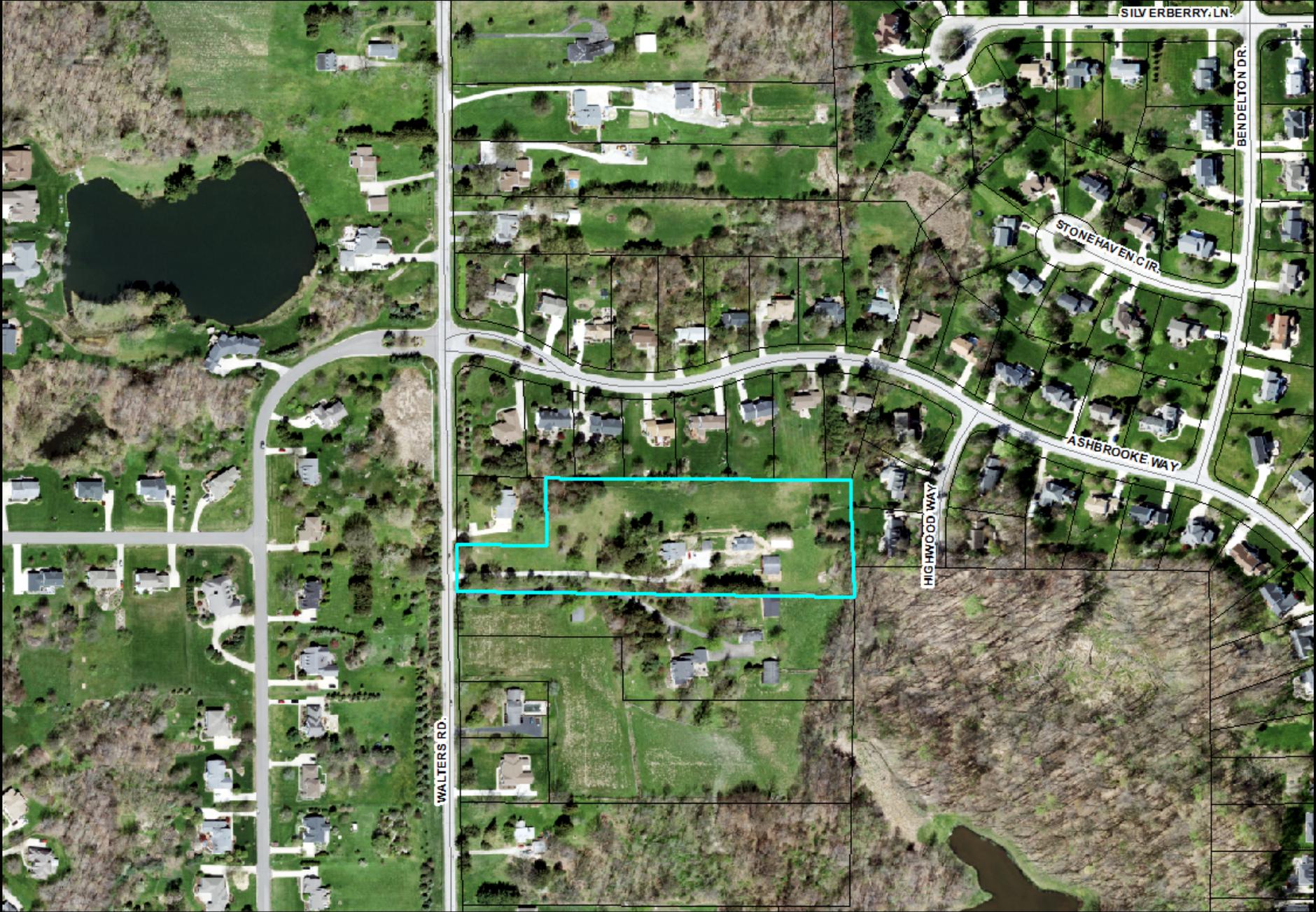


# Aerial Map





# New Residence for: Foster

Situated in the State of Ohio,  
County of Summit, City of Hudson



## GENERAL NOTES:

### CONTRACTORS:

EACH CONTRACTOR IS TO FAMILIARIZE THEMSELVES WITH CONDITIONS AT THE JOB SITE PRIOR TO THE START OF THEIR WORK. DO NOT SCALE DRAWINGS. USE PLAN DIMENSIONS. IF DISCREPANCIES WITH DRAWINGS ARE DISCOVERED AT ANY TIME BEFORE OR DURING CONSTRUCTION NOTIFY PROJECT DESIGNER OR CONTRACTOR IMMEDIATELY BEFORE PROCEEDING. MAINTAIN ONE (1) COMPLETE SET OF APPROVED CONSTRUCTION DRAWINGS ON THE JOB SITE AT ALL TIMES. ALL WORK TO BE PERFORMED IN A GOOD WORKMANLIKE MANNER, IN ACCORDANCE WITH APPLICABLE CURRENT NATIONAL, STATE AND LOCAL CODES, ORDINANCES AND AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT. CONTRACTORS ARE RESPONSIBLE FOR LOCAL CODE INTERPRETATIONS FOR THEIR TRADE. ALL PRODUCTS AND MATERIALS TO BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. COORDINATE ALL UTILITIES PRIOR TO CONSTRUCTION. DEVIATION FROM THE CONSTRUCTION DOCUMENTS MUST FIRST BE APPROVED BY CONTRACTOR, AND AUTHORIZED THROUGH WRITTEN CHANGE ORDER FORM SUBMITTED BY THE CONTRACTOR. EACH CONTRACTOR IS RESPONSIBLE FOR DAILY CLEAN-UP AND REMOVAL OF DEBRIS FROM THE JOB SITE. ALL CONTRACTORS WILL GUARANTEE ALL MATERIALS AND WORKMANSHIP FOR THE PERIOD OF ONE (1) YEAR. IT IS UNDERSTOOD THAT THESE DRAWINGS ARE GENERIC WITH RESPECT TO CONSTRUCTION DETAILING, STRUCTURAL DETAILING AND FINISH DETAILING. THE OWNER AND CONTRACTOR ACCEPTS ALL RESULTING DETAILS AND AESTHETICS, SPECIFIED OR UNSPECIFIED, AND UNDER NO CIRCUMSTANCES SHALL THE DESIGNER BE HELD RESPONSIBLE.

### TRUSSES:

ALL TRUSSES ARE TO BE DESIGNED BY THE TRUSS MANUFACTURER WITH DETAILED DRAWINGS DESCRIBING TRUSS LAYOUTS AND LOAD CALCULATIONS USED TO DESIGN THE TRUSSES. IT IS THE BUILDER AND/OR OWNER'S RESPONSIBILITY TO SUPPLY ANY/OR ALL OF THIS INFORMATION IF REQUESTED BY THE BUILDING DEPARTMENT TO ISSUE BUILDING PERMITS. IT IS ALSO THE RESPONSIBILITY OF THE TRUSS MANUFACTURER TO VERIFY, AND IF NECESSARY, ADJUST THE SIZE OF OR ADD ANY BEAM OR HEADER THAT IS DIRECTLY EFFECTED OR REQUIRED TO CARRY THE ROOF LOADS. IN THIS EVENT, THE TRUSS MANUFACTURER SHALL CONTACT LABOCKI DESIGN IN ORDER TO UPDATE THE DRAWINGS.

### SOIL BEARING:

FOUNDATIONS SHOWN ON THESE DRAWINGS ARE DESIGNED FOR AN ALLOWABLE SOIL BEARING PRESSURE OF 2,000 PSF. WALLS ARE DESIGNED FOR AN EQUIVALENT FLUID PRESSURE OF 55PCF. IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO DETERMINE THAT THE SOIL IS ADEQUATE TO SUPPORT THIS BUILDING ON THE FOUNDATION AND THE WALLS SHOWN AND ALSO, DETERMINING THAT THE TOTAL AND DIFFERENTIAL SETTLEMENTS OF THE FOUNDATIONS ARE WITHIN THE TOLERABLE LIMITS OF THIS STRUCTURE AND THAT 55PCF IS THE CORRECT WALL LOADINGS. THE BUILDER AND/OR OWNER IS ENCOURAGED TO OBTAIN THE SERVICES OF A SOILS ENGINEERING FIRM TO DETERMINE THE SUITABILITY OF THE FOUNDATIONS AND THE WALLS SHOWN ON THESE DRAWINGS TO SAFELY SUPPORT THE STRUCTURE WITH NO DETRIMENTAL EFFECT TO THE BUILDING.

### RADON:

IT IS THE RESPONSIBILITY OF THE BUILDER TO INFORM THE OWNER OR IF THE OWNER IS ACTING AS HIS OR HER OWN CONTRACTOR TO KNOW THAT ALL HOUSES HAVE A POTENTIAL TO HAVE RADON LEVELS WHICH MAY EXCEED THE RECOMMENDED LEVELS ESTABLISHED BY THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY. THE BUILDER AND/OR OWNER SHALL DECIDE WHAT ACTION, IF ANY, SHOULD BE TAKEN CONCERNING RADON. IT IS NOT THE RESPONSIBILITY OF FIDEI LLC TO DETERMINE IF A RADON ABATEMENT SYSTEM IS REQUIRED.

### ATTICS:

ALL ENCLOSED ATTICS AND RAFTER SPACES SHALL HAVE CROSS VENTILATION WITH THE NET FREE VENTILATION AREA NOT LESS THAN 1/300 OF THE AREA TO BE VENTILATED. ALL OPENINGS SHALL BE PROTECTED AGAINST THE ENTRANCE OF THE SNOW AND RAIN.

### MECHANICALS:

ALL PLUMBING, ELECTRICAL, HEATING AND COOLING SYSTEMS SHALL COMPLY WITH ALL ORDINANCES SET FORTH BY THE LOCAL GOVERNING BUILDINGS AND ZONING DEPARTMENTS. PLUMBING SHALL ALSO COMPLY WITH THE OHIO PLUMBING CODE. ELECTRICAL SHALL ALSO COMPLY WITH THE NATIONAL ELECTRIC CODE AND THE OHIO BASIC BUILDING CODE.

### FIRE STOPPING:

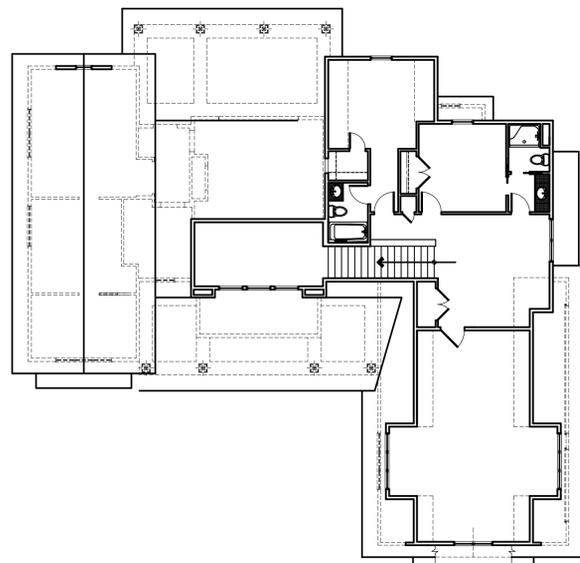
SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: CONCEALED SPACES OF STUD WALLS AND PARTITIONS A THE CEILING AND FLOOR, OR ROOF LEVELS. AT ALL INTERCONNECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES SUCH AS OCCURS AT SOFFITS OVER CABINETS, DROP CEILING, ETC. ALSO AROUND VENTS, PIPES, AND CHIMNEYS AT CEILING AND FLOOR LEVELS WITH NON COMBUSTIBLE MATERIALS.

