

APPROVED: STAFF APPROVAL DATE  
 APPROVED: ENGINEERING DEPT. APPROVAL DATE  
 APPROVED: LANDSCAPE ARCHITECT APPROVAL DATE

\*\*THE CONTRACTOR MUST CHECK THE BENCHMARK WITH THE CURB GRADES PRIOR TO DIGGING THE FOUNDATION.\*\*

BUILDER: PULTE HOMES OF OHIO, LLC.  
 ADDRESS: 387 MEDINA ROAD SUITE 1700, MEDINA, OHIO 44256  
 PHONE: 330-239-1587

NOTE: \*\*\*\*\*  
 PLEASE TAKE NOTICE. THE FOUNDATION SHOWN ON THIS SITE PLAN IS TAKEN FROM BASE PLANS ONLY. PROPER VERIFICATION WILL BE REQUIRED.

INITIAL SITE BENCHMARK:  
 SUMMIT COUNTY GEODETIC MONUMENT HU 118  
 STATE PLAN COORDINATE  
 N 572,745.649  
 E 2,250,912.641  
 ELEVATION = 1006.912 NAVD 1988

\*\*PRIMARY BENCHMARK:\*\*  
 TOP OF HYDRANT @ P/L  
 IN FRONT OF SUBLOT'S 151/152  
 ELEV. = 1006.36

DATE OF SURVEY:  
 FEBRUARY 5th, 2021

PERCENTAGE OF LOT COVERAGE = 27.0%  
 HOUSE COVERAGE = 2,116 SQ.FT.  
 DRIVEWAY COVERAGE = 1,666 SQ.FT.  
 WALKWAY COVERAGE = 146 SQ.FT.  
 TOTAL COVERAGE = 3,928 SQ.FT.

OWNER: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 PHONE: \_\_\_\_\_

NOTE:  
 ALL PROPOSED FOOTERS WILL REQUIRE SURVEY CERTIFICATION ONCE SET AND PRIOR TO THE COMPLETION OF HOME CONSTRUCTION

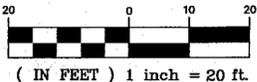
NOTES:  
 DOWNSPOUTS TO BE CONNECTED TO STORM SEWER CONNECTION  
 SUMP PUMP REQUIRED FOR FOOTER DRAINS

\*\*SECONDARY BENCHMARK\*\*  
 TOP STEM OF HYDRANT  
 IN FRONT OF SUBLOT'S 150/151  
 ON KINGSWOOD DRIVE  
 ELEV. = 1009.36

