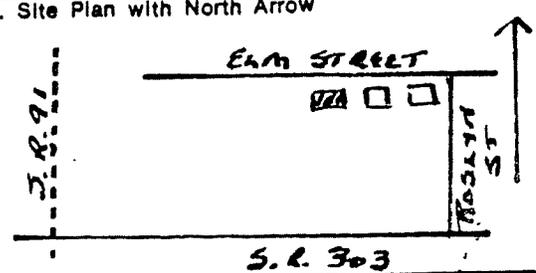


OHIO HISTORIC INVENTORY

Ohio Historic Preservation Office
Ohio Historical Center
Columbus, Ohio 43211

1. No.		4. Present Name(s) Residence, J. Witters	
2. County Summit		5. Other Name(s)	
3. Location of Negatives HHA 31-28			
6. Specific Location 164 Elm Street		18. Thematic Category D	
7. City or Town If Rural, Township & Vicinity Hudson		17. Date(s) or Period c. 1940/1860	
8. Site Plan with North Arrow 		18. Style or Design no academic style	
9. Coordinates Lat. _____ Long. _____ U.T.M. Reference 17 463953 4565475		19. Architect or Engineer	
Zone Easting Northing		20. Contractor or Builder	
10. Site Building <input type="checkbox"/> Structure Object <input type="checkbox"/>		21. Original Use, if apparent slaughter house	
11. National Register? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use residence	
12. Is It Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
13. Part of Estab. Hist. Dist.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		24. Owner's Name & Address, if known J. Witters 164 Elm Street Hudson 44236	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
15. Name of Established District		26. Local Contact Person or Organization Hudson Heritage Association	
42. Further Description of Important Features Front gabled middle section; roof extended to west to form addition; gabled addition on east side; rear addition; attached garage; 2/2 double-hung windows; frieze on front gable on west addition only; center chimney.		27. Other Surveys in Which Included	
43. History and Significance Owner says middle section is original and was used as slaughter house.		37. Condition Interior _____ Exterior good	
44. Description of Environment and Outbuildings Quiet residential street in area of public high school; little traffic.		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
45. Source of Information Summit County Tax Assessment records Owner Personal inspection		39. Endangered? By What? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		40. Visible from Public Road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Road	
		Photo	
		46. Prepared by L Newkirk, F Barlow	
		47. Organization HHA	
		48. Date 49. Revision Date(s)	

Rick Hawksley AIA Architect

PO Box
120 Portage Street
Kent, Ohio 44240
www.designwithavision.com
330-715-2354

Alicia Schrenk
City of Hudson
Hudson, Ohio

July 26th 2022

RE: Revisions to AHRB Submission 164 Elm Street

Dear Alicia,

Per our discussion, I have amended the submission and respond to the comments in this letter. Materials information will be uploaded separately.

RESPONSES TO STAFF COMMENTS

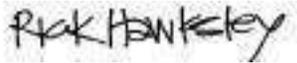
- a) Question if a two-car detached garage could be considered in the rear yard versus the double deep garage. **The intention is to maintain the historic detached garage and provide an addition to create a modest studio space. Creating an additional garage detached would encroach on the view and usability of the rear yard. It would require demolishing the existing historic garage or maintaining it as a drive thru to access the rear. None of these options is practical or desirable.**
- b) Revise site plan to reflect a 4' setback for the garage addition. **We have reduced the width of the addition per below, which brings it more than 4'-0" from the property line. I have modified the site plan accordingly.**
- c) Question the approximate forty (40) feet long façade without a break to soften the scale. **Our modifications have broken up the facades and made the addition subsidiary to the main garage.**
- d) Question if the elevations accurately depict exposed foundation on the addition but not on the existing home. **The existing home has exposed Concrete Masonry on its foundation. We are raising the based on the addition to the garage as the current garage sits almost at grade, not an appropriate detail for the longevity of the structure.**
- e) Secretary of Interior's Standards states the new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment. Staff notes the proposed garage addition is taller than the original garage. **We have reduced the height of the addition and inset it per above.**
- f) Preservation Briefs 14 states a new addition should always be subordinate to the historic building; it should not compete in size, scale or design with the historic building. **We have made changes to accomplish this.**
- g) Architectural Design Standards state all facades (including the rear) over twelve (12) feet long shall have at least one window or door opening. Fenestration placement on the accessory structure shall be proportional to the house. Staff notes the east and west elevations have a span of approximately 22 feet without fenestration. Revise elevations, floor plan and rendering to reflect fenestration openings are accurately depicted. **We have added a window to the east side of the addition.**

