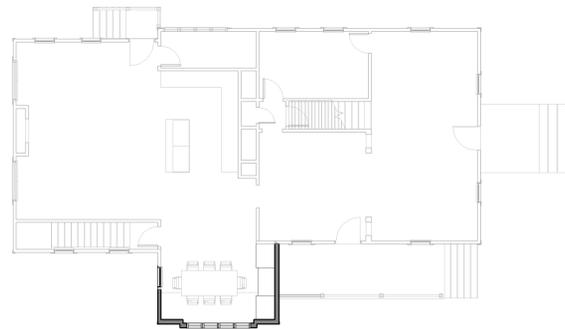
**INSULATION:**  
INSULATION SHALL BE INSTALLED AND ALSO COMPLY WITH ALL MINIMUM ORDINANCES SET FORTH BY THE LOCAL GOVERNING BUILDING AND ZONING DEPARTMENTS. REFER TO THE TYPICAL WALL SECTION FOR R-VALUES AND LOCATIONS.

### ABBREVIATIONS

|        |                         |          |                               |        |                  |
|--------|-------------------------|----------|-------------------------------|--------|------------------|
| A.F.F. | ABOVE FINISH FLOOR      | F.R.P.   | FIBERGLASS REINFORCED PLASTIC | P-LAM  | PLASTIC LAMINATE |
| ADJ    | ADJUSTABLE              | FRM'G    | FRAMING                       | POLY   | POLY URETHANE    |
| BD     | BOARD                   | G.C.     | GENERAL CONTRACTOR            | PTD    | PAINTED          |
| BLK'G  | BLOCKING                | GYP      | GYP'SUM                       | RAD    | RADIUS           |
| BR'G   | BEARING                 | HDWD     | HARDWOOD                      | R.A.   | RETURN AIR       |
| B.Z.A. | BOARD OF ZONING APPEALS | HDWR     | HARDWARE                      | S.A.   | SUPPLY AIR       |
| CLG    | CEILING                 | H.D.P.E. | HIGH DENSITY POLYETHYLENE     | STL    | STEEL            |
| DEG    | DEGREE(S)               | INSUL    | INSULATION                    | SUSP'D | SUSPENDED        |
| DIA    | DIAMETER                | MAX      | MAXIMUM                       | TYP    | TYPICAL          |
| DRWG   | DRAWING                 | MECH     | MECHANICAL                    | T.O.   | TOP OF           |
| EA     | EACH                    | MIN      | MINIMUM                       | T.O.S. | TOP OF SLAB      |
| EQUIP  | EQUIPMENT               | MTL      | METAL                         | T.O.W. | TOP OF WALL      |
| EX'G   | EXISTING                | O.C.     | ON CENTER                     | VERT   | VERTICAL         |
| FIN    | FINISH                  | P.A.     | PUBLIC ADDRESS                | w/     | WITH             |
| FG     | FIBERGLASS              | PLYWD    | PLYWOOD                       | WD.    | WOOD             |

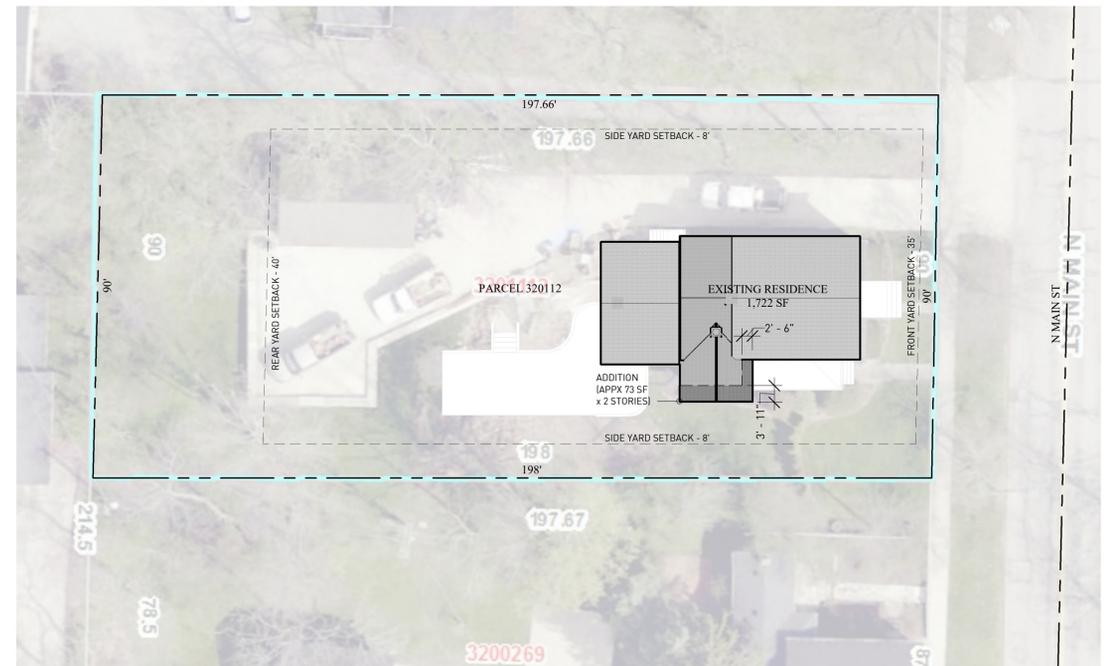
### LEGEND & SYMBOLS KEY

|  |                                |  |                                |
|--|--------------------------------|--|--------------------------------|
|  | GRAVEL FILL                    |  | ELEVATION DATUM                |
|  | EARTH                          |  | GROUND LEVEL<br>+ 0'-0" A.F.F. |
|  | GROUT OR STUCCO                |  | ROOM NAME                      |
|  | COUNTER TOP / DESK TOP         |  | ROOM NUMBER                    |
|  | DIMENSION LUMBER               |  | DOOR WIDTH                     |
|  | RIGID INSULATION               |  | DOOR HEIGHT                    |
|  | BATT INSULATION                |  | WINDOW NUMBER                  |
|  | MASONRY OR STONE               |  | PARTITION TYPE                 |
|  | CONCRETE MASONRY UNIT (C.M.U.) |  | EXTERIOR ELEVATION             |
|  | BRICK MASONRY UNIT             |  | DETAIL SECTION                 |
|  | PROPERTY LINE                  |  | BUILDING SECTION               |
|  | CENTER LINE                    |  |                                |
|  | RIDGE LINE                     |  |                                |



MAIN LEVEL KEY PLAN

| S.F. AREA TABULATION  |                 |
|---|-----------------|
| AREA OF ADDITION  | SQ. FT.         |
| MAIN LEVEL LIVABLE:   | 75 s.f.         |
| SECOND LEVEL LIVABLE:   | 75 s.f.         |
| <b>TOTAL ADITION:</b>   | <b>150 s.f.</b> |
| GARAGE:   | 0 s.f.          |
| PATIO(S) & PORCHES:   | 0 s.f.          |
| <b>LIVABLE AREA:</b><br>CALCULATIONS ARE CALCULATED FROM THE OUTSIDE FACE OF EXTERIOR WALLS, STAIRWELLS AND FIREPLACE AREAS ARE INCLUDED. |                 |
| <b>NON-LIVABLE AREA:</b><br>GARAGES, VERANDA, DECKS, PATIOS, AND EXTERIOR PORCH AREAS   |                 |



SITE PLAN

| APPLICATION INFORMATION |   |          |              |               |            |
|-------------------------|---|----------|--------------|---------------|------------|
| PROJECT LOCATION:       | HUDSON, OHIO 44236  |          |              |               |            |
| TYPE OF IMPROVEMENT:    | NEW BUILD   | ADDITION | ALTERATION   | CHANGE OF USE | OTHER      |
| TYPE OF USE:            | SINGLE FAMILY   | DUPLEX   | MULTI-FAMILY | # UNITS       | COMMERCIAL |
|                         | INDUSTRIAL  | DECK     | POOL         | GARAGE        | SHED       |
| USE GROUP:              | A-1 A-2 A-3 A-4 A-5 B E F-1 F-2 H-1 H-2 H-3 H-4 H-5   |          |              |               |            |
|                         | I-1 I-2 I-3 I-4 M R-1 R-2 R-3 R-4 S-1 S-2 U   |          |              |               |            |
| TYPE OF CONSTRUCTION:   | I-A I-B II-A II-B III-A III-B IV V-A V-B  |          |              |               |            |
| PROJECT OWNER:          | JEFF & KARI FORSYTH<br>ADDRESS: 258 N MAIN ST - HUDSON, OH 44236 EMAIL: jeff.forsyth@kpsglobal.com              |          |              |               |            |
| PROJECT CONTRACTOR:     | ALAIR HOMES<br>ADDRESS: 10 WEST STREETSBORO ST., SUITE 201 HUDSON, OH 44236 EMAIL: david.nystrom@alairhomes.com |          |              |               |            |
| PROJECT DESIGNER:       | fidei architecture<br>ADDRESS: 2850B W MARKET ST FAIRLAWN, OH 44333 EMAIL: mbenedict@fideiarch.com              |          |              |               |            |

### DRAWING INDEX

#### SHEET No. DESCRIPTION

|      |                                |
|------|--------------------------------|
| t1.0 | TITLE SHEET                    |
| a1.1 | ELEVATIONS                     |
| a1.2 | ELEVATIONS                     |
| a2.3 | MAIN LEVEL AND FOUNDATION PLAN |
| a2.5 | SECOND LEVEL AND ROOF PLAN     |
| a3.1 | SECTIONS                       |

PROJECT DESIGNER:  
PHONE: (330) 267-3152  
2850B WEST MARKET ST  
FAIRLAWN, OHIO 44333  
mbenedict@fideiarch.com

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architecture

fidei

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PROJECT CONTRACTOR:

ALAIR  
CUSTOMER SERVICE / RENOVATIONS  
COMMERCIAL  
440-893-9600  
10 WEST STREETSBORO ST., SUITE 201  
HUDSON, OH 44236  
ALAIR@ALAIRHOMES.COM

PROJECT LOCATION:

258 N Main St  
Hudson, OH  
44236

Residential Renovation for:  
**ALAIR HOMES - THE FORSYTHS**

PRINT RECORD:  
No. Description Date  
1 CO REV 10/22/2020  
2 ARS REV 04/07/2021

