

# QUAGLIATA RESIDENCE



## ARCHITECT

**PENINSULA ARCHITECTS**  
1775 MAIN STREET, PENINSULA, OHIO  
P: 330.657.2800

CONTACT: JOE MATAVA

## PROJECT INFORMATION

SUMMIT COUNTY  
CITY OF HUDSON  
DIST. 4 - HISTORIC RESIDENTIAL NBHD.  
R - SINGLE FAMILY DWELLING

ALTERATION/ RENOVATION TO 1800S HISTORIC HOME

PARCEL: 3201625  
OWNER: CRISTINA QUAGLIATA

### SQUARE FOOTAGE

#### EXISTING

HOUSE	
UNFINISHED BASEMENT	576
FIRST FLOOR	1149
SECOND FLOOR	960
PORCHES	
FIRST FLOOR	334 (CONVERT 168)
GARAGE (DETACHED)	
GROUND LEVEL	260

TOTAL EXISTING FINISHED: 2109  
TOTAL GARAGE SF: 260

ALTERED (CONVERT TO FINISHED)

PORCHES	
FIRST FLOOR	168

#### PROPOSED

HOUSE	
UNFINISHED BASEMENT	0
FIRST FLOOR (ALT)	168
SECOND FLOOR	72

GARAGE (DETACHED)	
GROUND	300
SECOND FLOOR (LOFT)	385

TOTAL PROPOSED FINISHED SF: 240  
TOTAL GARAGE SF: 685

EXISTING + PROPOSED FINISHED SF: 2349  
GARAGE TOTAL 945

PROGRESS  
NOT FOR  
CONSTRUCTION

PROJECT:  
**QUAGLIATA RESIDENCE**

PROJECT ADDRESS:  
56 EAST COLLEGE STREET, HUDSON, OH 44236

## ABBREVIATIONS

ABV	ABOVE	DR	DOOR	MAX	MAXIMUM
AC	AIR CONDITIONING	DS	DOWNSPOUT	MECH	MECHANICAL
AFF	ABOVE FINISHED FLOOR	DTL	DETAIL	MANUF.	MANUFACTURER
ALT	ALTERNATE	DWG	DRAWING	MIN.	MINIMUM
ADH	ADHESIVE	EA	EACH	MISC	MISCELLANEOUS
ALJ	AUTHORITY HAVING JURISDICTION	ELEC	ELECTRICAL	MO	MASONRY OPENING
ALUM	ALUMINUM	EG	EQUAL	MTD	MOUNTED
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	EXH	EXHAUST	MTL	METAL
APPROX.	APPROXIMATELY	EXST	EXISTING	NOM	NOMINAL
ARCH	ARCHITECT (URAL)	EXP	EXPOSED	NTS	NOT TO SCALE
ASPH	ASPHALT	EXT	EXTERIOR	OV	OVER
BD	BOARD	FD	FLOOR DRAIN	ON CENTER	
BLDG	BUILDING	FDN	FOUNDATION	OPENING	
BD	BOTTOM OF	FIN	FINISHED	PREFAB	PREFABRICATED
BRNG	BEARING	FLR	FLOOR	PLYWD	PLYWOOD
BTM	BOTTOM	FT	FOOT	P LAM	PLASTIC LAMINATE
BTW	BETWEEN	FTG	FOOTING	PR	POUNDS PER SQUARE INCH
CAB	CABINET	FUR	FURNING	PVC	POLYVINYL CHLORIDE
CF	CUBIC FEET	GA	GALVANIZED	REF	REFERENCE
CIP	CAST IN PLACE	GC	GENERAL CONTRACTOR	RM	ROOM
CJ	CONTROL JOINT	GRP BD	GYP/PLUM BOARD	RO	ROUGH OPENING
CLNG	CEILING	GYP	GYP/PLUM BOARD	REQD	REQUIRED
CLR	CLEAR	HG	HOLLOW CORE	SC	SOLID CORE
CMU	CONCRETE MASONRY UNIT	HDR	HARDWARE	SECT	SECTION
CONC	CONCRETE	HW	HOLLOW METAL	SIM	SIMILAR
CO	CLEAN OUT	HVAC	HEATING, VENTILATION, AND AIR CONDITIONING	STRUC	STRUCTURAL
CONT	CONTINUOUS	HT	HEIGHT	TYP	TYPICAL
CSK	COUNTERSINK	INSUL	INSULATION	UNO	UNLESS NOTED OTHERWISE
DBL	DOUBLE	JST	JOIST	VOC	VOLATILE ORGANIC COMPOUND
DEPT	DEPARTMENT	LAM	LAMINATED	W	WITH
DIAM	DIAMETER	LF	LINEAR FOOT	WFP	WELDED WIRE FABRIC
DN	DIMENSION DOWN	MAS	MASONRY MATERIAL		

## SYMBOLS

	DETAIL
	ELEVATION
	SECTION
	INTERIOR ELEVATION

## PROJECT GENERAL NOTES

THE CONTRACTOR WILL FURNISH ALL LABOR, MATERIAL, EQUIPMENT, PERMITS, TAXES, AND INSURANCE NECESSARY TO COMPLETE THE WORK INDICATED AND/ OR IMPLIED IN THE CONSTRUCTION DOCUMENTS UNLESS NOTED OTHERWISE AND WILL COORDINATE THE WORK RESPONSIBILITIES OF ALL SUBCONTRACTORS. ALL LABOR AND MATERIALS TO CARRY OUT FULLY THE INTENTIONS OF THE PLANS AND SPECIFICATIONS ARE PART OF THE CONTRACT, WHETHER OR NOT SPECIFICALLY DOCUMENTED.

ALL WORK WILL CONFORM TO THE CURRENT OHIO BUILDING, MECHANICAL & PLUMBING CODES, AS WELL AS THE CURRENT NATIONAL BOARD OF FIRE UNDERWRITERS AND ALL OTHER APPLICABLE CITY CODES, LOCAL LAWS, AND AUTHORITIES HAVING JURISDICTION. CODE STANDARDS AND PUBLICATIONS OF PRIVATE AND PUBLIC BODIES MENTIONED WITHIN THE SPECIFICATIONS OR ON THE DRAWINGS, WILL BE CONSIDERED TO BE THOSE IN FORCE AT THE TIME OF THE CONTRACT AWARD.

THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONTROLLED INSPECTIONS AND ANY TECHNICAL TESTING REQUIRED FOR CONTROLLED INSPECTIONS AS STIPULATED BY ALL APPLICABLE CODES.

ALL MANUFACTURED ARTICLES, MATERIALS, AND EQUIPMENT WILL BE NEW AND FREE OF DEFECTS AND WILL BE SUPPLIED, INSTALLED, CONNECTED, ERECTED, USED, CLEANED, AND CONDITIONED AS DIRECTED BY THE RESPECTIVE MANUFACTURERS, UNLESS SPECIFIED OTHERWISE.

THE CONTRACTOR WILL NOTIFY THE ARCHITECT OF ANY ERRORS, OMISSIONS, CONFLICTS, OR AMBIGUITIES IN AND BETWEEN THE DRAWINGS AND THE SPECIFICATIONS PRIOR TO PROCEEDING WITH THE WORK. IF SUCH NOTICE IS NOT FURNISHED TO THE ARCHITECT, THE CONTRACTOR WILL BE DEEMED TO HAVE INSPECTED THE DRAWINGS AND SPECIFICATIONS AND TO HAVE FOUND THEM IN PROPER FORM FOR EXECUTION.

THE CONTRACTOR REPRESENTS THAT HE HAS HAD ADEQUATE ACCESS TO THE JOB SITE AND BUILDING AREA IN WHICH THE WORK IS TO BE PERFORMED, THAT HE HAS SATISFIED HIMSELF AS TO THE NATURE AND LOCATION OF WORK, INCLUDING ANY OBSTRUCTIONS, SCOPE OF WORK, ACTUAL LEVELS, THE EQUIPMENT AND FACILITIES NEEDED PRELIMINARY TO AND DURING THE EXECUTION OF THE WORK AND ALL OTHER MATTERS, WHICH CAN IN ANY WAY AFFECT THE WORK OR THE COST THEREOF UNDER THIS CONTRACT, AND THAT HE HAS STUDIED THE CONTRACT DOCUMENTS AND ALL OTHER DOCUMENTS PERTAINING TO THE INSTALLATION OF OTHER TRADES WHICH MAY INFLUENCE HIS WORK.