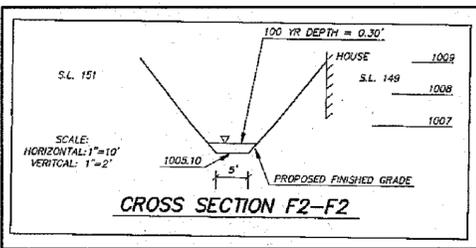
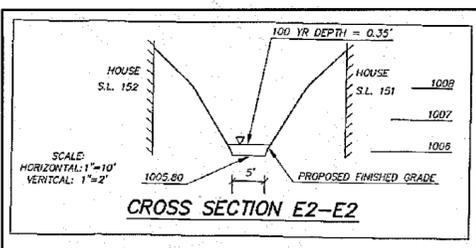
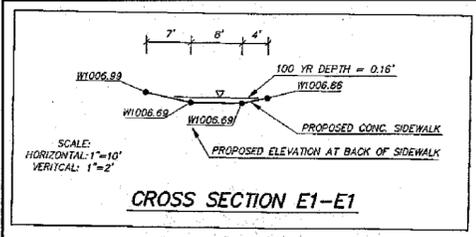
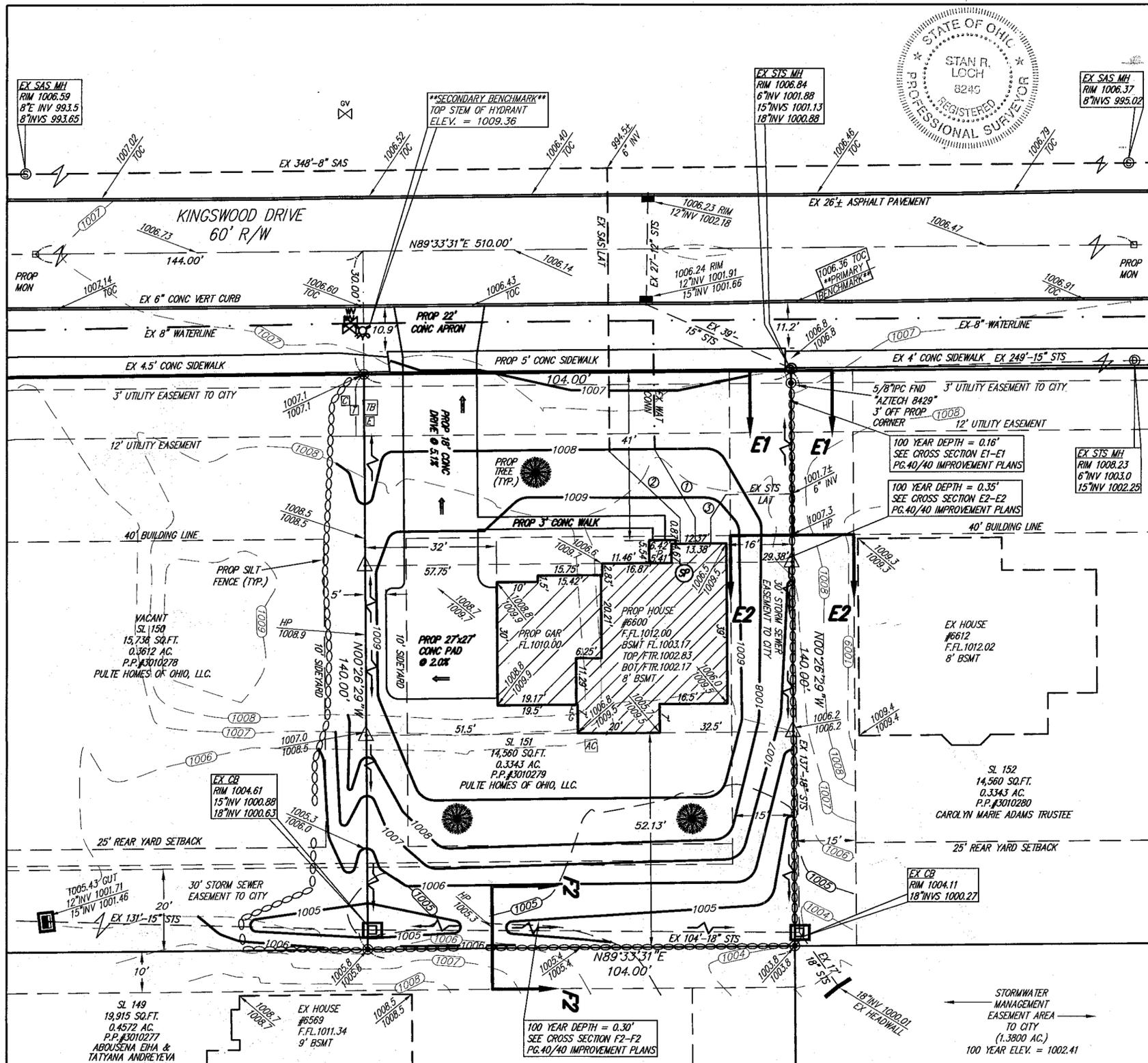
TYPE OF HOUSE:  
 PLAN# CRAWFORD  
 ELEVATION: 1, 18' WIDE DRIVE  
 GAR: 3 CAR SIDE RIGHT W/8' BSMT & FP

