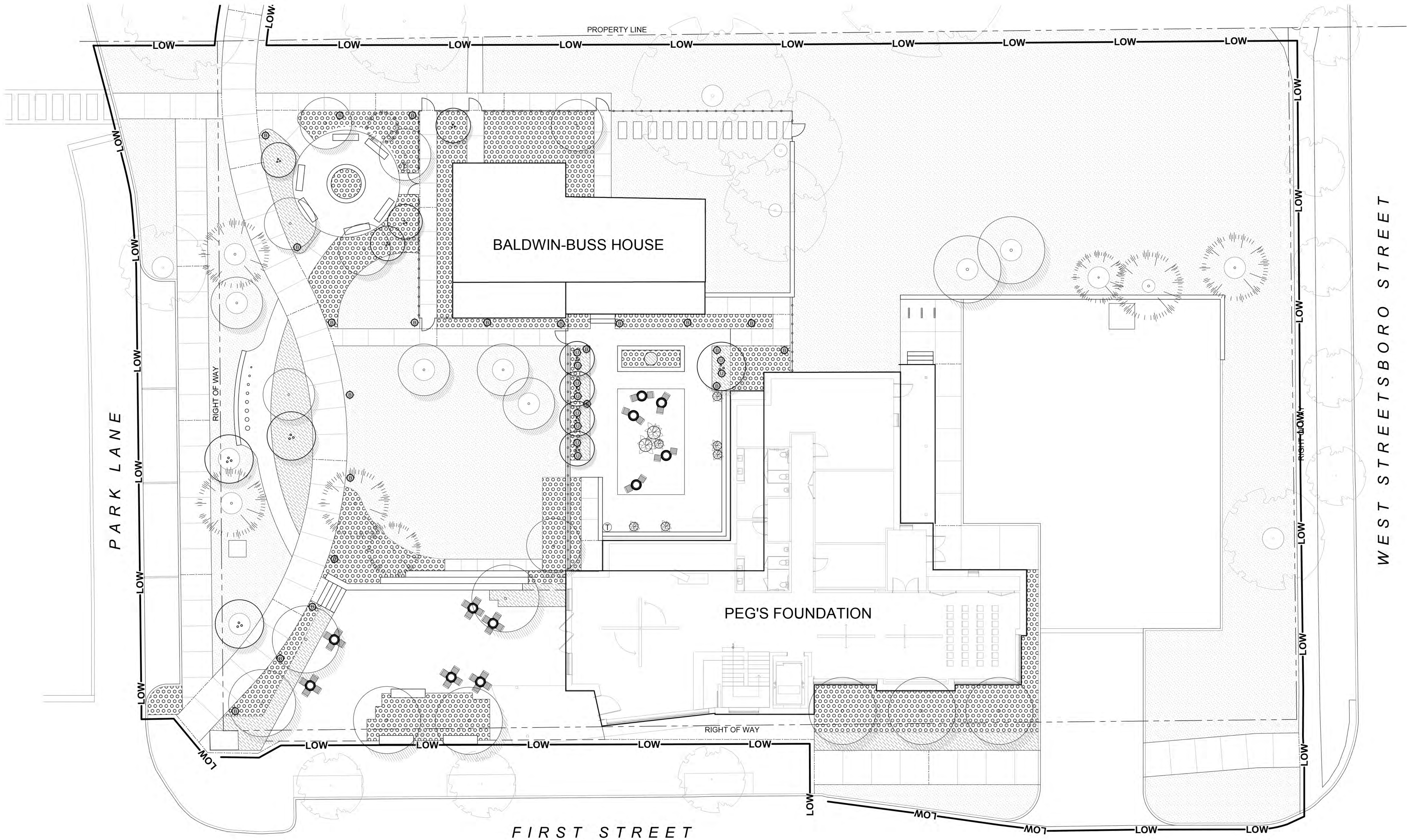


PLANTING LEGEND

SYMBOL	MATERIAL DESCRIPTION
	EXISTING TREES TO REMAIN PROTECTIVE FENCE AROUND ALL TREES TO REMAIN
	ORNAMENTAL TREE TREE PIT TO BE PREPARED 3 TIMES THE SIZE OF ROOTBALL
	DECIDUOUS TREE TREE PIT TO BE PREPARED 3 TIMES THE SIZE OF ROOTBALL
	EVERGREEN TREE TREE PIT TO BE PREPARED 3 TIMES THE SIZE OF ROOTBALL
	SODDED TURF GRASS 6" SOIL PREPARATION
	SHRUB BEDS: 18" SOIL PREPARATION
	PERENNIALS & ORNAMENTAL GRASSES BEDS: 18" SOIL PREPARATION