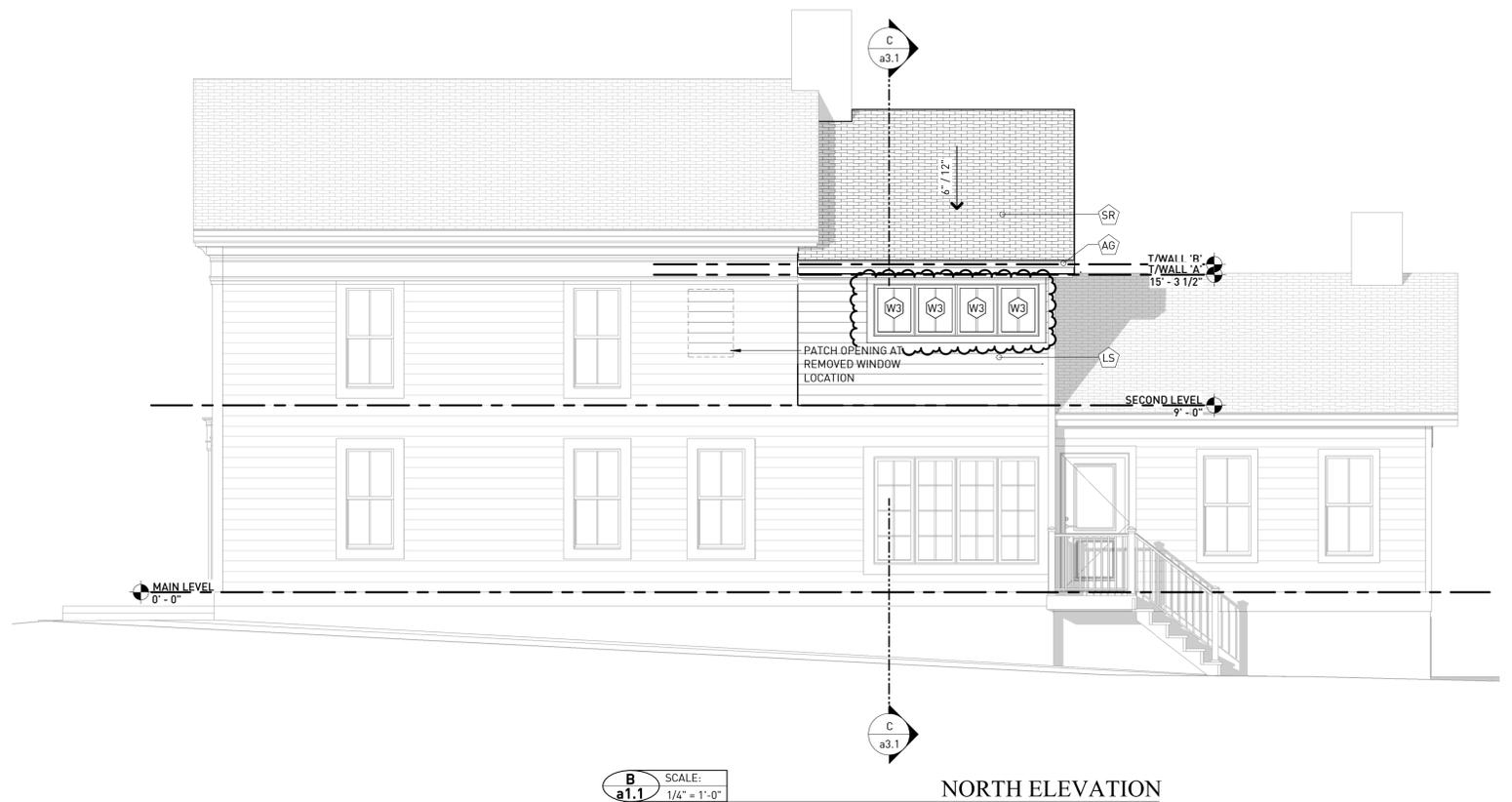
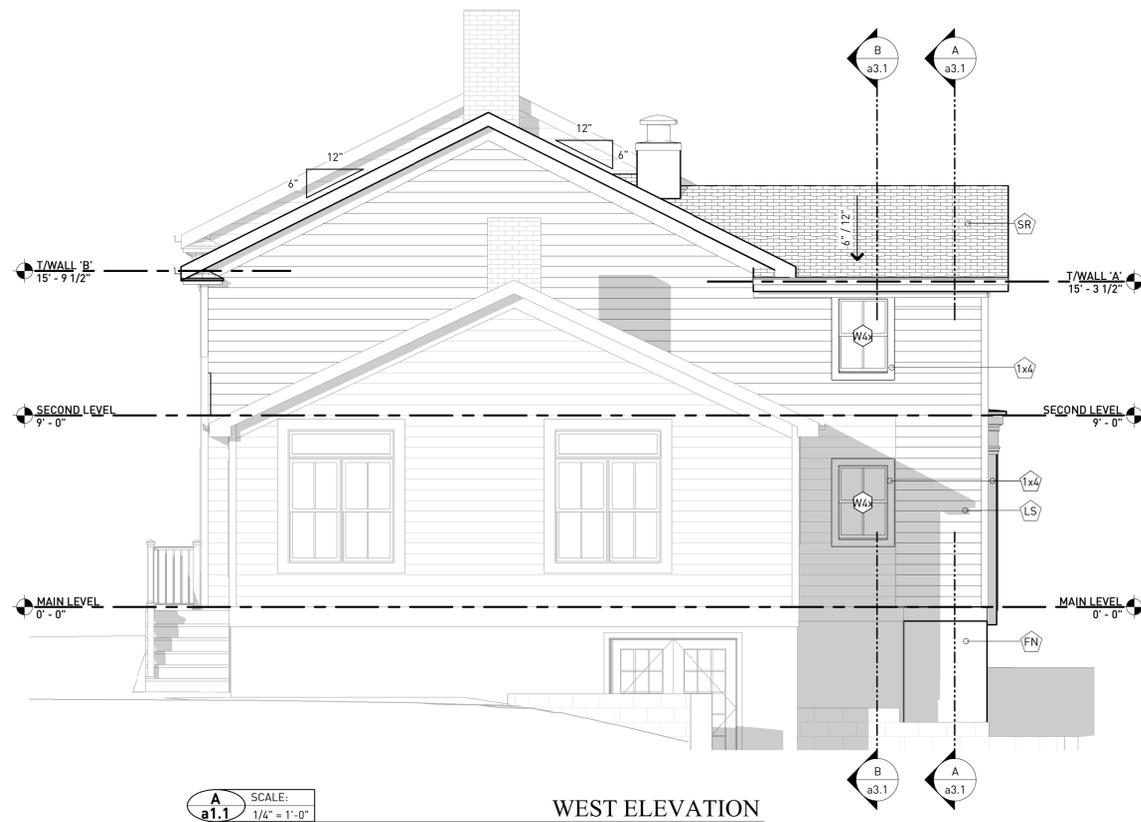
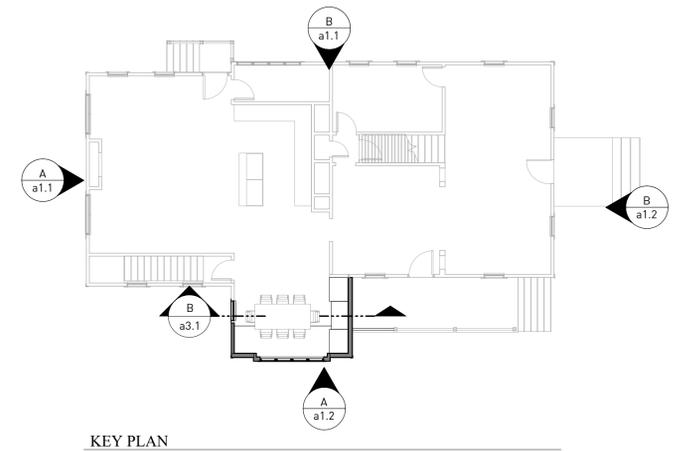
JOB No.  
TITLE SHEET

RELEASED FOR CONSTRUCTION  
 NOT RELEASED FOR CONSTRUCTION

t1.0

Approved

Reviewed by Nick Sugar  
06/11/2020, 1:33:29 PM



| WINDOW SCHEDULE |             |             |            |              |          |          |        |             |                                 |
|-----------------|-------------|-------------|------------|--------------|----------|----------|--------|-------------|---------------------------------|
| TYPE            | TYPE        | NOM. HEIGHT | NOM. WIDTH | LEVEL        | SILL HT. | HEAD HT. | HEADER | TEMP. GLASS | COMMENTS                        |
| W1              | CASEMENT    | 5'-0"       | 2'-0"      | MAIN LEVEL   | 1'-8"    | 6'-8"    | H-1    |             | MULLED w/ OTHER 'W1's           |
| W1              | CASEMENT    | 5'-0"       | 2'-0"      | MAIN LEVEL   | 1'-8"    | 6'-8"    | H-1    |             | MULLED w/ OTHER 'W1's           |
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| W1              | CASEMENT    | 5'-0"       | 2'-0"      | MAIN LEVEL   | 1'-8"    | 6'-8"    | H-1    |             | MULLED w/ OTHER 'W1's           |
| W2              | CASEMENT    | 1'-8"       | 4'-0"      | MAIN LEVEL   | 0'-0"    | 1'-8"    | H-1    | YES         | MULLED w/ OTHER 'W2'            |
| W2              | CASEMENT    | 1'-8"       | 4'-0"      | MAIN LEVEL   | 0'-0"    | 1'-8"    | H-1    | YES         | MULLED w/ OTHER 'W2'            |
| W3              | CASEMENT    | 2'-6"       | 2'-0"      | SECOND LEVEL | 3'-2"    | 5'-8"    | H-1    |             | MULLED w/ [3] OTHER 'W3's       |
| W3              | CASEMENT    | 2'-6"       | 2'-0"      | SECOND LEVEL | 3'-2"    | 5'-8"    | H-1    |             | MULLED w/ [3] OTHER 'W3's       |
| W3              | CASEMENT    | 2'-6"       | 2'-0"      | SECOND LEVEL | 3'-2"    | 5'-8"    | H-1    |             | MULLED w/ [3] OTHER 'W3's       |
| W3              | CASEMENT    | 2'-6"       | 2'-0"      | SECOND LEVEL | 3'-2"    | 5'-8"    | H-1    |             | MULLED w/ [3] OTHER 'W3's       |
| W4x             | DOUBLE HUNG | 3'-7"       | 2'-6"      | MAIN LEVEL   | 3'-2"    | 6'-9"    | H-3    |             | RELOCATED FROM EX'G DINING ROOM |
| W4x             | DOUBLE HUNG | 3'-7"       | 2'-6"      | SECOND LEVEL | 2'-0"    | 5'-7"    | H-2    |             | RELOCATED FROM EX'G DINING ROOM |
| W5              | DOUBLE HUNG | 4'-9"       | 2'-6"      | SECOND LEVEL | 0'-10"   | 5'-7"    | H-2    | YES         |                                 |