- h) Submit a roof plan. **Included in the new drawing set.**
- i) Architectural Design Standards state details in the accessory structure must be consistently applied throughout all sides of the structure. Revise elevations to depict gable returns on south elevation as it exists on the north elevation. **We have added gable returns.**
- j) Submit product specification sheets for all proposed exterior materials.
We have added a sheet illustrating specifications of exterior features.

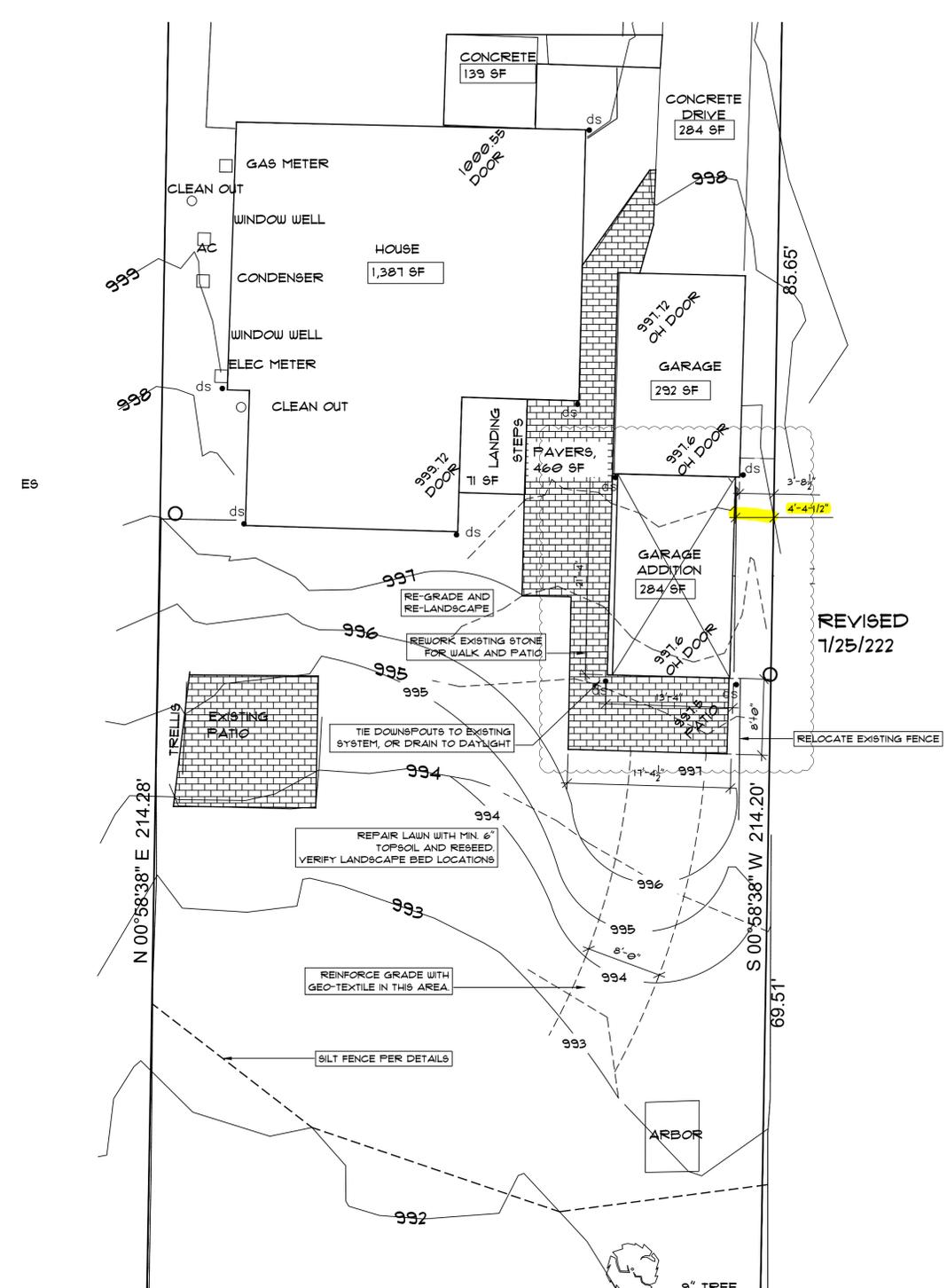
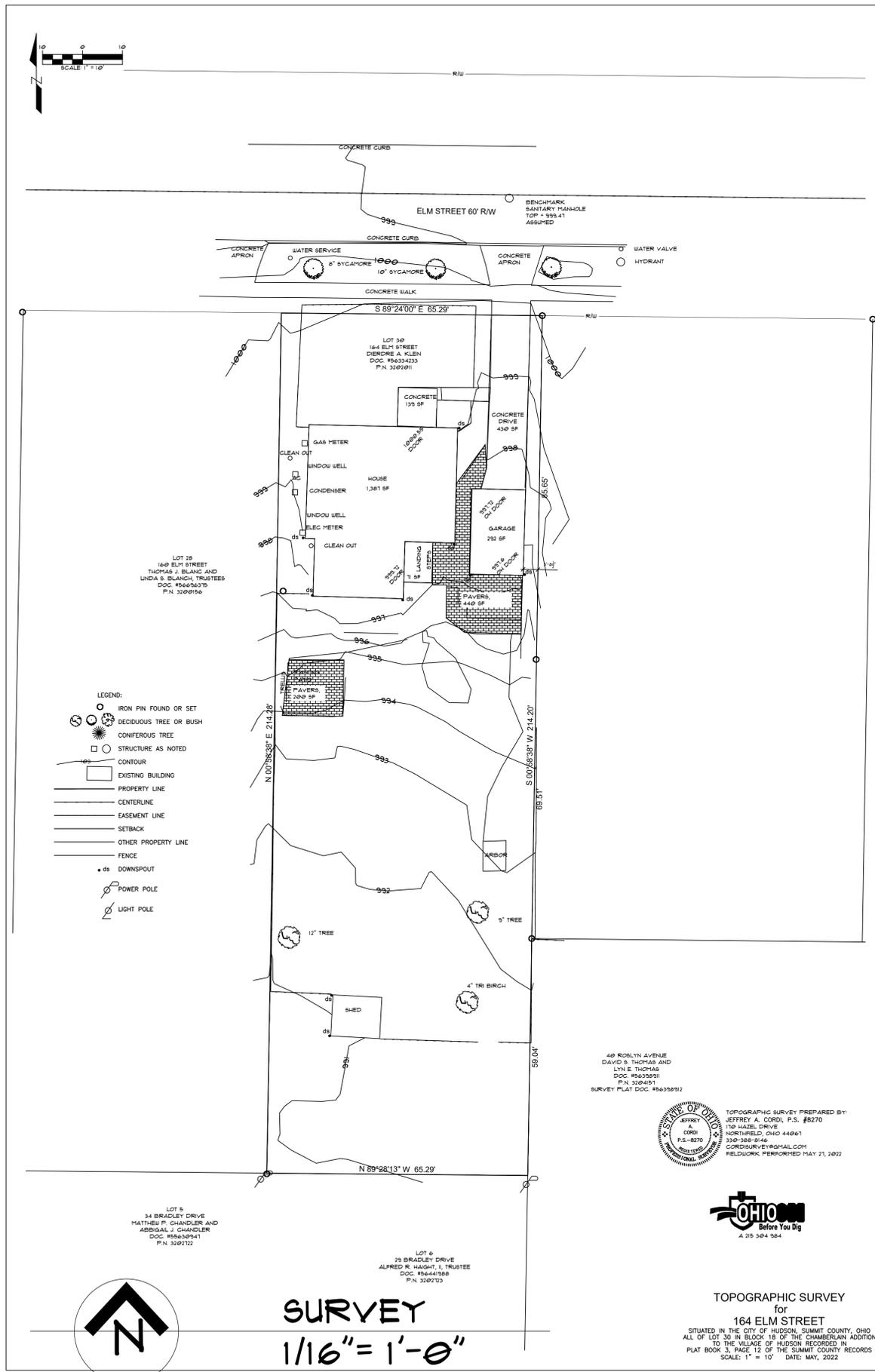
THANKS