THE CONTRACTOR WILL ASSUME FULL RESPONSIBILITY, INCLUDING RESPONSIBILITY FOR ALL RELATED COSTS FOR ANY AND ALL WORK DONE WITHOUT THE APPROVAL OF THE ARCHITECT IF SUCH WORK IS IN CONFLICT WITH THE CONTRACT, DRAWINGS, OR SPECIFICATIONS.

THE OWNER WILL ESTABLISH THE LIMITS OF THE CONSTRUCTION SITE IN ADDITION TO ANY CONTRACT LIMIT LINES SHOWN IN THE DRAWINGS. THE CONTRACTOR WILL CONTINUE HIS OPERATIONS WITHIN THESE LIMITS UNLESS UPON WRITTEN REQUEST AND REPLY, A VARIANCE IS AGREED TO BY THE OWNER. THE CONTRACTOR WILL BE RESPONSIBLE FOR TRESPASS ON AND/ OR DAMAGE TO OTHER PROPERTY BY ANY OF HIS EMPLOYEES OR HIS SUBCONTRACTOR'S EMPLOYEES.

THE CONTRACTOR WILL BE RESPONSIBLE FOR THE SAFE WORKING CONDITIONS AT THE SITE. THE ARCHITECT AND OWNER WILL NOT BE DEEMED TO HAVE ANY RESPONSIBILITY OR LIABILITY IN CONNECTION HEREWITH.

CONSTRUCTION OPERATIONS WILL NOT INVOLVE INTERRUPTION OF HEATING, WATER, ELECTRICAL, OR OTHER SERVICES TO ANY PORTION OF THE BUILDING OUTSIDE THE LIMITS OF THE CONSTRUCTION SITE DESCRIBED IN NOTE 9.

THE CONTRACTOR WILL BE RESPONSIBLE FOR CORRECTING ANY DEFICIENCIES CAUSED BY DEFECTIVE OR ILL TIMED WORK AT NO ADDITIONAL COST TO THE OWNER.

NO SUBSTITUTIONS ARE PERMITTED EXCEPT WHERE THE TERM "APPROVED EQUAL" APPEARS. ALL SUBSTITUTIONS MUST BE APPROVED IN WRITING BY THE ARCHITECT. THE CONTRACTOR IS TO SUBMIT SAMPLES OR CATALOG CUTS OF ALL VISIBLE MATERIALS AND EQUIPMENT FOR THE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION.

## DRAWING INDEX

	ISSUE DATE	REVISION DATE
G1.00	COVER SHEET	
A1.00	EXISTING SITE PHOTOS	
A1.01	DEMO AND FLOOR PLANS - HOUSE	
A1.02	PLANS, ELEVATIONS AND BUILDING SECTIONS - GARAGE	
A1.03	ROOF PLAN - HOUSE AND TYPICAL GARAGE WALL SECTION	
A2.01	EXTERIOR ELEVATIONS AND BUILDING SECTIONS - HOUSE	

PROJECT TEAM:



PROJECT #: 2148.000

ISSUE: DD PRICING SET 2022-02-07  
HUDSON AHBR 2022-05-17  
HUDSON AHBR 02 2022-06-14

COVER SHEET

G1.00

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PROJECT TEAM:

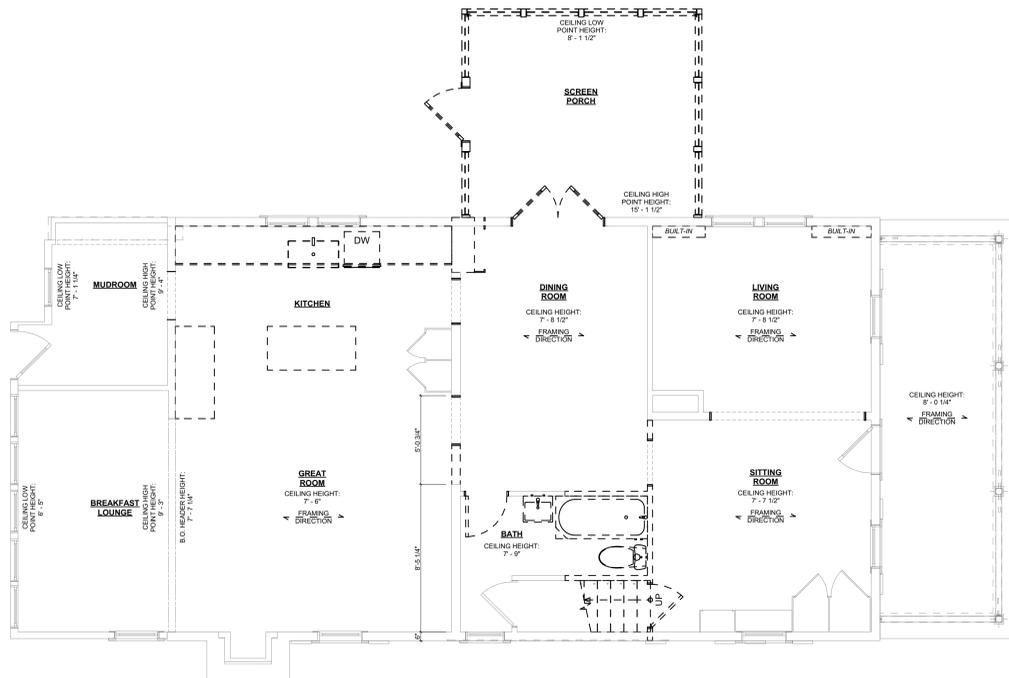
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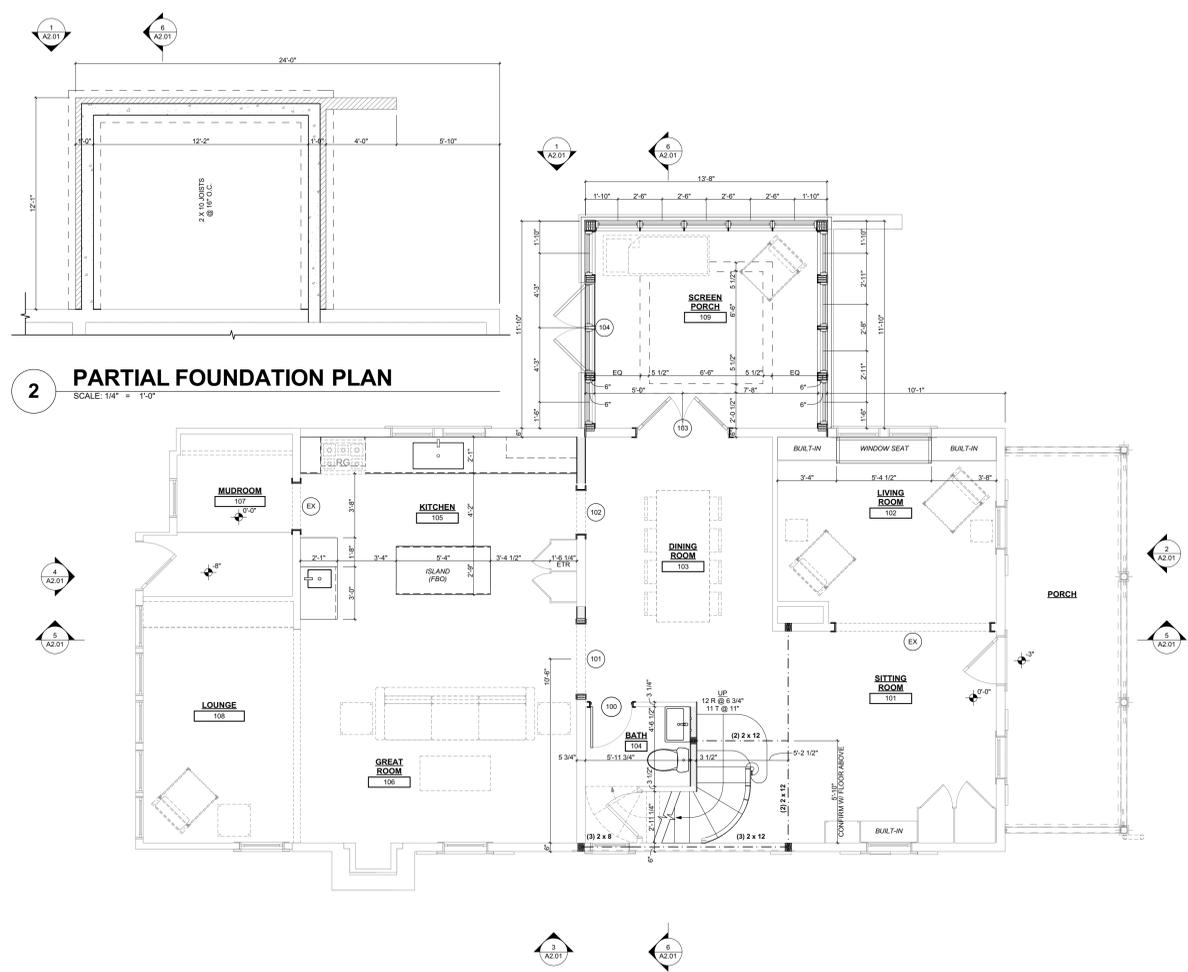
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EXISTING SITE PHOTOS

