



# Project Overview

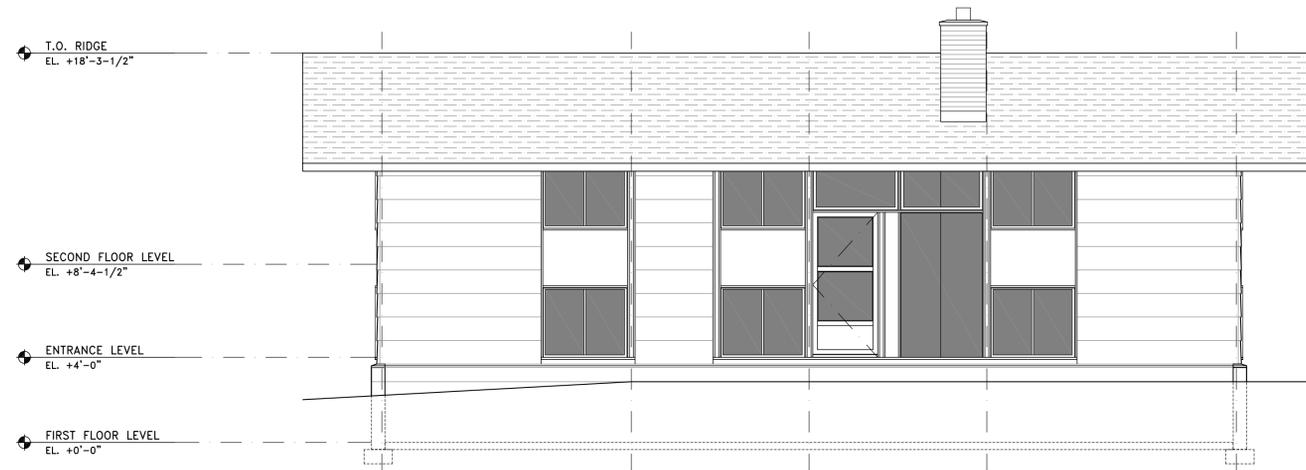
The secluded house is sighted on 2.8 acres between north Main Street and the Western Reserve Academy Campus, off College Street. Access to the property is primarily off Main Street via a long gravel driveway that is also part of the property.

The existing 2-story, 2,020 SF house was built in 1955, and was a prefabricated house, called a "TechBuilt House," which was shipped directly to the site and constructed largely from standardized four-by-eight-foot modules attached to a post-and-beam frame. The homes were noted for being simple, efficient, and affordable structures.

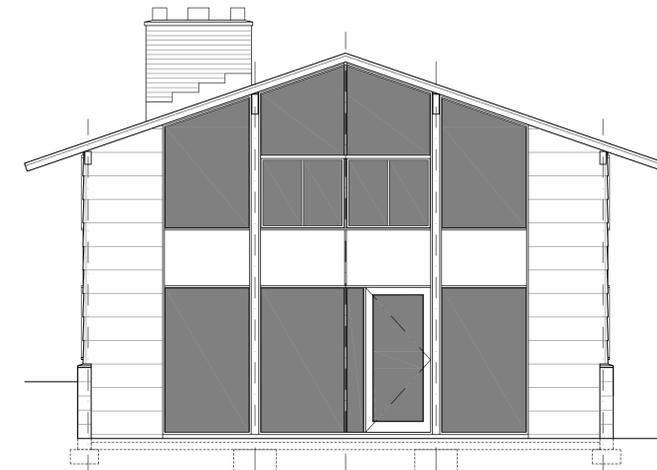
The existing house will be renovated and brought-back to its original splendor, with only the exterior aluminum windows and storms being replaced with a more energy-efficient window. The existing windows are primarily made-up of two different types: direct-set (fixed) frame and a slider/glider window.

A 12'-0" x 22'-0" (264 sf) attached screened-in porch located to the north (back) of the house, will be removed and a new one-story, 16'-6" by 32'-0" (540 sf) enclosed Pavilion added. An enclosed Mudroom/Breezeway with a low, flat roof occurs between the main house and Pavilion, to preserve the original house façade, windows, and paneling along the north elevation. The new Pavilion design takes cues from the original house's horizontal lines of cedar shingle siding and the large expansive windows. The Pavilion's siding is a horizontal cedar wood ship-lap siding, the roof slope and new asphalt shingle roof matches the existing house.

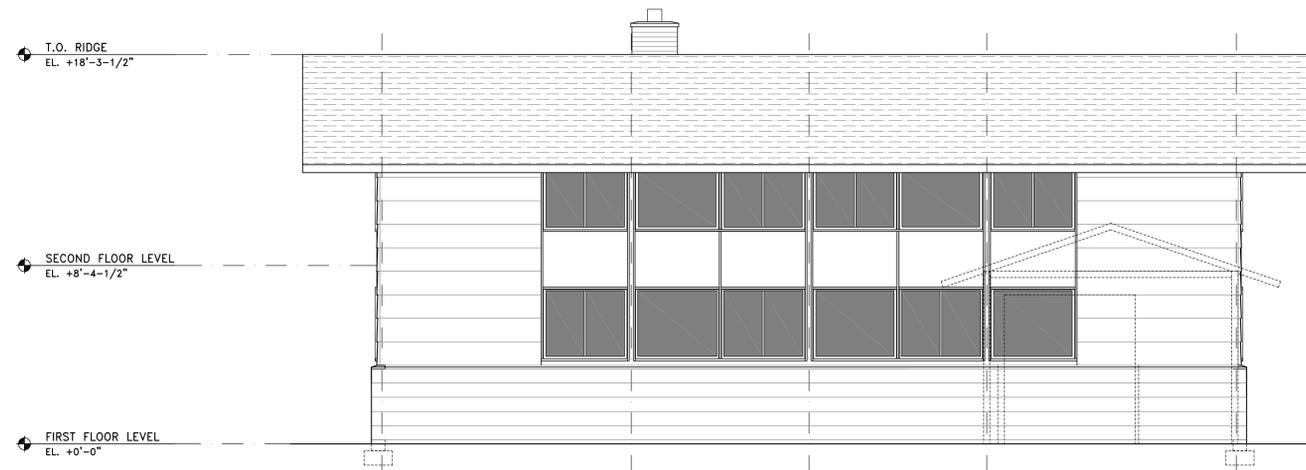
A Pella Reserve "Contemporary" aluminum clad, wood window is being proposed and is currently being priced for both the main house and Pavilion addition.



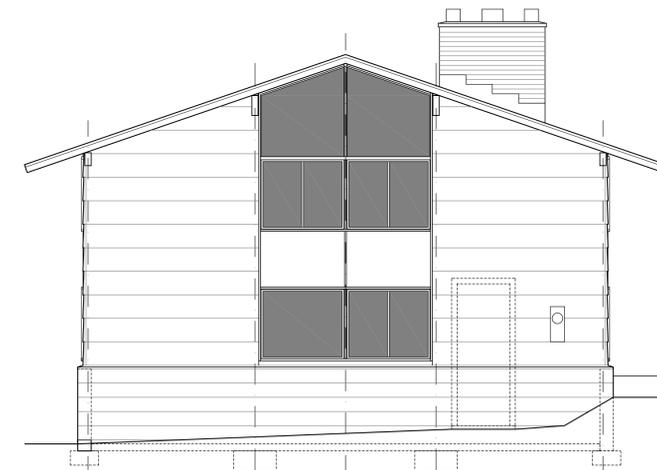
1 EXISTING SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



2 EXISTING EAST ELEVATION  
SCALE: 1/4" = 1'-0"



3 EXISTING NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



4 EXISTING WEST ELEVATION  
SCALE: 1/4" = 1'-0"

KEYNOTES: ① →

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NOTES:

LEGEND:

FLYNN-COULTON RESIDENCE - RENOVATION  
439 N. Main Street  
Hudson, Ohio 44236

Date	
05/22/20	PROGRESS SET
06/22/20	PROGRESS SET
07/26/20	PROGRESS SET
08/04/20	AHBR SUBMITTAL

Scale As Noted  
Existing Building Elevations

A2.0

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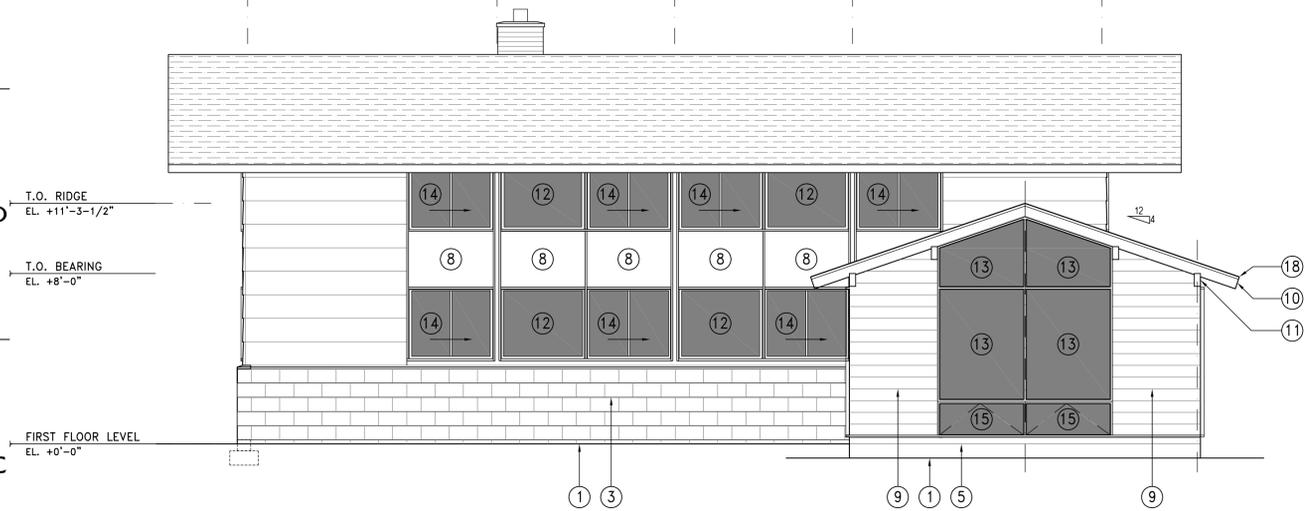
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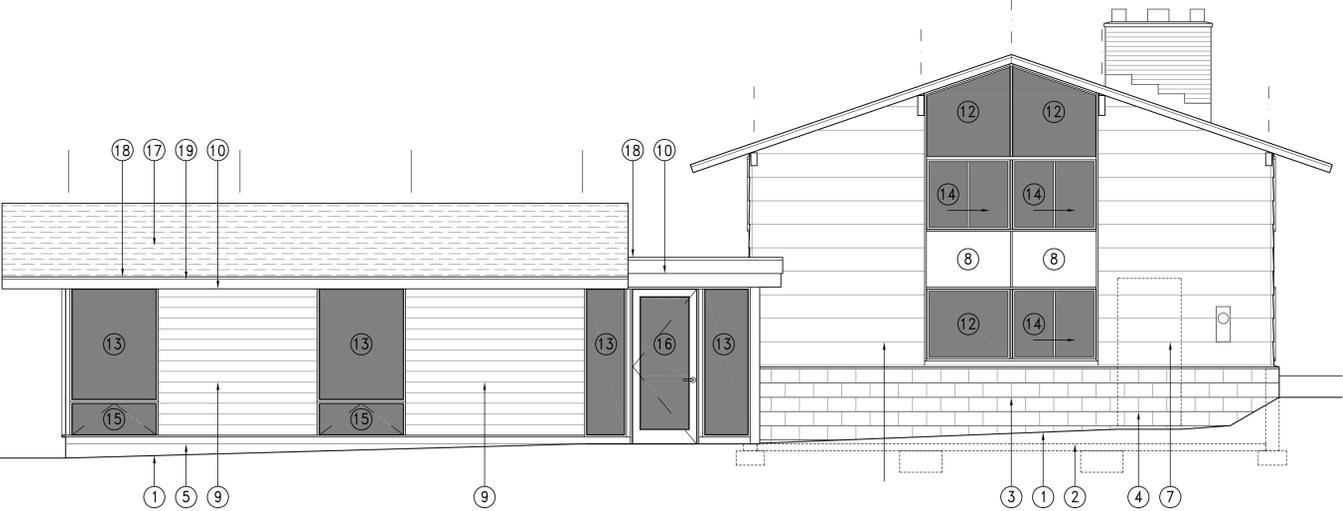
**1 PROPOSED SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 PROPOSED EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**1 PROPOSED NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**3 PROPOSED WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