I appreciate the opportunity to submit these revisions. Please let me know if you need something more.

Sincerely,

A handwritten signature in black ink that reads "Rick Hawksley". The signature is written in a cursive, slightly slanted style.

Rick Hawksley, Architect



SITE MODIFICATIONS (PARTIAL)
1/8" = 1'-0"

TABLE OF AREAS				
	EXISTING	ADDITION	TOTAL	TOTAL LOT AREA
HOUSE	1,381	-	1,381	
GARAGE	292	284	576	
FRONT WALK	139	-	139	
DRIVEWAY	430	-	430	
REAR PATIOS	640	21	661	
REAR STAIRS	71 SF	-	71 SF	
				13,990
TOTAL	2959	305	3264	23%

PROJECT DATE
18 JULY 2022
REVISED 25TH JULY

GARAGE ADDITION
164 ELM STREET
HUDSON, OHIO

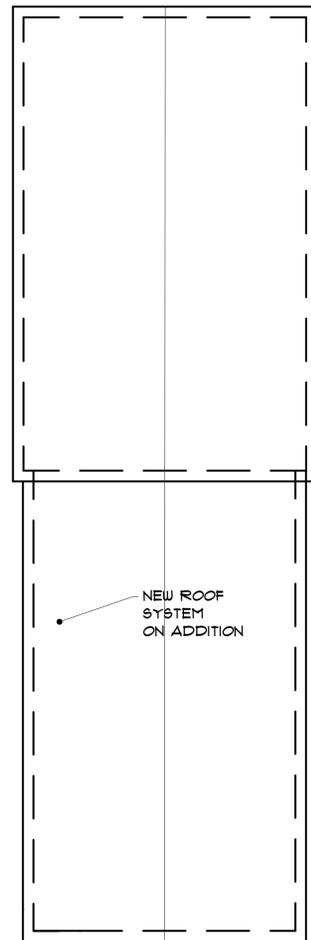
DESIGN WITH A VISION
RICK HAWKSLEY ARCHITECT
PO BOX 664 KENT, OH 44240
330-715-2354
RICK@DESIGNWITHAVISION.COM