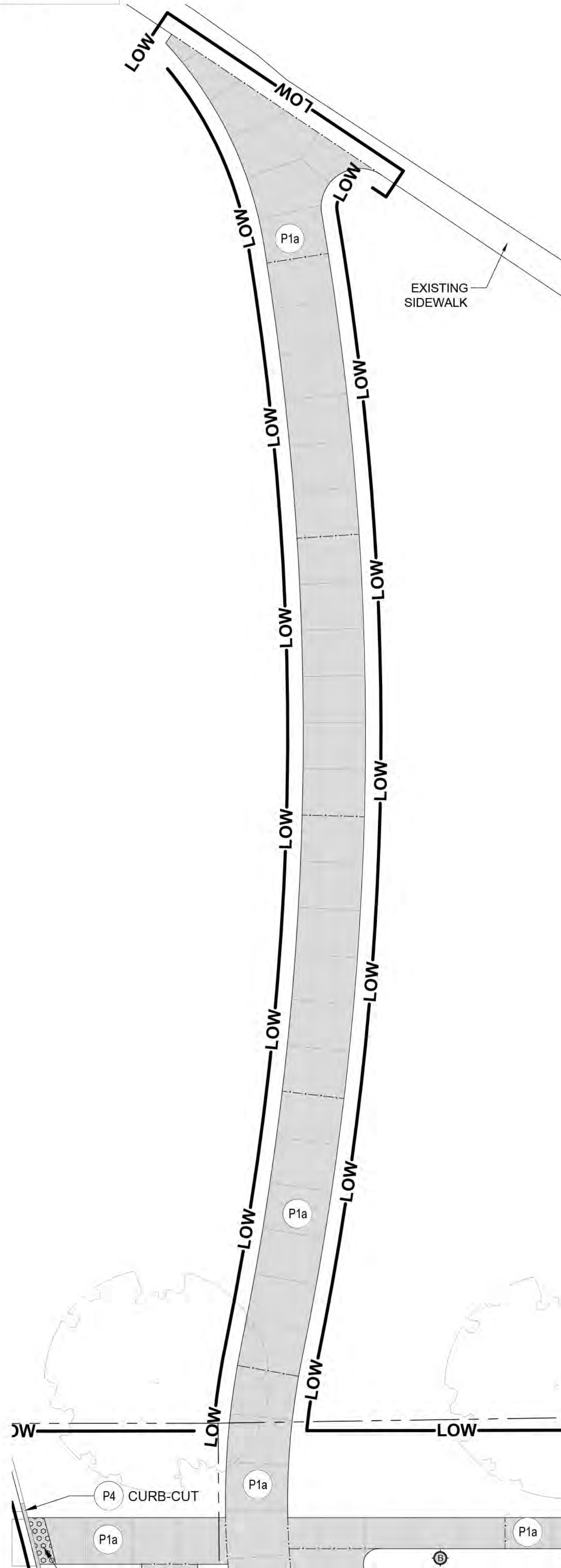
NOTE

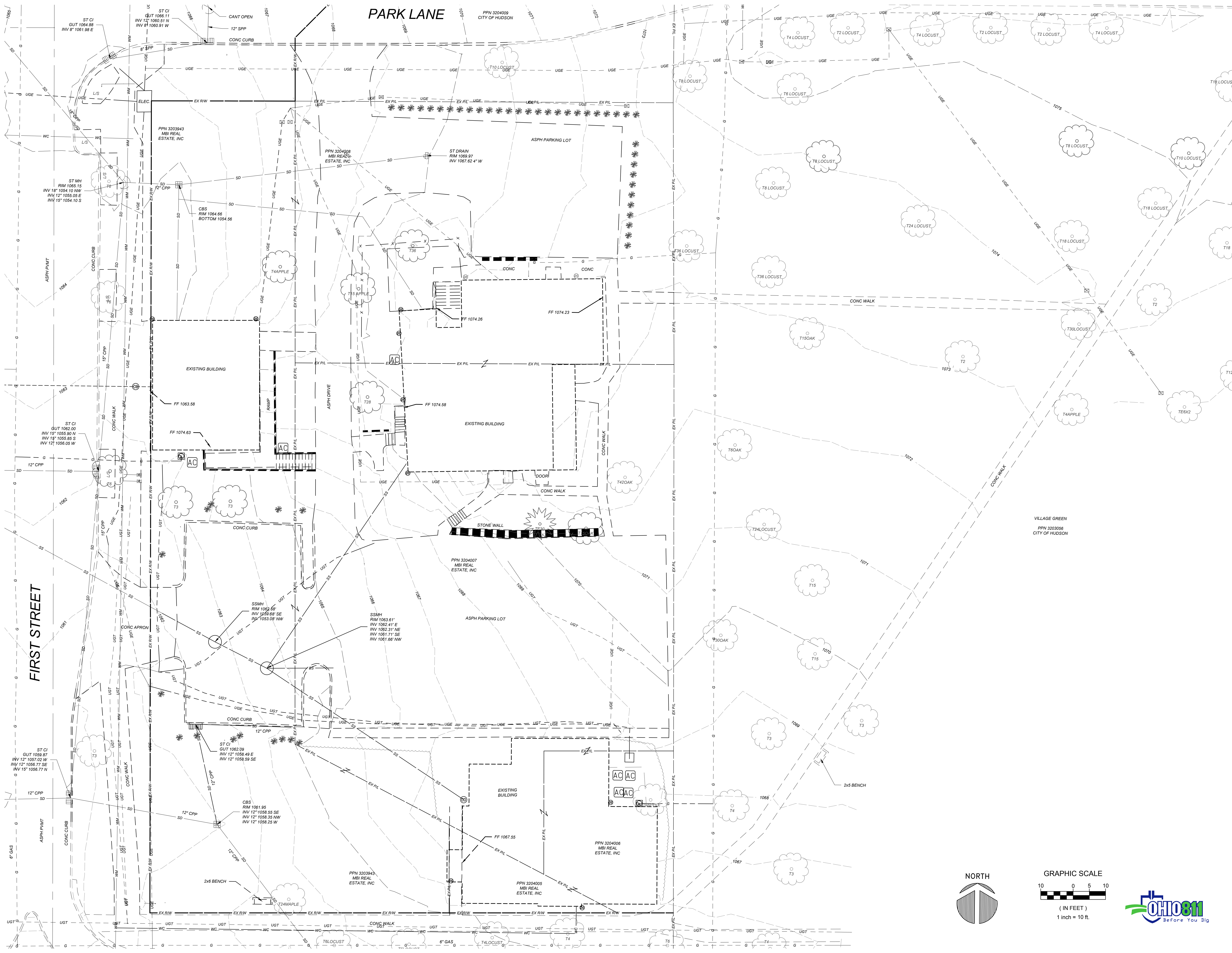
ALL PLANTING BEDS AND LAWN TO BE IRRIGATED



PAVEMENT

LIGHTING





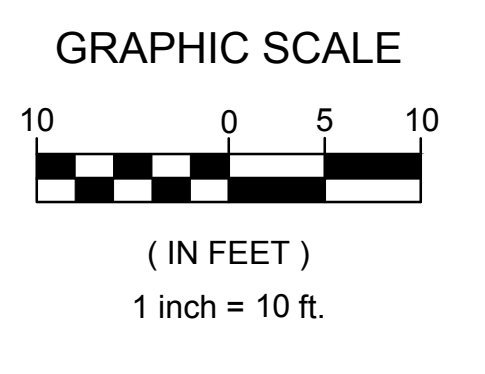
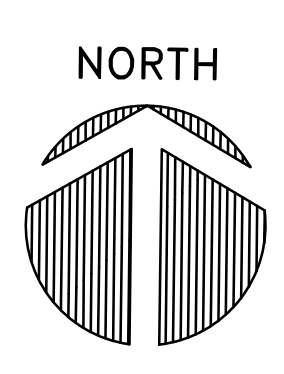
Peg's FOUNDATION ARCHITECTS
P.O. Box 255 | 1775 Main Street
Piquette, OH 44264
v 330.657.2600 f 330.657.2419
www.pa-architects.com