**ELEVATION NOTES**

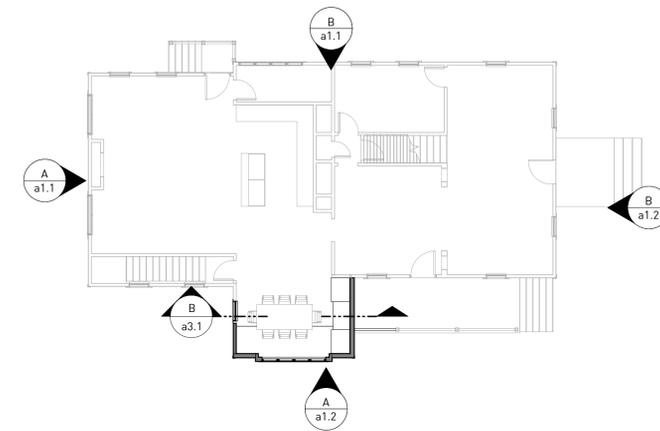
- STUCCO SHALL BE INSTALLED WITH MINIMUM .019" (No.26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT WEEP SCREED OR PLASTIC WEEP CREED WITH MINIMUM BELOW THE FOUNDATION PLATE LINE ON THE EXTERIOR STUD WALLS IN ACCORDANCE WITH ASTM C 926. THE WEEP SCREED SHALL BE PLACED A MINIMUM OF 4" ABOVE VERTICAL ATTACHMENT FLANGE OF 3-1/2" PROVIDED AT OR THE EARTH OR 2" ABOVE PAVED AREAS AND SHALL BE OF THE TYPE THAT WILL BE ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE WEATHER-RESISTANT BARRIER SHALL LAP THE ATTACHMENT FLANGE. THE EXTERIOR LATH SHALL COVER AND TERMINATE ON THE ATTACHMENT FLANGE OF THE WEEP SCREED.
- ELEVATIONS SHOWN GRAPHICALLY INDICATE BASEMENT FOUNDATION CONDITIONS.
- ALL ROOF SADDLES TO BE PLYWOOD SHEATHED W/ BUILDING PAPER AND SHINGLES.
- CONTINUOUS RIDGE VENTS TO BE BAFFLED TO PREVENT BACK FLOW
- ALL EXTERIOR WOOD TO BE PRIMED BEFORE INSTALLATION
- ALL WINDOW GRILLS TO MATCH ELEVATIONS
- CONTRACTOR TO PROVIDE PROPER FLASHING AT ALL EXTERIOR DOORS & WINDOWS
- PROVIDE ROOF SADDLE TO DRAIN AWAY FROM BACK SIDE OF CHIMNEY - PROVIDE ALL PROPER FLASHING
- Ⓛ DENOTES GLAZING TO BE TEMPERED

**EXTERIOR FINISH LEGEND**

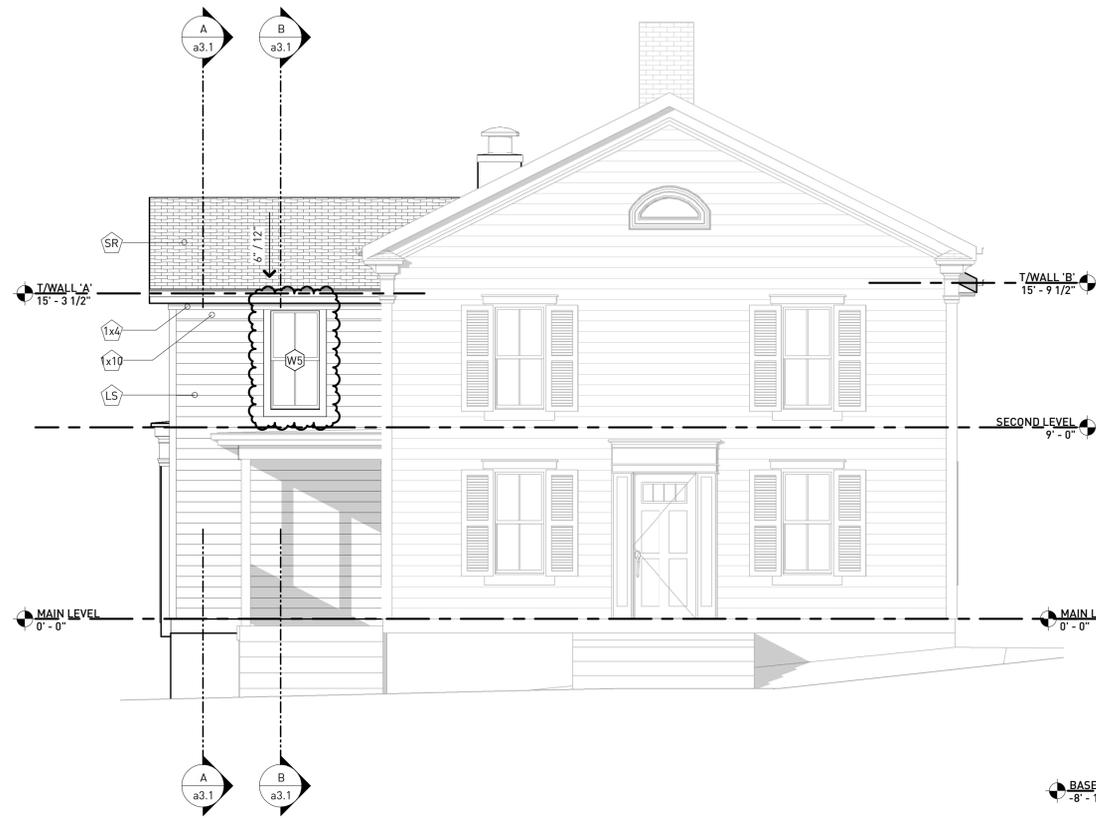
| NO. | DESCRIPTION   | HATCH PATTERN   | NO.  | DESCRIPTION  |
|-----|---|-----------------|------|--|
| SR  | SHINGLE ROOFING: BASIS OF DESIGN, GAF SLATELINE (ANTIQUE SLATE) 30 YEAR ARCHITECTURAL ASPHALT SHINGLES ON 15# FELT W/ ICE AND WATER SHIELD AS REQUIRED. ASSEMBLY TO BE INSTALLED PER MFC REQUIREMENTS | [Hatch Pattern] | CM   | CROWN MOLDING: ARCHITECTURE CROWN MOLDING, COLOR TO BE DETERMINED    |
| FN  | FOUNDATION: CMU FOUNDATIONS WITH STUCCO FINISH TO MATCH EXISTING, ADJACENT FOUNDATIONS  | [Hatch Pattern] | AG   | ALUMINUM GUTTERS: AND DOWN SPOUTS TO MATCH FASCIA AND SOFFIT COLOR   |
| LS  | LAP SIDING: WOOD LAP SIDING EXPOSURE, COLOR, SPECIES, & STYLE TO BE DETERMINED  | [Hatch Pattern] | RV   | RIDGE VENT: CONTINUOUS RIDGE VENTS TO BE BAFFLED TO PREVENT BACKFLOW |
|     |   |                 | 1X10 | 1 X 10 BD.COMPOSITE OR EQUAL COLOR TO MATCH WINDOWS SASH             |
|     |   |                 | 1X8  | 1 X 8 BD.COMPOSITE OR EQUAL COLOR TO MATCH WINDOWS SASH              |
|     |   |                 | 1X6  | 1 X 6 BD.COMPOSITE OR EQUAL COLOR TO MATCH WINDOWS SASH              |

Approved

Reviewed by Nick Sugar  
06/11/2020, 1:33:33 PM

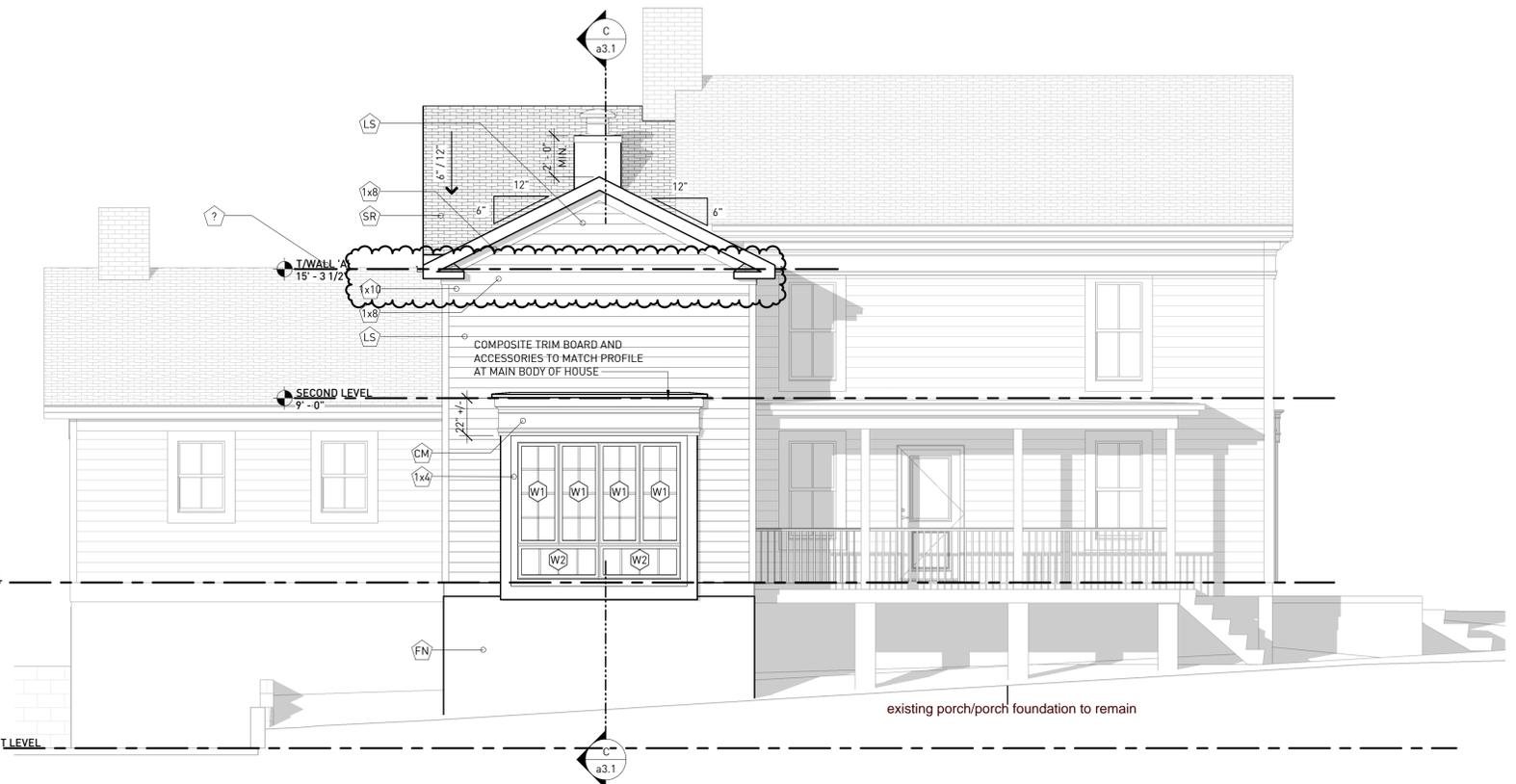


KEY PLAN



EAST ELEVATION

SCALE:  
1/4" = 1'-0"