### INSULATION:

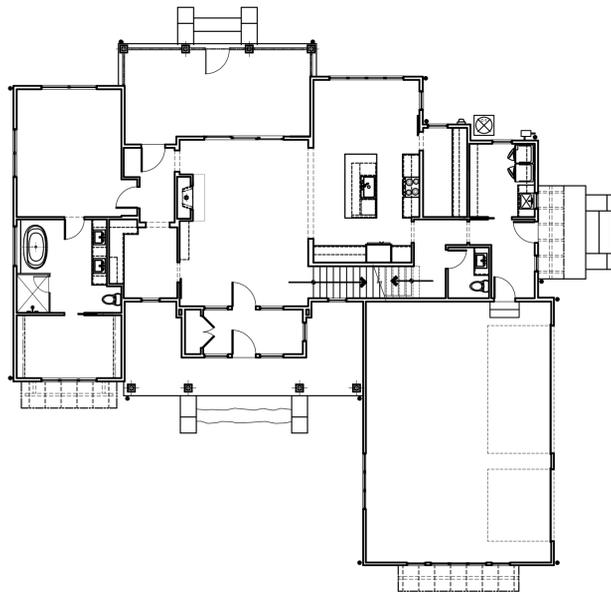
INSULATION SHALL BE INSTALLED AND ALSO COMPLY WITH ALL MINIMUM ORDINANCES SET FORTH BY THE LOCAL GOVERNING BUILDING AND ZONING DEPARTMENTS. REFER TO THE TYPICAL WALL SECTION FOR R-VALUES AND LOCATIONS.

## LEGEND & SYMBOLS KEY

	GRAVEL FILL		ELEVATION DATUM
	EARTH		GROUND LEVEL + 0'-0" A.F.F.
	GROUT OR STUCCO		ROOM NAME
	COUNTER TOP / DESK TOP		ROOM NUMBER
	DIMENSION LUMBER		DOOR WIDTH
	RIGID INSULATION		DOOR SIZE
	BATT INSULATION		DOOR HEIGHT
	MASONRY OR STONE		WINDOW NUMBER
	CONCRETE MASONRY UNIT (C.M.U.)		PARTITION TYPE
	BRICK MASONRY UNIT		EXTERIOR ELEVATION
	PROPERTY LINE		DETAIL SECTION
	CENTER LINE		BUILDING SECTION
	RIDGE LINE		



SCALE: 1/8" = 1'-0"  
SECOND LEVEL FLOOR PLAN



SCALE: 1/8" = 1'-0"  
MAIN LEVEL FLOOR PLAN

## SITE LOCATION



## APPLICATION INFORMATION

PROJECT LOCATION:														
TYPE OF IMPROVEMENT:	NEW BUILD <input checked="" type="checkbox"/>	ADDITION	ALTERATION	CHANGE OF USE	OTHER									
TYPE OF USE:	SINGLE FAMILY <input checked="" type="checkbox"/>	DUPLEX	MULTI-FAMILY	# UNITS	COMMERCIAL									
	INDUSTRIAL	DECK	POOL	GARAGE	SHED									
USE GROUP:	A-1	A-2	A-3	A-4	A-5	B	E	F-1	F-2	H-1	H-2	H-3	H-4	H-5
	I-1	I-2	I-3	I-4	M	(R-1)	R-2	R-3	R-4	S-1	S-2	U		
TYPE OF CONSTRUCTION:	I-A	I-B	II-A	II-B	III-A	III-B	IV	V-A	(V-B)					
PROJECT OWNER:	ADDRESS:									EMAIL:				
PROJECT CONTRACTOR:														
PROJECT DESIGNER:	Fidei Architecture													
	ADDRESS: 2664 Twin Creeks									Akron, Ohio 44321		EMAIL: dlabocki@fideiarch.com		

## CLIMATIC & GEOGRAPHIC DESIGN CRITERIA

ROOF SNOW LOAD (LB. PER S.F.)	WIND DESIGN	SEISMIC DESIGN CATEGORY	ICE SHIELD REQUIRED	FLOOD HAZARDS	WINTER DESIGN TEMP.
20	90 MPH 20.7 PSF	A	YES	A, 7/ 16/ 79 B, 4/ 22/ 97	5 DEG. F
SUBJECT TO DAMAGE FROM					
WEATHERING	FROST DEPTH	TERMITE	DECAY	AIR FREEZING INDEX	MEAN ACTUAL TEMP.
SEVERE	36"	YES	YES	1500	50.1 F

## DESIGN LOADS

SOIL BEARING = 2000 LBS	ROOF W/ CLG LOADS = 30 PSF
MAIN FLOOR = 50 PSF	ROOF W/O CLG LOADS = 20 PSF
SECOND FLR = 40 PSF	DECKS = 50 PSF (ADD 50 PSF IN AREA W/ HOT TUB)

NOTE: ALL LOADS ARE LIVE AND DEAD LOADS COMBINED.

## CLIMATE ZONE CRITERIA

2012 IECC & US DEPARTMENT OF ENERGY										
CLIMATE ZONE	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE	CRAWLSPACE WALL R-VALUE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC
5	R-38	20 or 13+5h	13/17	30g	10/13	10, 2 ft	10/13		0.60	NR

- R-values are minimums. U-factors and SHGC are maximums. R-19 batts compressed into a nominal 2x6 framing cavity such that the R-value is reduced by R-1 or more shall be marked with the compressed batt R-value in addition to the full thickness R-value.
- The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration.
- "15/19" means R-15 continuous insulated sheathing on the interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall. "10/13" means R-10 continuous insulated sheathing on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall.
- R-5 shall be added to the required slab edge R-values for heated slabs. Insulation depth shall be the depth of the footing or 2 feet, whichever is less in zones 1 through 3 for heated slabs.
- There are no SHGC requirements in the Marine zone.
- Basement Wall Insulation is not required in warm-humid locations.
- Or insulation sufficient to fill the framing cavity. R-19 is minimum.
- "13+5" means R-13 cavity insulation plus R-5 insulated sheathing. If structural sheathing covers 25 percent or less of the exterior, insulating sheathing is not required where structural sheathing is used. If structural sheathing covers more than 25 percent of exterior, structural sheathing shall be supplemented with insulated sheathing of at least R-2.
- The second R-value applies when more than half the insulation is on the interior of the wall.
- For impact rated fenestration complying with Section R301.2.1.2 of the International Residential Code or Section 1608.1.2 of the International Building code, the maximum U-factor shall be 0.75 in Zone 2 and 0.65 in Zone 3.

## DRAWING INDEX

### SHEET No. DESCRIPTION

- t1.0 TITLE PAGE / GENERAL NOTES
- a1.1 FRONT AND LEFT SIDE ELEVATIONS
- a1.2 REAR AND RIGHT SIDE ELEVATIONS
- a1.4 WINDOW ELEVATIONS & SCHEDULE
- a2.0 FOUNDATION PLAN
- a2.3 MAIN LEVEL FLOOR PLAN
- a2.5 SECOND LEVEL FLOOR PLAN
- a2.8 ROOF PLAN
- a3.1 CROSS SECTION & TYPICAL WALL SECTION & STANDARD DETAILS
- e1.0 LOWER LEVEL ELECTRICAL SCHEMATIC
- e1.1 MAIN LEVEL ELECTRICAL SCHEMATIC
- e1.2 SECOND LEVEL ELECTRICAL SCHEMATIC

PROJECT DESIGNER:  
**fidei architecture**  
2664 Twin Creeks  
Akron, Ohio 44321  
Phone: (330) 267-3132

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fideiarch.com

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PROJECT CONTRACTOR:  
10 W Streetsboro St  
Suite 201, Hudson, OH  
44236