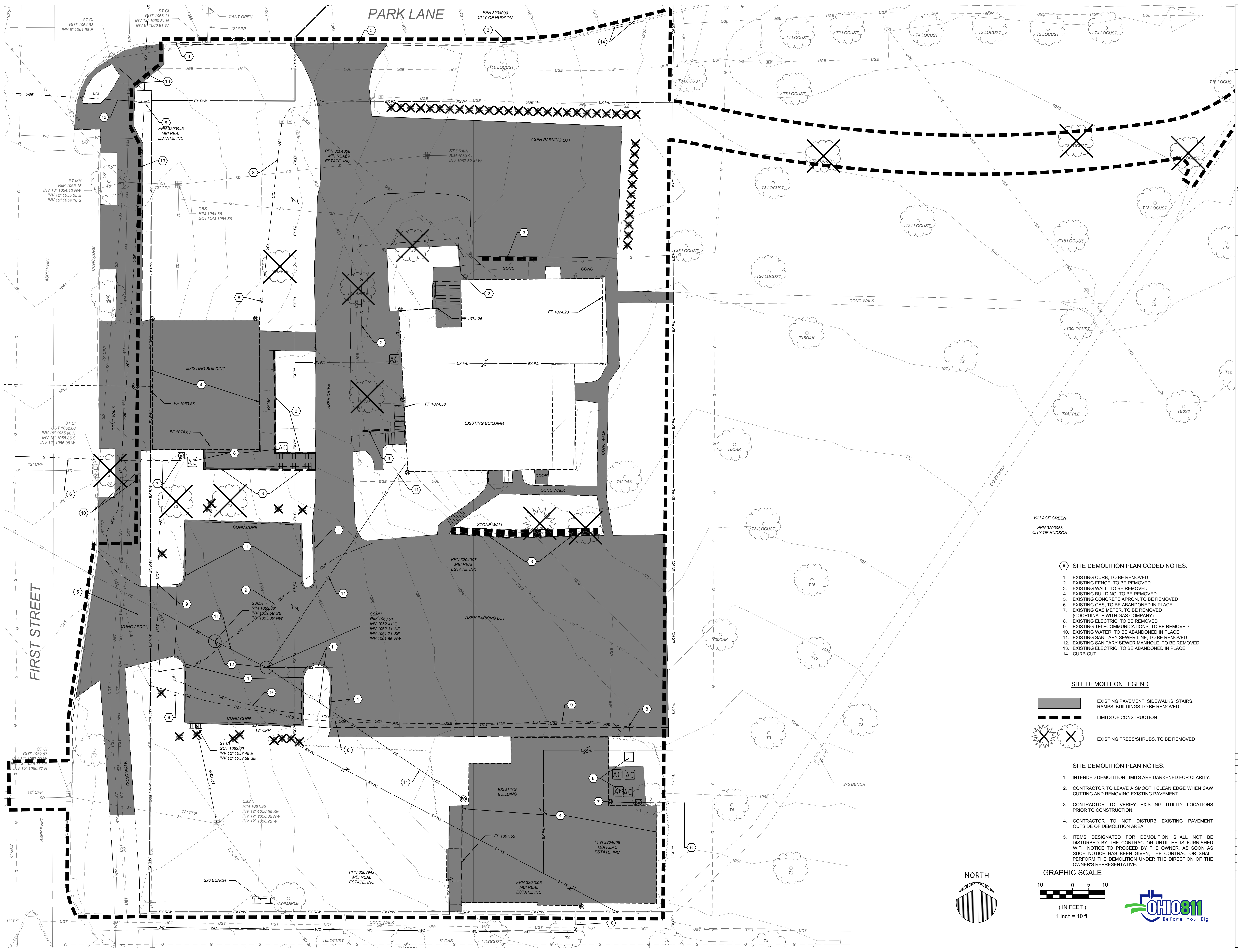
OSBORN ENGINEERING
1105 Superior Avenue, Suite 303 | Cleveland, OH 44114
876.987.2222
www.osborneng.com

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NOT FOR
CONSTRUCTION

PEG'S FOUNDATION | CULTURAL CAMPUS
53 FIRST STREET, HUDSON, OHIO 44236

PROJECT #:	2106
DATE:	04/23/2021
ISSUE:	SD PRICING
	09/13/2021
	ZONING
SCALE:	AS NOTED
EXISTING CONDITIONS PLAN	
C-100	





- # SITE DEMOLITION PLAN CODED NOTES:
1. EXISTING CURB, TO BE REMOVED
 2. EXISTING FENCE, TO BE REMOVED
 3. EXISTING WALL, TO BE REMOVED
 4. EXISTING BUILDINGS, TO BE REMOVED
 5. EXISTING CONCRETE APRON, TO BE REMOVED
 6. EXISTING GAS, TO BE ABANDONED IN PLACE
 7. EXISTING GAS METER, TO BE REMOVED (COORDINATE WITH GAS COMPANY)
 8. EXISTING ELECTRIC, TO BE REMOVED
 9. EXISTING TELECOMMUNICATIONS, TO BE REMOVED
 10. EXISTING WATER, TO BE ABANDONED IN PLACE
 11. EXISTING SANITARY SEWER LINE, TO BE REMOVED
 12. EXISTING SANITARY SEWER MANHOLE, TO BE REMOVED
 13. EXISTING ELECTRIC, TO BE ABANDONED IN PLACE
 14. CURB CUT

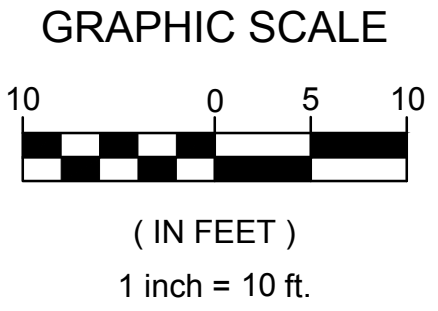
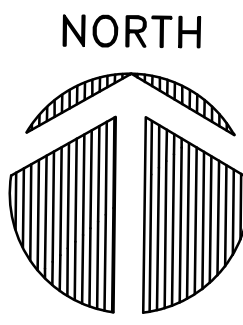
SITE DEMOLITION LEGEND

EXISTING PAVEMENT, SIDEWALKS, STAIRS, RAMPS, BUILDINGS TO BE REMOVED

LIMITS OF CONSTRUCTION

EXISTING TREES/SHRUBS, TO BE REMOVED

- SITE DEMOLITION PLAN NOTES:
1. INTENDED DEMOLITION LIMITS ARE DARKENED FOR CLARITY.
 2. CONTRACTOR TO LEAVE A SMOOTH CLEAN EDGE WHEN SAW CUTTING AND REMOVING EXISTING PAVEMENT.
 3. CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS PRIOR TO CONSTRUCTION.
 4. CONTRACTOR TO NOT DISTURB EXISTING PAVEMENT OUTSIDE OF DEMOLITION AREA.
 5. ITEMS DESIGNATED FOR DEMOLITION SHALL NOT BE DISTURBED BY THE CONTRACTOR UNTIL HE IS FURNISHED WITH NOTICE TO PROCEED BY THE OWNER. AS SOON AS SUCH NOTICE HAS BEEN GIVEN, THE CONTRACTOR SHALL PERFORM THE DEMOLITION UNDER THE DIRECTION OF THE OWNER'S REPRESENTATIVE.