SOUTH ELEVATION

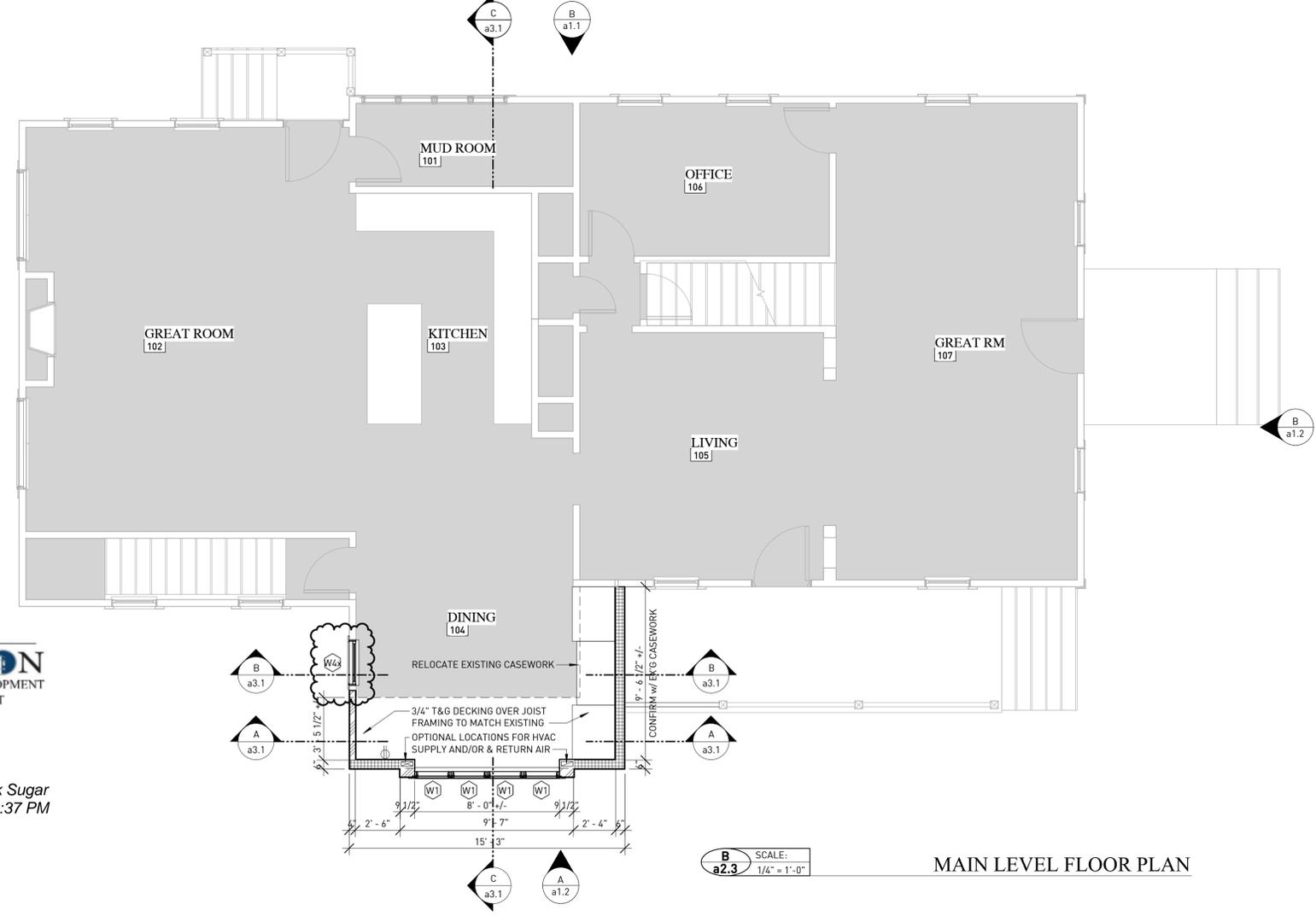
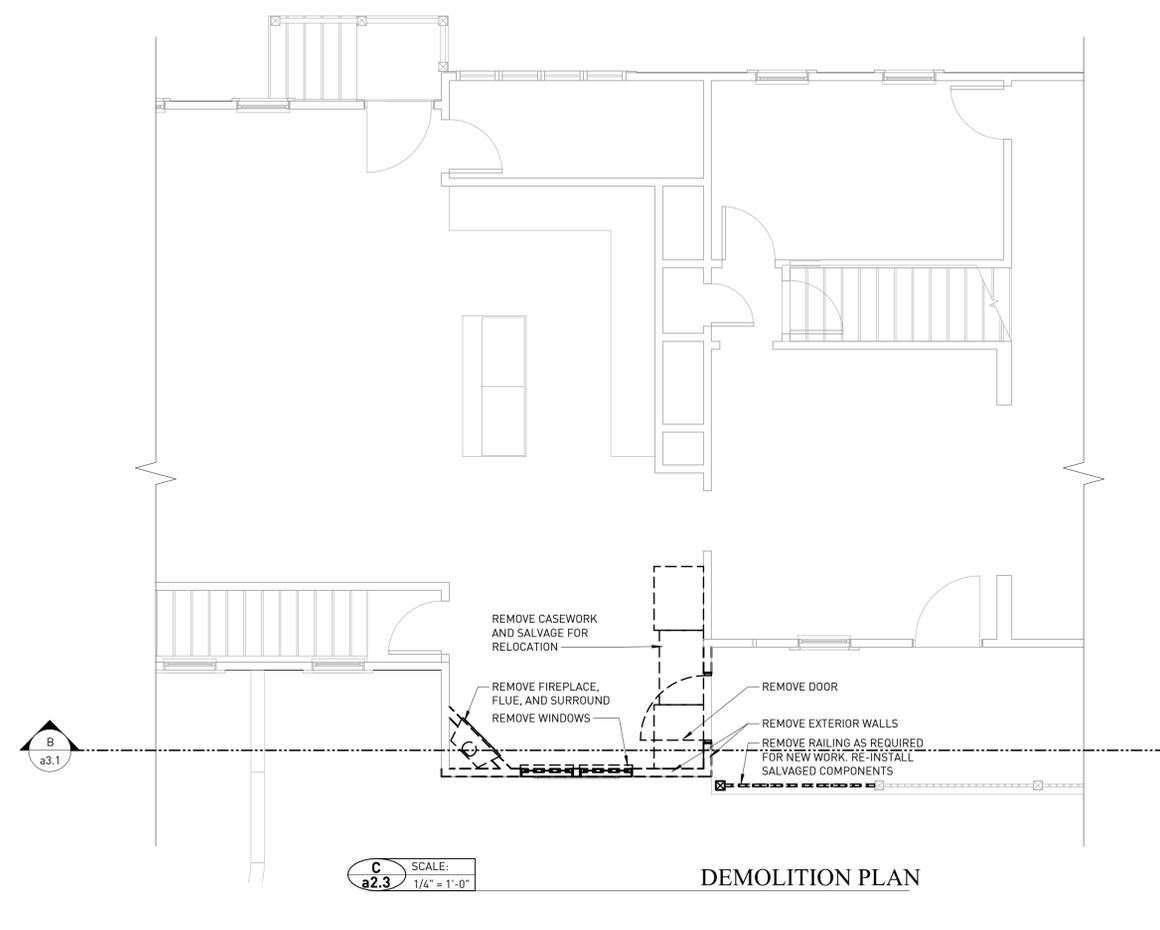
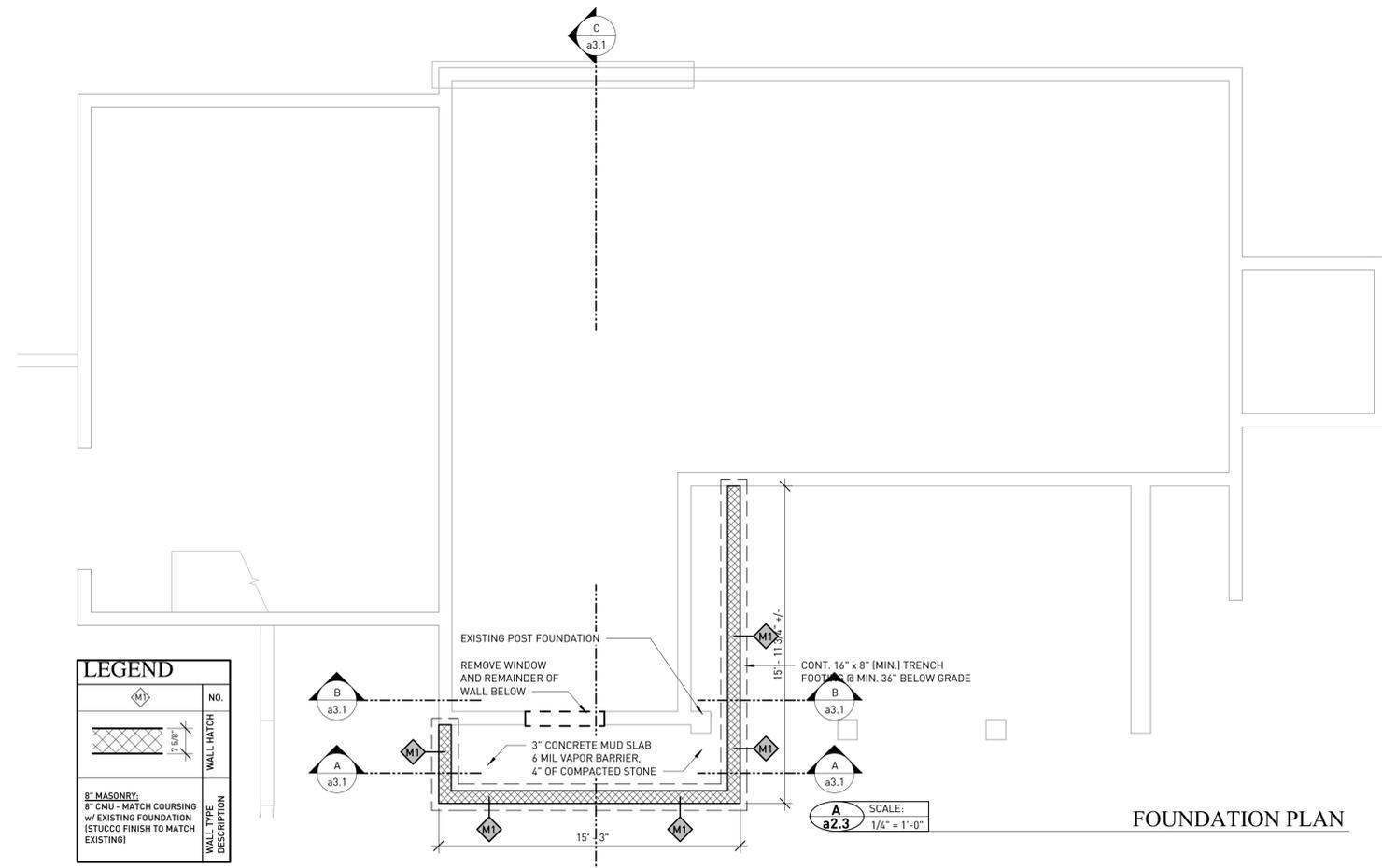
SCALE:  
1/4" = 1'-0"