- ① = PROP 1" WAT CONN
- ② = PROP 6" PVC SAS CONN @ 1.0% MN 10% MAX
- ③ = PROP 6" PVC STS CONN @ 1.0% MN 10% MAX

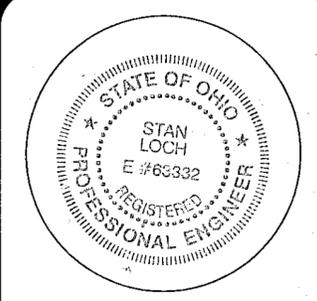
GRAPHIC SCALE



NOTE:  
 FINAL LOCATION OF (3) TREES TO BE DETERMINED AND INSTALLED BY PURCHASER IN COMPLIANCE WITH CITY OF HUDSON LAND DEVELOPMENT CODE (1207.04J).



- LEGEND:
- = PROPOSED TREE
  - = PROP MONUMENT
  - ⊞ = EX CURB INLET
  - ⊙ = EX SANITARY MANHOLE
  - ⊕ = IRON PIN SET 5/8"x30" REBAR CAPPED "AZTECH #8249"
  - = EXISTING GRADE
  - - - = PROPOSED GRADE
  - ∞ = PROP SILT FENCE
  - ⊗ = EX HYDRANT
  - ⊞ = EX WATER VALVE
  - ⊙ = SUMP PUMP
  - ⊕ = EX STORM MANHOLE
  - = SWALE
  - = FLOW ARROW
  - AC = AIR CONDITIONER
  - E = ELECTRIC CONNECTION
  - G = GAS CONNECTION
  - △ = OFFSET HUB
  - = CONDUIT



I CERTIFY THAT THIS PLAN WAS PREPARED BY ME AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

3-5-2021  
 STAN R. LOCH P.E. #63332 DATE

5425 WARNER ROAD - SUITE 12  
 VALLEY VIEW, OHIO 44125  
 440-602-9071



Civil Engineering · Land Surveying

SHEET CONTENT

SITE PLAN FOR  
 PULTE HOMES  
 SUBLOT 151  
 6600 KINGSWOOD COURT  
 IN THE  
 RESERVE AT RIVER  
 OAKS SUBDIVISION PH. 4  
 SITUATED IN THE  
 CITY OF HUDSON  
 COUNTY OF SUMMIT  
 STATE OF OHIO

REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	3/4/21	REVISE FRONT PORCH	KEG

HORIZ. SCALE	VERT. SCALE
1" = 20'	1" = 2'
DRAWN BY	DATE
KEG	2-15-2021
CHECKED BY	DRAWING NO
SRL	20142977-4
JOB NO	SHEET
20142977-4	1 OF 1