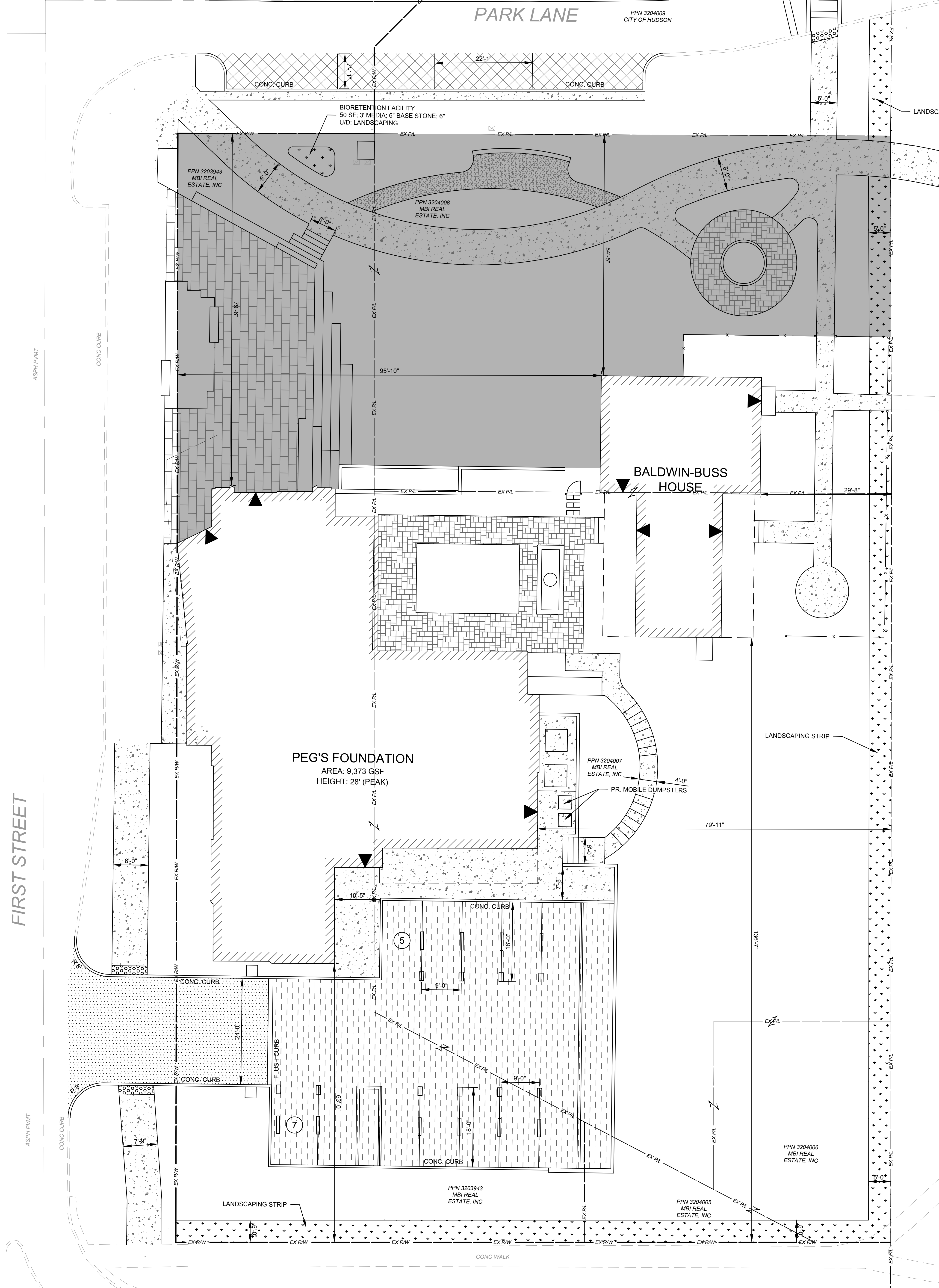
Peg's FOUNDATION ARCHITECTS
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CONSTRUCTION

PEG'S FOUNDATION | CULTURAL CAMPUS
53 FIRST STREET, HUDSON, OHIO 44236

PROJECT #:	2106
DATE:	04/23/2021
ISSUE:	SD PRICING
	09/13/2021
	ZONING
SCALE:	AS NOTED
DEMOLITION PLAN	
C-101	



ZONING SUMMARY			
PROPERTY INFORMATION OWNER ADDRESS EXISTING USE USE DISTRICT LOT AREA OVERLAY DISTRICT BLDG HEIGHT LIMIT BLDG HEIGHT PROPOSED BLDG HEIGHT EXISTING MAXIMUM IMPERVIOUS AREA SETBACKS FRONT YARD SIDE YARD REAR YARD	PARCEL 3203943	PARCEL 3204005	PARCEL 3204006
	MBI REAL ESTATE INC.	MBI REAL ESTATE INC.	MBI REAL ESTATE INC.
	53 1ST ST, HUDSON, OHIO	WEST STREETSBORO STREET, HUDSON, OHIO	17 WEST STREETSBORO STREET, HUDSON, OHIO
	COMMERCIAL	COMMERCIAL	COMMERCIAL
	5 VILLAGE CORE GATEWAY	5 VILLAGE CORE GATEWAY	5 VILLAGE CORE GATEWAY
	0.30 AC	0.02 AC	0.04 AC
	N/A	N/A	N/A
	1205.08(D)(9)C - FORTY-FIVE FEET, EXCEPT THAT NO FACADE OR PORTION OF A BUILDING SHALL EXCEED A HEIGHT SUCH THAT IT WOULD BE VISIBLE ABOVE THE HEIGHT OF EXISTING FACADES OF BUILDINGS FRONTING ON MAIN STREET WHEN VIEWED FROM THE VILLAGE GREEN.	1205.08(D)(9)C - FORTY-FIVE FEET, EXCEPT THAT NO FACADE OR PORTION OF A BUILDING SHALL EXCEED A HEIGHT SUCH THAT IT WOULD BE VISIBLE ABOVE THE HEIGHT OF EXISTING FACADES OF BUILDINGS FRONTING ON MAIN STREET WHEN VIEWED FROM THE VILLAGE GREEN.	1205.08(D)(9)C - FORTY-FIVE FEET, EXCEPT THAT NO FACADE OR PORTION OF A BUILDING SHALL EXCEED A HEIGHT SUCH THAT IT WOULD BE VISIBLE ABOVE THE HEIGHT OF EXISTING FACADES OF BUILDINGS FRONTING ON MAIN STREET WHEN VIEWED FROM THE VILLAGE GREEN.
	28' TO PEAK 30' TO PEAK	28' TO PEAK 30' TO PEAK	28' TO PEAK 30' TO PEAK
	80% OF SITE AREA - 0.24 AC	80% OF SITE AREA - 0.016 AC	80% OF SITE AREA - X AC
PROPERTY INFORMATION OWNER ADDRESS EXISTING USE PROPOSED USE USE DISTRICT LOT AREA OVERLAY DISTRICT BLDG HEIGHT LIMIT BLDG HEIGHT PROPOSED BLDG HEIGHT EXISTING MAXIMUM IMPERVIOUS AREA PROPOSED IMPERVIOUS AREA SETBACKS FRONT YARD SIDE YARD REAR YARD	PARCEL 3204007	PARCEL 3204008	CONSOLIDATED PARCEL
	MBI REAL ESTATE INC.	MBI REAL ESTATE INC.	MBI REAL ESTATE INC.
	FIRST STREET, HUDSON, OHIO	36 NORTH MAIN STREET, HUDSON, OHIO	
	PRIVATE CULTURAL FACILITY	PRIVATE CULTURAL FACILITY	N/A
	N/A	N/A	PRIVATE CULTURAL FACILITY
	5 VILLAGE CORE GATEWAY	5 VILLAGE CORE GATEWAY	5 VILLAGE CORE GATEWAY
	0.35 AC	0.22 AC	0.93 AC
	N/A	N/A	N/A
	1205.08(D)(9)C - FORTY-FIVE FEET, EXCEPT THAT NO FACADE OR PORTION OF A BUILDING SHALL EXCEED A HEIGHT SUCH THAT IT WOULD BE VISIBLE ABOVE THE HEIGHT OF EXISTING FACADES OF BUILDINGS FRONTING ON MAIN STREET WHEN VIEWED FROM THE VILLAGE GREEN.	1205.08(D)(9)C - FORTY-FIVE FEET, EXCEPT THAT NO FACADE OR PORTION OF A BUILDING SHALL EXCEED A HEIGHT SUCH THAT IT WOULD BE VISIBLE ABOVE THE HEIGHT OF EXISTING FACADES OF BUILDINGS FRONTING ON MAIN STREET WHEN VIEWED FROM THE VILLAGE GREEN.	1205.08(D)(9)C - FORTY-FIVE FEET, EXCEPT THAT NO FACADE OR PORTION OF A BUILDING SHALL EXCEED A HEIGHT SUCH THAT IT WOULD BE VISIBLE ABOVE THE HEIGHT OF EXISTING FACADES OF BUILDINGS FRONTING ON MAIN STREET WHEN VIEWED FROM THE VILLAGE GREEN.
	28' TO PEAK 30' TO PEAK	28' TO PEAK 30' TO PEAK	28' TO PEAK 30' TO PEAK
PARKING REQUIREMENTS REQUIRED	80% OF SITE AREA - 0.28 AC	80% OF SITE AREA - 0.18 AC	80% OF SITE AREA - 0.744 AC 0.48 AC OR 51.6% OF SITE IS IMPERVIOUS
	75% OF BUILDING AT RIGHT-OF-WAY. 0 FEET 10 FEET	75% OF BUILDING AT RIGHT-OF-WAY. 0 FEET 10 FEET	0' @ FIRST STREET; 63'-0" @ WEST STREETSBORO ST. 79'-6" AT PARK LANE 79'-11"
			OFFICE USES ARE REQUIRED TO PROVIDE A MINIMUM OF ONE SPACE PER 400 SQ. FT. AND A MAXIMUM OF ONE SPACE PER 250 SQ. FT. CONVENTION/CONFERENCE CENTERS REQUIRE ONE SPACE PER THREE SEATS OF CAPACITY. THE APPLICATION SHOULD INCORPORATE ADDITIONAL DETAILS REGARDING THE INTENDED USES AND ANTICIPATED PARKING NEED. THE FINAL CALCULATION MAY BE ADJUSTED BASED ON SUCH. ANY ON-STREET PARKING LOCATED WITHIN THREE HUNDRED (300) FEET OF THE SUBJECT SITE THAT CAN BE ACCESSED BY SIDEWALKS AND CROSS WALKS WITHIN THAT DISTANCE SHALL BE COUNTED TOWARD THE OFF-STREET PARKING REQUIREMENT.
			BALDWIN BUS HOUSE - 2239 SF, ONE SPACE PER 250-400 SF = 6 - 9 PEG'S FOUNDATION - 9,373 ONE SPACE PER 250-400 SF = 23 - 37 TOTAL REQUIRED - 29-46
			ONSITE - 12 ON-STREET WITHIN 300 - 65 TOTAL 77
			STREET TREES: STREET TREE PLANTINGS SHOULD BE INTEGRATED WITH ON STREET PARKING ALONG PARK LANE.
			PERIMETER LANDSCAPING: (5 FT. DEPTH) IS REQUIRED TO SCREEN ANY PROPOSED PARKING LOTS FROM THE PERIMETER AND ADJACENT DEVELOPMENT. SUGGEST ADDITIONAL LANDSCAPING ALONG W. STREETSBORO STREET AND ADJACENT TO THE VILLAGE GREEN.
			STREET TREES ARE INTEGRATED PARKING ALONG PARK LANE, SEE LANDSCAPE PLAN.
			5' LANDSCAPING STRIP PROPOSED