A L A I R

PROJECT LOCATION:  
7303 WALTERS RD  
HUDSON, OHIO, 44236

New Residence for:  
**Foster**

PRINT RECORD:  
09-19-2018-SO 100%  
10-08-2018-SD 100%  
10-17-2018-CD PRELIM  
10-19-2018 FOR PERMIT

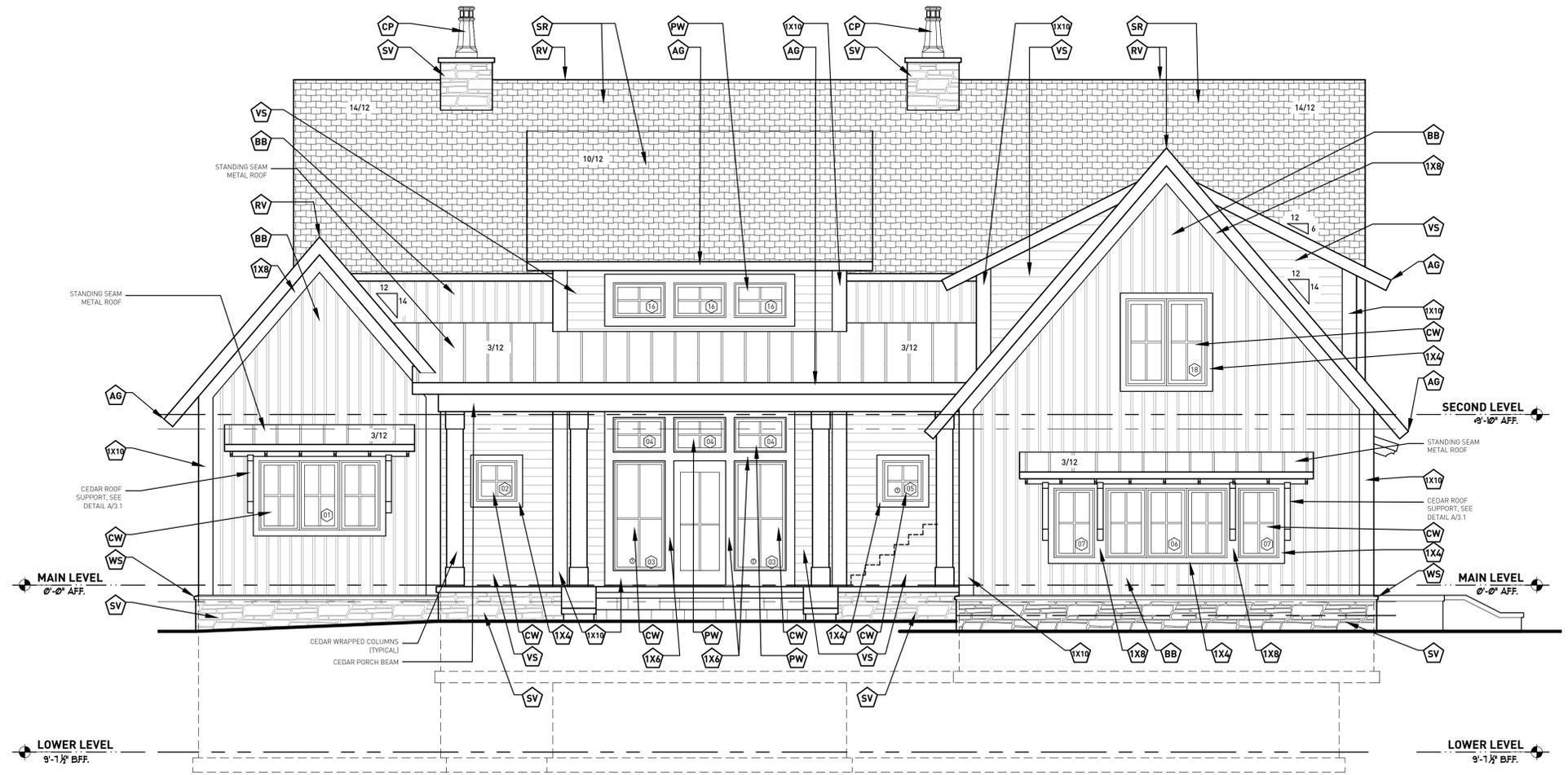
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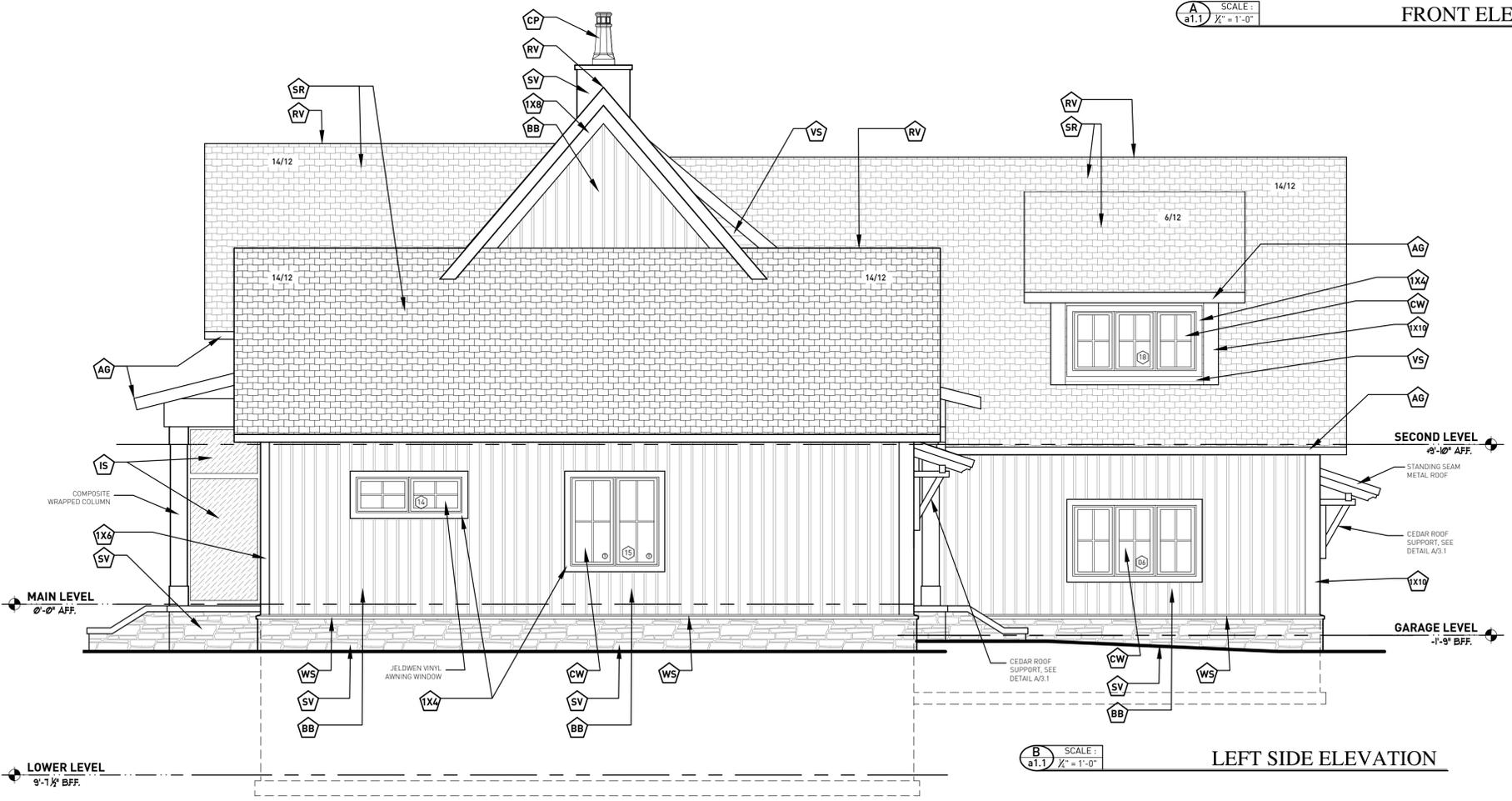
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TITLE SHEET

SHEET No.  
**t1.0**

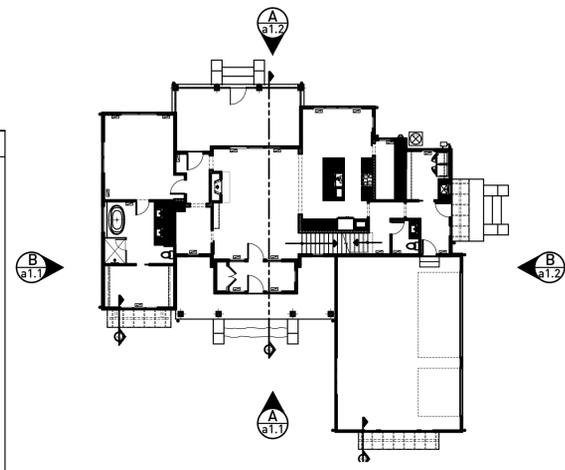


SCALE: 1/8" = 1'-0"  
**FRONT ELEVATION**



SCALE: 1/8" = 1'-0"  
**LEFT SIDE ELEVATION**

SCALE: 1/8" = 1'-0"  
**KEY FLOOR PLAN**



- ELEVATION NOTES**
- ELEVATIONS SHOWN GRAPHICALLY INDICATE BASEMENT FOUNDATION CONDITIONS.
  - ALL ROOF SADDLES TO BE PLYWOOD SHEATHED W/ BUILDING PAPER AND SHINGLES.
  - CONTINUOUS RIDGE VENTS TO BE BAFFLED TO PREVENT BACK FLOW
  - ALL EXTERIOR WOOD TO BE PRIMED BEFORE INSTALLATION
  - ALL WINDOW GRILLS TO MATCH ELEVATIONS
  - CONTRACTOR TO PROVIDE PROPER FLASHING AT ALL EXTERIOR DOORS & WINDOWS
  - PROVIDE ROOF SADDLE TO DRAIN AWAY FROM BACK SIDE OF CHIMNEY - PROVIDE ALL PROPER FLASHING
- ① DENOTES GLAZING TO BE TEMPERED

**EXTERIOR FINISH LEGEND**

NO.	DESCRIPTION	HATCH PATTERN
SR	SHINGLE ROOFING: BASIS OF DESIGN, CERTAINTEE 30 YEAR ARCHITECTURAL ASPHALT SHINGLES ON 15# FELT W/ ICE AND WATER SHIELD AS REQUIRED. ASSEMBLE TO BE INSTALLED PER MFG. REQUIREMENTS. COLOR & STYLE SUBMITTED TO BE DETERMINED	
SV	STONE VENEER: CULTURED STONE VENEER, DUTCH QUALITY STONE ELKWOOD TUSCAN RIDGE	
VS	VINYL SIDING: 6" SMOOTH HORIZONTAL VINYL COLOR T.B.D.	
BB	VINYL SIDING: 8" BOARD AND BATTEN VINYL SIDING COLOR T.B.D.	
IS	INSECT SCREEN: CUSTOM INSECT SCREEN VERIFY STYLE W/ HOME OWNER	
CP	CHIMNEY POT: COPPER CHIMNEY POT "JACK ARNOLD"	

**EXTERIOR FINISH LEGEND**

NO.	DESCRIPTION	HATCH PATTERN
CW	CASEMENT WINDOW: JELDWEN CASEMENT WINDOW; GRILLE PATTERN TO MATCH ELEVATION. COLOR: CHESTNUT BRONZE	
PW	PICTURE WINDOW: JELDWEN PICTURE WINDOW; GRILLE PATTERN TO MATCH ELEVATION. COLOR: CHESTNUT BRONZE	
WS	WATERTABLE SILL: WATERTABLE SILL 233" (L) X 3" (H) X 2 1/2" (D) - COLOR: TAN	
RV	RIDGE VENT: CONTINUOUS RIDGE VENTS TO BE BAFFLED TO PREVENT BACK FLOW	
AG	ALUMINUM GUTTERS, AND DOWN SPOUTS TO MATCH FASCIA AND SOFFIT COLOR	
X14	1 X 4 BD.COMPOSITE OR EQUAL COLOR TO MATCH WINDOWS SASH	
X16	1 X 6 BD.COMPOSITE OR EQUAL COLOR TO MATCH WINDOWS SASH	
X18	1 X 8 BD.COMPOSITE OR EQUAL COLOR TO MATCH WINDOW SASH	
X19	1 X 10 BD.COMPOSITE OR EQUAL COLOR TO MATCH WINDOW SASH	