**ELEVATION NOTES**

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- 2 ELEVATIONS SHOWN GRAPHICALLY INDICATE BASEMENT FOUNDATION CONDITIONS.
- 3 ALL ROOF SADDLES TO BE PLYWOOD SHEATHED W/ BUILDING PAPER AND SHINGLES.
- 4 CONTINUOUS RIDGE VENTS TO BE BAFFLED TO PREVENT BACK FLOW
- 5 ALL EXTERIOR WOOD TO BE PRIMED BEFORE INSTALLATION
- 6 ALL WINDOW GRILLS TO MATCH ELEVATIONS
- 7 CONTRACTOR TO PROVIDE PROPER FLASHING AT ALL EXTERIOR DOORS & WINDOWS
- 8 PROVIDE ROOF SADDLE TO DRAIN AWAY FROM BACK SIDE OF CHIMNEY - PROVIDE ALL PROPER FLASHING
- 9 DENOTES GLAZING TO BE TEMPERED

**EXTERIOR FINISH LEGEND**

| NO. | DESCRIPTION  | HATCH PATTERN | NO. | DESCRIPTION  |
|-----|--|---------------|-----|--|
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|     |  |               | X6  | 1 X 6 BD.COMPOSITE OR EQUAL COLOR TO MATCH WINDOWS SASH              |



| FOUNDATION NOTES   | HEADERS  |       |                            |       |                           |       |                                |
|--|--|-------|----------------------------|-------|---------------------------|-------|--------------------------------|
| <ol style="list-style-type: none"> <li>DO NOT SCALE DRAWINGS. IF ANY DISCREPANCIES ARISE PLEASE CONTACT THE PROJECT MANAGER AND DESIGNER.</li> <li>CONCRETE AND MASONRY FOUNDATION WALLS TO COMPLY W/ SECT 404 IN THE RCD.</li> <li>CONCRETE TO BE A MIN. 3000 PSI COMPRESSIVE STRENGTH.</li> <li>FOOTING DESIGN ASSUMES A SOIL-BEARING CAPACITY OF 1,500 PSF.</li> <li>ALL FOOTINGS SHALL BEAR ON UNDISTURBED SOIL (36" BELOW FINISH GRADE (MIN.))</li> <li>REFERENCE FLOOR PLANS FOR PLUMBING LOCATIONS</li> </ol> | <table border="1"> <tr> <td>[H-1]</td> <td>(3) 2x10's + 1" RIGID FOAM</td> </tr> <tr> <td>[H-2]</td> <td>(3) 2x8's + 1" RIGID FOAM</td> </tr> <tr> <td>[H-3]</td> <td>(2) 2x10's + 1/2" PLYWD FLITCH</td> </tr> </table> | [H-1] | (3) 2x10's + 1" RIGID FOAM | [H-2] | (3) 2x8's + 1" RIGID FOAM | [H-3] | (2) 2x10's + 1/2" PLYWD FLITCH |
| [H-1]  | (3) 2x10's + 1" RIGID FOAM   |       |                            |       |                           |       |                                |
| [H-2]  | (3) 2x8's + 1" RIGID FOAM  |       |                            |       |                           |       |                                |
| [H-3]  | (2) 2x10's + 1/2" PLYWD FLITCH   |       |                            |       |                           |       |                                |

| STRUCTURAL NOTES  |
|---|
| <ol style="list-style-type: none"> <li>THESE REQUIREMENTS MAY BE SUPERCEDED BY MORE STRINGENT INFORMATION CONTAINED WITHIN THE DRAWINGS. THE MORE STRINGENT SHALL BE FOLLOWED.</li> <li>SOIL CONDITIONS SHALL CONFORM TO THE FOLLOWING CONDITIONS: <ol style="list-style-type: none"> <li>BEARING CAPACITY - 1,500 PSF MAX.</li> <li>WATER TABLE - SHALL BE BELOW BOTTOM OF LOWEST FLOOR</li> <li>LINE OF STRUCTURE WHEN WATERABLE FOUND ABOVE, NOTIFY ENGINEER OF RECORD IMMEDIATELY.</li> </ol> </li> <li>UNLESS OTHERWISE NOTED, MINIMUM CONCRETE FOOTING WIDTHS SHALL BE: <ol style="list-style-type: none"> <li>1-STORY, NO BRICK VENEER - 16 IN.</li> <li>2-STORY, NO BRICK VENEER - 16 IN.</li> <li>1-STORY, WITH BRICK VENEER - 17 IN.</li> <li>2-STORY, WITH BRICK VENEER - 21 IN.</li> </ol> </li> <li>FREE DRAINING GRANULAR BACKFILL SHALL BE USED AGAINST FOUNDATION WALLS. ALL BACKFILL SHALL BE FREE OF VEGETATION AND FOREIGN MATERIAL SUCH AS ORGANIC MATERIALS, DEBRIS, PIECES OF DEMOLISHED CONCRETE, OR ANY OTHER HARD AND/OR POINTED OBJECTS SPECIFICALLY LARGER THAN FOUR INCHES IN DIAMETER FOR WALLS WITH UNBALANCED BACKFILL GREATER THAN 4 FEET. BRACING IS REQUIRED TO PREVENT DAMAGE BY THE BACKFILL. THE MINIMUM HEIGHT OF BACKFILL ABOVE THE FOOTING SHALL BE 4 INCHES ABOVE THE FOOTING FOR A MINIMUM WIDTH OF 12 INCHES BEYOND THE FOOTING EDGE. ALL DRAIN TILES SHALL SIT ON TOP OF A MINIMUM OF 2 INCHES OF WASHED GRAVEL, AND BE COVERED BY NOT LESS THAN 4 INCHES OF THE SAME MATERIAL.</li> <li>FASTENERS FOR PRESSURE TREATED OR FIRE-RETARDANT WOOD SHALL BE HOT-DIPPED GALVANIZED STEEL, STAINLESS STEEL, OR COPPER</li> <li>ALL WALL SILL PLATES BEARING DIRECTLY ON FOUNDATION WALLS SHALL BE ANCHORED WITH 1/2" DIAMETER ANCHOR BOLTS OR APPROVED GALVANIZED STEEL ANCHORS INTO THE WALL A MINIMUM OF 7 INCHES OF EMBEDMENT. MINIMUM TWO ANCHORS PER SECTION OF PLATE. MAXIMUM SPACING OF ANCHORS IS 6'-0". ANCHORS SHALL BE PLACED WITHIN 12 INCHES FROM EACH END OF EACH PLATE.</li> <li>PLYWOOD SUBFLOORS SHALL BE GLUED AND NAILED TO THE FLOOR JOISTS WITH APA APPROVED ELASTOMERIC STRUCTURAL ADHESIVE AND 8d COMMON NAILS SPACED AT 4 INCHES ON-CENTER AT PANEL EDGES AND 12 INCHES ON-CENTER AT INTERMEDIATE SUPPORTS.</li> <li>ALL REINFORCING STEEL (REBAR OR BARI) SHALL CONFORM TO ASTM A-615, GRADE 60 (60,000 psi)</li> <li>MAXIMUM SLUMP OF 5 INCHES</li> <li>ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI 318-05</li> </ol> |

| WALL TYPE LEGEND | NO. | WALL HATCH | WALL TYPE DESCRIPTION   |
|------------------|-----|------------|---|
| [Hatch]          | W1  | [Hatch]    | INTERIOR 2x4 WALL : 1/2" GYP. BOARD ON BOTH SIDES OF 2x4 WD. STUDS @ 16" O.C. W/ R-13 SOUND INSULATIONTYPE 1.1: GYP. BD ON ONE SIDE ONLY    |
| [Hatch]          | W2  | [Hatch]    | INTERIOR 2x4 WALL : 1/2" GYP. BOARD ON BOTH SIDES OF 2x4 WD. STUDS @ 16" O.C.   |
| [Hatch]          | W3  | [Hatch]    | INTERIOR 2x6 WALL : 1/2" GYP. BOARD ON BOTH SIDES OF 2x4 WD. STUDS @ 16" O.C. W/ R-13 SOUND INSULATIONTYPE 3.1: GYP. BD ON ONE SIDE ONLY    |
| [Hatch]          | W4  | [Hatch]    | EXTERIOR 2x4 WALL : 1/2" OSB BOARD ON EXTERIOR SIDE OF 2x4 WD. STUDS @ 16" O.C. W/ 7/8" GYP. BOARD ON INTERIOR SIDE W/ R-15 INSULATION      |
| [Hatch]          | W5  | [Hatch]    | EXTERIOR 2x6 WALL : 1" RS ZIP SHEATHING ON EXTERIOR SIDE OF 2x4 WD. STUDS @ 16" O.C. W/ 7/8" GYP. BOARD ON INTERIOR SIDE W/ R-15 INSULATION |