PROPOSED CONCRETE SIDEWALK

PEDESTRIAN UNIT PAVR

CONCRETE PAVEMENT WITH CONCRETE JOINTS

STABILIZED AGGREGATE SURFACE

SITE ASPHALT PAVEMENT

ASPHALT PAVEMENT WITHIN R/W

VEHICULAR UNIT PAVR

OPEN SPACE (§ 1207.05)

LANDSCAPE STRIP

FENCE

SITE PLAN LEGEND

GRAPHIC SCALE

10 0 5 10

(IN FEET)

1 inch = 10 ft.

Peg's FOUNDATION

ARCHITECTS

P.O. Box 235 | 1775 Main Street
Pewaukee, OH 44204

330.657.2600 F 330.657.2419
www.pa-architects.com

OSBORN ENGINEERING

1105 Superior Avenue | Suite 303 | Cleveland, OH 44114
(216) 881-2200
www.osborneng.com

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PEG'S FOUNDATION | CULTURAL CAMPUS

53 FIRST STREET, HUDSON, OHIO 44236

PROJECT # 2106

DATE 04/23/2021

ISSUE SD PRICING

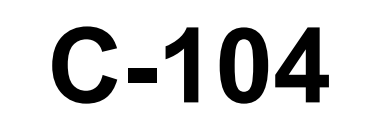
09/13/2021 ZONING

SCALE AS NOTED

SITE PLAN

C-102





- EXTERIOR ELEVATION CODED NOTES**
NOTE: ALL CODED NOTES MAY NOT OCCUR ON EVERY SHEET

MASONRY VENEER, (M-1)
BRICK VENEER W/ MASONRY TIES
O 1" AIR GAP
O 1" FLUID APPLIED AIR AND VAPOR BARRIER
O 2" RIGID INSULATION
O CMU OR O 8" EXTERIOR SHEATHING OR 6" COLD-FORMED METAL FRAMING

STONE VENEER, (E-1)
O HONEYSTONE PANEL
O 1" AIR GAP
O 1" FLUID APPLIED AIR AND VAPOR BARRIER
O 2" RIGID INSULATION
O CMU

METAL (MTL-1)
STEEL, GALV.

WOOD SOFFIT (WDV-1)
1" TONGUE & GROOVE WOOD SIDING W/ STAIN & SEALANT
O 5/8" EXTERIOR SHEATHING

WOOD SIDING (WDV-2)
WOOD SIDING (PAINTED, WESTERN RED CEDAR)
O FLUID APPLIED AIR AND VAPOR BARRIER

ROOF, (RF-1)
ASPHALT SHINGLE OR CLAY TILE

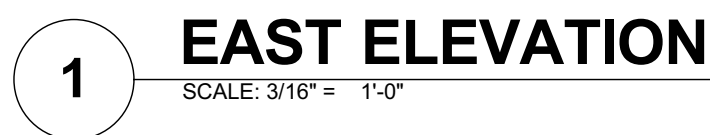
ROOF, (RF-2)
WOOD SHAKE SHINGLE ROOF



- EXTERIOR ELEVATION CODED NOTES**
NOTE: ALL CODED NOTES MAY NOT OCCUR ON EVERY SHEET

MASONRY VENEER: (MAS-1)
 4" BRICK VENEER W/ MASONRY TIES
 O/ 1" AIR GAP
 O/ FLUID APPLIED AIR AND VAPOR BARRIER
 O/ 2" RIGID INSULATION
 O/ CMU OR O/ 5/8" EXTERIOR SHEATHING O/ 6" COLD-FORMED METAL FRAMING