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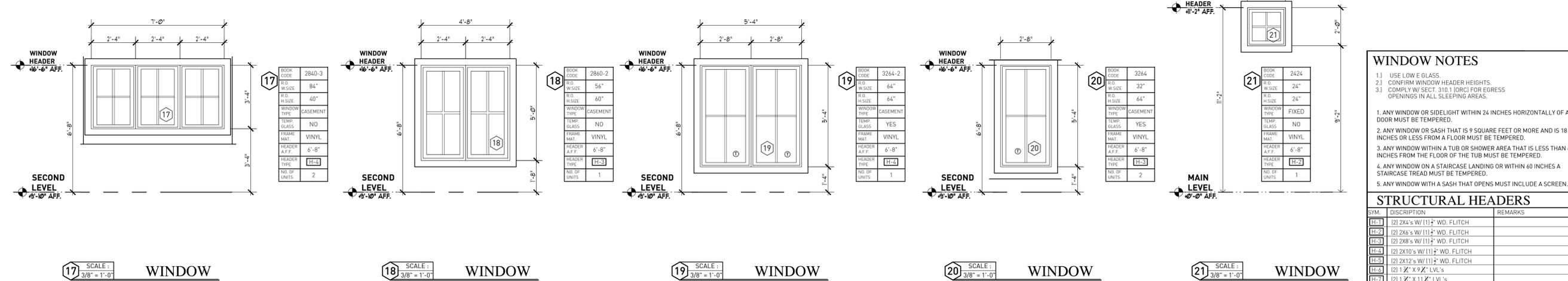
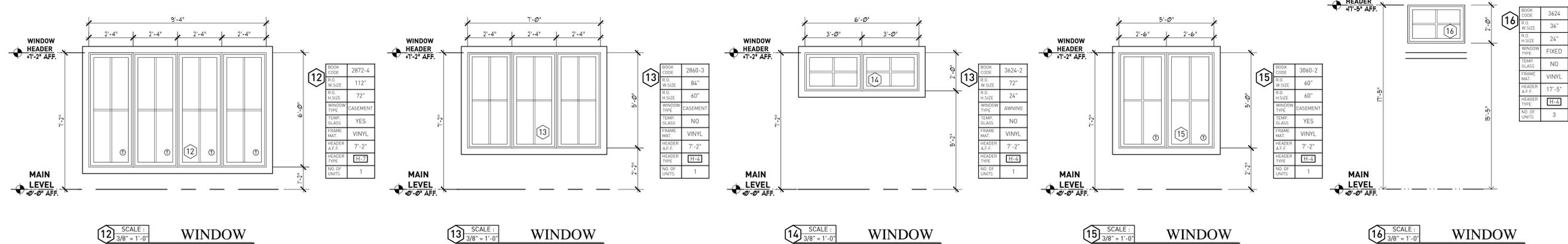
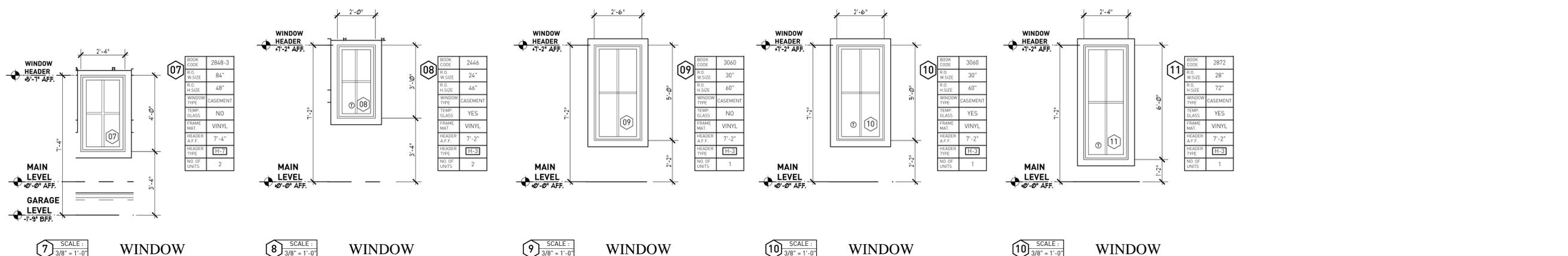
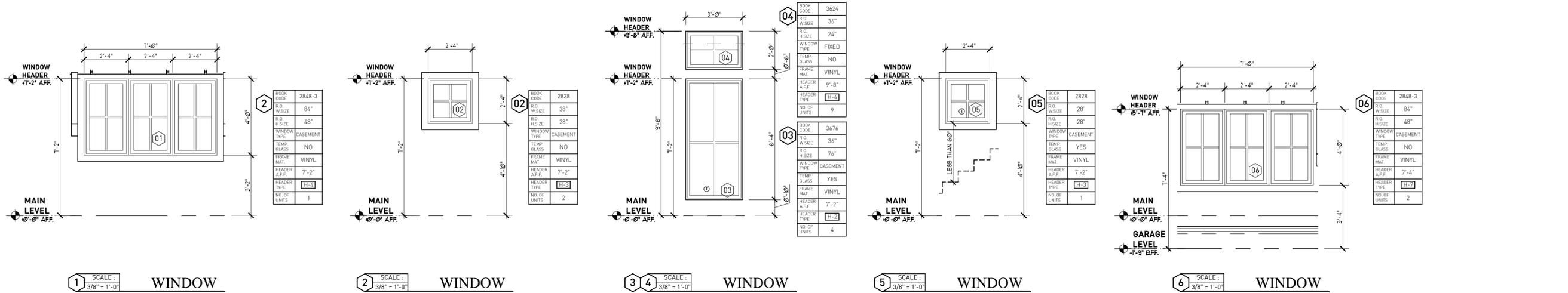
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**CD 1837**

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SHEET DESCRIPTION:  
**FRONT & LEFT SIDE ELEVATION**

SHEET No.  
**a1.1**



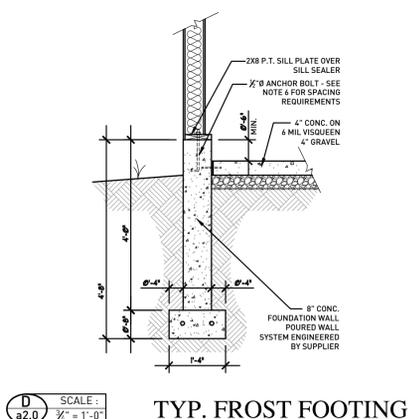
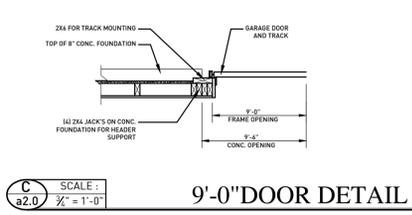
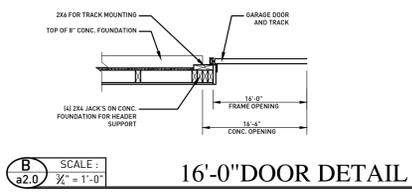
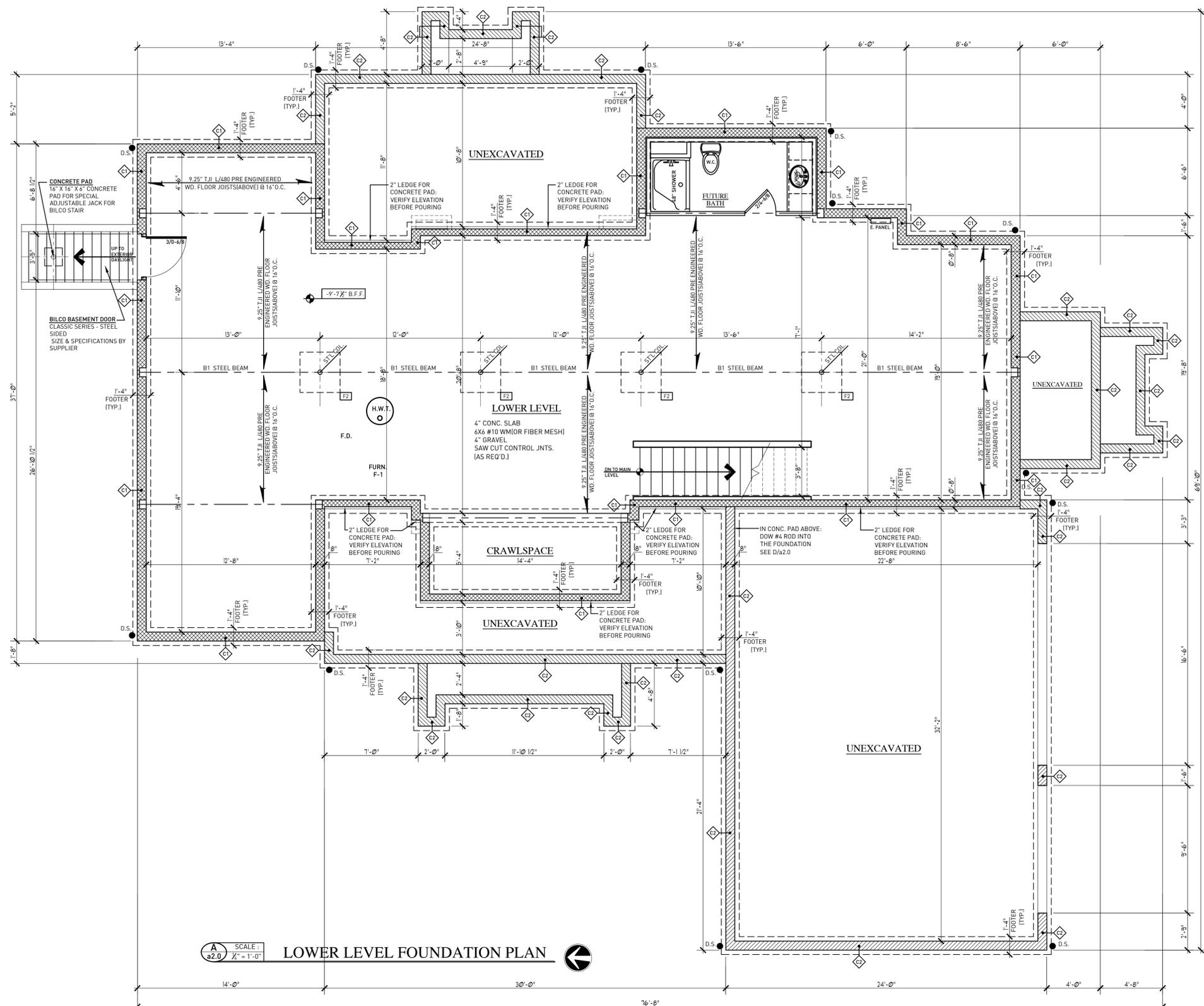


**WINDOW NOTES**

- USE LOW E GLASS.
- CONFIRM WINDOW HEADER HEIGHTS.
- COMPLY W/ SECT. 310.1 (OR) FOR EGRESS OPENINGS IN ALL SLEEPING AREAS.
- ANY WINDOW OR SIDELIGHT WITHIN 24 INCHES HORIZONTALLY OF A DOOR MUST BE TEMPERED.
- ANY WINDOW OR SASH THAT IS 9 SQUARE FEET OR MORE AND IS 18 INCHES OR LESS FROM A FLOOR MUST BE TEMPERED.
- ANY WINDOW WITHIN A TUB OR SHOWER AREA THAT IS LESS THAN 60 INCHES FROM THE FLOOR OF THE TUB MUST BE TEMPERED.
- ANY WINDOW ON A STAIRCASE LANDING OR WITHIN 60 INCHES A STAIRCASE TREAD MUST BE TEMPERED.
- ANY WINDOW WITH A SASH THAT OPENS MUST INCLUDE A SCREEN.