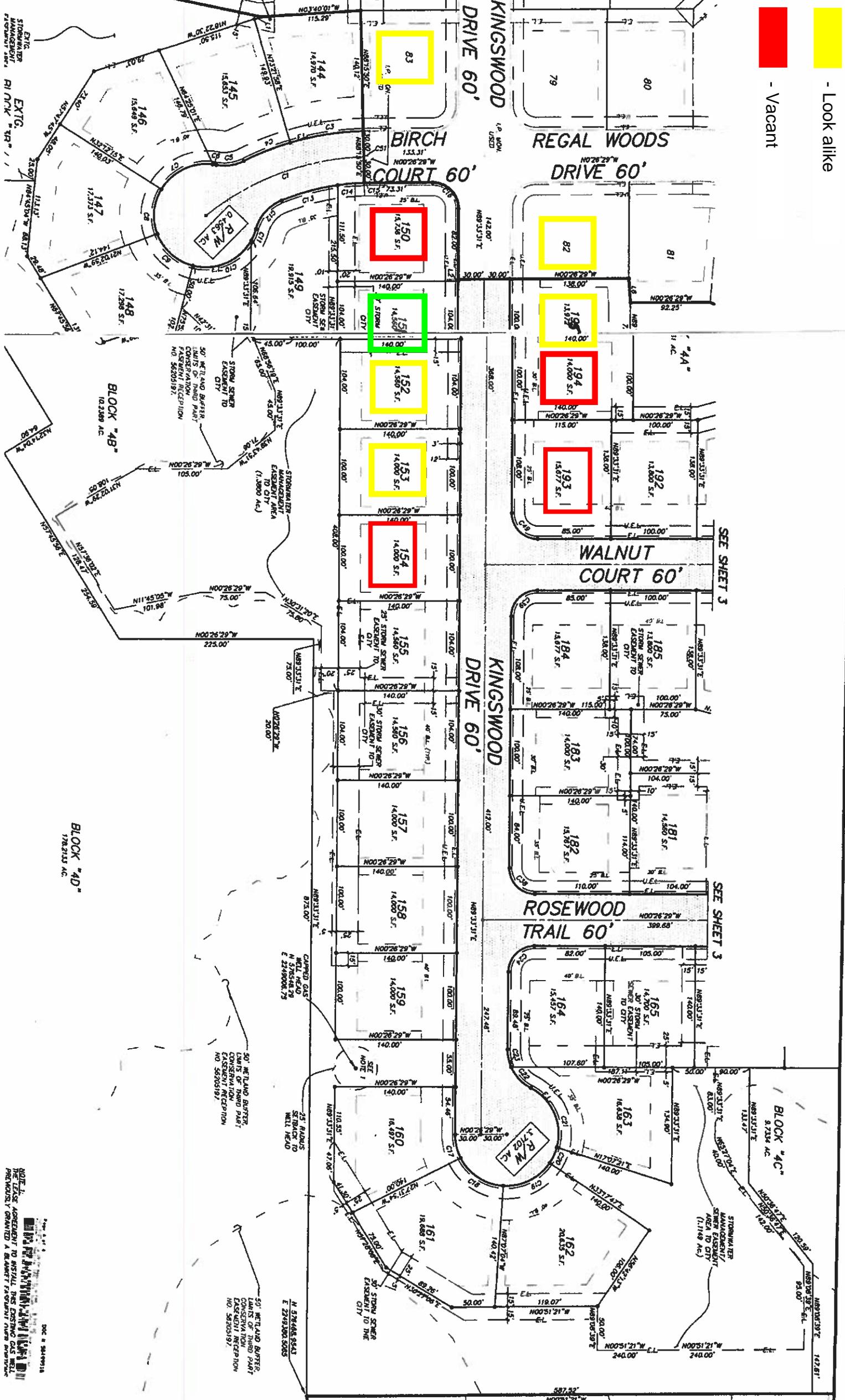






- Look alike

- Vacant



NOTE:  
 THE LEASE AGREEMENT TO INSTALL THIS EXISTING GAS WELL  
 THE WOODS, GRANTED A BLANKET EASEMENT OVER ANY







Lot 82

Cleveland Division  
387 Medina Rd. Suite 1700  
Medina, OH 44256

Pulte  
Homes

Project Name -  
Front and Rear Elevations

SECTION INDEX

1	FRONT ELEVATION
2	REAR ELEVATION
3	FRONT PORCH
4	REAR PORCH
5	FRONT GARAGE
6	REAR GARAGE
7	FRONT PORCH DETAIL
8	REAR PORCH DETAIL
9	FRONT GARAGE DETAIL
10	REAR GARAGE DETAIL

PROJECT FOR  
**SHOELS FAMILY**

**RIVER OAKS LOT 82**  
LIVING QUARTERS

GENERAL NOTES  
**GARAGE ENTRY**

PROGRAM title  
**TRD**

PROJECT title  
**HOLBROOK**

DATE  
**TRD**

DATE FOR SET  
**PLAN 3/14/07**

DATE  
**7.01al**



DATE: Jan 28, 2007 / Project Name: / P:\100-200-200-000

© Copyright PulteHome, Inc. - 2007

GENERAL NOTES: SEE SPECIFICATIONS RELATIVE TO PAINT. THE PAINTS ARE SPECIFIED BY TRADE BRANDS. SEE SPECIFICATIONS FOR SCALE FINISH.

ENGINEER OF RECORD: WALTER A. HALL, ENGINEERING  
ARCHITECT OF RECORD: DONALD L. SCHMIDT - ARCHITECTS