**A1.00**

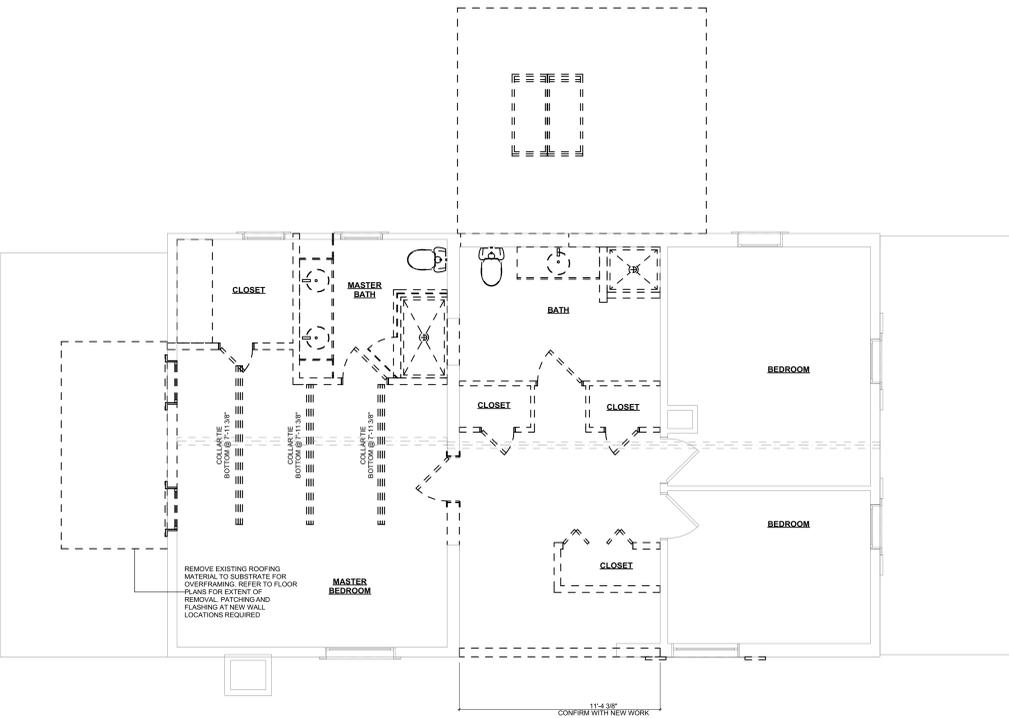


**1 FIRST FLOOR DEMOLITION PLAN**  
SCALE: 1/4" = 1'-0"

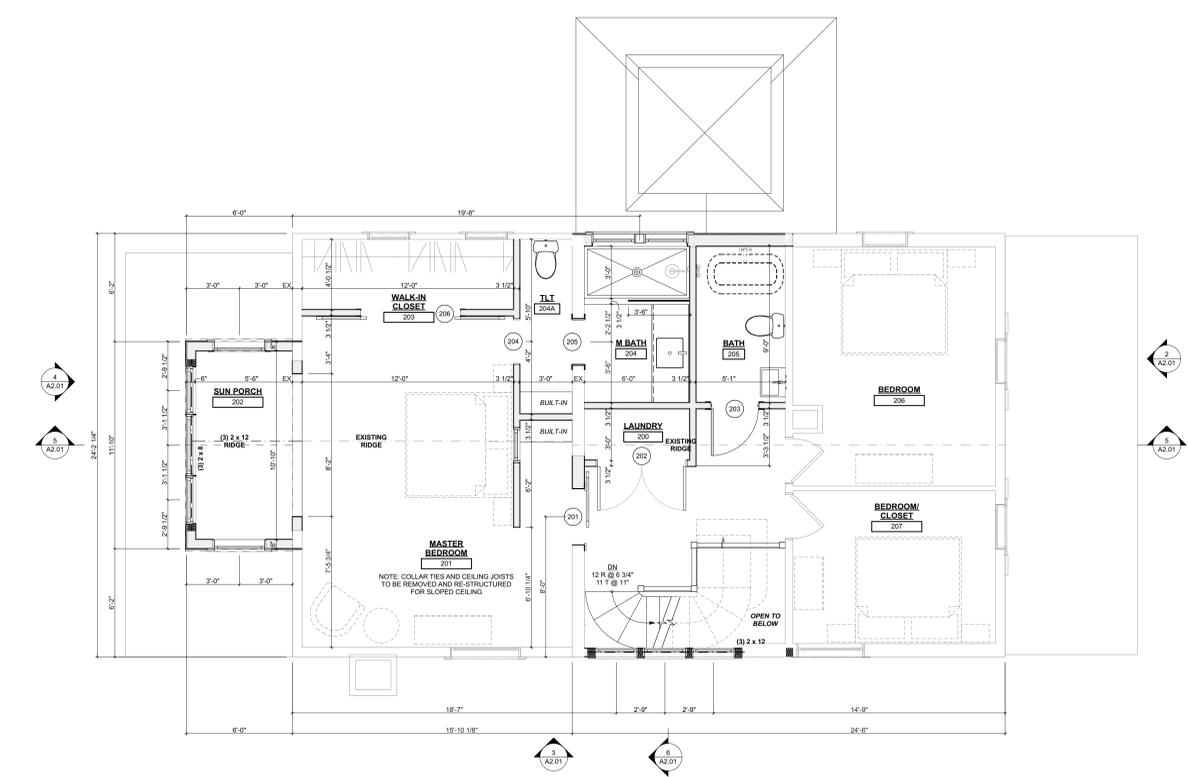


**2 PARTIAL FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"

**3 FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**4 SECOND FLOOR DEMOLITION PLAN**  
SCALE: 1/4" = 1'-0"



**5 SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**DEMOLITION PLAN GENERAL NOTES**

INDICATED DEMOLITION WORK IS SCHEMATIC AND SHOULD BE VERIFIED FOR DIMENSIONAL ACCURACY WITH NEW WORK PLANS AND CONDITIONS IN FIELD. SCOPE OF DEMOLITION INCLUDES ALL WORK NECESSARY TO ACCOMMODATE NEW WORK.

**DEMOLITION PLAN LEGEND**

INDICATES BUILDING ELEMENT TO BE DEMOLISHED

**FLOOR PLANS GENERAL NOTES**

REFERENCED FIRST FLOOR ELEVATION (P-01) = XXX.XX  
VERIFY DIMENSIONS AND CONDITIONS IN FIELD. WHEN DIMENSIONS AND/OR CONDITIONS AS INDICATED ON DRAWINGS CONFLICT WITH ACTUAL, CONTACT ARCHITECT FOR CLARIFICATION.