**STRUCTURAL HEADERS**

SYM.	DESCRIPTION	REMARKS
H-1	[2] 2x4's W/ (1) 2" WD. FLITCH	
H-2	[2] 2x6's W/ (1) 2" WD. FLITCH	
H-3	[2] 2x8's W/ (1) 2" WD. FLITCH	
H-4	[2] 2x10's W/ (1) 2" WD. FLITCH	
H-5	[2] 2x12's W/ (1) 2" WD. FLITCH	
H-6	[2] 1" X 9" LVL'S	
H-7	[2] 1" X 11" LVL'S	
H-8	[2] 1" X 14" LVL'S	



**FOUNDATION NOTES**

- DO NOT SCALE DRAWINGS. IF ANY DISCREPANCIES ARISE PLEASE CONTACT THE PROJECT MANAGER AND DESIGNER.
- CONCRETE AND MASONRY FOUNDATION WALLS TO COMPLY W/ SECT 404 IN THE RCO.
- CONCRETE TO BE A MIN. 3000 PSI COMPRESSIVE STRENGTH.
- FOOTING DESIGN ASSUMES A SOIL-BEARING CAPACITY OF 2000 PSF.
- ALL FOOTINGS SHALL BEAR ON UNDISTURBED SOIL (3\"/>

**STRUCTURAL NOTES**

- THESE REQUIREMENTS MAY BE SUPERCEDED BY MORE STRINGENT INFORMATION CONTAINED WITHIN THE DRAWINGS. THE MORE STRINGENT SHALL BE FOLLOWED.
- SOIL CONDITIONS SHALL CONFORM TO THE FOLLOWING CONDITIONS:
  - A. BEARING CAPACITY - 1,500 PSF MAX
  - B. WATER TABLE - SHALL BE BELOW BOTTOM OF LOWEST FLOOR LINE OF STRUCTURE WHEN WATER TABLE FOUND ABOVE. NOTIFY ENGINEER OF RECORD IMMEDIATELY.
- UNLESS OTHERWISE NOTED, MINIMUM CONCRETE FOOTING WIDTHS SHALL BE:
  - 1-STORY, NO BRICK VENEER - 16 IN.
  - 2-STORY, NO BRICK VENEER - 16 IN.
  - 1-STORY, WITH BRICK VENEER - 17 IN.
  - 2-STORY, WITH BRICK VENEER - 21 IN.
- FREE DRAINING GRANULAR BACKFILL SHALL BE USED AGAINST FOUNDATION WALLS. ALL BACKFILL SHALL BE FREE OF VEGETATION AND FOREIGN MATERIAL SUCH AS ORGANIC MATERIALS, DEBRIS, PIECES OF DEMOLISHED CONCRETE, OR ANY OTHER HARD AND/OR POINTED OBJECTS SPECIFICALLY ROCKS LARGER THAN FOUR INCHES IN DIAMETER FOR WALLS WITH UNBALANCED BACKFILL GREATER THAN 4- FEET, BRACING IS REQUIRED TO PREVENT DAMAGE BY THE BACKFILL. THE MINIMUM HEIGHT OF BACKFILL ABOVE THE FOOTING SHALL BE 6-INCHES ABOVE THE FOOTING FOR A MINIMUM WIDTH OF 12-INCHES BEYOND THE FOOTING EDGE. ALL DRAIN TILES SHALL SIT ON TOP OF A MINIMUM OF 2-INCHES OF WASHED GRAVEL, AND BE COVERED BY NOT LESS THAN 6-INCHES OF THE SAME MATERIAL.
- FASTENERS FOR PRESSURE TREATED OR FIRE-RETARDANT WOOD SHALL BE NOT DIPPED GALVANIZED STEEL, STAINLESS STEEL, OR COPPER.
- ALL WALL SILL PLATES BEARING DIRECTLY ON FOUNDATION WALLS SHALL BE ANCHORED WITH 1/2\"/>

**STRUCTURAL CHANNEL LEGEND**

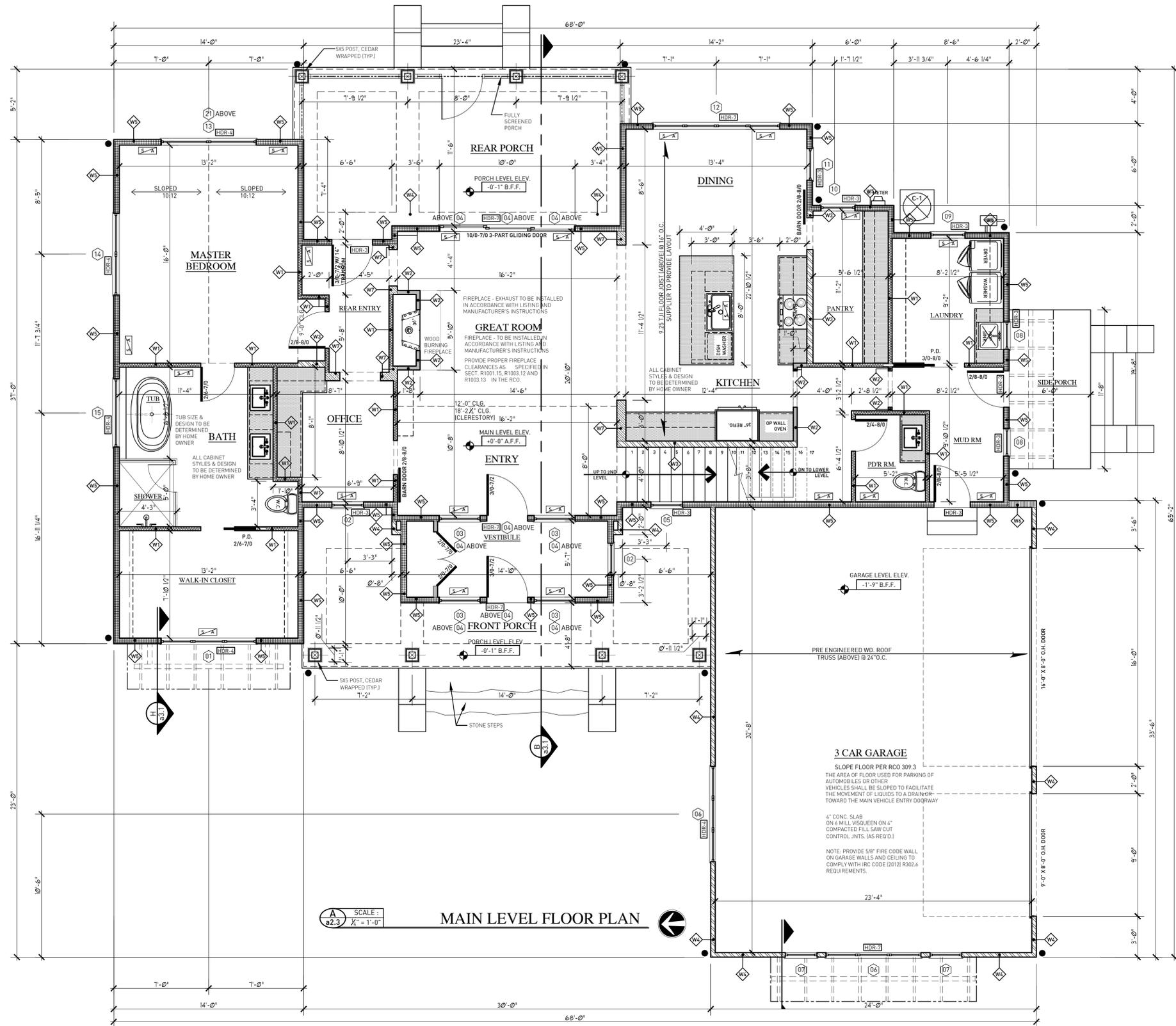
SYM	DESCRIPTION	REMARKS
[F1]	3/4\"/>	
[F2]		
[F3]		
[F4]		
B1	W 8X24 STEEL BEAM	
B2	(2) 1 1/2\"/>	
B3		
B4		

**STRUCTURAL NOTES**

- STRUCTURAL STEEL WIDE FLANGE SHAPES TO BE ASTM A992
- STRUCTURAL STEEL CHANNELS, PLATES, AND ANGLES TO BE ASTM A36
- PIPE: STRUCTURAL GRACE
- TUBE: ASTM A500
- ALL HLS. TO BE 3/4\"/>
- ALL WELDS TO BE E70XX
- PAINT: 1/2\"/>

**FOUNDATION WALL TYPE LEGEND**

NO.	WALL TYPE	DESCRIPTION
1	8\"/>	8\"/>
2	8\"/>	8\"/>
3	EXTERIOR ZIP WALL	1 1/2\"/>
4	EXTERIOR 2x6 WALL	1/2\"/>



SCALE: 1/8" = 1'-0"  
**MAIN LEVEL FLOOR PLAN**

**FLOOR PLAN NOTES**

- GARAGE SPACE SHALL BE SEPARATED FROM LIVING AREA & ATTIC BY 1/2" GYPSUM APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ROOMS ABOVE BY 5/8" TYPE X GYPSUM [COMPLY W/ RCO R309.2]
- PROVIDE BATHROOM EXHAUST FANS WITH A MINIMUM VENTILATION RATE OF 50 CFM. EXHAUST FANS TO BE VENTED DIRECTLY TO THE OUTSIDE [COMPLY W/ RCO R303.3]
- PROVIDE TEMPERED GLASS IN ALL SPECIFIC HAZARDOUS LOCATIONS SPECIFIED IN SECT. R308.4 IN THE RCO.
- INDEPENDENT METAL DRYER VENT SYSTEM W/ DAMPER TO BE INSTALLED. SYSTEM TO VENT MOISTURE DIRECTLY OUTDOORS [COMPLY W/ RCO M1501.1].
- ALL SLEEPING ROOMS MUST CONTAIN AN OPERABLE WINDOW OR DOOR WHICH WILL PROVIDE A MEANS OF EMERGENCY EGRESS W/ A MIN. 5.7 S.F. CLEAR OPENING (5 S.F. AT GRADE FLOOR) [24" MIN. CLEAR HGT. / 20" MIN. CLEAR WIDTH] [COMPLY W/ RCO R310].
- FUEL-BURNING EQUIPMENT SHALL BE PROVIDED W/ A SUPPLY OF AIR FOR FUEL COMBUSTION, DRAFT HOOD DILUTION, AND VENTILATION OF THE SPACE IN WHICH THE EQUIPMENT IS INSTALLED [COMPLY W/ RCO].
- ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" DRYWALL. [COMPLY W/ RCO R311.2.2]
- MINIMUM HEADROOM @ STAIRS SHALL BE 6'-8" MEASURED VERTICALLY FROM THE TREAD NOSING OR FROM THE FLOOR SURFACE OR LANDING PLATFORM. [COMPLY W/ RCO R311.5.2]
- HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRS WITH 4 OR MORE RISERS. HANDRAILS WILL BE LOCATED 34" TO 38" MEASURED VERTICALLY FROM TREAD NOSING. HAND GRIP CROSS SECTION DIMENSION SHALL NOT EXCEED 2 1/4". [COMPLY W/ RCO R311]
- GUARDRAILS (MIN. 36" HIGH) SHALL BE PROVIDED ON PORCHES, BALCONIES AND RAISED FLOORS MORE THAN 30" ABOVE FLOOR OR GRADE. OPEN STAIRS SHALL HAVE GUARDRAILS (MIN. 34" HIGH) GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES WHICH DO NOT ALLOW PASSAGE OF A SPHERE 4 INCHES OR MORE IN DIAMETER. [COMPLY W/ RCO R312].
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- LIGHT FIXTURES IN CLOSETS (INCANDESCENT AND FLUORESCENT) SHALL BE ENCLOSED [COMPLY W/ RCO].
- PROVIDE PROPER THICKNESS AND SPANS OF SHEATHING FOR ROOFS AND SUBFLOORS [COMPLY W/ RCO R503].
- ROOF VENTS TO MEET 1:150 VENT AREA RATIO [COMPLY W/ RCO R800].
- AN ATTIC ACCESS [22" x 30" MIN.] SHALL BE PROVIDED TO ANY ATTIC HAVING 30" OF CLEAR HEIGHT [COMPLY W/ RCO R807].
- PROVIDE MINIMUM [2] 2X10'S W/ 1/2" PLYWOOD FLUTCH PLATE AT ALL EXTERIOR WALL OPENINGS AND INTERIOR BEARING WALL OPENINGS UNLESS OTHERWISE NOTED
- PROVIDE MINIMUM [2] 2X4'S AT EACH END OF ALL BEAMS AND GIRDER TRUSSES UNLESS OTHERWISE NOTED. ALL SUCH CONCENTRATED LOADS SHALL BE TRANSFERRED TO FOUNDATION VIA BEAMS, POST AND /OR SOLID BLOCKING [COMPLY W/ RCO]

**BEAM/HEADER SCHED.**

SYM	DESCRIPTION	REMARKS
CHB-1	[2] 2X4'S W/ [1] 1/2" WD. FLUTCH	
CHB-2	[2] 2X4'S W/ [1] 1/2" WD. FLUTCH	
CHB-3	[2] 2X8'S W/ [1] 1/2" WD. FLUTCH	
CHB-4	[2] 2X10'S W/ [1] 1/2" WD. FLUTCH	
CHB-5	[2] 2X12'S W/ [1] 1/2" WD. FLUTCH	
CHB-6	[2] 1 1/2" X 9 1/2" LVL'S	
CHB-7	[2] 1 1/2" X 11 1/2" LVL'S	
CHB-8	[2] 1 1/2" X 14 LVL'S	

**COLUMN SCHEDULE**

COL-1	[3] 2X4'S
COL-2	[4] 2X4'S
COL-3	[2] 2X6'S
COL-4	[3] 2X6'S
COL-5	[4] 2X8'S
COL-6	[1] 4X4 P.T. WD.
COL-7	[1] 6X6 P.T. WD.