CONTENTS
SURVEY
MODIFIED SITE

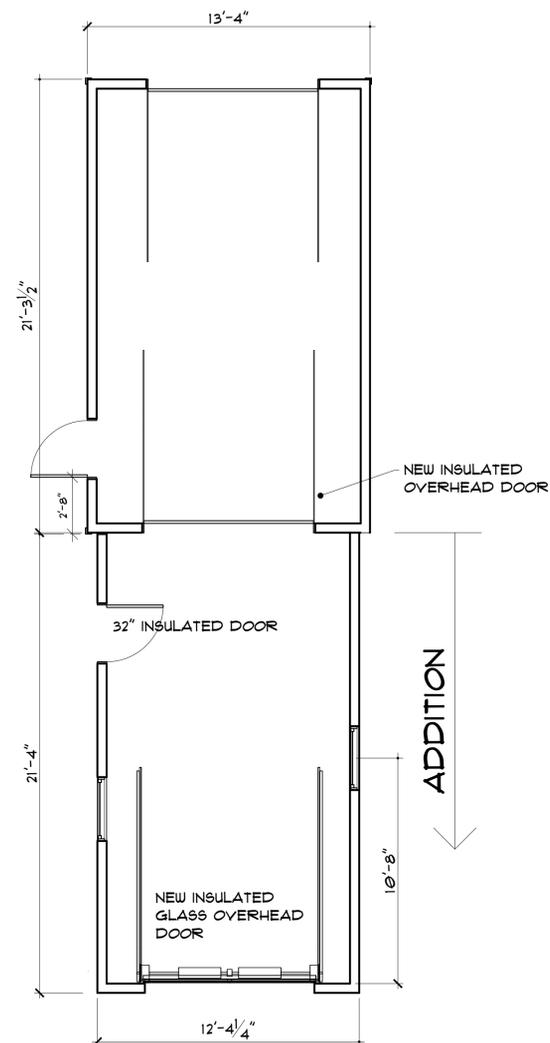
REVISED 7/25/2022



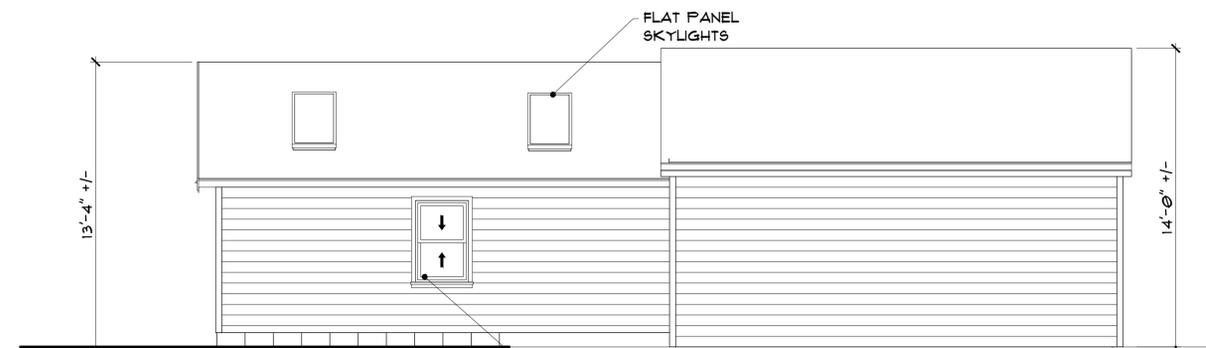
SOUTHWEST SKETCH



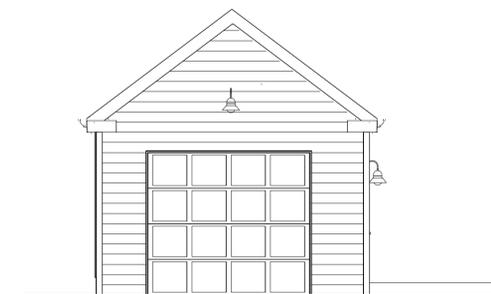
ROOF PLAN
1/4" = 1'-0"



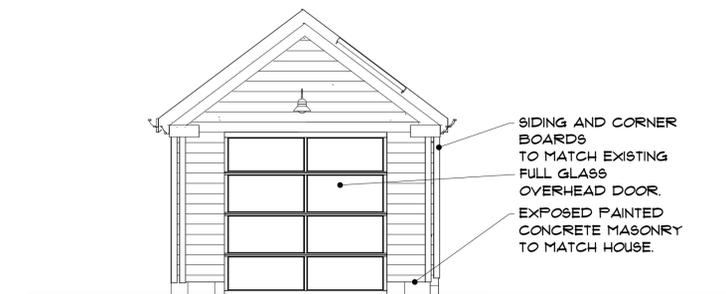
FLOOR PLAN
1/4" = 1'-0"