ALL EXTERIOR WALLS TO MATCH EXISTING CONDITIONS WHERE TYPING IN VERTICALLY AND TYPE (I) WHERE NEW WALL TYPING IN HORIZONTAL UNLESS NOTED OTHERWISE. REFER TO WALL TYPE SCHEDULE THIS SHEET.

ALL INTERIOR TRIM TO BE POPLAR OR APPROVED EQUAL. COORDINATE WITH INTERIOR ELEVATIONS AND MILLWORK DRAWINGS FOR SELECT TYPES AND PROFILES.

WALL BASE: FLAT STOCK POPLAR, PAINTED  
WINDOW: OYSTRON BOARD RETURNING  
DOOR JAMBS: FLAT STOCK POPLAR, PAINTED  
CROWN: N.A.

ALL MILLWORK TO BE CUSTOM PER DRAWINGS  
REFER TO CONSULTANT DRAWINGS IF APPLICABLE FOR COORDINATION OF WORK BETWEEN TRADES

**FLOOR PLANS LEGEND**

INDICATES AREA OF ADDITIONAL FRAMING REQUIRED  
INDICATES POINT LOAD FROM ABOVE  
INDICATES LOCATION OF BEARING WALL

**DOOR GENERAL NOTES**

HARDWARE AND ACCESSORIES TO BE MATTE BLACK OR EQUIVALENT. SUBMIT SAMPLE FOR APPROVAL.  
ALL EXTERIOR HARDWARE, LOCKSETS, AND SCREENS TO BE COORDINATED WITH SELECT MFG. PRIOR TO ORDERING.

ALL INTERIOR DOORS TO BE 1 7/8" SOLID WOOD CORE. REFER TO FINISH PLAN FOR FINISH MATERIAL.  
REFER TO EXTERIOR ELEVATIONS FOR ALL EXTERIOR DOOR TYPES

**DOOR SCHEDULE REMARKS**

- CLOSER
- IMPROVE THRESHOLD AND WEATHERSTRIPPING
- INSULATED DOOR
- POCKET DOOR HARDWARE SET

NO.	WIDTH	HEIGHT	MAT	REMARKS
100	2'-4"	6'-8"	SC WOOD	
103	5'-11 1/2"	6'-8"	SC WOOD	
104	5'-0"	6'-8"	SC WOOD	
201	3'-0"	6'-8"	Undefined	
202	5'-0"	6'-8"	Undefined	
203	2'-8"	7'-0"	Undefined	
206	5'-4"	6'-8"	Undefined	
D-10	2'-4"	6'-8"	Undefined	
G09	9'-3"	8'-0"	SC WOOD	
G01	2'-8"	7'-0"	SC WOOD	
G02	2'-8"	7'-0"	SC WOOD	
G03	2'-8"	7'-0"	SC WOOD	
G04	8'-0"	7'-0"	SC WOOD	
G05	2'-4"	6'-8"	SC WOOD	
G06	2'-0"	6'-8"	SC WOOD	

**www.pa-architects.com**  
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Bozeman, Montana 59715  
T 406.624.9334

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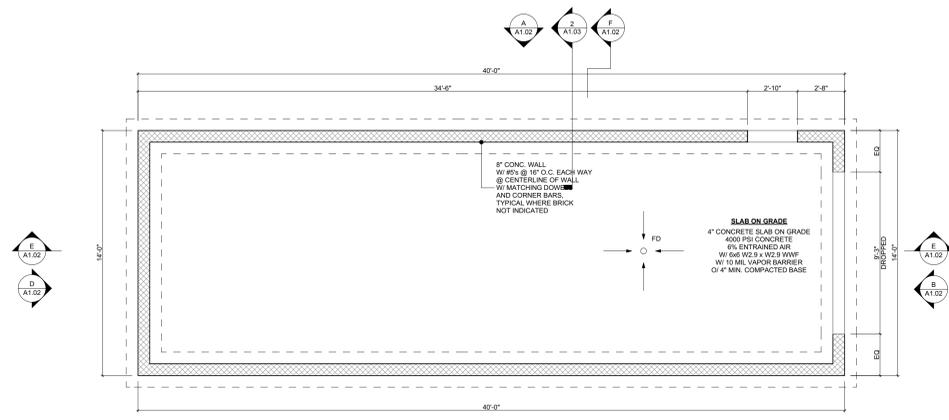


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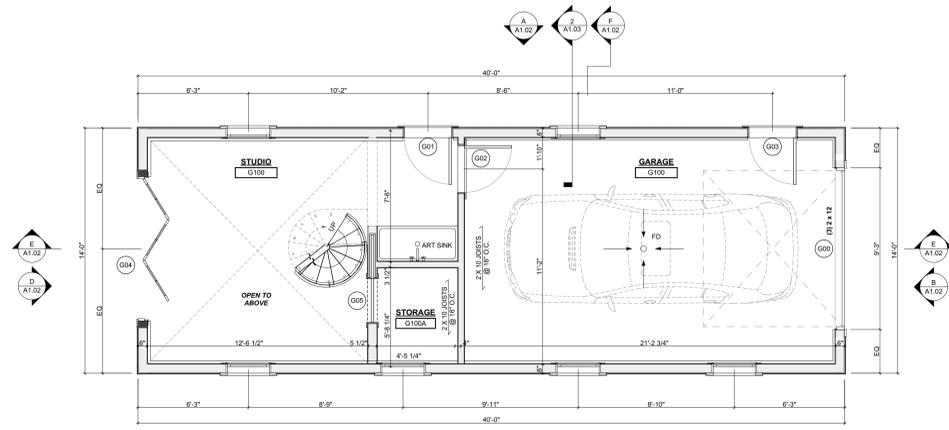
DEMO AND FLOOR  
PLANS - HOUSE

**A1.01**

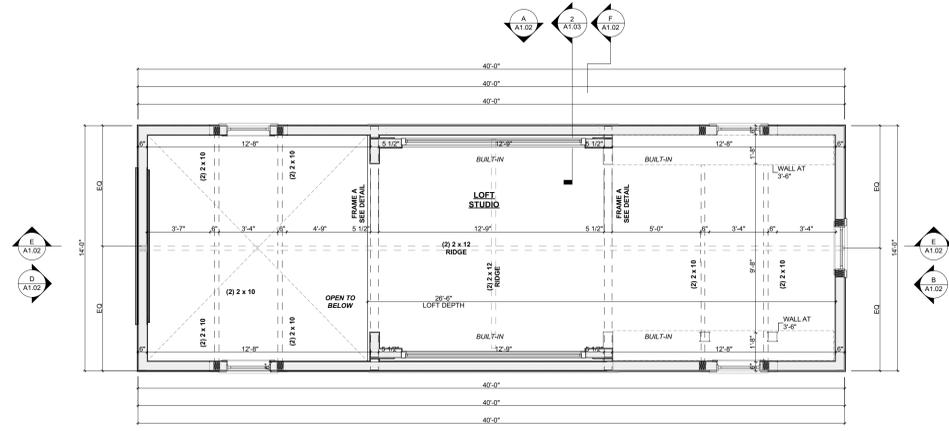
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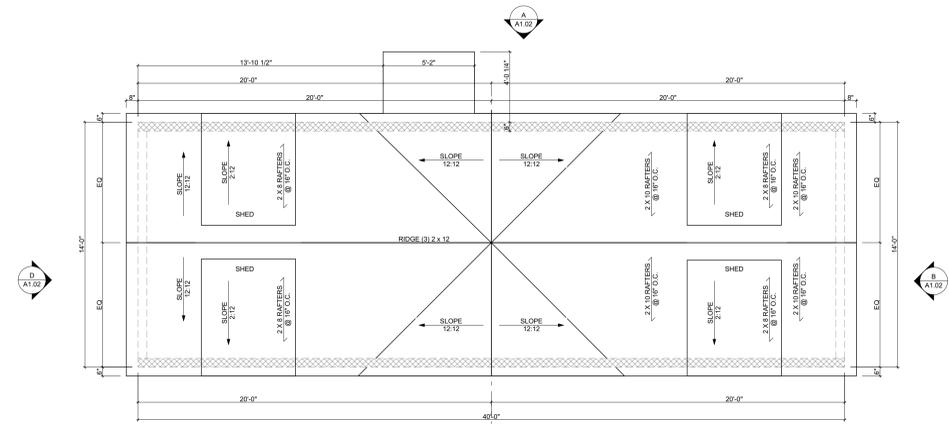
**1 FOUNDATION PLAN - GARAGE**  
SCALE: 1/4" = 1'-0"