**WALL TYPE LEGEND**

NO.	WALL TYPE DESCRIPTION	WALL HATCH
1	INTERIOR 2X4 WALL: 1/2" GYP. BOARD ON BOTH SIDES OF 2X4 WD. STUDS @ 16" O.C. W/ R-13 SOUND INSULATION	[Hatch]
2	INTERIOR 2X4 WALL: 1/2" GYP. BOARD ON BOTH SIDES OF 2X4 WD. STUDS @ 16" O.C.	[Hatch]
3	INTERIOR 2X6 WALL: 1/2" GYP. BOARD ON BOTH SIDES OF 2X4 WD. STUDS @ 16" O.C. W/ R-13 SOUND INSULATION	[Hatch]
4	EXTERIOR 2X4 WALL: 1/2" OSB BOARD ON EXTERIOR SIDE OF 2X4 WD. STUDS @ 16" O.C. W/ 1/2" GYP. BOARD ON INTERIOR SIDE W/ R-15 INSULATION	[Hatch]
5	EXTERIOR ZIP WALL: 1 1/2" ZIP SYSTEM ON EXTERIOR SIDE OF 2X4 WD. STUDS @ 16" O.C. W/ 1/2" GYP. BOARD ON INTERIOR SIDE W/ R-15 INSULATION	[Hatch]
6	EXTERIOR 2X6 WALL: 1/2" OSB BOARD ON EXTERIOR SIDE OF 2X4 WD. STUDS @ 16" O.C. W/ 1/2" GYP. BOARD ON INTERIOR SIDE W/ R-15 INSULATION	[Hatch]
7	INTERIOR 2X8 WALL: 1/2" GYP. BOARD ON BOTH SIDES OF 2X8 WD. STUDS @ 16" O.C. W/ R-13 SOUND INSULATION	[Hatch]

**S.F. AREA TABULATION**

AREA	SQ. FT.	LIVABLE
SECOND LEVEL LIVABLE :	794 s.f.	LIVABLE
MAIN LEVEL LIVABLE :	1815 s.f.	
LOWER LEVEL LIVABLE :	XXX s.f.	
TOTAL LIVABLE :	2,600 s.f.	
3 CAR GARAGE :	793 s.f.	NON LIV.
PATIO :	XXX s.f.	
LIVABLE AREA CALCULATIONS ARE MADE FROM THE OUTSIDE FACE OF EXTERIOR WALLS. STAIRWELLS AND FIREPLACE AREAS ARE INCLUDED		
NON LIVABLE AREAS- GARAGES, VERANDA, DECKS, PATIOS, AND EXTERIOR PORCHES AREAS		

PROJECT DESIGNER:  
**fidei**  
 architecture, llc  
 2644 Twp. C. Rd. #44  
 Avon, OH 44011  
 Phone: (330) 247-3132

Like us on houzz Facebook  
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PROJECT LOCATION:  
 7303 WALTERS RD  
 HUDSON, OHIO, 44236

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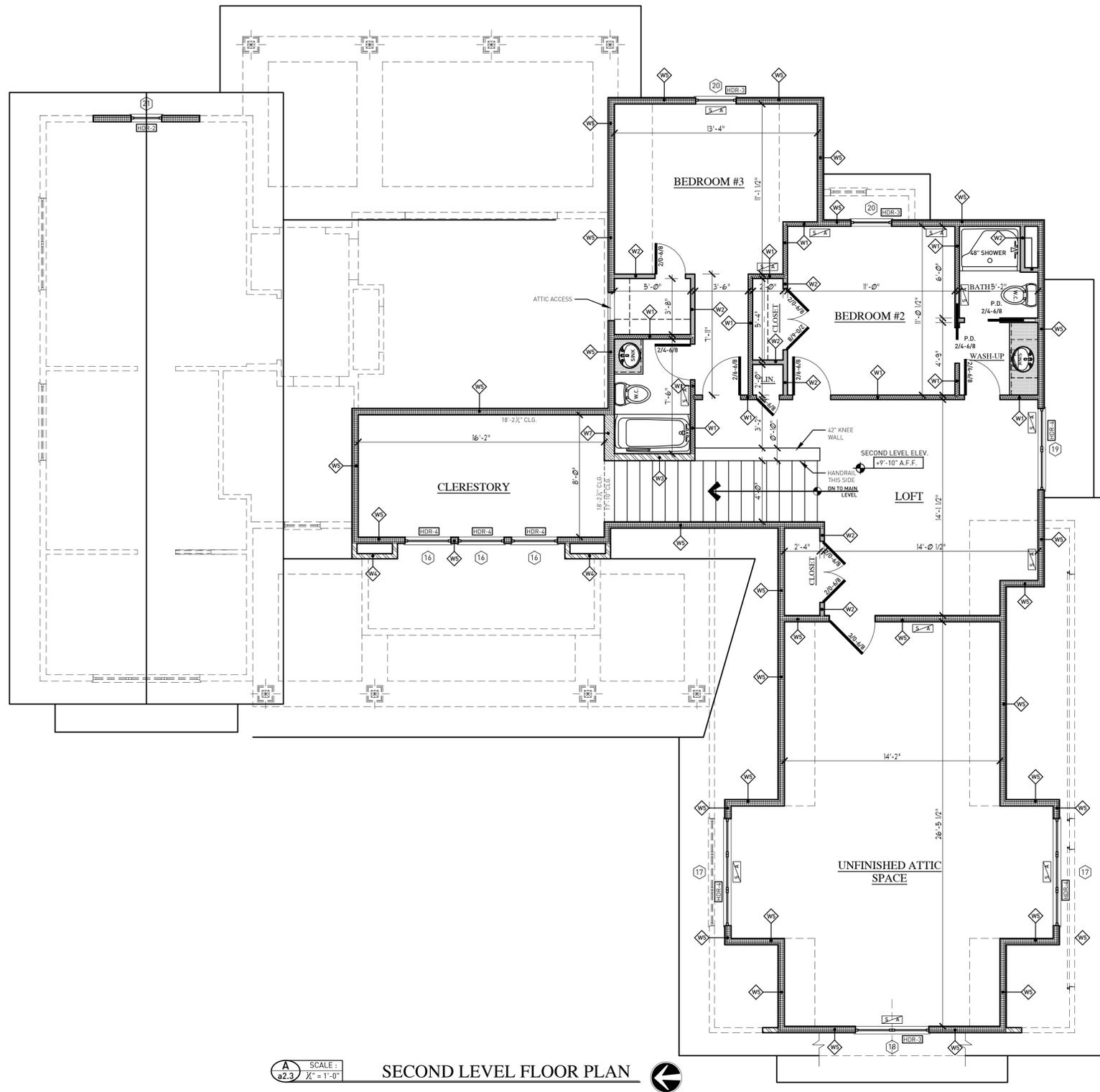
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MAIN LEVEL FLOOR PLAN

SHEET No.  
**a2.3**



SCALE: 1/8" = 1'-0"  
**SECOND LEVEL FLOOR PLAN**

**FLOOR PLAN NOTES**

- GARAGE SPACE SHALL BE SEPARATED FROM LIVING AREA & ATTIC BY 1/2" GYPSUM APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPERATED FROM ROOMS ABOVE BY 5/8" TYPE X GYPSUM [COMPLY W/ RCO R309.2]
- PROVIDE BATHROOM EXHAUST FANS WITH A MINIMUM VENTILATION RATE OF 50 CFM. EXHAUST FANS TO BE VENTED DIRECTLY TO THE OUTSIDE [COMPLY W/ RCO R303.3]
- PROVIDE TEMPERED GLASS IN ALL SPECIFIC HAZARDOUS LOCATIONS SPECIFIED IN SECT. R308.4 IN THE RCO.
- INDEPENDENT METAL DRYER VENT SYSTEM W/ DAMPER TO BE INSTALLED. SYSTEM TO VENT MOISTURE DIRECTLY OUTDOORS [COMPLY W/ RCO M1501.1].
- ALL SLEEPING ROOMS MUST CONTAIN AN OPERABLE WINDOW OR DOOR WHICH WILL PROVIDE A MEANS OF EMERGENCY EGRESS W/ A MIN. 5.7 S.F. CLEAR OPENING (5 S.F. AT GRADE FLOOR) [24" MIN. CLEAR HGT. / 20" MIN. CLEAR WIDTH] [COMPLY W/ RCO R310].
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- PROVIDE PROPER THICKNESS AND SPANS OF SHEATHING FOR ROOFS AND SUBFLOORS [COMPLY W/ RCO R503].
- ROOF VENTS TO MEET 1:150 VENT AREA RATIO [COMPLY W/ RCO R806].
- AN ATTIC ACCESS [22" x 30" MIN.] SHALL BE PROVIDED TO ANY ATTIC HAVING 30" OF CLEAR HEIGHT [COMPLY W/ RCO R807].
- PROVIDE MINIMUM (2) 2X10'S W/ 1/2" PLYWOOD FLITCH PLATE AT ALL EXTERIOR WALL OPENINGS AND INTERIOR BEARING WALL OPENINGS UNLESS OTHERWISE NOTED
- PROVIDE MINIMUM OF (3) 2X4'S AT EACH END OF ALL BEAMS AND GIRDER TRUSSES UNLESS OTHERWISE NOTED. ALL SUCH CONCENTRATED LOADS SHALL BE TRANSFERRED TO FOUNDATION VIA BEAMS, POST AND /OR SOLID BLOCKING



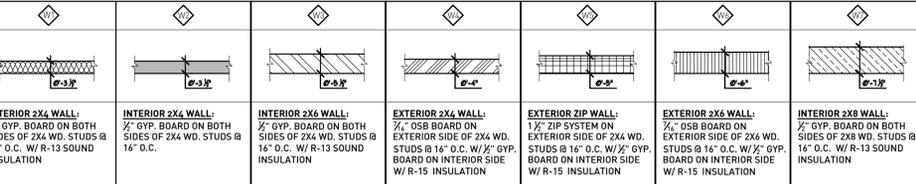
**BEAM/HEADER SCHED.**

SYM	DESCRIPTION	REMARKS
CHB-1	(2) 2X4's W/ (1) 1/2" WD. FLITCH	
CHB-2	(2) 2X4's W/ (1) 1/2" WD. FLITCH	
CHB-3	(2) 2X8's W/ (1) 1/2" WD. FLITCH	
CHB-4	(2) 2X10's W/ (1) 1/2" WD. FLITCH	
CHB-5	(2) 2X12's W/ (1) 1/2" WD. FLITCH	
CHB-6	(2) 1 1/2" X 9 1/2" LVL's	
CHB-7	(2) 1 1/2" X 11 1/2" LVL's	
CHB-8	(2) 1 1/2" X 14 LVL's	

**COLUMN SCHEDULE**

⊙	(3) 2X4'S
⊙	(4) 2X4'S
⊙	(2) 2X6'S
⊙	(3) 2X6'S
⊙	(4) 2X8'S
⊙	(1) 4X4 P.T. WD.
⊙	(1) 6X6 P.T. WD.