**KEYNOTES:** ① →

- 1. LINE OF EXISTING GRADE
- 2. LINE OF EXISTING CONCRETE SLAB ON GRADE BEYOND
- 3. EXISTING CMU BLOCK FOUNDATION WALL
- 4. NEW CMU BLOCK INFILL WALL AT EXISTING DOOR OPENING
- 5. NEW CONCRETE SLAB-ON-GRADE
- 6. EXISTING CEDAR WOOD SHINGLE
- 7. NEW CEDAR WOOD SHINGLE TO MATCH EXISTING AT EXISTING DOOR OPENING
- 8. EXISTING PLYWOOD PANEL REPAIR, REFINISH, OR REPLACE, AS REQUIRED. PAINTED
- 9. NEW 1X6 CEDAR WOOD SHIPLAP SIDING WITH 1/4" "NICKEL GAP" SHADOW PROFILE/REVEAL.
- 10. 1X CEDAR WOOD RAKE AND FASCIA BOARD.
- 11. NEW WOOD TIMBER BEAM
- 12. NEW DIRECT SET (FIXED) PELLA "RESERVE CONTEMPORARY" ALUMINUM CLAD, WOOD WINDOW TO BE SET INTO EXISTING FRAMED OPENING.
- 13. NEW DIRECT SET (FIXED) PELLA "RESERVE CONTEMPORARY" ALUMINUM CLAD, WOOD WINDOW.
- 14. NEW GLIDER PELLA "RESERVE CONTEMPORARY" ALUMINUM CLAD, WOOD WINDOW TO BE SET INTO EXISTING FRAMED OPENING. HARDWARE TO HAVE SATIN NICKEL FINISH.
- 15. NEW AWNING PELLA "RESERVE CONTEMPORARY" ALUMINUM CLAD, WOOD WINDOW TO BE SET INTO EXISTING FRAMED OPENING. HARDWARE TO HAVE SATIN NICKEL FINISH.
- 16. NEW PELLA "RESERVE CONTEMPORARY" ALUMINUM CLAD, WOOD DOOR. PROVIDE NEW WEATHER STRIPPING, THRESHOLD AND HARDWARE. BALDWIN HARDWARE TO HAVE SATIN NICKEL FINISH.
- 17. NEW ASPHALT SHINGLED ROOF, PINNACLE PRISTINE "DOVE" ARCHITECTURAL SHINGLE TO MATCH EXISTING. PROVIDE ICE & WATER UNDERLAYMENT AT EAVES.
- 18. PROVIDE NEW METAL DRIP EDGE.
- 19. NEW PRE-FINISHED PAINTED ALUMINUM 5" HALF-ROUND GUTTER, HANGERS AND 3" PLAIN ROUND DOWNSPOUT W/ BRACKETS AND CHEATS, AS REQUIRED.

**NOTES:**

**LEGEND:**

**FLYNN-COULTON RESIDENCE - RENOVATION**  
 439 N. Main Street  
 Hudson, Ohio 44236

Date	
05/22/20	PROGRESS SET
06/22/20	PROGRESS SET
07/26/20	PROGRESS SET
08/04/20	AHBR SUBMITTAL

Scale As Noted

Proposed Pavilion Elevations

**A2.1**

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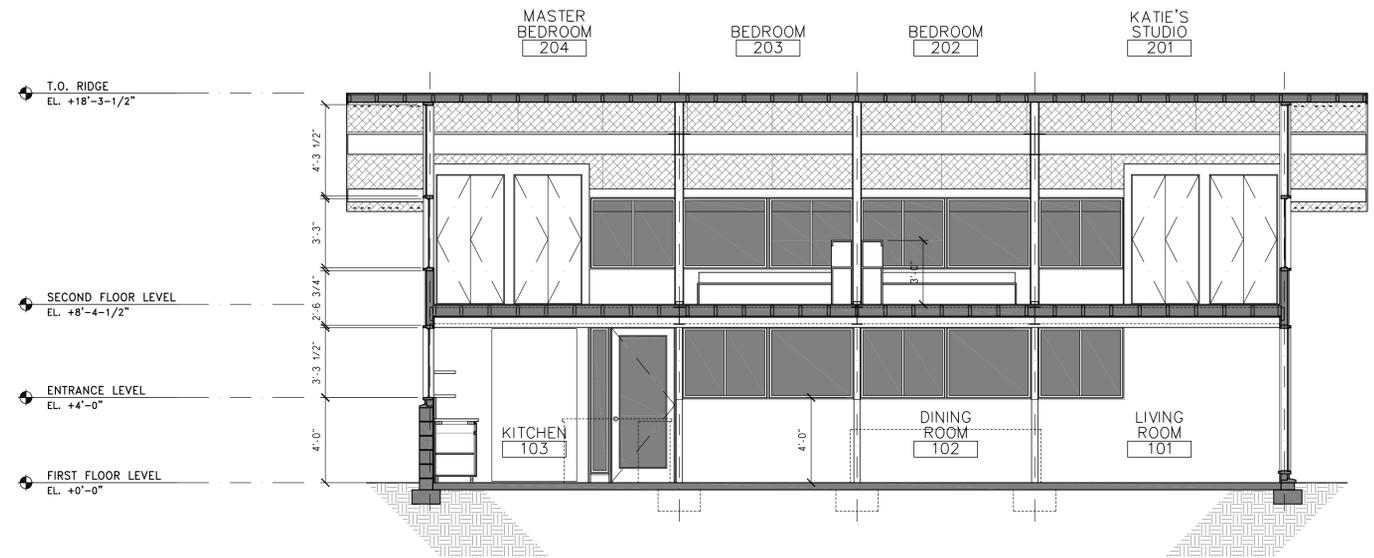
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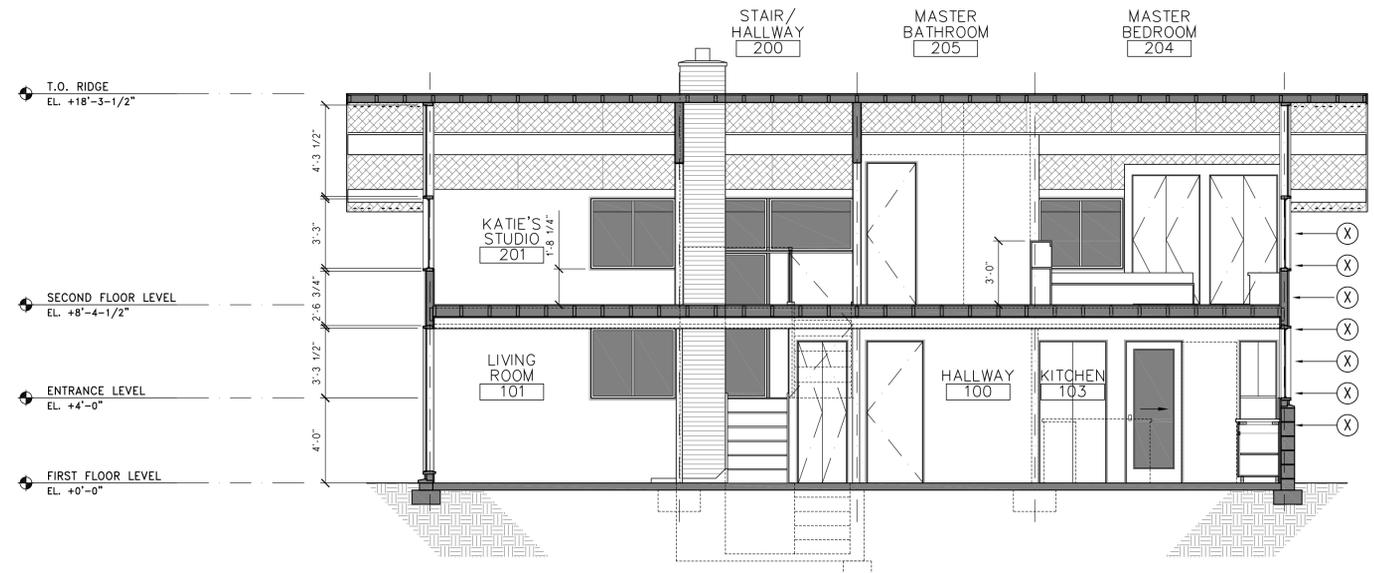
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**1** LONGITUDINAL SECTION - LOOKING NORTH  
SCALE: 1/4" = 1'-0"