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### ELECTRICAL NOTES

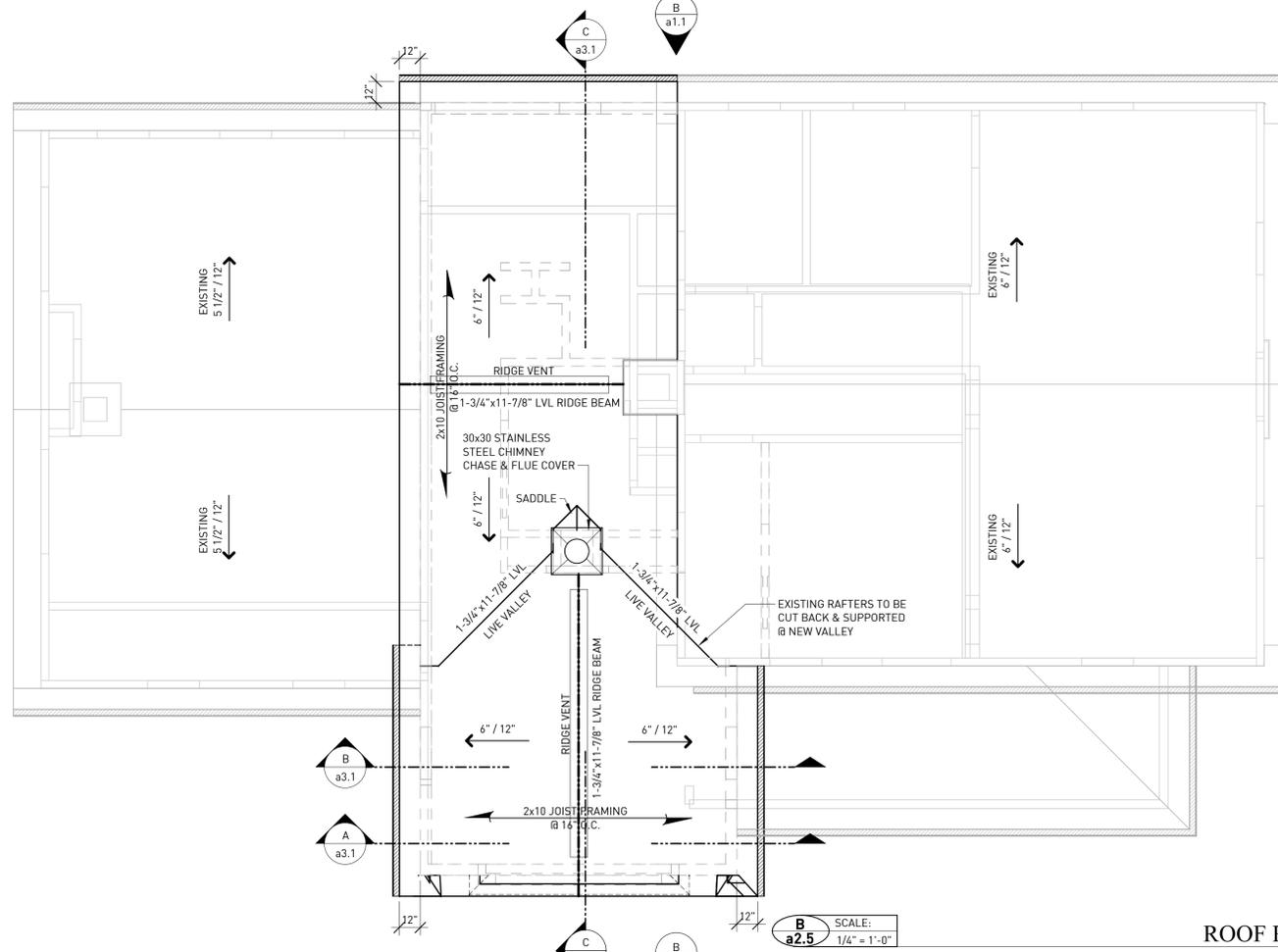
- PROVIDE BATHROOM EXHAUST FANS WITH A MINIMUM VENTILATION RATE OF 75 CFM. EXHAUST FANS TO BE VENTED DIRECTLY TO THE OUTSIDE (COMPLY W/ RCO R303.3).
- INTERCONNECTED SMOKE DETECTORS TO BE INSTALLED IN EACH SLEEPING ROOM AND OUTSIDE EACH SLEEPING AREA AND ON EACH ADDITIONAL STORY. SMOKE DETECTOR'S PRIMARY WIRING SHALL BE BUILDING POWER WITH BATTERY BACKUP. (COMPLY W/ RCO R313.1).
- LIGHT FIXTURES IN CLOSETS (INCANDESCENT AND FLUORESCENT) SHALL BE ENCLOSED (COMPLY W/ RCO).

### POWER SYMBOLS

| SYMBOL | DESCRIPTION   |
|--------|---|
|        | DUPLEX RECEPTACLE   |
|        | G.F.C.I. DUPLEX RECEPTACLE  |
|        | SINGLE POLE SWITCH  |
|        | 3-WAY POLE SWITCH   |
|        | DATA/TV JACK  |
|        | EXHAUST FAN TO EXTERIOR OF HOUSE (OPTIONAL LIGHT VERIFY W/ OWNER) |
|        | SMOKE DETECTOR INTER CONNECTED & CO2 DETECTOR                     |
|        | SMOKE DETECTOR  |

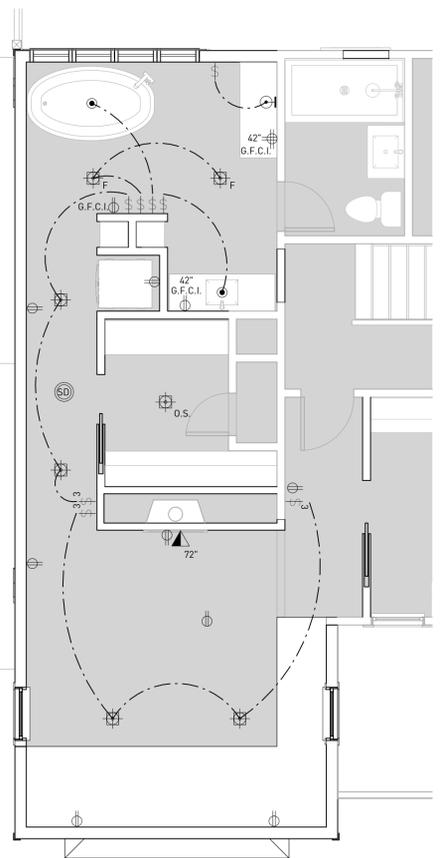
### LIGHTING SYMBOLS

| SYMBOL | DESCRIPTION                   |
|--------|-------------------------------|
|        | 6\"/>                         |
|        | 6\"/>                         |
|        | PENDANT LIGHT FIXTURE         |
|        | CEILING MOUNTED LIGHT FIXTURE |
|        | WALL MOUNTED LIGHT FIXTURE    |
|        | CEILING FAN/LIGHT             |

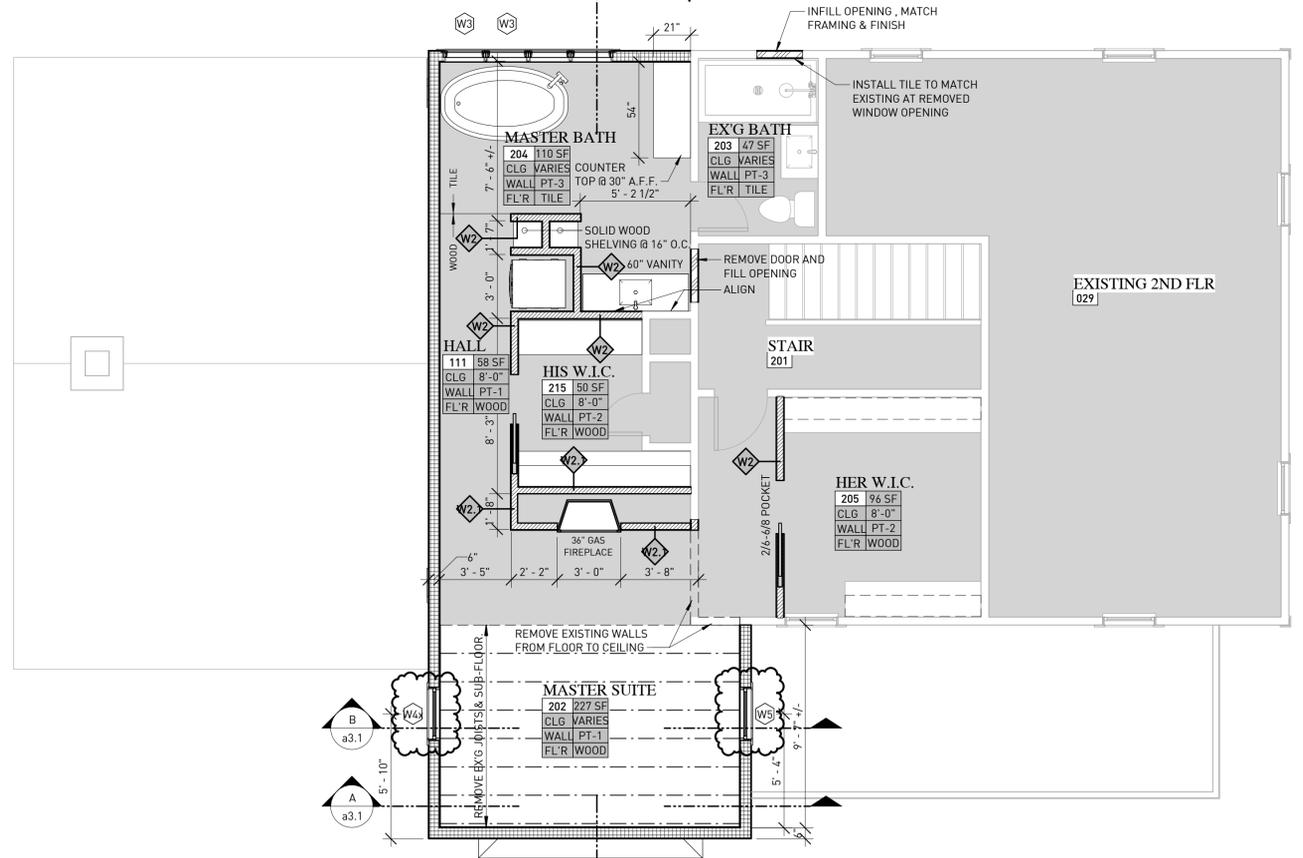


ROOF PLAN

- ### ROOF NOTES:
- DO NOT SCALE DRAWINGS. IF ANY DISCREPANCIES ARISE PLEASE CONTACT THE PROJECT MANAGER AND DESIGNER.
  - STRUCTURAL FRAMING MEMBERS TO BE SPF #2
  - ALL TRUSSES TO BE PRE-ENGINEERED BY TRUSS MFG. (SEE TRUSS SECTIONS IF APPLICABLE).
  - CALCULATE ALL TRUSSES TO MAINTAIN NOTED SOFFIT HEIGHTS AND OVERHANG DIMENSIONS.
  - TYPICAL EXTERIOR OR BEARING HEADER IS 3 - 2 x 10'S @ 2 x 6 WALLS AND 2 - 2 x 10'S @ 2 x 4 WALLS, UNLESS NOTED OTHERWISE
  - ALL INTERIOR NON-BEARING HEADERS LESS THAN 4'-0" SPAN TO BE TWO 2 x 4'S EXCEPT AS NOTED.
  - TYP. SOLID FRAMING POSTS TO BE MIN. OF 3 - 2 x 4'S EXCEPT AS NOTED BY TRUSS MFG.
  - TRUSS CLIPS, HANGERS, AND STRUCTURAL CONNECTIONS FOR TRUSS SYSTEM TO BE SPECIFIED BY THE TRUSS MANUFACTURER ON SEALED TRUSS ENGINEERING PLANS.
  - ALL ENGINEERED BEAMS ARE DESIGNED WITH LOADS AS FOLLOWS:  
ROOF LOAD 20 PSF LIVE LOAD  
20 PSF DEAD LOAD
  - PROVIDE PROPER THICKNESS AND SPANS OF SHEATHING FOR ROOFS AND SUBFLOORS (COMPLY W/ RCO R503).
  - ROOF VENTS TO MEET 1:150 VENT AREA RATIO (COMPLY W/ RCO R806).
  - AN ATTIC ACCESS (22" x 30" MIN.) SHALL BE PROVIDED TO ANY ATTIC HAVING 30" OF CLEAR HEIGHT (COMPLY W/ RCO R807).
  - ALL BEAMS TO BE 1.9E UNLESS OTHERWISE NOTED.