**WALL TYPE LEGEND**



**S.F. AREA TABULATION**

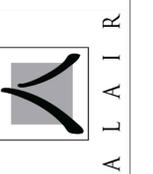
AREA	SQ. FT.	LIVABLE
SECOND LEVEL LIVABLE :	794 s.f.	LIVABLE
MAIN LEVEL LIVABLE :	1815 s.f.	
LOWER LEVEL LIVABLE :	XXX s.f.	
TOTAL LIVABLE :	2,600 s.f.	
3 CAR GARAGE :	793 s.f.	NON LIV.
PATIO:	XXX s.f.	
LIVABLE AREA CALCULATIONS ARE MADE FROM THE OUTSIDE FACE OF EXTERIOR WALLS. STAIRWELLS AND FIREPLACE AREAS ARE INCLUDED		
NON LIVABLE AREAS- GARAGES, VERANDA, DECKS, PATIOS, AND EXTERIOR PORCHES AREAS		

PROJECT DESIGNER:  
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 Akron, Ohio 44331  
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 fideiarch.com

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PROJECT CONTRACTOR:  
 10 W Streetsboro St  
 Suite 201, Hudson, OH  
 44236



PROJECT LOCATION:  
 7303 WALTERS RD  
 HUDSON, OHIO, 44236

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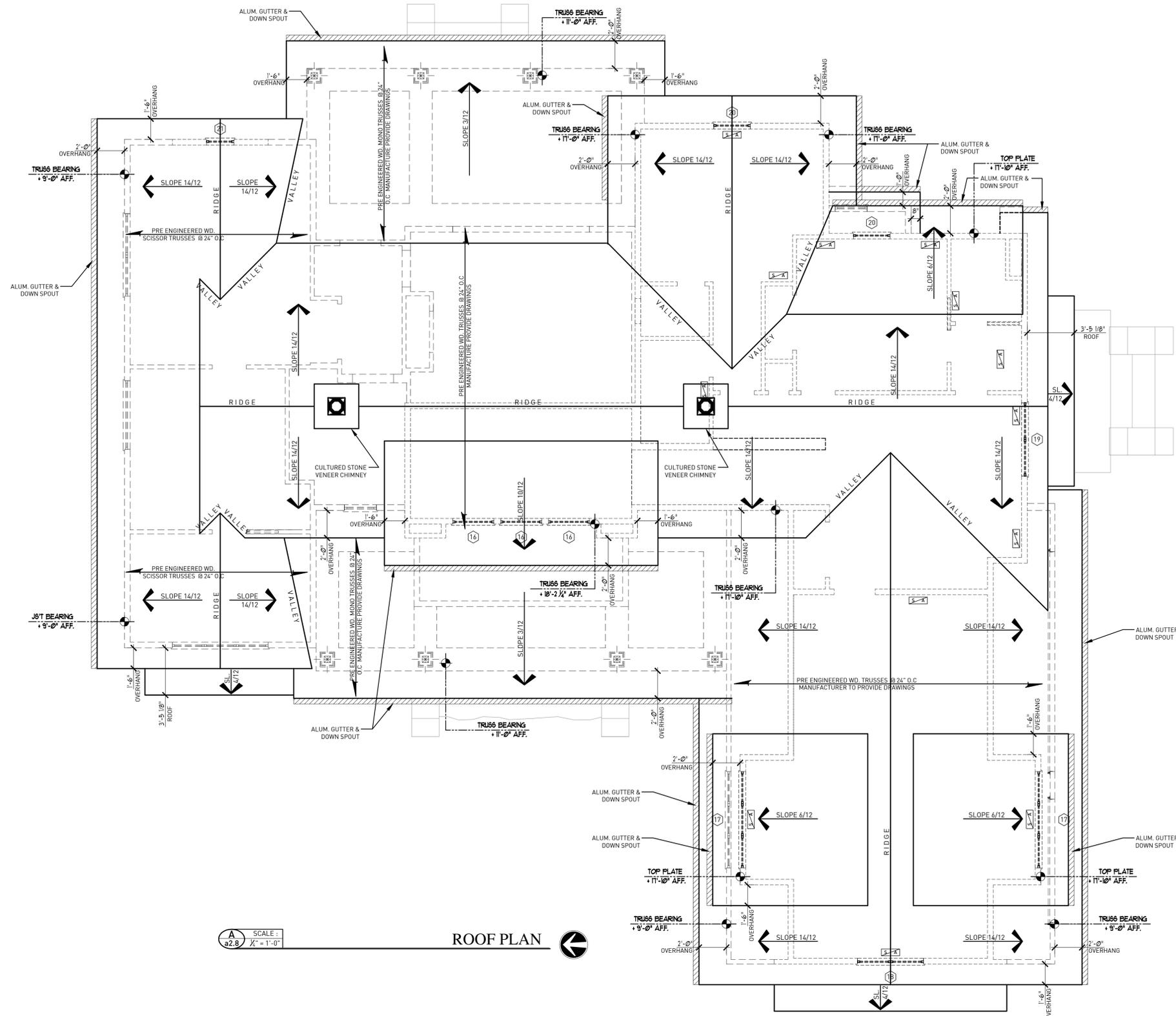
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**SECOND LEVEL FLOOR PLAN**

SHEET No.  
**a2.5**



**SCALE:**  
 1/4" = 1'-0"  
**ROOF PLAN**

- ROOF NOTES:**
- DO NOT SCALE DRAWINGS. IF ANY DISCREPANCIES ARISE PLEASE CONTACT THE PROJECT MANAGER AND DESIGNER.
  - STRUCTURAL FRAMING MEMBERS TO BE SPF #2
  - ALL TRUSSES TO BE PRE-ENGINEERED BY TRUSS MFG. (SEE TRUSS SECTIONS IF APPLICABLE).
  - CALCULATE ALL TRUSSES TO MAINTAIN NOTED SOFFIT HEIGHTS AND OVERHANG DIMENSIONS.
  - TYPICAL EXTERIOR OR BEARING HEADER IS 3 - 2 x 10 @ 2 x 4 WALLS AND 2 - 2 x 10's @ 2 x 4 WALLS, UNLESS NOTES
  - ALL INTERIOR NON-BEARING HEADERS LESS THAN 4'-0" SPAN TO BE TWO 2 x 4's EXCEPT AS NOTED.
  - TYP. SOLID FRAMING POSTS TO BE MIN. OF 3 - 2 x EXCEPT AS NOTED BY TRUSS MFG.
  - TRUSS CLIPS, HANGERS, AND STRUCTURAL CONNECTIONS FOR TRUSS SYSTEM TO BE SPECIFIED BY THE TRUSS MANUFACTURER ON SEALED TRUSS ENGINEERING PLANS.
  - ALL ENGINEERED BEAMS ARE DESIGNED WITH LOADS AS FOLLOWS:  
 ROOF LOAD  
 20 PSF LIVE LOAD  
 20 PSF DEAD LOAD  
 ALL BEAMS TO BE 1.9E UNLESS OTHERWISE NOTED.
  - PROVIDE PROPER THICKNESS AND SPANS OF SHEATHING FOR ROOFS AND SUBFLOORS (COMPLY W/ RCD R503).
  - ROOF VENTS TO MEET 1:150 VENT AREA RATIO (COMPLY W/ RCD R804).
  - AN ATTIC ACCESS (22" x 30" MIN.) SHALL BE PROVIDED TO ANY ATTIC HAVING 30" OF CLEAR HEIGHT (COMPLY W/ RCD R807).

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 44236



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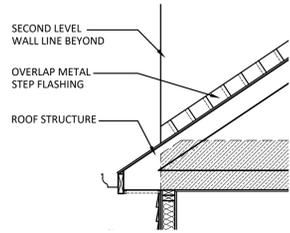
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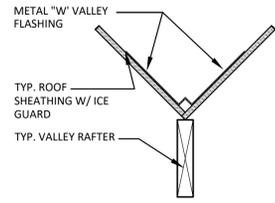
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SHEET DISCUSSION:  
**ROOF PLAN**

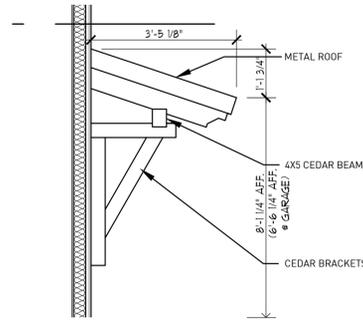
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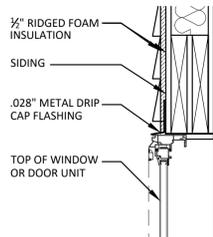
**F** SCALE: 1/2" = 1'-0"  
a3.1.7 STEP FLASHING DETAIL



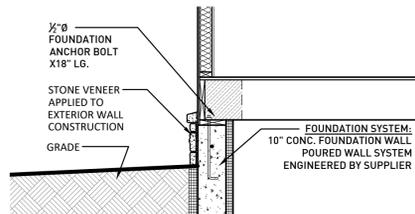
**G** SCALE: 1/2" = 1'-0"  
a3.1.7 FLASHING DETAIL - TYP. VALLEY



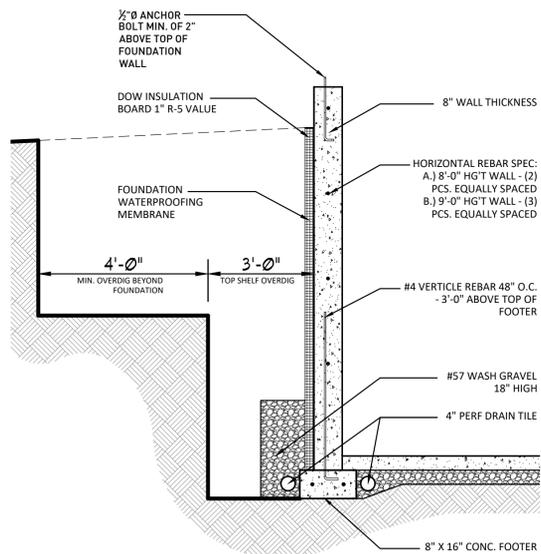
**H** SCALE: 1/2" = 1'-0"  
a3.1.7 WINDOW ROOF OVERHANG DETAIL