**2** LONGITUDINAL SECTION - LOOKING SOUTH  
SCALE: 1/4" = 1'-0"

**KEYNOTES:** ①

- |  |  |  |   |  |  |
|--|--|--|---|--|--|
| <p>1. EXISTING 12" CMU BLOCK FOUNDATION WALL</p> <p>2. EXISTING CONCRETE FOOTING</p> <p>3. EXISTING CONCRETE SLAB</p> <p>4. NEW 8" CMU BLOCK FOUNDATION WALL, W/WATERPROOFING MEMBRANE LAPPED OVER FOOTING, AND INSULATING DRAINAGE BOARD</p> <p>5. NEW 20"x8" CONCRETE FOOTING W/(2) #5, CONTINUOUS</p> <p>6. NEW 4" CONCRETE SLAB W/OVER WELDED WIRE FABRIC, OVER 8 MIL VAPOR BARRIER, OVER 4" MIN. COMPACTED BASE.</p> <p>7. SISTER NEW AND EXISTING WOOD FLOOR JOISTS AT EXISTING 12" CMU WALL, TYPICAL.</p> <p>8. 2-1/4" RED OAK WOOD PLANK FLOORING OVER 3/4" PLYWOOD SUBSTRATE. LEVEL AND STAIN FINISH TO MATCH EXISTING KITCHEN FLOOR.</p> | <p>9. NEW WOOD ACCESS PANEL/DOOR</p> <p>10. EXISTING 1X VERTICAL T&amp;G PINE WOOD PLANK FINISH. USE SALVAGED PIECES FOR NEW ACCESS PANEL/DOOR FROM CRAWL SPACE.</p> <p>11. 2X10 WOOD RIM BOARD</p> <p>12. 2X8 PRESSURE-TREATED SILL PLATE WITH 1/2" DIA. X 12" LONG ANCHOR BOLTS, GROUT SOLID.</p> <p>13. NEW 2X10 WOOD FLOOR JOISTS.SEE NOTE #7</p> <p>14. 2X10 RAFTER TIE @16" O.C. REFER TO FRAMING PLAN ON SHEET A12.</p> <p>15. 2X10 RAFTERS @16" O.C. REFER TO ROOF FRAMING PLAN ON SHEET A13.</p> <p>16. 2X10 WOOD RIDGE BOARD. SUPPORT WITH (2) 2X4 POSTS AT GABLE-END WALLS.</p> | <p>17. (2) 2X8 DOUBLE WOOD HEADER ABOVE WINDOW W/(2) 2X4 POSTS (EACH SIDE)</p> <p>18. NEW 1X FASCIA BOARD TO MATCH EXISTING.</p> <p>19. CONTINUOUS SOLID WOOD paneled SOFFIT AT EAVES OVERHANG, PAINTED.</p> <p>20. (2) 2X4 POST AT GABLE-END WALL FOR RIDGE BOARD SUPPORT</p> <p>21. NEW 2'-6" X 6'-8" FOUR-PANEL SOLID WOOD DOOR TO MATCH EXISTING, PAINTED.</p> <p>22. NEW 1X WOOD SHELF WITH CONTINUOUS 1X4 SUPPORT/BLOCKING AND METAL ROD/BRACKET (BOTH SIDES)</p> <p>23. NEW WOOD BUILT-IN BOOKCASES WITH ADJUSTABLE WOOD 1X SHELVES, WOOD COUNTERTOP AND CABINETS BELOW. REFER TO A4.0 INTERIOR ELEVATIONS FOR DETAILS.</p> | <p>24. VENT-FREE GAS FIREBOX. REFER TO MANUFACTURER SPECIFICATIONS FOR 2X4 FRAMING CLEARANCES AND DIMENSIONS.</p> <p>25. PROVIDE NEW GAS LINE AND SHUT-OFF VALVE TO VENT-FREE GAS FIREBOX, PER MANUFACTURER SPECIFICATIONS.</p> <p>26. NEW 6" DIA. METAL SUPPLY AIR DUCT. COORDINATE ROUTING WITH NEW/EXISTING JOIST SPACING. REFER TO BASEMENT/FOUNDATION PLAN</p> <p>27. PROVIDE NEW CONTINUOUS 4" DIA. PVC PERFORATED PIPE FOUNDATION DRAIN W/COARSE GRAVEL FILL AND FILTER FABRIC.</p> <p>28. NEW 2'-4" X 3'-7" PELLA ARCHITECT SERIES "RESERVE" ALUMINUM-CLAD WOOD DOUBLE-HUNG WINDOW WITH ILT GRILLES, TO MATCH EXISTING HISTORIC GABLE-END WINDOW. OWNER TO SELECT CLADDING COLOR AND HARDWARE FINISH.</p> | <p>29. NEW PRE-FINISHED PAINTED ALUMINUM 6" HALF-ROUND GUTTER W/HALF-ROUND HANGERS. OWNER TO SELECT COLOR.</p> <p>30. PROVIDE R-19 BATT INSULATION AT WALLS.</p> <p>31. PROVIDE R-38 BATT INSULATION AT FLOOR AND CEILING JOISTS.</p> <p>32. NEW 30-YR. ARCHITECTURAL SHINGLE, OVER #15 FELT, OVER 1/2" OSB SHEATING, OVER 2X10 WOOD RAFTERS @16"O.C.</p> <p>33. PROVIDE RIDGE VENT</p> <p>34. PROVIDE PRE-FINISHED PAINTED ALUMINUM DRIP EDGE. COLOR TO MATCH FASCIA BOARD.</p> <p>35. NEW LVL HEADER AT POCKET DOOR OPENING. REFER TO FRAMING PLAN.</p> <p>36. PROVIDE (3) 2X4 POSTS (EACH SIDE) AT NEW LVL HEADER BEAM.</p> | <p>37. NEW CEDAR WOOD HORIZONTAL LAP SIDING W/4" EXPOSURE TO MATCH EXISTING, OVER HOUSE WRAP, OVER 1/2" APA RATED EXTERIOR GRADE SHEATING, ON 2X4 WOOD STUDS @ 16"O.C.</p> <p>38. LINE OF EXISTING ROOM CEILING AND WALLS BEYOND.</p> <p>39. EXISTING 2X8 WOOD RAFTER FRAMING.</p> <p>40. NEW 2X8 WOOD RAFTER @16"O.C. AT EXISTING ROOF FRAMING.</p> <p>41. NEW 2X8 WOOD RIDGE BOARD AT EXISTING ROOF FRAMING.</p> |
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**FLYNN-COULTON RESIDENCE - RENOVATION**  
 439 N. Main Street  
 Hudson, Ohio 44236

Date	Progress
05/22/20	PROGRESS SET
06/22/20	PROGRESS SET
07/26/20	PROGRESS SET
08/04/20	AHBR SUBMITTAL

Scale As Noted

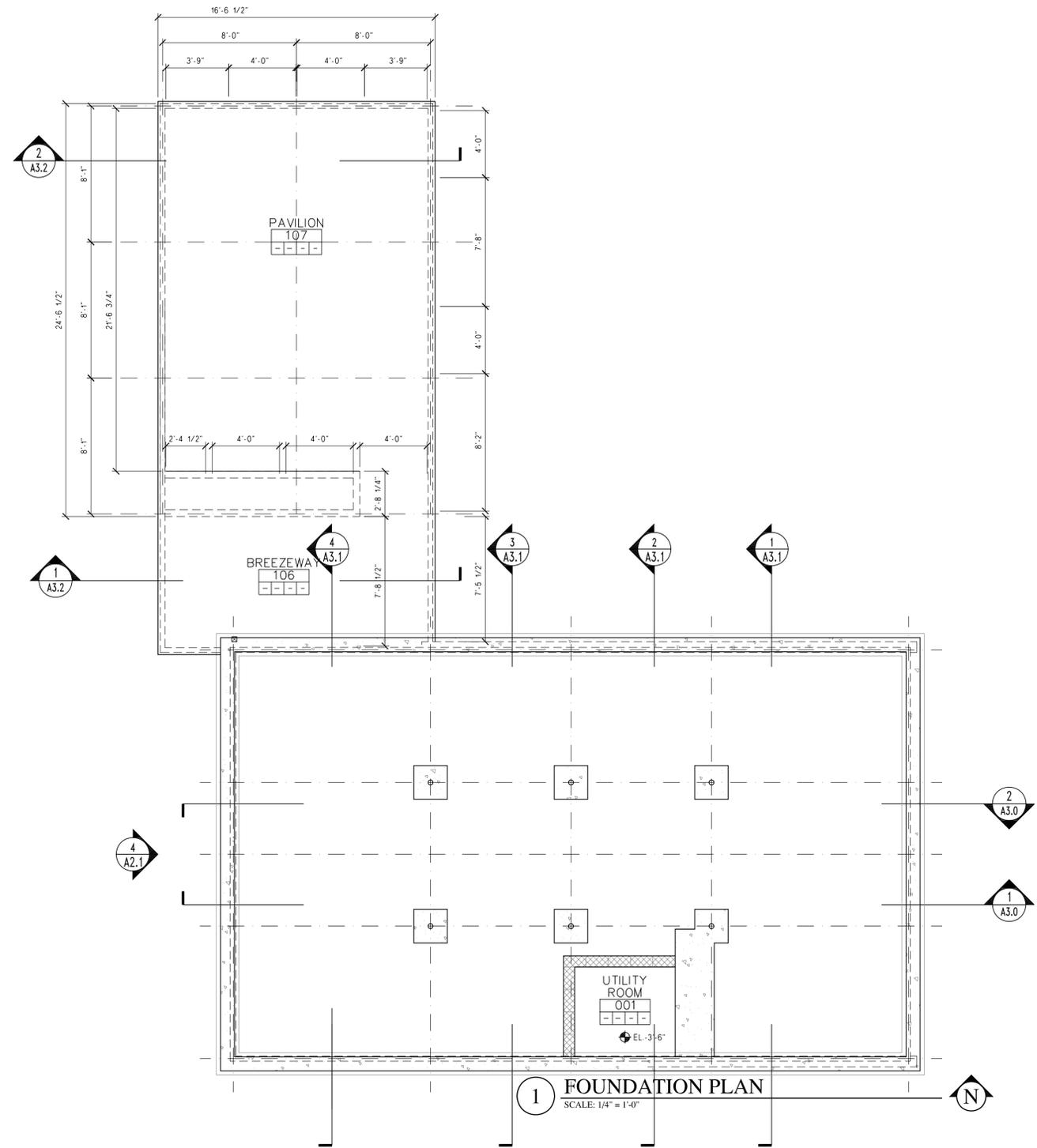
**Building Sections**

**A3.0**





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**KEYNOTES:** ①

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**NOTES:**

- A. ALL DIMENSIONS ARE TO FACE OF STUD (F.O.S.), UNLESS NOTED OTHERWISE
- B. REFER TO SHEET A4.0 INTERIOR ELEVATIONS FOR ADDITIONAL MATERIAL AND FINISH SCOPE OF WORK.