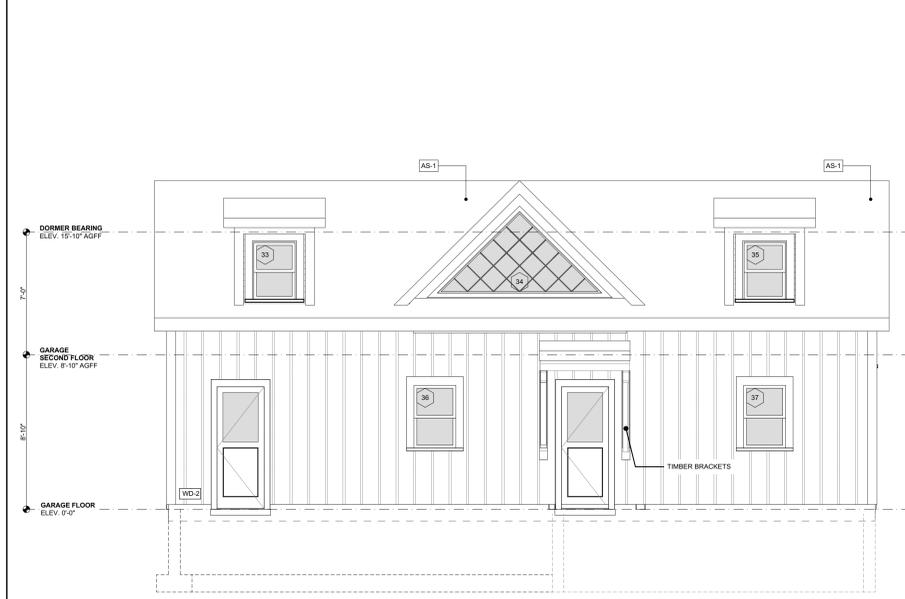
**2 FIRST FLOOR PLAN - GARAGE**  
SCALE: 1/4" = 1'-0"



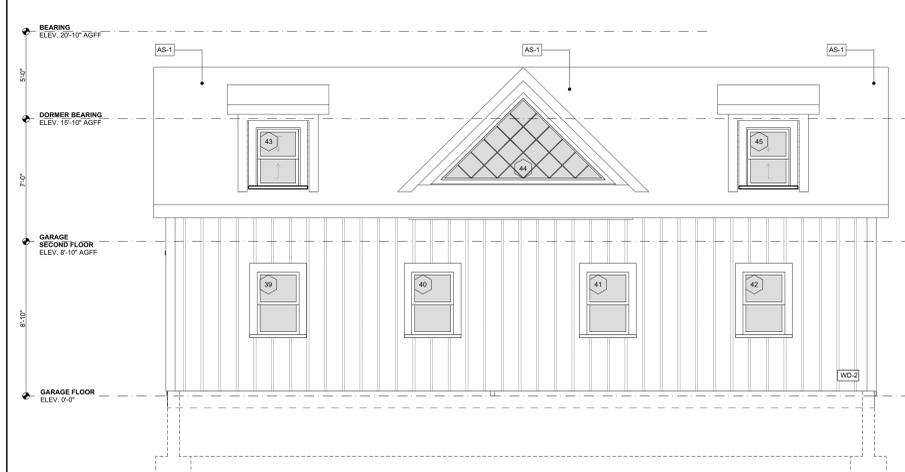
**3 SECOND FLOOR PLAN - GARAGE**  
SCALE: 1/4" = 1'-0"



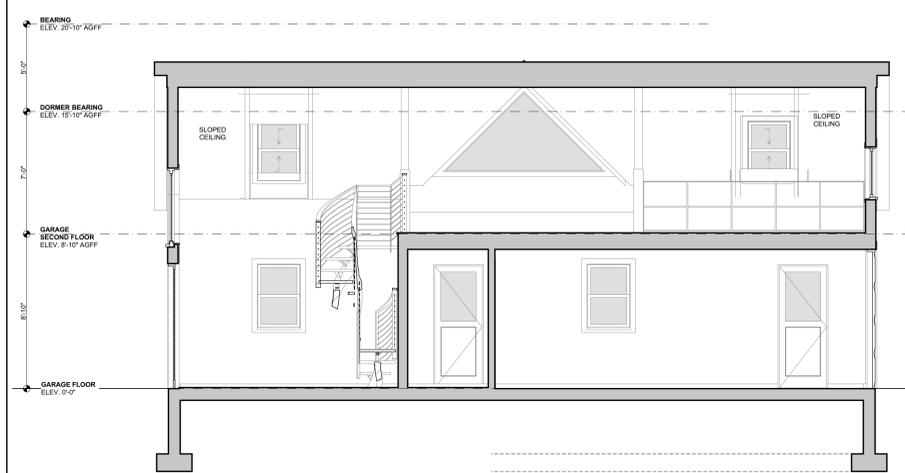
**4 ROOF PLAN - GARAGE**  
SCALE: 1/4" = 1'-0"



**A EXTERIOR ELEVATION**  
SCALE: 1/4" = 1'-0"



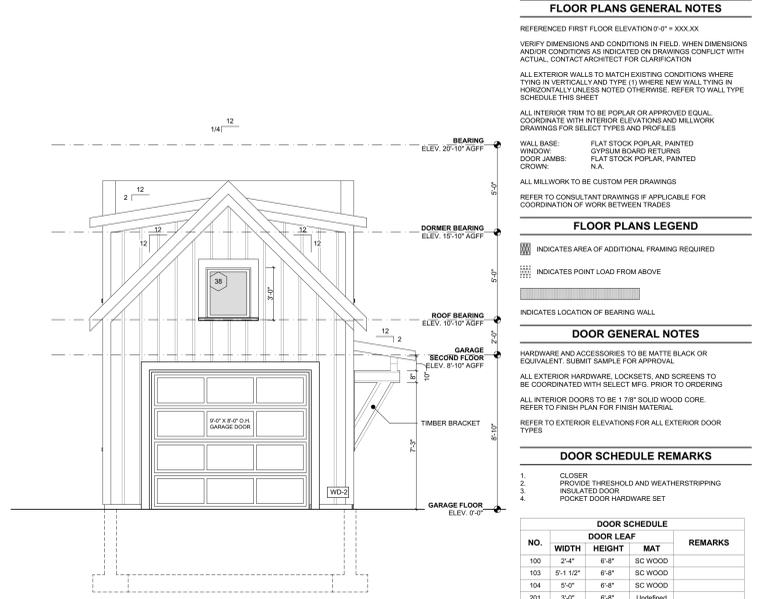
**B EXTERIOR ELEVATION**  
SCALE: 1/4" = 1'-0"



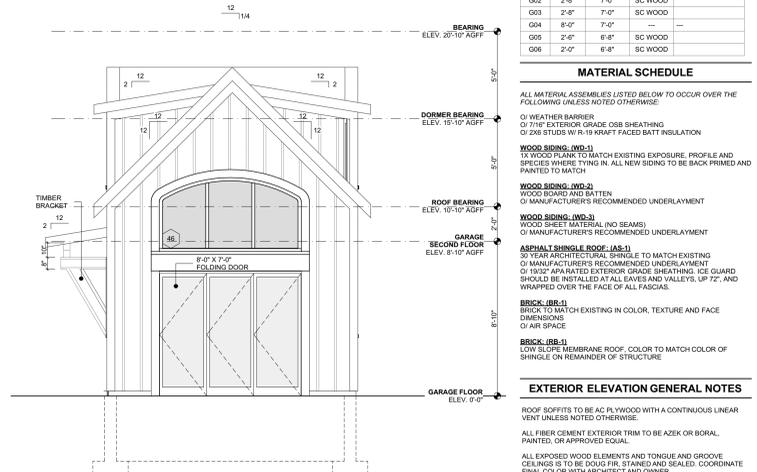
**C EXTERIOR ELEVATION**  
SCALE: 1/4" = 1'-0"