- ROOF: (RF-1)
ASPHALT SHINGLE OR CLAY TILE





A1.01

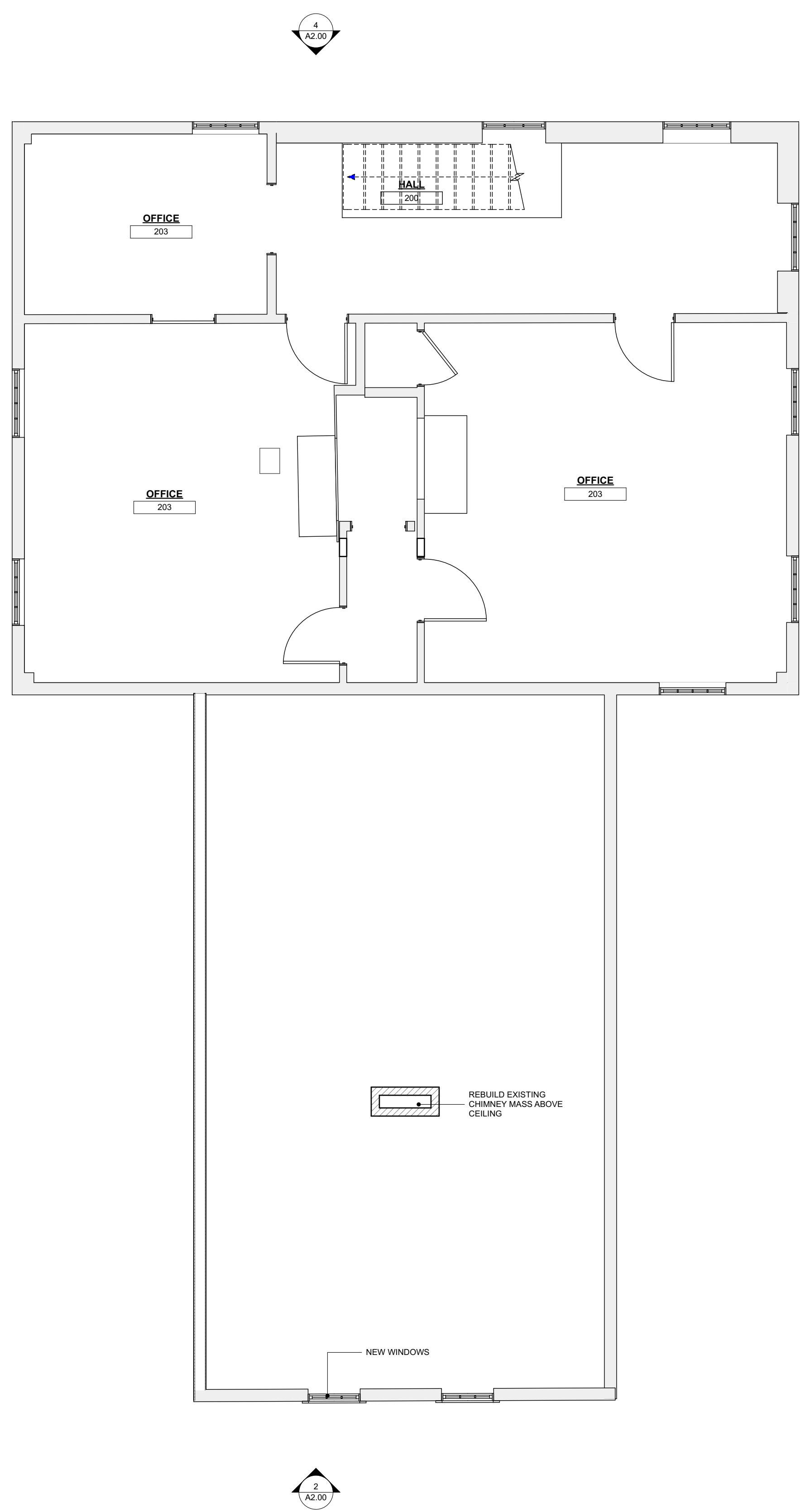


FLOOR PLAN LEGEND

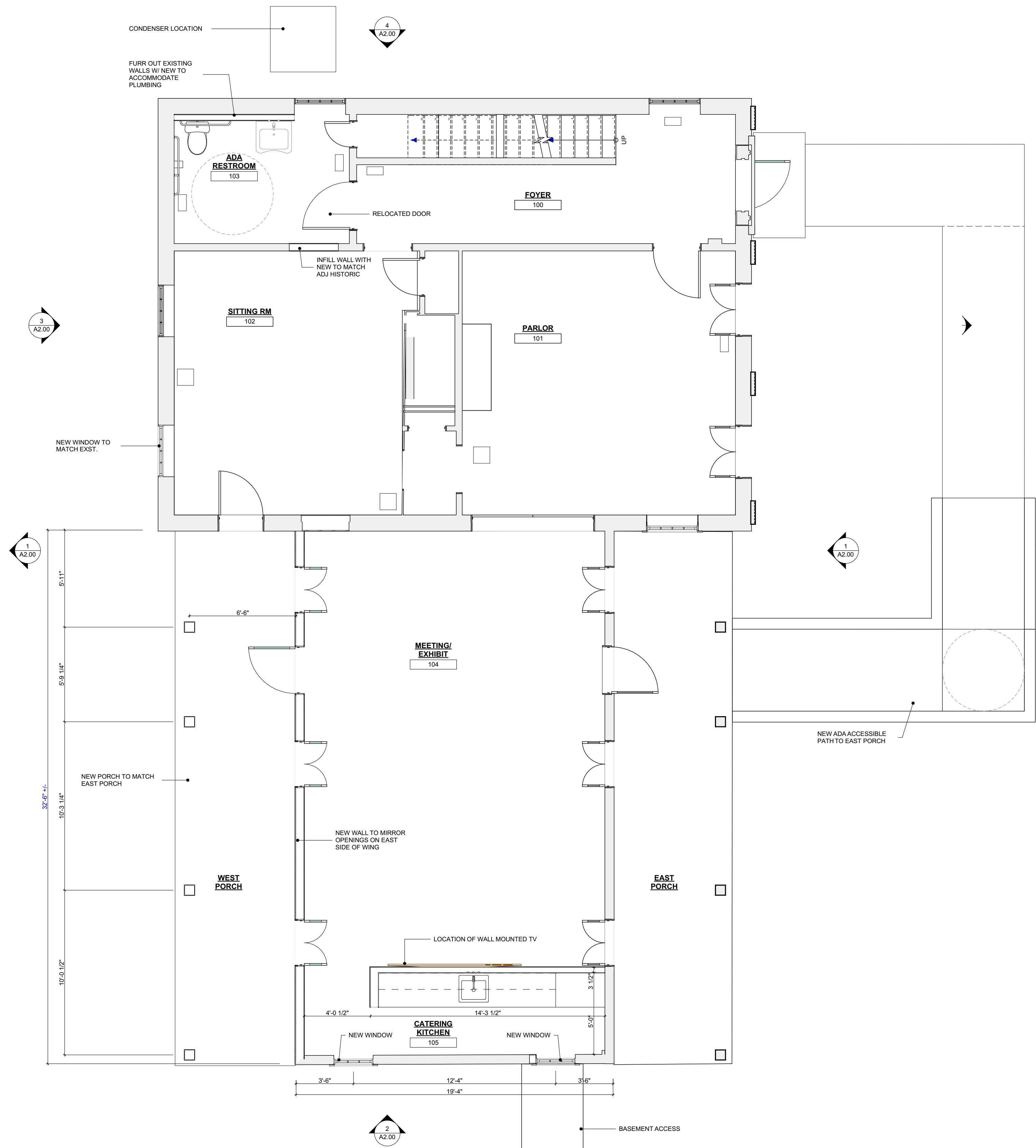
© 2021, Ruzica Architects | TD

This is a black and white architectural elevation drawing of a two-story house. The house features a gabled roof with a central chimney. A portico with columns is located on the left side, covering the front entrance. The facade includes several windows: a large multi-paned window on the right, and smaller windows on the left and center. The drawing is a line art representation, showing the structural details and proportions of the building.