**LEGEND:**

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|  | EXISTING MASONRY WALL  |
|  | EXISTING CONSTRUCTION  |
|  | REMOVE EXISTING CONSTRUCTION   |
|  | NEW CONSTRUCTION   |
|  | NEW CMU BLOCK FOUNDATION WALL  |
|  | INDICATES EXISTING/NEW CEILING HEIGHT, ABOVE FINISHED FLOOR (A.F.F.) |
|  | ELECTRICAL POWER OUTLET  |

**FLYNN-COULTON RESIDENCE - RENOVATION**

439 N. Main Street  
Hudson, Ohio 44236

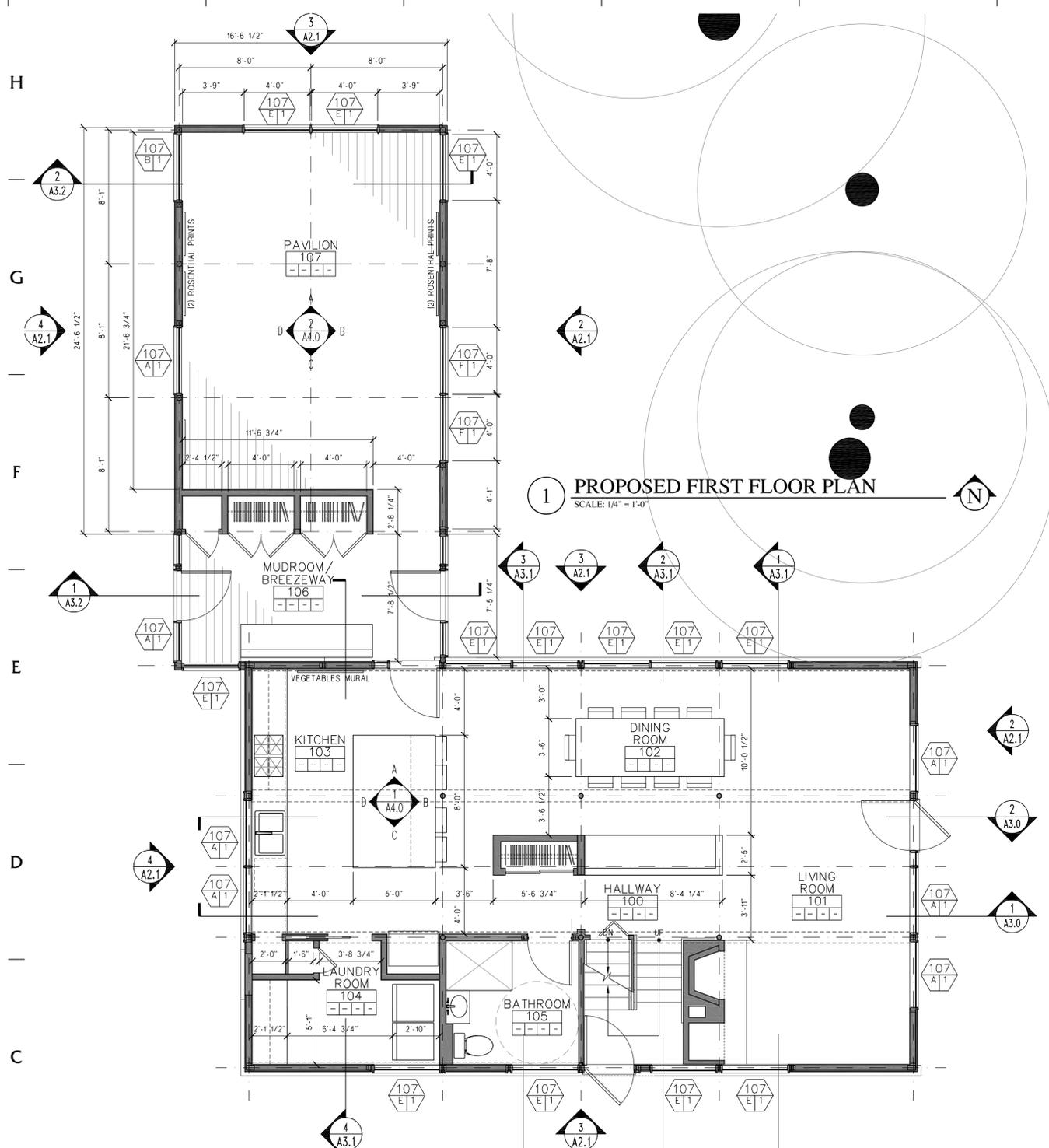
Date	
05/22/20	PROGRESS SET
06/22/20	PROGRESS SET
07/26/20	PROGRESS SET
08/04/20	AHBR SUBMITTAL

Scale As Noted

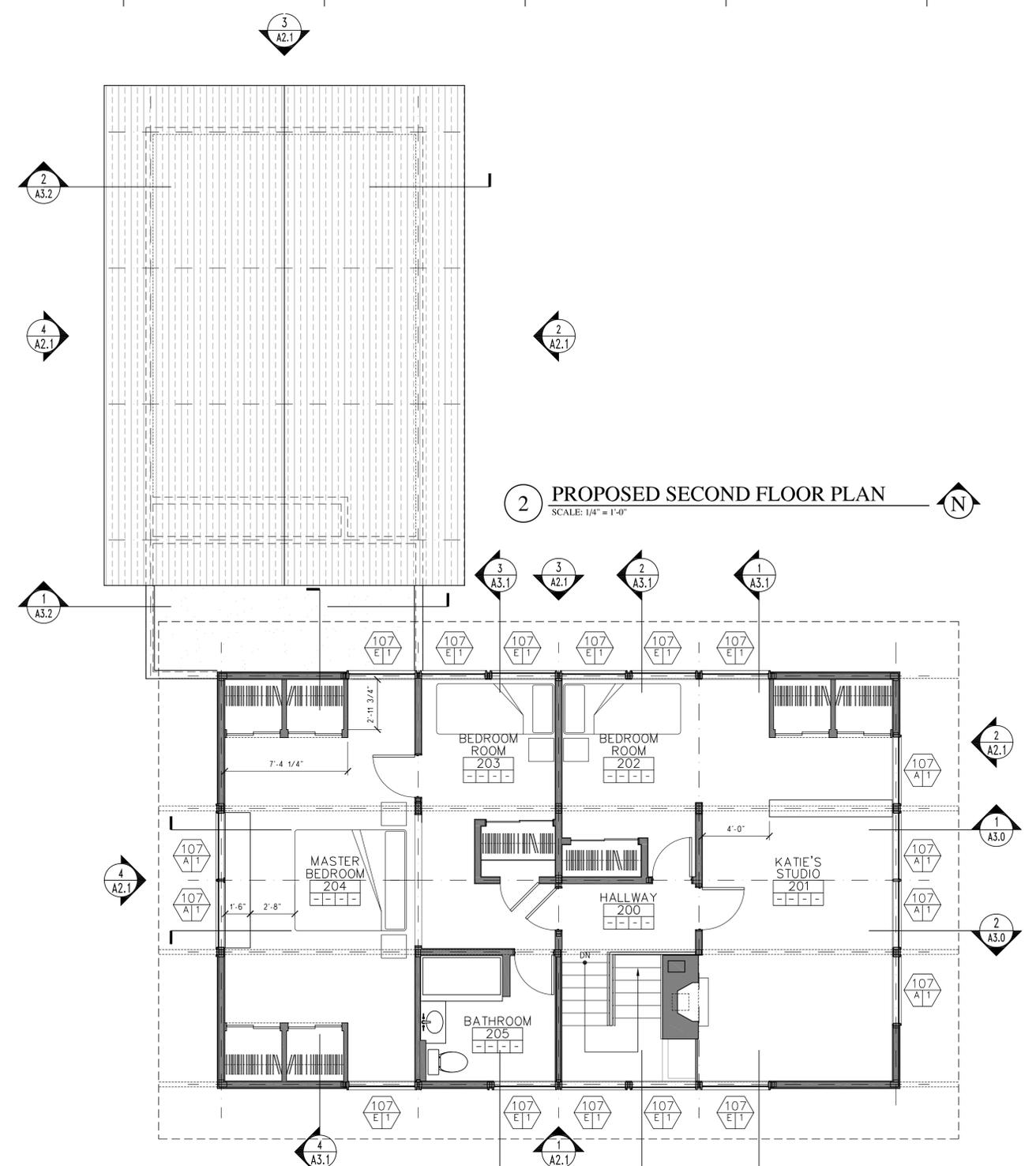
Proposed Foundation Plan

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- KEYNOTES:**
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- NOTES:**
- A. ALL DIMENSIONS ARE TO FACE OF STUD (F.O.S.), UNLESS NOTED OTHERWISE
- B. REFER TO SHEET A4.0 INTERIOR ELEVATIONS FOR ADDITIONAL MATERIAL AND FINISH SCOPE OF WORK.
- ROOM FINISH CODES:**
- | FLOOR               | BASE               | WALL                 | CEILING              |
|---------------------|--------------------|----------------------|----------------------|
| 1 EXISTING CARPET   | A EXISTING BRICK   | 1 EXISTING BRICK     | A EXISTING PLASTER   |
| 2 EXISTING CONCRETE | B WOOD BD. STAINED | 2 EXISTING PLASTER   | B EXIST./ACT PLASTER |
| 3 WOOD PLANK        | C EXISTING/PATCH   | 3 WD. PANEL STAINED  | C EXISTING WD. PANEL |
| 4 EXISTING/PATCH    |                    | 4 GYPSUM BD. PAINTED | D GYPSUM BD. PAINTED |
|                     |                    | 5 EXISTING/PATCH     | E NO WORK            |
- LEGEND:**
- EXISTING MASONRY WALL
  - EXISTING CONSTRUCTION
  - REMOVE EXISTING CONSTRUCTION
  - NEW CONSTRUCTION
  - NEW CMU BLOCK FOUNDATION WALL
  - INDICATES EXISTING/NEW CEILING HEIGHT, ABOVE FINISHED FLOOR (A.F.F.)
  - ELECTRICAL POWER OUTLET

**FLYNN-COULTON RESIDENCE - RENOVATION**  
439 N. Main Street  
Hudson, Ohio 44236

Date	05/22/20	PROGRESS SET
	06/22/20	PROGRESS SET
	07/26/20	PROGRESS SET
	08/04/20	AHBR SUBMITTAL
Scale	As Noted	
Proposed First & Second Floor Plans		
<b>A1.2</b>		