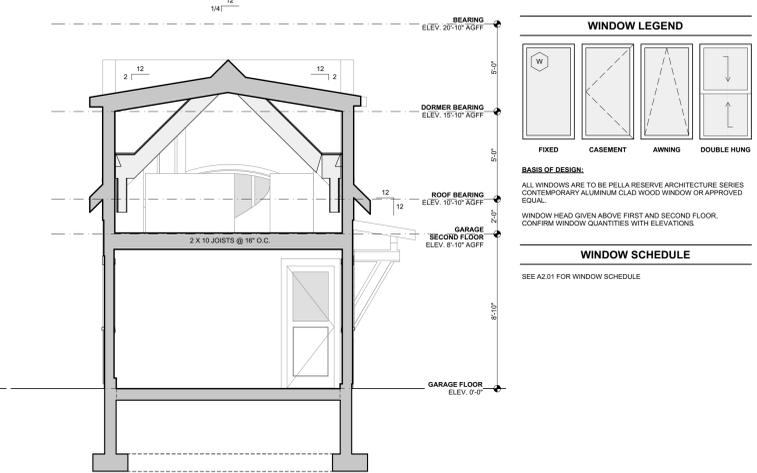
**E BUILDING SECTIONS**  
SCALE: 1/4" = 1'-0"



**D EXTERIOR ELEVATION**  
SCALE: 1/4" = 1'-0"



**E EXTERIOR ELEVATION**  
SCALE: 1/4" = 1'-0"



**F BUILDING SECTIONS**  
SCALE: 1/4" = 1'-0"

**FLOOR PLANS GENERAL NOTES**

REFERENCED FIRST FLOOR ELEVATION 0'-0" = XXX.XX  
VERIFY DIMENSIONS AND CONDITIONS IN FIELD WHEN DIMENSIONS AND/OR CONDITIONS AS INDICATED ON DRAWINGS CONFLICT WITH ACTUAL. CONTACT ARCHITECT FOR CLARIFICATION.  
ALL EXTERIOR WALLS TO MATCH EXISTING CONDITIONS WHERE TRIM IS VERTICAL AND TYPE 1) WHERE NEW WALL TRIM IS HORIZONTAL UNLESS NOTED OTHERWISE. REFER TO WALL TYPE SCHEDULE FOR SELECT TYPES AND PROFILES.  
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**FLOOR PLANS LEGEND**

INDICATES AREA OF ADDITIONAL FRAMING REQUIRED  
INDICATES POINT LOAD FROM ABOVE  
INDICATES LOCATION OF BEARING WALL

**DOOR GENERAL NOTES**

HARDWARE AND ACCESSORIES TO BE WHITE BLACK OR EQUIVALENT. SUBMIT SAMPLES FOR APPROVAL.  
ALL EXTERIOR HARDWARE, LOCKSETS, AND SCREENS TO BE COORDINATED WITH SELECT MFG. PRIOR TO ORDERING.  
ALL INTERIOR DOORS TO BE 1 7/8" SOLID WOOD CORE. REFER TO FINISH PLAN FOR FINISH MATERIAL.  
REFER TO EXTERIOR ELEVATIONS FOR ALL EXTERIOR DOOR TYPES

**DOOR SCHEDULE REMARKS**

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- PROVIDE THRESHOLD AND WEATHERSTRIPPING
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G04	8'-0"	7'-0"	---	
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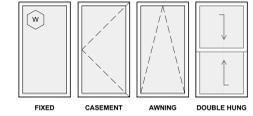
**MATERIAL SCHEDULE**

ALL MATERIAL ASSEMBLIES LISTED BELOW TO OCCUR OVER THE FOLLOWING UNLESS NOTED OTHERWISE:  
WOOD SINGING (WD-1) 1/2" ARCHITECTURAL SHINGLE TO MATCH EXISTING EXPOSURE, PROFILE AND SPECIES WHERE TYPING IN. ALL NEW SIDING TO BE BACK BRIMD AND PAINTED TO MATCH.  
WOOD SINGING (WD-2) WOOD SHINGLES TO BE 1 1/2" ARCHITECTURAL SHINGLE TO MATCH EXISTING EXPOSURE, PROFILE AND SPECIES WHERE TYPING IN. ALL NEW SIDING TO BE BACK BRIMD AND PAINTED TO MATCH.  
WOOD SINGING (WD-3) 1/2" ARCHITECTURAL SHINGLE TO MATCH EXISTING EXPOSURE, PROFILE AND SPECIES WHERE TYPING IN. ALL NEW SIDING TO BE BACK BRIMD AND PAINTED TO MATCH.  
ASPHALT SHINGLE ROOF (AS-1) 30 YEAR ARCHITECTURAL SHINGLE TO MATCH EXISTING EXPOSURE, PROFILE AND SPECIES WHERE TYPING IN. ALL NEW SIDING TO BE BACK BRIMD AND PAINTED TO MATCH.  
BRICK (BR-1) BRICK TO MATCH EXISTING IN COLOR, TEXTURE AND FACE DIMENSIONS OF AIR SPACE  
BRICK (BR-2) LOW SLOPE MEMBRANE ROOF. COLOR TO MATCH COLOR OF SHINGLE ON REMAINDER OF STRUCTURE

**EXTERIOR ELEVATION GENERAL NOTES**

ROOF SOFFITS TO BE AC PL WOOD WITH A CONTINUOUS LINEAR VENT UNLESS NOTED OTHERWISE.  
ALL FIBER CEMENT EXTERIOR TRIM TO BE AZEK OR BOKAL. PAINTED, OR APPROVED EQUAL.  
ALL EXPOSED WOOD ELEMENTS AND TONGUE AND GROOVE CEILING IS TO BE SOLID FIR, STAINED AND SEALED. COORDINATE FINAL COLOR WITH ARCHITECT AND OWNER.  
ALL ROOF PENETRATIONS TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION TO ENSURE AESTHETIC EXPECTATIONS ARE MAINTAINED.  
GUTTER PROFILES SHALL BE SUBMITTED FOR APPROVAL PRIOR TO ORDERING.  
SAFETY GLAZING TO BE IN ACCORDANCE WITH THE 2019 RESIDENTIAL CODE OF OHIO (SECTION R308)  
BEDROOM EGRESS WINDOWS TO COMPLY WITH THE 2019 RESIDENTIAL CODE OF OHIO (SECTION R301)