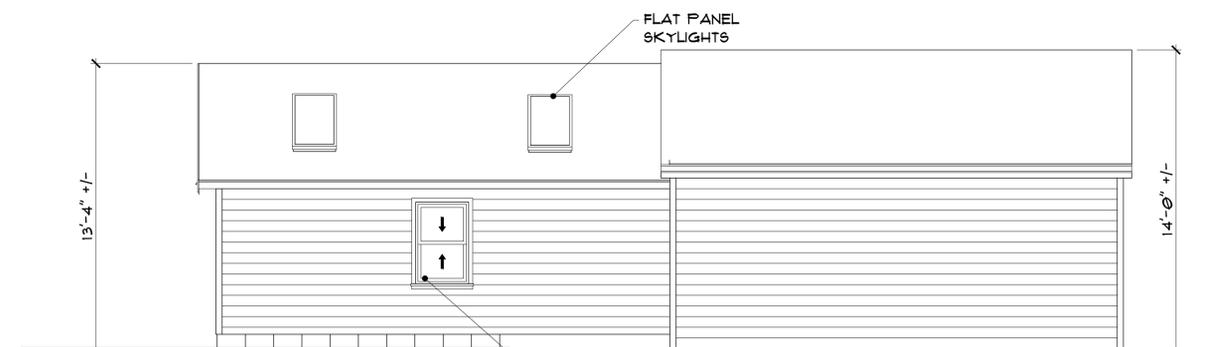
EAST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



WEST EAST ELEVATION

PROJECT DATE
18 JULY 2022
REVISED 25TH JULY

GARAGE ADDITION
164 ELM STREET
HUDSON, OHIO

DESIGN WITH A VISION
RICK HAWKSLEY ARCHITECT
PO BOX 664 KENT, OH 44240
330-715-2354
RICK@DESIGNWITHAVISION.COM

CONTENTS
ELEVATIONS
PLANS



EAST NEIGHBOR FRONT



FRONT (NORTH)



WEST NEIGHBOR FRONT



EAST SIDE OF GARAGE



REAR (SOUTH)



SOUTH AND WEST GARAGE



EAST NEIGHBOR SIDE



WEST NEIGHBOR REAR



WEST NEIGHBOR SIDE



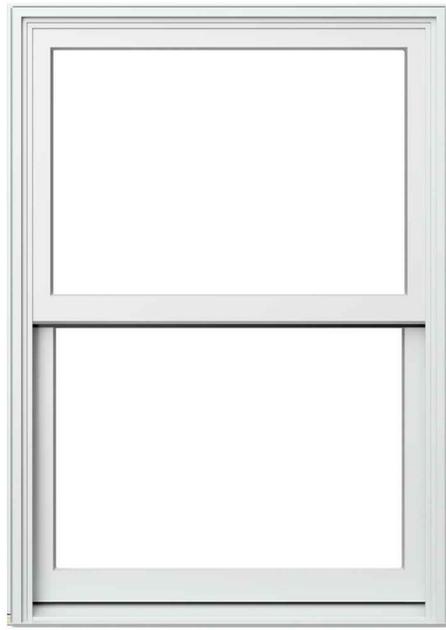
EAST NEIGHBOR REAR

PROJECT DATE
18 JULY 2022

GARAGE ADDITION
164 ELM STREET
HUDSON, OHIO

DESIGN WITH A VISION
RICK HAWKSLEY ARCHITECT
PO BOX 664 KENT, OH 44240
330-715-2354
RICK@DESIGNWITHAVISION.COM

CONTENTS
PHOTOS



JELD WEN DOUBLE HUNG
CLAD WOOD WHITE



GAF SHINGLES MATCH HOUSE



ALUMINUM OVERHEAD DOOR WHITE



SHIP LAP WOOD SIDING TO
MATCH EXISTING, PAINT TO
MATCH



GUTTERS AND DOWNSPOUTS TO
MATCH EXISTING, TRIM- AZEK
TO MATCH EXISTING TRIM.



NEW DOOR TO BE SMOOTH
FIBERGLASS HALF LITE
WITH TWO PANELS TO DIFFERENTIATE
FROM HISTORIC DOOR.

PROJECT DATE
18 JULY 2022
REVISED 25TH JULY

GARAGE ADDITION
164 ELM STREET
HUDSON, OHIO

DESIGN WITH A VISION
RICK HAWKSLEY ARCHITECT
PO BOX 664 KENT, OH 44240
330-115-2354
RICK@DESIGNWITHAVISION.COM

CONTENTS
SPECIFICATIONS