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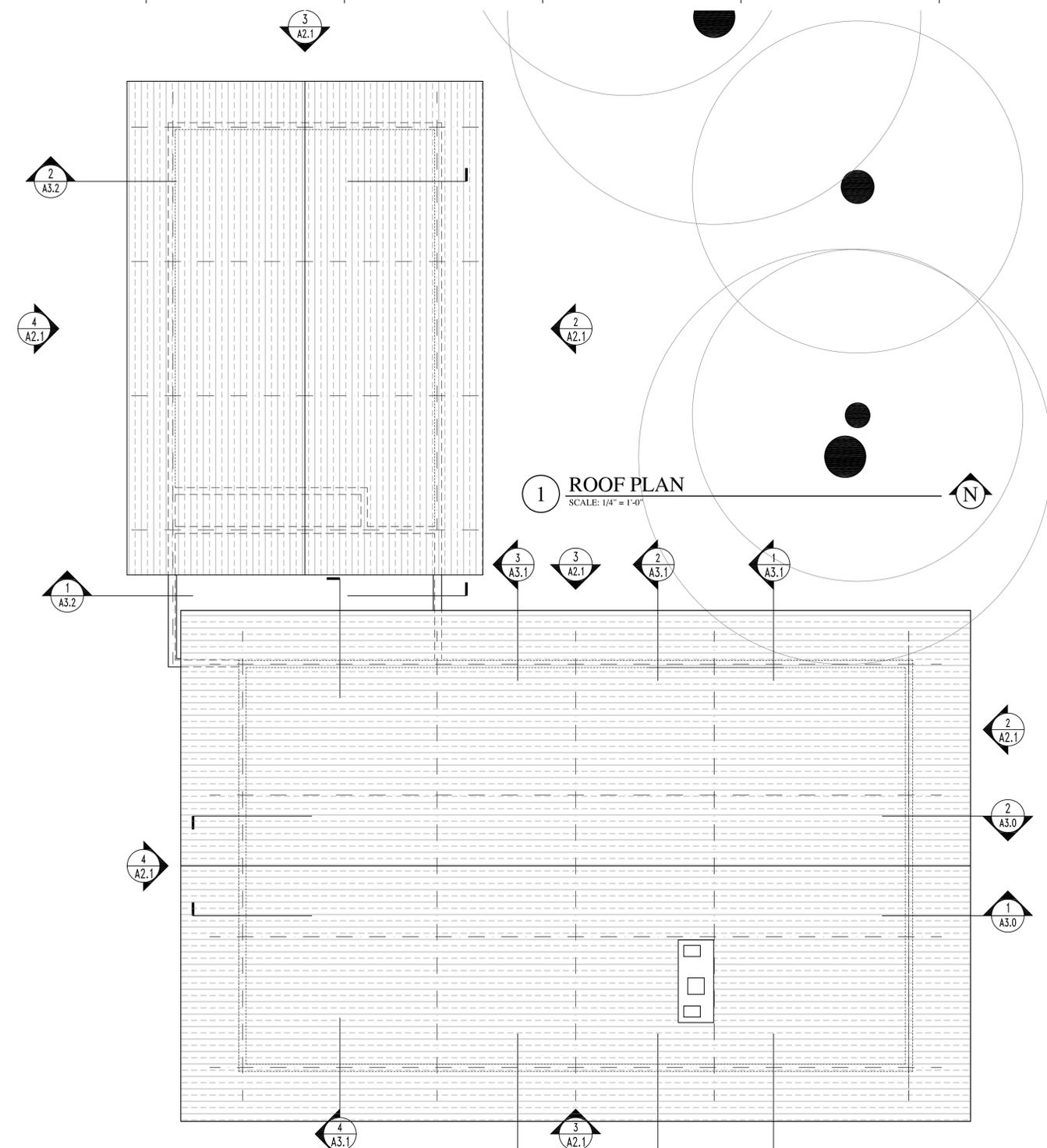
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KEYNOTES: ①

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NOTES:

- A. ALL DIMENSIONS ARE TO FACE OF STUD (F.O.S.), UNLESS NOTED OTHERWISE
- B. REFER TO SHEET A4.0 INTERIOR ELEVATIONS FOR ADDITIONAL MATERIAL AND FINISH SCOPE OF WORK.

LEGEND:

- EXISTING MASONRY WALL
- EXISTING CONSTRUCTION
- REMOVE EXISTING CONSTRUCTION
- NEW CONSTRUCTION
- NEW CMU BLOCK FOUNDATION WALL
- INDICATES EXISTING/NEW CEILING HEIGHT, ABOVE FINISHED FLOOR (A.F.F.)
- ELECTRICAL POWER OUTLET