**WINDOW LEGEND**



**WINDOW SCHEDULE**

SEE A2.01 FOR WINDOW SCHEDULE

**www.pa-architects.com**  
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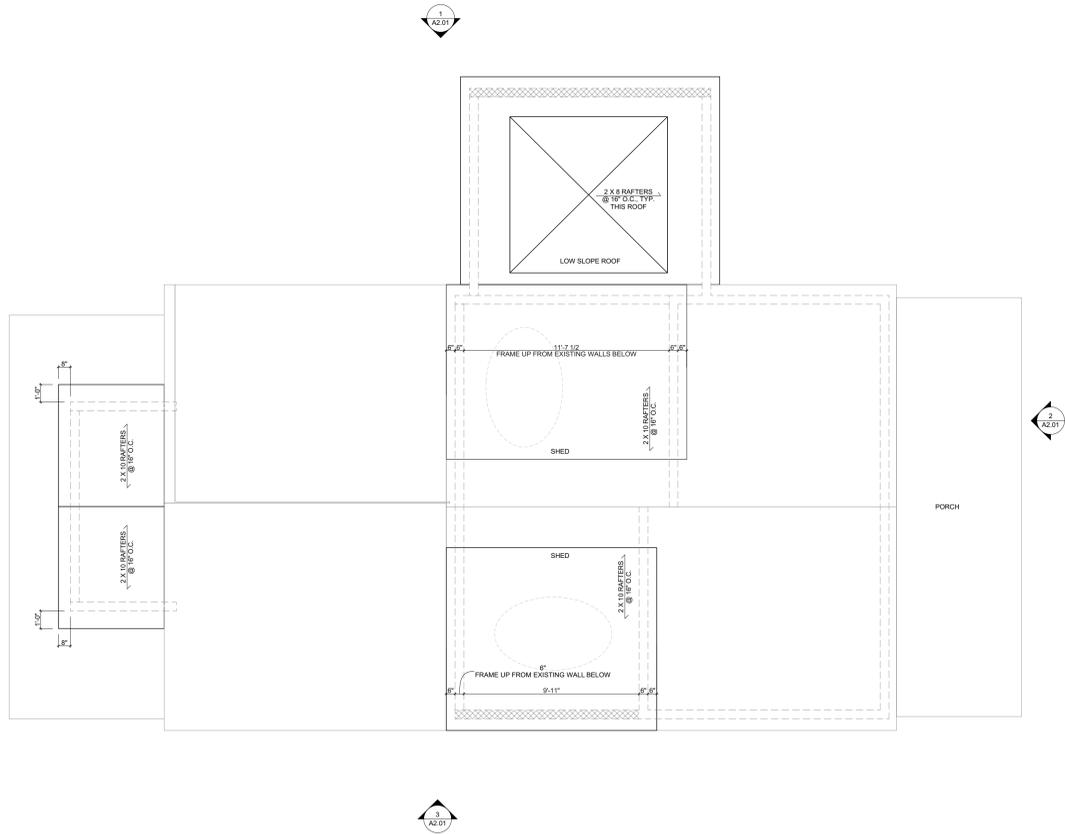
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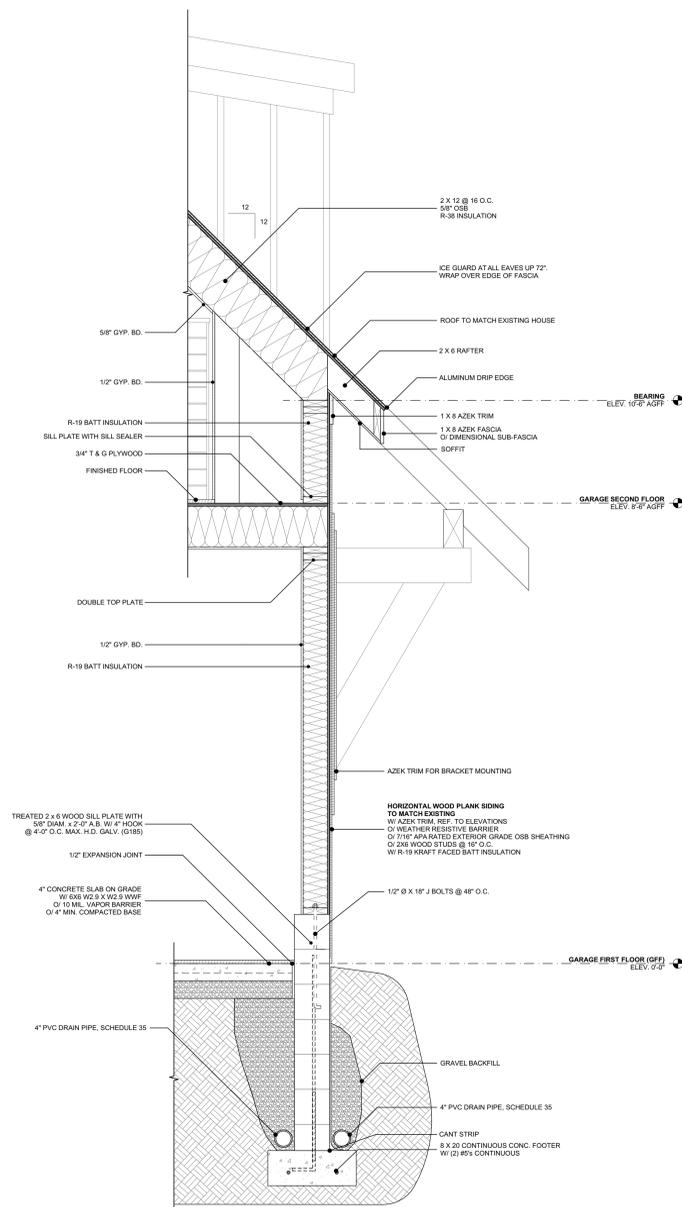
PLANS, ELEVATIONS  
AND BUILDING  
SECTIONS - GARAGE

**A1.02**

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**1 ROOF PLAN - HOUSE**  
SCALE: 1/4" = 1'-0"



**2 TYPICAL WALL SECTION - GARAGE**  
SCALE: 3/4" = 1'-0"

**ROOF PLAN GENERAL NOTES**

OVERHANG DIMENSIONS ARE NOTED FROM THE EXTERIOR FACE OF SHEATHING TO THE EXTERIOR FACE OF THE 1X FASCIA BOARD.  
ALL BEARING ELEVATIONS NOTED ARE FROM THE INSIDE FACE OF THE 2X FRAMING U.N.O.  
OVERFRAMING AND CHICKETS TO BE CONSTRUCTED OF ALUMINUM 2 X 8 FRAMING.  
ALL ROOF PENETRATIONS TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION TO ENSURE AESTHETIC EXPECTATIONS ARE MAINTAINED.  
FLASH AND TERMINATE ALL PROOF PENETRATIONS PER MANUFACTURERS RECOMMENDATIONS U.N.O.  
IN THE EVENT THAT A LIGHTNING PROTECTION SYSTEM IS TO BE PROVIDED, G.C. TO COORDINATE WITH E.C. FOR ALL SYSTEM COMPONENTS.  
GUTTER PROFILES SHALL BE SUBMITTED FOR APPROVAL PRIOR TO ORDERING.

**ROOF PLAN LEGEND**

- INDICATES BEARING WALL BELOW
- INDICATES AREA OF OVERFRAMING
- INDICATES STANDING SEAM METAL ROOF REFER TO EXTERIOR MATERIALS SCHEDULE ON A2.26 FOR ADDITIONAL INFORMATION
- INDICATES FLAT RUBBER ROOF REFER TO EXTERIOR MATERIALS SCHEDULE ON A2.26 FOR ADDITIONAL INFORMATION
- INDICATES DOWNSPOUT AND GUTTER LOCATION

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PROGRESS  
NOT FOR  
CONSTRUCTION

PROJECT:  
**QUAGLIATA RESIDENCE**  
PROJECT ADDRESS:  
56 EAST COLLEGE STREET, HUDSON, OH 44236

PROJECT TEAM:



PROJECT #: 2148.000

ISSUE: DD PRICING SET 2022-02-07  
HUDSON AHBR 2022-05-17  
HUDSON AHBR 02 2022-06-14

ROOF PLAN - HOUSE  
AND TYPICAL GARAGE  
WALL SECTION

**A1.03**

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**MATERIAL SCHEDULE**

ALL MATERIAL ASSEMBLIES LISTED BELOW TO OCCUR OVER THE FOLLOWING UNLESS NOTED OTHERWISE:

01 WEATHER BARRIER  
02 7/16" EXTERIOR GRADE OSB SHEATHING  
03 2X6 STUDS W/ R-19 KRAFT FACED BATT INSULATION

**WOOD SIDING (WD-1)**  
04 WOOD FLANK TO MATCH EXISTING EXPOSURE, PROFILE AND SPECIES WHERE TYING IN. ALL NEW SIDING TO BE BACK PRIMED AND PAINTED TO MATCH

**WOOD SIDING (WD-2)**  
WOOD BOARD AND BATTEN  
05 MANUFACTURER'S RECOMMENDED UNDERLAYMENT

**WOOD SIDING (WD-3)**  
WOOD SHEET MATERIAL (NO SEAMS)  
06 MANUFACTURER'S RECOMMENDED UNDERLAYMENT

**ASPHALT SHINGLE ROOF (AS-1)**  
5/8" ARCHITECTURAL SHINGLES TO MATCH EXISTING  
07 MANUFACTURER'S RECOMMENDED UNDERLAYMENT  
08 1800# AIR-MAILED EXTERIOR GRADE SHEATHING. ICE GUARD SHOULD BE INSTALLED AT ALL EAVES AND VALLEYS, UP 2", AND WRAPPED OVER THE FACE OF ALL FLASHES.