SECOND LEVEL ELECTRICAL



SECOND LEVEL PLAN

### WALL TYPE LEGEND

| NO. | WALL TYPE DESCRIPTION       |
|-----|-----------------------------|
| W1  | INTERIOR 2x4 WALL : 5/8\"/> |
| W2  | INTERIOR 2x4 WALL : 5/8\"/> |
| W3  | INTERIOR 2x6 WALL : 5/8\"/> |
| W4  | EXTERIOR 2x4 WALL : 5/8\"/> |
| W5  | EXTERIOR 2x6 WALL : 5/8\"/> |

PROJECT DESIGNER:  
PHONE: (330) 267-3152  
2850B WEST MARKET ST  
FAIRLAWN, OHIO 44333  
mbenedict@fideiarch.com

**fidei**  
architecture

OHIO  
**HUDSON**  
COMMUNITY DEVELOPMENT  
DEPARTMENT

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06/11/2020, 1:33:40 PM

PROJECT CONTRACTOR:  
**ALAIR**  
COMMERCIAL  
440-893-9600  
10 WEST STEVENSON ST., SUITE 201  
HUDSON, OH 44236  
ALAIR@ALAIR.COM

PROJECT LOCATION:  
258 N Main St  
Hudson, OH  
44236

PRINT RECORD:  
No. Description Date  
1 CD REV 06/22/2020  
2 IARB REV 06/09/2020

JOB No.  
SECOND LEVEL AND  
ROOF PLAN

RELEASED FOR  
CONSTRUCTION  
 NOT RELEASED  
FOR  
CONSTRUCTION

Residential Renovation for:  
**ALAIR HOMES - THE FORSYTHS**

a2.5

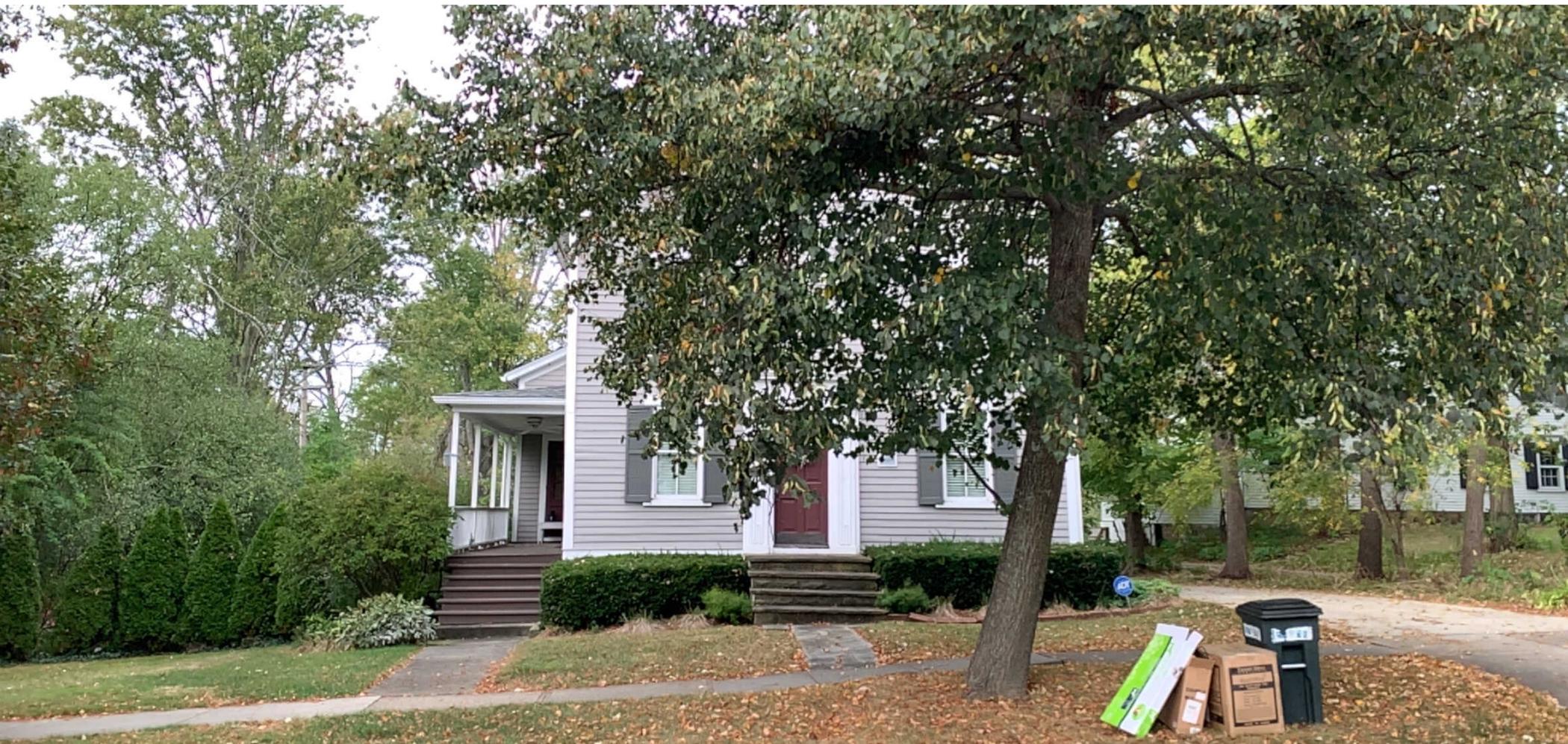
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06/11/2020, 1:33:47 PM



[VIEW 3D MODEL](#)

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06/11/2020, 1:33:50 PM*



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06/11/2020, 1:33:53 PM





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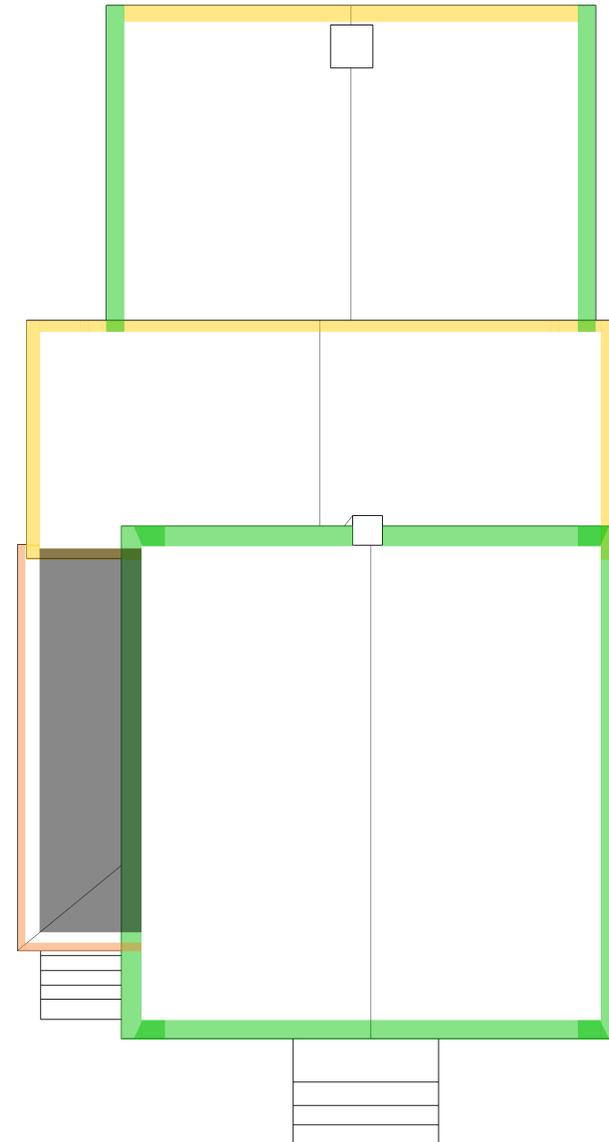




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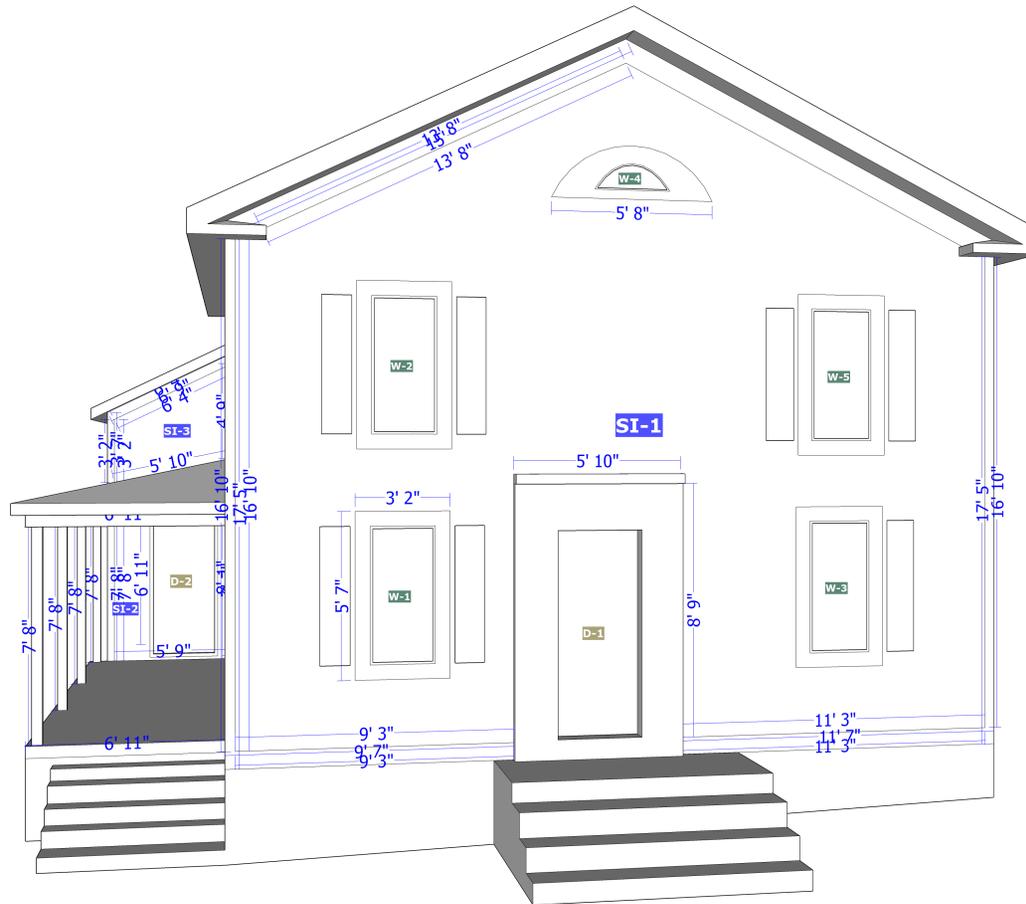
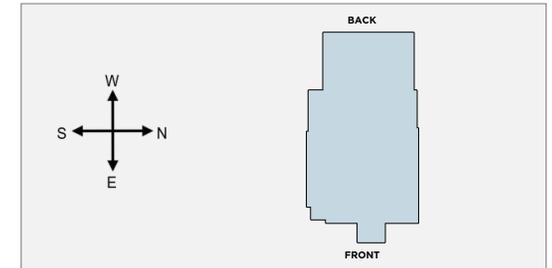
|                                       | Type | Depth     | # Facets | Total Length    | Total Area                |
|---------------------------------------|------|-----------|----------|-----------------|---------------------------|
| <span style="color: yellow;">■</span> | eave | 6" - 12"  | 5        | 29' 5"          | 24 ft <sup>2</sup>        |
| <span style="color: yellow;">■</span> | rake | 6" - 12"  | 7        | 72' 5"          | 55 ft <sup>2</sup>        |
| <span style="color: green;">■</span>  | eave | 12" - 18" | 8        | 104' 1"         | 118 ft <sup>2</sup>       |
| <span style="color: green;">■</span>  | rake | 12" - 18" | 4        | 60' 6"          | 67 ft <sup>2</sup>        |
| <span style="color: grey;">■</span>   | eave | > 48"     | 1        | 22' 7"          | 136 ft <sup>2</sup>       |
| <span style="color: orange;">■</span> | eave | 1" - 6"   | 2        | 30' 10"         | 13 ft <sup>2</sup>        |
| <b>Totals</b>                         |      |           |          | <b>319' 11"</b> | <b>413 ft<sup>2</sup></b> |