FLYNN-COULTON RESIDENCE - RENOVATION

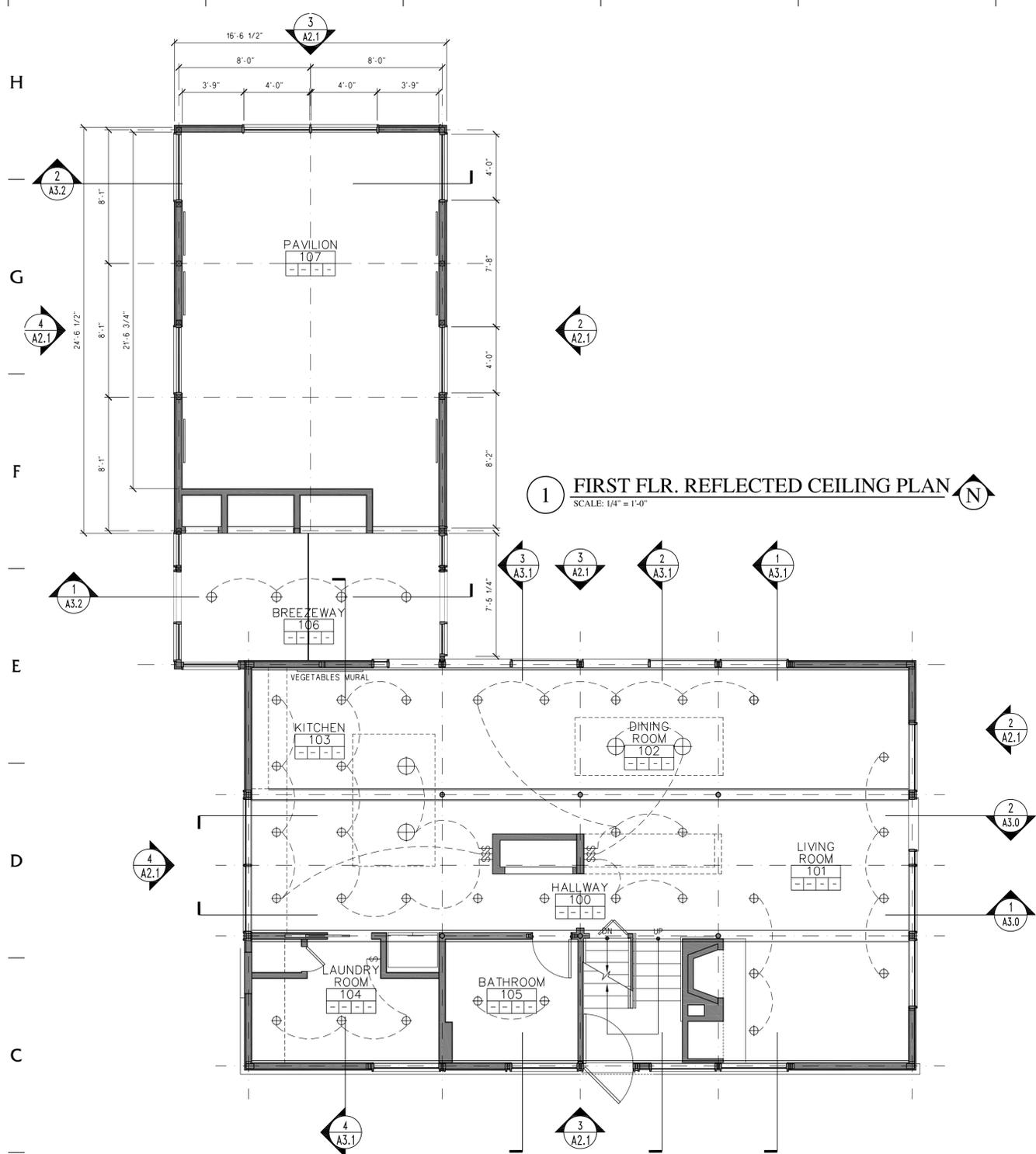
439 N. Main Street  
Hudson, Ohio 44236

Date	
05/22/20	PROGRESS SET
06/22/20	PROGRESS SET
07/26/20	PROGRESS SET
08/04/20	AHBR SUBMITTAL

Scale As Noted

Roof Plan

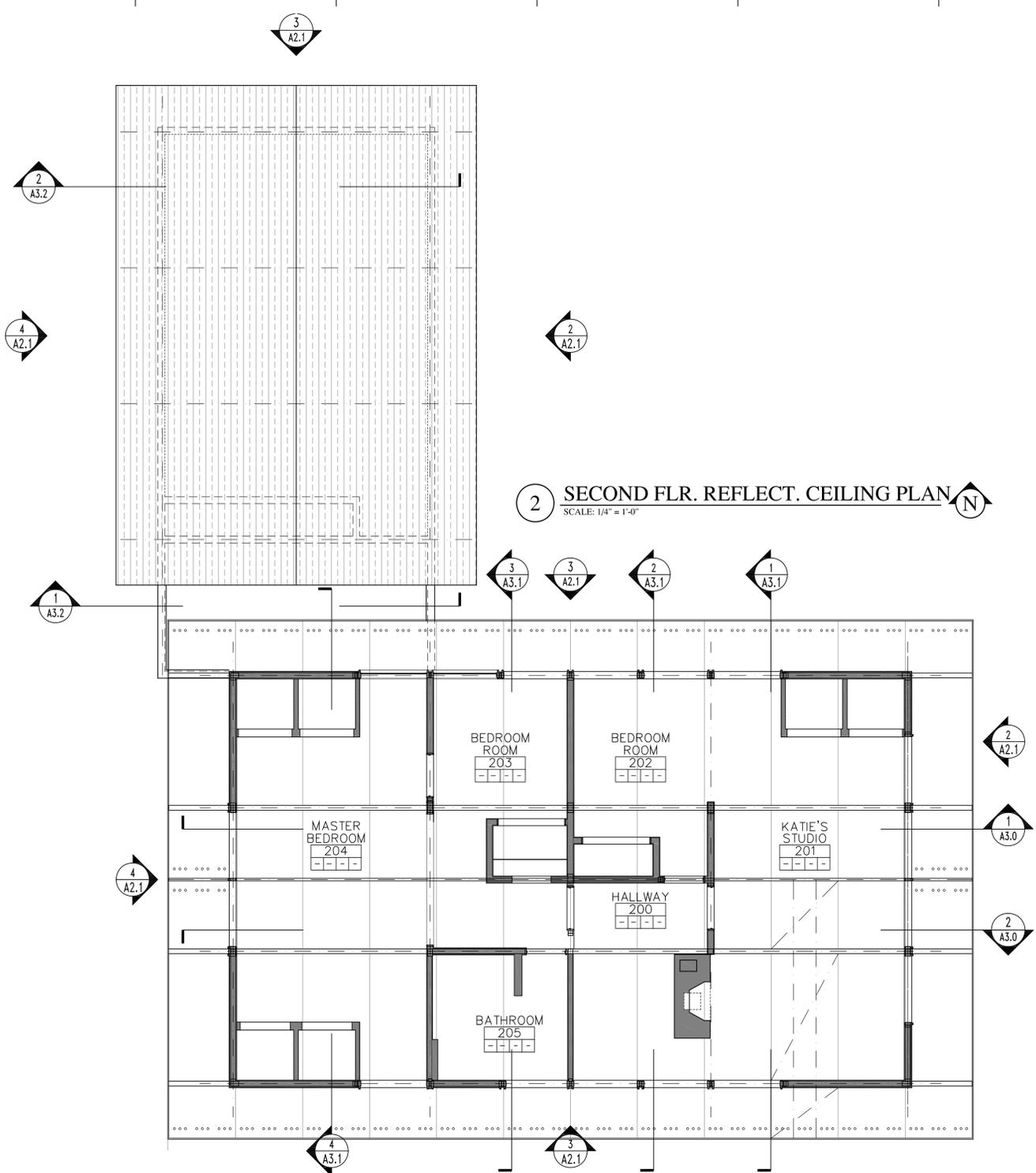
A1.3



1 FIRST FLR. REFLECTED CEILING PLAN  
SCALE: 1/4" = 1'-0"

KEYNOTES: ①

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2 SECOND FLR. REFLECT. CEILING PLAN  
SCALE: 1/4" = 1'-0"

NOTES:

- A. ALL DIMENSIONS ARE TO FACE OF STUD (F.O.S.), UNLESS NOTED OTHERWISE
- B. REFER TO SHEET A4.0 INTERIOR ELEVATIONS FOR ADDITIONAL MATERIAL AND FINISH SCOPE OF WORK.

ROOM FINISH CODES:

FLOOR	BASE	WALL	CEILING
1 EXISTING CARPET	A EXISTING BRICK	1 EXISTING BRICK	A EXISTING PLASTER
2 EXISTING CONCRETE	B WOOD BD. STAINED	2 EXISTING PLASTER	B EXIST/ACT PLASTER
3 WOOD PLANK	C EXISTING/PATCH	3 WD. PANEL STAINED	C EXISTING WD. PANEL
4 EXISTING/PATCH		4 GYPSUM BD. PAINTED	D GYPSUM BD. PAINTED
		5 EXISTING/PATCH	E NO WORK

LEGEND:

- EXISTING MASONRY WALL
- EXISTING CONSTRUCTION
- REMOVE EXISTING CONSTRUCTION
- NEW CONSTRUCTION
- NEW CMU BLOCK FOUNDATION WALL
- INDICATES EXISTING/NEW CEILING HEIGHT, ABOVE FINISHED FLOOR (A.F.F.)
- ELECTRICAL POWER OUTLET

FLYNN-COULTON RESIDENCE - RENOVATION  
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Hudson, Ohio 44236

Date	Description
05/22/20	PROGRESS SET
06/22/20	PROGRESS SET
07/26/20	PROGRESS SET
08/04/20	AHBR SUBMITTAL

Scale: As Noted

Reflected Ceiling Plans

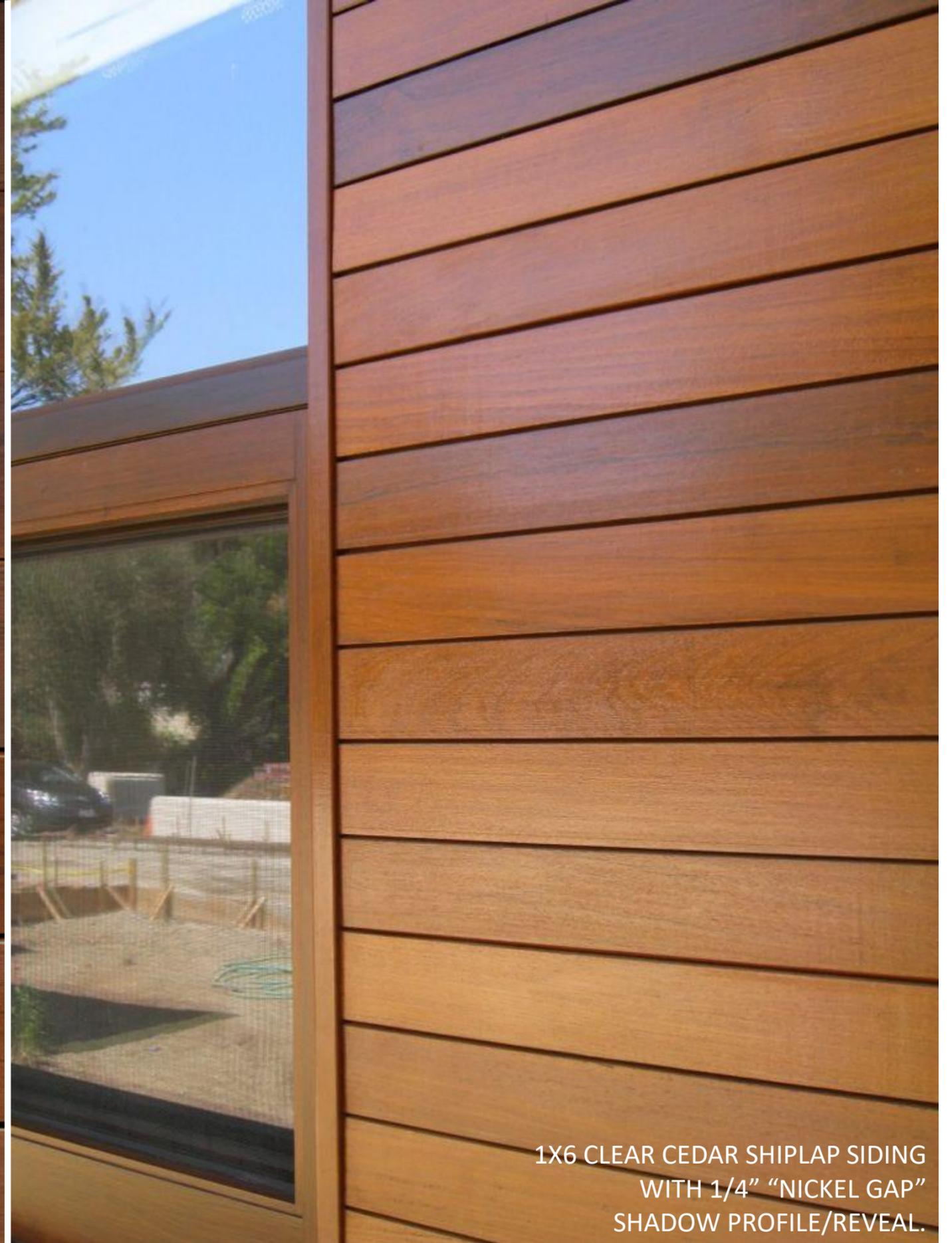
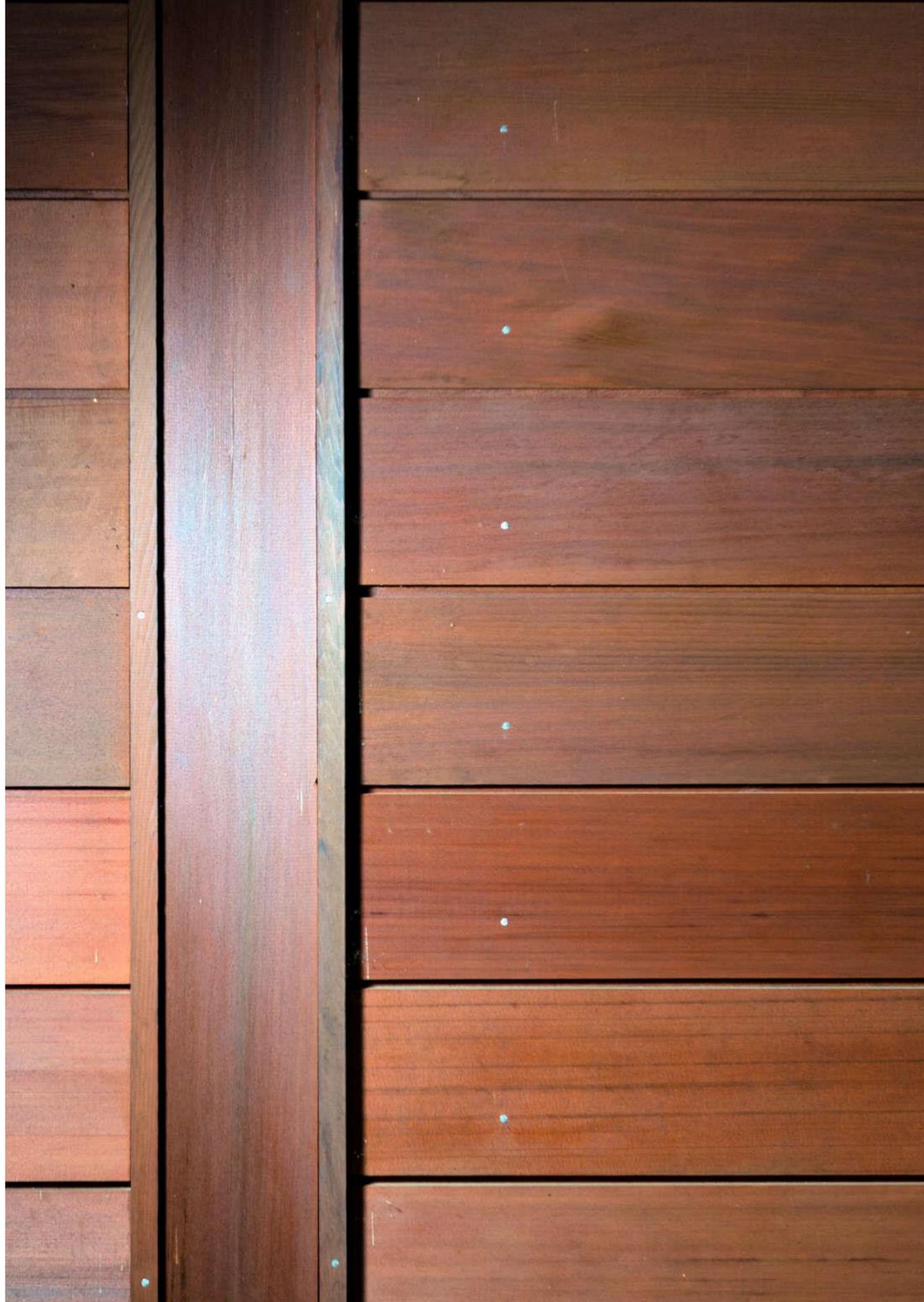
A1.4



1X6 CLEAR CEDAR SHIPLAP SIDING  
WITH 1/4" "NICKEL GAP"  
SHADOW PROFILE/REVEAL.