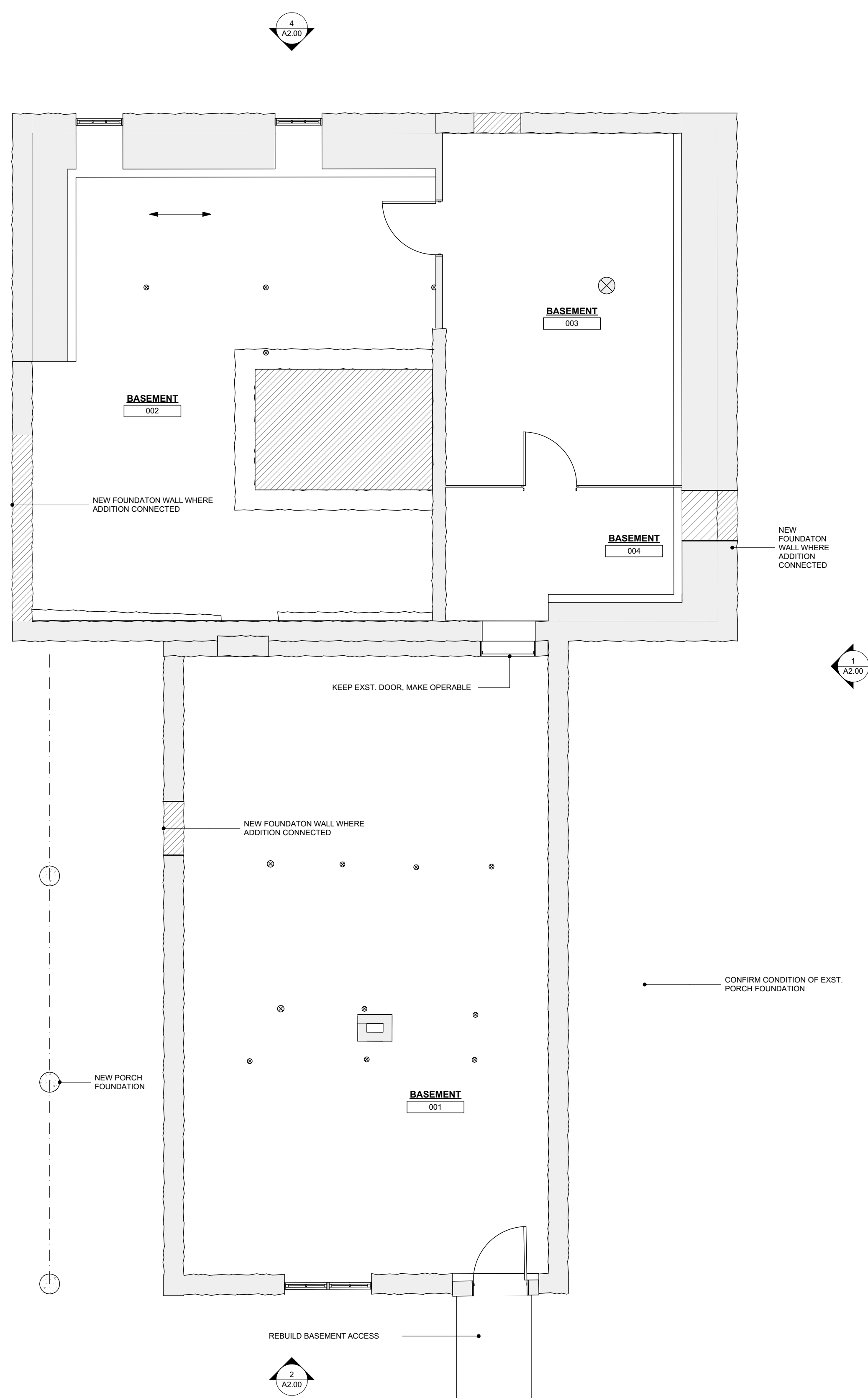
[illegible]



3 PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 PROPOSED FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



BLUESTONE FLAGGING
THERMAL FINISH
SQUARE EDGE

A NATURAL STONE UNIT PAVERS



DECOMPOSED GRANITE WITH
BINDER

B STABILIZED AGGREGATE SURFACING



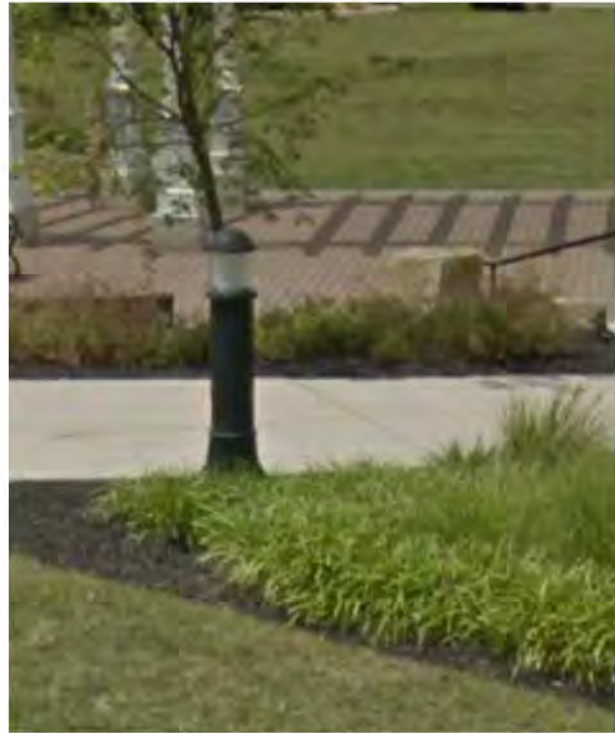
DRY STACKED STONE WALL
TO MATCH ADJACENT
PROPERTY

C RETAINING WALL #4



CAST IN PLACE CONCRETE
BUFF WASH FINISH
IPE SEAT AND BACK

D CUSTOM SEAT BENCH



LANDSCAPE FORMS
ANNAPOLIS
OR MATCH ADJACENT
PROPERTY

E BOLLARD LIGHT



PARC CENTRE
BY LANDSCAPE FORMS
30IN DIA TABLE
ARMLESS CHAIRS
MATTE BLACK
POWDERCOATED FINISH

F BISTRO TABLE & CHAIRS



CRUCIBLE PLANTER
FROM HADDONSTONE

G CAST STONE PLANTERS



NATURAL STONE BASE
WITH BUBBLER
RECIRCULATING PUMP

H WATER FEATURE



I MUSICAL SCULPTURE



RAW STEEL PLANTER WALL
WITH GUSSETS
CONCRETE BASE

J RETAINING WALL #2



J20210178.000

September 16, 2021

Nate Bailey, AIA
Project Architect
Peninsula Architects
1775 Main Street
Peninsula, Ohio 44264

Re: Peg's Foundation Site Improvements
36 North Main Street
Hudson, Ohio
Trip Generation Report

Dear Mr. Bailey:

In preparation of the renovation of the existing Baldwin-Buss House at 36 North Main Street and adjacent construction of a new Peg's Foundation facility with indoor and outdoor gallery spaces in the City of Hudson, Osborn Engineering was retained to provide a report to analyze the amount of vehicular traffic that the proposed improvements will generate. This analysis is required by Section 7.15 of City of Hudson Code of Ordinances for any site development project that does not generate 100 or more vehicle trips during the peak hour, and is summarized as follows:

Existing Conditions: The site is currently improved and consists of three buildings, two of which will be demolished as part of this development. One of the buildings (53 First Street) is vacant and the other building (17 West Streetsboro Street) that is partially occupied with a Hair Salon (Salon Elevate) with an approximate area of 2000 square feet and small office space for Prestige Home Builders with 3 employees.