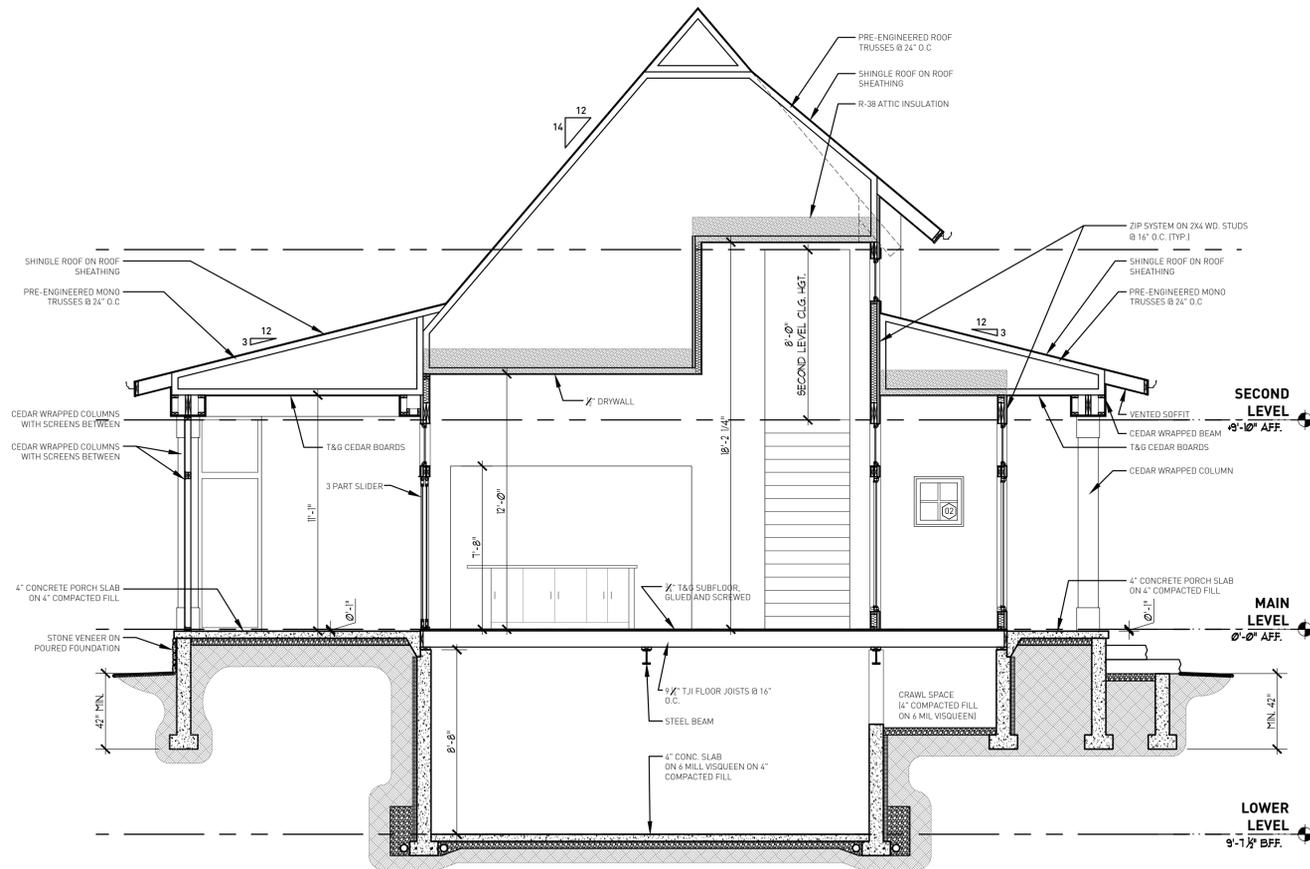
**E** SCALE: 1/2" = 1'-0"  
a3.1.7 FLASHING DETAIL- DRIP CAP



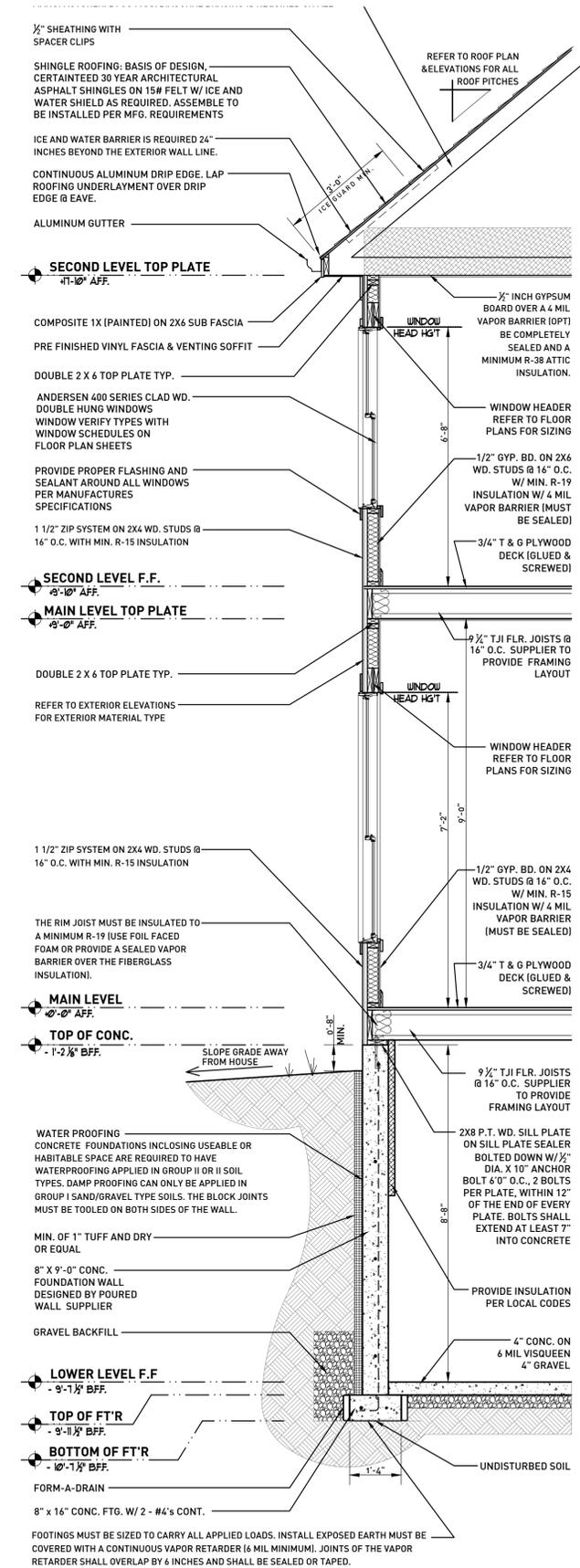
**D** SCALE: 1/2" = 1'-0"  
a3.1.7 STONE VENEER WALL SECTION



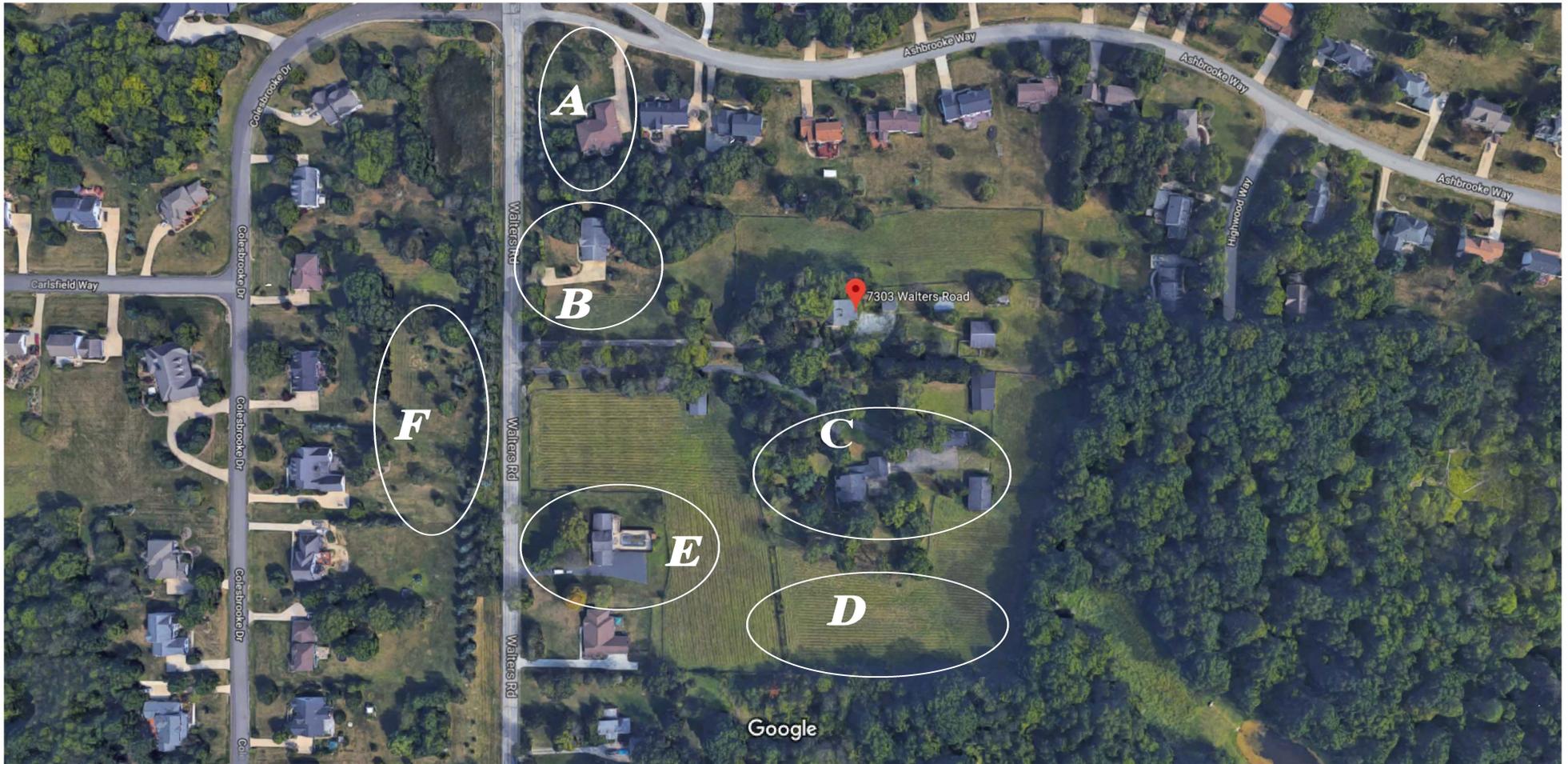
**C** SCALE: 1/2" = 1'-0"  
a3.1.7 FOUNDATION WALL SECTION



**B** SCALE: 1/2" = 1'-0"  
a3.1.7 CROSS SECTION



**A** SCALE: 1/2" = 1'-0"  
a3.1.7 TYPICAL WALL SECTION



**A. 672 Ashbrook**

**D. 7275 Walters**

**B. 7321 Walters**

**E. 7273 Walters**

**C. 7277 Walters**

**F. View across street (no homes)**



**Photo A – 672 Ashbrook**



**Photo B – 7321 Walters**



**Photo C – 7277 Walters**



**Photo D – 7275 Walters**



**Photo E – 7273 Walters**



**Photo F – View across the street (no homes)**