# Cedar Shiplap Siding Precedent & Detail

439 N. Main Street Renovation & Addition



1X6 CLEAR CEDAR SHIPLAP SIDING  
WITH 1/4" "NICKEL GAP"  
SHADOW PROFILE/REVEAL.

# Cedar Shiplap Siding Precedent & Detail

439 N. Main Street Renovation & Addition



Pella®  
Reserve™  
Contemporary



Moreland Hills, OH



## The Sophistication of Simplicity.

### Modern Collection



Multislide



Casement/Awning Window



Hinged Patio Door  
Bifold Door<sub>1</sub>



Sliding Patio Door  
Multi-Slide Door<sub>2</sub>

### Finishes



Polished Nickel



Polished Chrome



Satin Nickel



Matte Black



Available with factory-installed  
integrated security sensors.



**Wood Windows and Patio Doors**

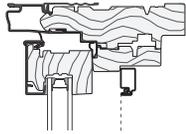
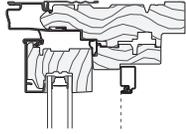
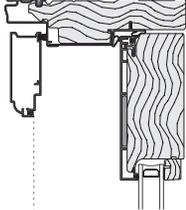
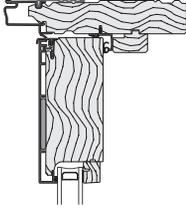
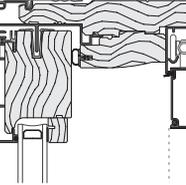
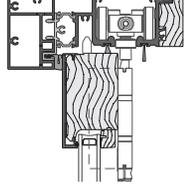
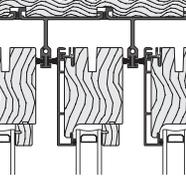
(1) When selected as an option on Multi-Panel doors this hardware is only available on Bifold configurations with a passage door.

(2) When selected as an option on Multi-Panel doors this hardware will not allow lead panel to stack completely.

Because of printing and display limitations, actual colors may vary from those shown.

# Brand Overview

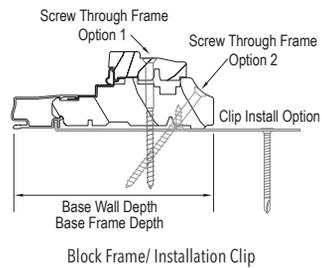
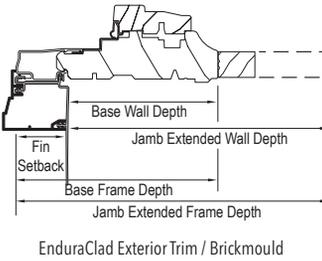
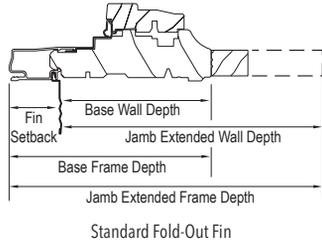
For complete product information, visit [PELLA.com](http://PELLA.com)

	Cross Section	Frame / Install	Wall Depth Range	Performance Range
Awning Vent and Fixed		Fold-out fin Block Frame EnduraClad Exterior Trim / Brickmould	Base Frame Depth: 5" Std. Fin Setback: 1-5/16" Base Wall Depth: 3-11/16" Jamb extended wall depth: 3-11/16" - 9-3/16"	LC30 - CW50 U: 0.25 - 0.33 SHGC: 0.18 - 0.47 STC: up to 34
Casement Vent and Fixed		Fold-out fin Block Frame EnduraClad Exterior Trim / Brickmould	Base Frame Depth: 5" Std. Fin Setback: 1-5/16" Base Wall Depth: 3-11/16" Jamb extended wall depth: 3-11/16" - 9-3/16"	LC30 - CW50 U: 0.25 - 0.34 SHGC: 0.17 - 0.51 STC: up to 34
In-Swing Patio Door		Fold-out fin Block Frame EnduraClad Exterior Trim / Brickmould	Base Frame Depth: 5-7/8" Std. Fin Setback: 1-5/16" Base Wall Depth: 4-9/16" Extended wall depth: 4-9/16" - 7-5/16"	LC40 - LC55 U: 0.25 - 0.32 SHGC: 0.14 - 0.40 STC: up to 35
Out-Swing Patio Door		Fold-out fin Block Frame EnduraClad Exterior Trim / Brickmould	Base Frame Depth: 5-7/8" Std. Fin Setback: 1-5/16" Base Wall Depth: 4-9/16" Jamb Extended wall depth: 4-9/16" - 9-3/16"	LC40 - LC70 U: 0.25 - 0.32 SHGC: 0.14 - 0.39 STC: up to 36
Sliding Patio Door		Fold-out fin Block Frame EnduraClad Exterior Trim / Brickmould	Base Frame Depth: 5-7/8" Std. Fin Setback: 1-5/16" Base Wall Depth: 4-9/16" Jamb Extended wall depth: 4-9/16" - 9-3/16"	LC25 - LC70 U: 0.25 - 0.34 SHGC: 0.18 - 0.51 STC: up to 35
Bifold Patio Door		Contact your local Pella Sales representative or Pella Architectural Support for assistance and additional details.		Out-Swing standard sill: R15 - LC25 U: 0.26 - 0.44 SHGC: 0.13 - 0.45
Multi-Slide Patio Door		Contact your local Pella Sales representative or Pella Architectural Support for assistance and additional details.		1-1/2" Weep Sill: R15 - LC25 Varies by Sill Type: U: 0.30 - 0.36 SHGC: 0.15 - 0.46

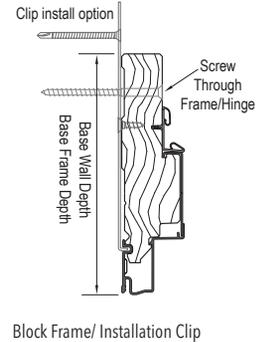
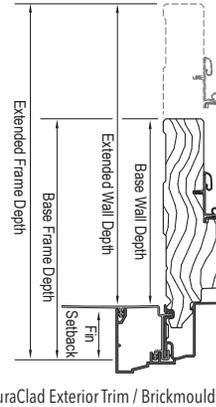
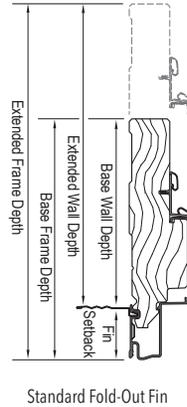
Performance ranges shown are for single-units and do not account for combinations (multiple units mulled together). Drawings are not to scale.

# Brand Overview

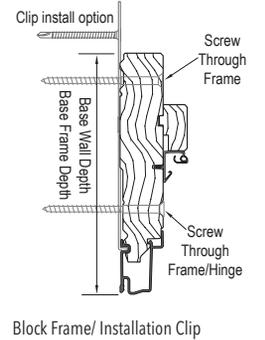
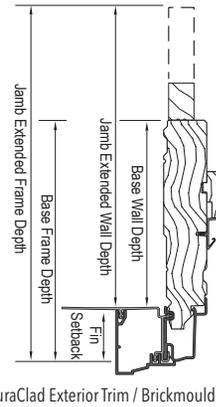
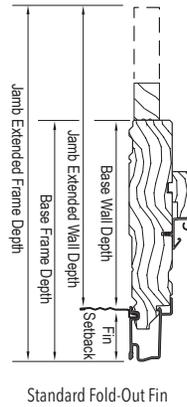
## Window Frame Dimensions



## In-Swing Door Frame Dimensions



## Out-Swing door frame dimensions



Window and door frames shown are typical products only and may not apply to custom products or Multi-Panel patio doors.

## Finishes

### Enduraclad® Protective Finish Standard Colors + Virtually Unlimited Custom Colors



### Interior Prefinished Colors



Because of printing and display limitations, actual colors may vary from those shown.

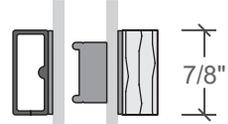
## Grilles

For custom grille sizes and pattern availability, contact your local Pella sales representative.

### Integral Light Technology® Grilles

- Extruded aluminum grilles are adhered to the exterior face
- Wood grilles are adhered to the interior face
- Between-the-glass foam spacers, which are aligned with the interior and exterior grilles, replicate the appearance of true divided lights
- Custom grille patterns are available
- Typical grilles for Architect Series Contemporary are 7/8" wide square profile

### Grille Profile

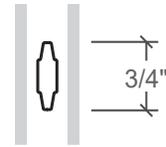


5/8", 7/8", 1-1/4",  
and 2" widths

### Grilles-Between-the-Glass<sup>1</sup>

- Permanent aluminum grilles are factory-installed inside the airspace of insulating glass
- White, Tan<sub>2</sub>, Brown, Putty<sub>2</sub>, Black, Morning Sky Gray, Ivory, Sand Dune, Harvest, Cordovan or Brickstone interior.
- Exterior finish matches aluminum-cladding color
- Grilles are 3/4" wide
- Interior colors complement today's most popular interior finishes; choose a color to coordinate with the window or door frame, or select a contrasting grille color for a one-of-a-kind look

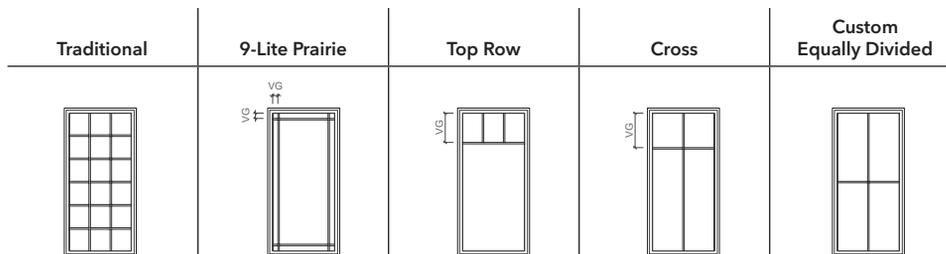
### Grille Profile



### Interior GBG Colors



### Available Patterns



Pattern availability may vary depending on size of unit.