Proposed Conditions: The developer is proposing to renovate the existing Baldwin-Buss House. The first floor consists of 1,447 gross square feet (gsf) and will be a small museum space, event space for rent, and conference room for Peg's or other community groups to use. The second floor consists of 792 gsf and will be flex office space.

The project will also include the construction of a new building with an Art Gallery on the first floor (5300 gsf) and office space/conference room on the second floor (3900 sf). During programming, Peg's Foundation estimated that the office space is expected to accommodate a staff of 7 employees.

Trip Generation: The typical resources utilized in determining the number of trips generated by a project are standard Institute of Transportation Engineers (ITE) practices and the 10th edition of the *ITE Trip Generation Manual*. This Manual provides trip generation rates for a wide variety of land uses based on surveys performed across the nation. Vehicle trips generated by existing uses that are currently active were applied to the gross trip generation estimates as trip credits.



The net number of generated trips during the Peak Hour of the development for the complete build out of the project is as follows:

Project Trip Generation Estimates

Land Use	ITE Code	Intensity	Units	AM Peak Hour of Generator			PM Peak Hour of Generator		
				Trip Ends	Directional Distribution		Trip Ends	Directional Distribution	
					In	Out		In	Out
Existing Baldwin-Buss House									
Small Office Building ¹	712	792	gsf	3	(60%) 2	(40%) 1	3	(46%) 1	(54%) 2
Museum	580	1447	gsf	2	(86%) 1	(14%) 1	2	(16%) 1	(84%) 1
Proposed Building									
Small Office Building ¹	712	3900	gsf	13	(60%) 8	(40%) 5	15	(46%) 7	(54%) 8
Museum ²	580	5300	gsf	3	(86%) 2	(14%) 1	3	(16%) 1	(84%) 2
Former Use Trips (Deduct)									
Hair Salon	918	2000	gsf	-2	-1	-1	-4	(38%) -2	(62%) -2
Small Office Building ¹	712	3	empl.	-5	(63%) -3	(37%) -2	-5	(47%) -2	(53%) -3
TOTAL NET GENERATED TRIPS				14	9	5	14	6	8

¹ = Small Office Building (ITE Land Use Code 712) defined as "A small office building houses a single tenant and is less than or equal to 5,000 gross square feet in size. It is a location where affairs of a business, commercial, or industrial organization, or professional person or firm are conducted."

² = In the absence of trip generation rates specific to Art Gallery uses, the published rates for Museum (ITE Land Use Code 580) were utilized.

Internal Capture: Internal capture is described as trips within a mixed-use development between on-site land uses that are made without travel on the off-site street system. Due to the nature of the uses in the development, it will be assumed that no internal capture is taking place.

Pass-By Trips: Pass-by trips are described as the number of generated trips that are vehicles currently on the adjacent roadway system that will stop at the site as an intermediate stop between their primary origin and their primary destination. Based on the uses being proposed with this proposal, it is possible that some of the museum/art gallery visitors are already using the adjacent road network. However, this number would be minimal and for the purpose of this Report will not be considered in the determination of the development of the net generated trips.

Summary: The project is estimated to gross 21 weekday AM peak hour trips and 23 weekday PM peak hour trips. Taking into consideration existing uses that are being removed, **the Project is estimated to generate a net total of 14 weekday AM peak hour trips and 14 PM peak hour trips.**



Sincerely,

OSBORN ENGINEERING

Donald Phifer

Donald R. Phifer, PE
Senior Roadway and Traffic Engineer



ENGINEERING • 1140 Terex Road • Hudson, Ohio 44236 • (330) 342-1770

Date: September 27, 2021

To: Nick Sugar, City Planner, Community Development

From: Nate Wonsick, P.E., Assistant City Engineer

Re: **Peg's Foundation Cultural Campus – 53 First Street
Preliminary Engineering Approval- Viewpoint #21-1046**

The City of Hudson Engineering Department has reviewed the preliminary plan for the above referenced site and recommends preliminary approval. Note: The City of Hudson Engineering Standards (Engineering Standards) and Land Development Code (LDC) are available online at the City of Hudson Website www.hudson.oh.us under the Engineering Dept. and Community Development Department respectively. The standards are also available in print for a fee. Please contact our office (330-342-1770) if you would like a cost for the printed version.

Other agency approvals that will be needed prior to the City of Hudson Final Engineering acceptance include:

1. Summit Soil and Water and the Ohio EPA Notice of Intent.
2. Summit County Building Standards shall review the building structures; fire lines; and any retaining walls proposed on the site.
3. Summit County DSSS shall review and approve the sanitary sewer for this site.
4. Ohio EPA may need to review the sanitary and water systems, if applicable.
5. Northeast Ohio Regional Sewer District shall review the storm water management system.

Overall Comments:

6. Provide the pre and post impervious surface area on the title sheet per Hudson Engineering Standards Section 1.7. Also indicate the total area of disturbance for the project.
7. The City of Hudson Engineering Standards will be reviewed as part of the improvement plan submittal of the project design. Note: Section 5 of the Engineering Standards - The storm water runoff and management shall be designed for the 25-year post-developed storm to be detained to the 1-year pre-developed storm for this site
8. A traffic trip generation report was reviewed and showed an additional 14 trips during the peak hour. A traffic impact study will not be required since the trip generation report did not exceed 60 trips.
9. A professional engineer with a current Ohio registration shall stamp, sign and date the plans for all applicable engineering work including the storm water management calculations.
10. Add the City of Hudson Engineering Standards General Notes to the plans.
11. Bonds and fees will be identified when more detailed plan is submitted.
12. The City will perform a complete and thorough review when the complete set of improvement plans and reports are submitted to the City at a future date and the City reserves the right to add to these comments as needed.

If you have any questions, please contact me.

Sincerely,

A handwritten signature in blue ink, appearing to read "Nate Wonsick". The signature is stylized with a large initial "N" and a cursive "Wonsick".

Nate Wonsick, P.E.
Assistant City Engineer

C: File.



SHAWN KASSON
Fire Marshal

skasson@hudson.oh.us
(330) 342-1869

M E M O R A N D U M

DATE: September 21, 2021

TO: Nick Sugar, City Planner

FROM: Shawn Kasson, Fire Marshal SK

SUBJECT: Peg's Foundation Cultural Campus - 53 First Street

I have completed a preliminary review of the 09/13/21 revision of the site plan for the proposed Peg's Foundation Cultural Campus at 53 First Street. Upon review, I find the concept plan in substantial compliance with the Ohio Fire Code requirements.

Note: The scope of this review is preliminary. The applicant must submit detailed design plans for review and approval.

Please contact me with any questions.

Site Photos