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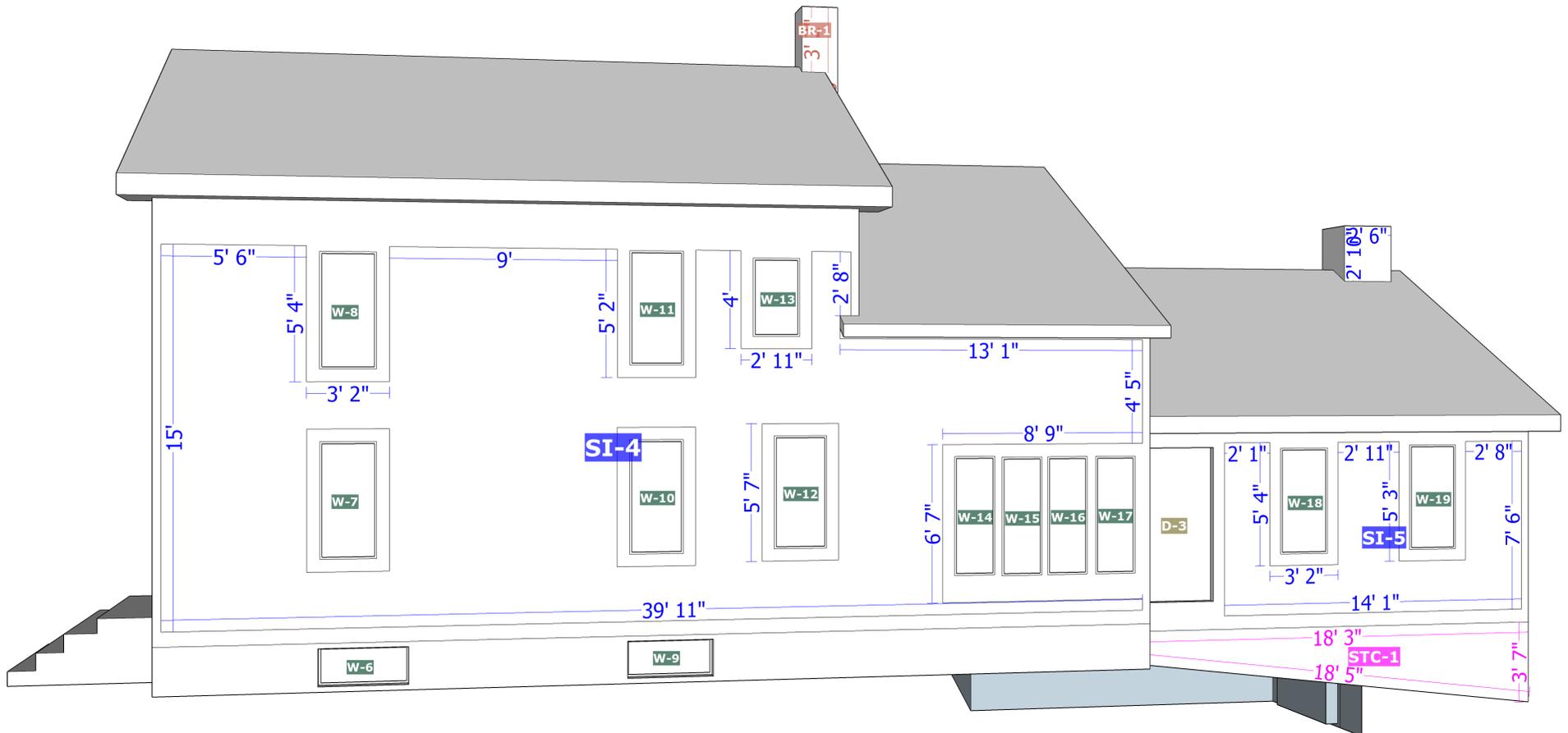
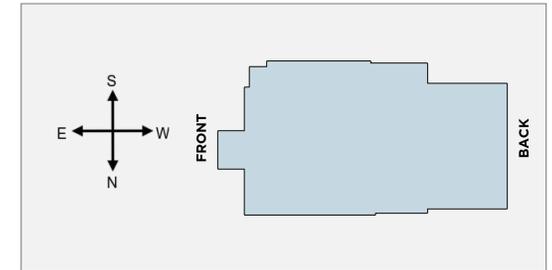






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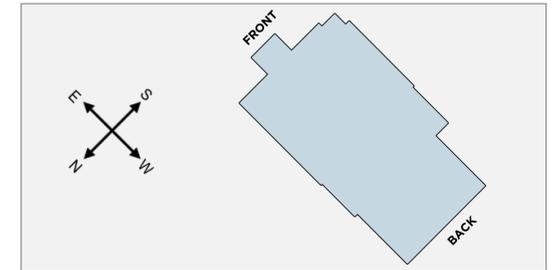
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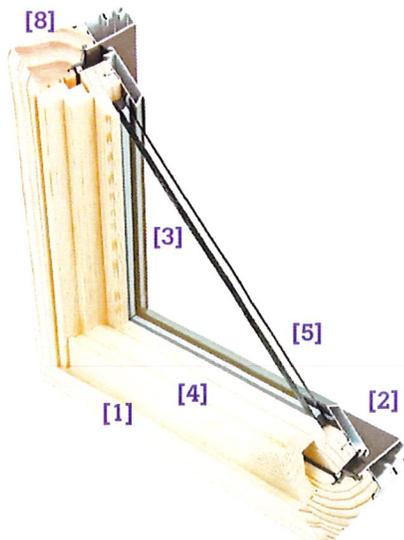
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# Pinnacle Clad Impact Casement & Awning

## Features and Benefits

- [1] The warmth and beauty of Clear Select Pine; can be painted or stained
- [2] Clad units offer a strong, durable extruded aluminum sash and frame for low maintenance; primed units offer the traditional appearance of decorative trim
- [3] Glass is replaceable in case of damage
- [4] 2" thick sash adds beauty and increases insulating value
- [5] Exterior tape glazing slows conduction of heat/cold through edge of glass; two beads of silicone ensure a water tight seal that creates three seals between glass and sash
- [6] Single lever, sequential, multi-point lock for sleek look and easy operation
- [7] Adjustable concealed hinge system ensures smooth operation
- [8] 1-1/4" jamb creates unmatched strength and stability
- [9] Silicone-injected frame corners create a stronger and more attractive joint
- [10] Certified against hurricane blasts: Laminated glass allows unit to crack instead of shatter when under great pressure
- [11] Meets and exceeds building codes for extreme coastal environment conditions
- [12] Laminated glass dampens sounds from traffic, neighbors and the outdoors
- [13] Preserve protective film standard



## Sizes

Available in hundreds of standard and custom sizes

## Glazing

- Glazed with tape and Dow Corning® 955 silicone sealant – the strongest silicone bonding agent available
- Cardinal SeaStorm® LoE 366 insulated glass standard, featuring stainless steel spacers; tinted, tempered and laminated glass available
- Custom and special glass types available
- Insulated glass utilizes annealed glass on exterior and laminated glass on interior
- Laminated glass features PVB inner layer on operating units and SGP inner layer on fixed units

## Exterior Trim

- Clad windows available with WM 180 brickmould, Williamsburg or 3-1/2" flat casing; 3/8", 1-1/4" and 2-1/4" subsill available

## Grilles

*Windsor Divided Lite (WDL) = simulated divided lite*

- 7/8" and 1-1/4" Perimeter Grille (*NOT available on radius casements*)
- 7/8" and 1-1/4" Stick Grille
- 3/4" and 1" Profiled Inner Grille
- 13/16" Flat Inner Grille
- 7/8" and 1-1/4" Ogee WDL
- 5/8", 7/8", 1-1/4" and 2" Tall and Short Putty WDL
- 5/8", 7/8", 1-1/4" and 2" Tall and Short Contemporary WDL
- 2" Simulated Check Rail
- Standard and custom grille patterns available

## Finishes

- Interior – Clad windows available in Clear Select Pine, primed, painted white or painted black interior finishes
- Exterior – Clad windows feature heavy-duty extruded aluminum cladding on sash and frame

## Clad Colors

All clad colors painted in-house with the highly durable AAMA 2604 standard finish, or upgrade to AAMA 2605 for the most challenging of environments

- 23 Standard Clad Colors available in 2604 and 2605 finish
- 20 Feature Clad Colors available in 2604 and 2605 finish (Custom color matching is also available)
- 7 Matte Clad Colors available in the 2604 finish only
- 8 anodized finishes

## Hardware

- Encore folding nesting crank and cover by Truth® available in champagne, white, bronze and black; optional finishes in faux bronze, oil rubbed bronze, satin nickel and bright brass
- Units come standard with Seacoast upgraded hinges and locking hardware

## Performance Ratings

For current performance ratings, visit our website at [windsorwindows.com](http://windsorwindows.com) and click on "Professional Information" in the menu bar