Custom configurations are also available, for details contact your local Pella sales representative.

## Screens



### Vivid View® Screen

Provides the sharpest view and is available as an upgrade on Pella wood windows and patio doors. Allows in 29% more light and is 21% more open to airflow compared to conventional screen.

PVDF 21/17 mesh, 78% light transmissive.

### InView™ Screen

Standard screen on Pella wood windows and patio doors.

More transparent than conventional fiberglass, allows 14% more light and is 8% more open to airflow than conventional screen.

Vinyl coated 18/18 mesh fiberglass, Complies with performance requirements of SMA 1201.

### Conventional Screen

Standard on Rolscreen® retractable screens on patio doors.

Black vinyl coated 18/14 mesh fiberglass, Complies with ASTM D 3656 and SMA 1201.

Improved airflow is based on calculated screen cloth openness. Screen cloth transmittance was measured using an integrated sphere spectrophotometer.

(1) Appearance of exterior grille color may vary depending on the Low-E insulating glass selection.

(2) Tan or Putty Interior GBG colors are available in single-tone (Tan/Tan or Putty/Putty).

# Pinnacle<sup>®</sup> Pristine

High Performance Architectural Shingles



PROTECTS



  
**Lifetime**  
LIMITED WARRANTY

  
**130** mph  
WIND RESISTANCE



ATLAS  
Signature Select<sup>®</sup>  
ROOFING SYSTEM

**Pinnacle<sup>®</sup> Pristine Shingles Brochure**

**First Impressions Are Everything.**  
Don't let the black streaks caused by algae ruin it.



**APPROVED PRODUCTS**

"I've been a contractor for over 35 years and I've seen it all. And I know the right products for the right job," says Mike Holmes. "I only partner with brands that share my core values — quality, integrity and trust. 3M has all of those in spades."

*Mike Holmes*  
- Mike Holmes

To learn more about HOLMES Approved Products, please visit: [makeitright.scotchgard.com](http://makeitright.scotchgard.com)

## A Brand You Know And Trust Scotchgard™ Protector

**25+** years of proven performance.

### Copper Fights Black Streaks

Atlas shingles featuring Scotchgard™ Protector have:

- Copper-containing granules with a proprietary 3M porous ceramic coating that allow copper ions to release slowly over time.
- A minimum 10% blend of evenly distributed 3M™ Copper Granules among standard colored granules.
- Third-party verification of the 3M copper granule application.
- An Atlas Lifetime\* Algae Resistance Limited Warranty against black streaks caused by algae.

Keep your roof looking beautiful and protect the long-term investment in your home by installing Atlas shingles featuring Scotchgard™ Protector.

10% or more 3M copper-containing granules = protection against the black streaks caused by algae.

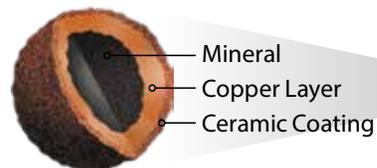
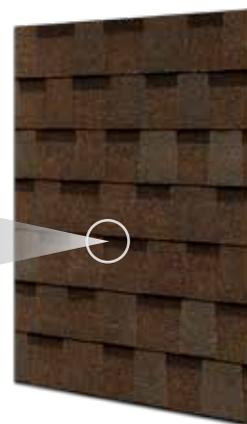


Illustration of a 3M copper roofing granule.



### Dreaming Of A Home Redesign?

Get creative with the Roof Inspiration Center, a suite of home design tools from Atlas.

From shingles to siding, reinvent the look of your home with the Roof & Home Design Studio. Like all your ideas in one spot? With RoofSwap! you can upload home photos, swipe for different looks and save your ideas to a mood board. Explore shingle styles, features and colors with the Visual Product Selector.

Whether you have 3 minutes or 30, your new look is just around the corner.

**[AtlasRoofing.com/Roof-Inspiration](http://AtlasRoofing.com/Roof-Inspiration)**

# Pristine Appearance. Pristine Appeal.

## **Pinnacle® Pristine** High Performance Architectural Shingles



Pinnacle® Pristine High Performance Architectural Shingles provide a wide array of color choices to complement any exterior color palette. Advanced technology implemented by Atlas protects the shingles against high winds while Scotchgard™ Protector helps prevent ugly black streaks caused by algae. With Pinnacle® Pristine shingles, roofs maintain their look and performance for years.



### Classic



### Special Order Limited regional availability. Please contact your local supplier.





# Lifetime

LIMITED WARRANTY

## Warranty

Be confident in your purchase with a long-lasting Lifetime Limited Warranty\*\*.



## Protection

Beauty meets protection with the help of the Atlas 130 mph Wind Limited Warranty\*\*.



## Curb Appeal

Maintain your home's appearance with a roof that looks beautiful for years by resisting the black streaks caused by algae.



# Pinnacle® Pristine Natural Expressions

**Designer colors, inspired by our natural world, preserved with Scotchgard™ Protector from 3M.**

The colors of nature will be an integral part of your home when you choose the Pinnacle® Pristine Natural Expressions color palette from Atlas Roofing. Make a statement with the bold, impactful, long-lasting colors of Pinnacle® Pristine Natural Expressions with Scotchgard™ Protector from 3M.



**Coastal Granite**

Imagine standing on the windswept coast of Maine. Feel a little thrill to see how the color of the rocks almost matches the pounding seas? If so, then **Coastal Granite**, a deep gray that's anything but neutral, may be your shingle of choice.



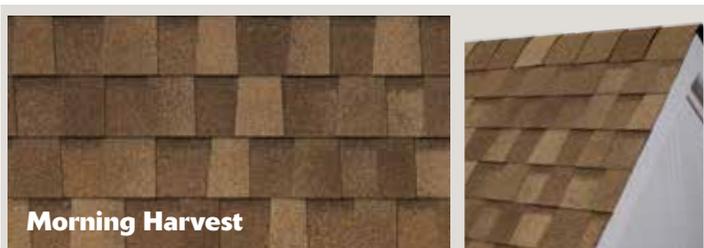
**Copper Canyon**

Are you drawn to wide-open spaces and big, dramatic vistas? Then **Copper Canyon** shingles may be for you. Looking like they came directly from the rugged landscapes of the Old West, these shingles can't help but inspire your sense of adventure.



**Majestic Shake**

You know how historic trees have a certain dignity about them? Some homes do too. When your aesthetic is formal and traditional, you want a shingle to match. **Majestic Shake** delivers with a look that's serious without being severe.



**Morning Harvest**

Golden sunlight and a market basket overflowing with the bounty of the garden – if anything inspires warmth and contentment, this is it. **Morning Harvest's** golden tones offer a simple message: welcome.



**Summer Storm**

The world just seems fresher after a good rain. The air smells clean and rain-washed cobblestone streets shimmer like jewels. **Summer Storm** shingles capture that mood of renewed optimism, all with not a cloud on the horizon.



**To provide homeowners the most accurate representation of color options, several photo scans and house shots were utilized in various lighting conditions. Variations in lighting illustrate the color gradients on asphalt shingle roofs.**

Color blends vary from shingle to shingle. Before installation, consult with your contractor and request to view the actual shingles being installed on your roof to ensure confidence in your final color selection.

# Pinnacle® Pristine

## High Performance Architectural Shingles



With Atlas you get more than a roof. You get beautiful, lasting protection, backed by the industry's best warranty\*\* coverage — and the peace of mind that comes with it.

Colors	Limited Warranty**	Algae Resistance*	Signature Select® Eligible <sup>1</sup>
19 Colors	Lifetime	Scotchgard™ Protector	Yes

Increase your Premium Protection Period by installing an Atlas Signature Select® Roofing System.

**10**  
YEARS

Increases To

**15**  
YEARS



### Roof System Components:

- 1 Atlas WeatherMaster® Ice & Water Underlayment
- 2 Atlas Premium Underlayment
- 3 Atlas Pro-Cut® Starter Shingles
- 4 Atlas Roof Shingles
- 5 Atlas Pro-Cut® Hip & Ridge Shingles

### Demand Peak Coverage

When you install an Atlas Signature Select® Roofing System<sup>1</sup>, all of the components are designed and backed by an Atlas warranty. In the unlikely event that you have a problem with your roof, you have a single company to turn to for support.

Unlike many other roofing warranties that promise more than they deliver, Atlas packs value and assurance into an enhanced Premium Protection Period with the installation of an Atlas Signature Select® Roofing System.

The Premium Protection Period includes:

- Non-prorated labor and materials
- Tear off and disposal fees
- Coverage of the full Atlas product system
- Transferability



Pinnacle® Pristine Pearl shingles are Energy Star® certified. Both durable and beautiful, they reflect more of the sun's rays – which keeps the roof cooler, helps it last longer and lowers air conditioning costs.

\* In order to qualify for the Atlas Lifetime Algae Resistance Limited Warranty against black streaks caused by blue-green algae, installation must include Atlas Pro-Cut® Hip & Ridge shingles featuring Scotchgard™ Protector or Atlas Pro-Cut® High Profile Hip & Ridge shingles featuring Scotchgard™ Protector with Atlas shingles featuring Scotchgard™ Protector.

\*\* Refer to the Atlas Roofing Limited Shingle Warranty for all coverage requirements.

<sup>1</sup> Refer to the Atlas Signature Select® Limited Warranty for all system coverage requirements.

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#AtlasProtects

AtlasRoofing.com



# Existing House Looking Northwest

439 N. Main Street Renovation & Addition



**Existing Garage East Elevation**  
439 N. Main Street Renovation & Addition



**Existing House South Elevation (Front)**  
439 N. Main Street Renovation & Addition



# Existing House East Elevation (Right)

439 N. Main Street Renovation & Addition



# Existing House East Elevation (Right)

439 N. Main Street Renovation & Addition



# Existing House North Elevation (Back)

439 N. Main Street Renovation & Addition



# Existing House West Elevation (Left)

439 N. Main Street Renovation & Addition