**BRICK (BR-1)**  
BRICK TO MATCH EXISTING IN COLOR, TEXTURE AND FACE DIMENSIONS  
09 AIR SPACE

**BRICK (BR-1)**  
LOW SLOPE MEMBRANE ROOF. COLOR TO MATCH COLOR OF SHINGLE OR REMAINDER OF STRUCTURE

**EXTERIOR ELEVATION GENERAL NOTES**

ROOF SOFFITS TO BE AC PLYWOOD WITH A CONTINUOUS LINEAR VENT UNLESS NOTED OTHERWISE.

ALL FIBER CEMENT EXTERIOR TRIM TO BE AZEK OR BORAL, PAINTED, OR APPROVED EQUAL.

ALL EXPOSED WOOD ELEMENTS AND TONGUE AND GROOVE CEILING IS TO BE OAK PINE AND SEALED. COORDINATE FINAL COLOR WITH ARCHITECT AND OWNER.

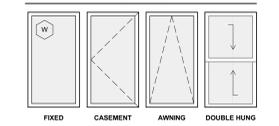
ALL ROOF PENETRATIONS TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION TO ENSURE AESTHETIC EXPECTATIONS ARE MAINTAINED.

GUTTER PROFILES SHALL BE SUBMITTED FOR APPROVAL PRIOR TO ORDERING.

SAFETY GLAZING TO BE IN ACCORDANCE WITH THE 2019 RESIDENTIAL CODE OF OHIO (SECTION R308)

BEDROOM EGRESS WINDOWS TO COMPLY WITH THE 2019 RESIDENTIAL CODE OF OHIO (SECTION R310)

**WINDOW LEGEND**

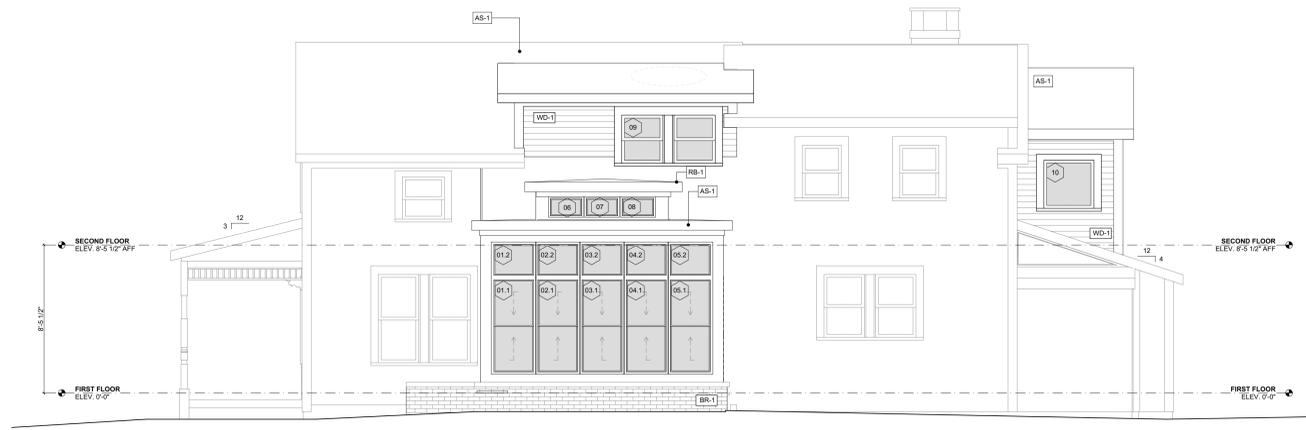


**BASIS OF DESIGN:**  
ALL WINDOWS ARE TO BE PELLA RESERVE ARCHITECTURE SERIES CONTEMPORARY ALUMINUM CLAD WOOD WINDOW OR APPROVED EQUAL.

WINDOW HEAD GIVEN ABOVE FIRST AND SECOND FLOOR. CONFIRM WINDOW QUANTITIES WITH ELEVATIONS.

**WINDOW SCHEDULE**

ID	QTY	W x H	Head Height	REMARKS
01.1	1	2'-6" x 6'-6"	6'-7"	
01.2	1	2'-6" x 2'-0"	8'-3" 1/4"	
02.1	1	2'-6" x 6'-6"	6'-7"	
02.2	1	2'-6" x 2'-0"	8'-7" 1/4"	
03.1	1	2'-6" x 6'-6"	6'-7"	
03.2	1	2'-6" x 2'-0"	8'-7" 1/4"	
04.1	1	2'-6" x 6'-6"	6'-7"	
04.2	1	2'-6" x 2'-0"	8'-7" 1/4"	
05.1	1	2'-6" x 6'-6"	6'-7"	
05.2	1	2'-6" x 2'-0"	8'-7" 1/4"	
06	1	2'-0" x 1'-3"	11'-3"	
07	1	2'-0" x 1'-3"	11'-3"	
08	1	2'-0" x 1'-3"	11'-3"	
09	1	5'-8" 1/2" x 3'-0"	7'-8"	
10	1	3'-0" x 3'-0"	4'-11" 1/8"	
11.1	1	2'-6" x 6'-6"	6'-7"	
11.2	1	2'-6" x 6'-6"	8'-8" 1/32"	
12	1	2'-6" x 1'-8"	8'-8" 1/32"	
13	1	2'-6" x 1'-8"	8'-8" 1/32"	
14.1	1	2'-6" x 6'-6"	6'-7"	
14.2	1	2'-6" x 2'-0"	8'-8" 1/32"	
15	1	2'-0" x 1'-3"	11'-3"	
16	1	2'-0" x 1'-3"	11'-3"	
17	1	2'-0" x 1'-3"	11'-3"	
18	1	6'-0" x 2'-2"	7'-8" 1/16"	
19	1	2'-6" x 6'-6"	8'-3" 1/16"	
20	1	3'-6" x 3'-6"	8'-3" 1/16"	
21	1	2'-6" x 3'-6"	8'-3" 1/16"	
22	1	3'-0" x 3'-0"	4'-11" 1/8"	
23.1	3	2'-6" x 1'-10"	19'-8" 3/16"	
23.2	1	2'-6" x 6'-6"	8'-3" 1/16"	
24.2	1	2'-6" x 6'-6"	8'-3" 1/16"	
25.2	1	2'-6" x 3'-3"	8'-3" 1/16"	
26.1	1	2'-6" x 6'-6"	6'-7"	
26.2	1	2'-6" x 6'-6"	8'-7" 1/4"	
27.1	1	2'-6" x 6'-6"	6'-7"	
27.2	1	2'-6" x 2'-0"	8'-7" 1/4"	
28.1	1	2'-6" x 6'-6"	6'-7"	
28.2	1	2'-6" x 2'-0"	8'-7" 1/4"	
29.1	1	2'-6" x 6'-6"	6'-7"	
29.2	1	2'-6" x 2'-0"	8'-7" 1/4"	
30	1	2'-0" x 1'-3"	11'-3"	
31	1	2'-0" x 1'-3"	11'-3"	
32	1	2'-0" x 1'-3"	11'-3"	
33	1	2'-6" x 6'-6"	6'-7"	
34	1	2'-6" x 2'-0"	8'-11"	
35	1	3'-0" x 3'-10"	5'-1"	
36	1	3'-0" x 3'-10"	5'-1"	
37	1	2'-6" x 3'-8"	4'-11"	
38	1	6'-0" x 3'-0"	8'-8" 3/4"	
39	1	2'-6" x 3'-6"	6'-8"	
40	1	2'-6" 1/2" x 3'-10"	7'-2"	
41	1	2'-6" 1/2" x 3'-10"	7'-2"	
42	1	6'-3" x 4'-6"	2'-8" 1/2"	
43	1	2'-6" 1/2" x 3'-10"	7'-2"	
44	1	2'-6" 1/2" x 3'-10"	7'-2"	
45	1	2'-6" 1/2" x 3'-10"	7'-2"	
46	1	2'-6" 1/2" x 3'-10"	7'-2"	
47	1	2'-6" x 3'-6"	6'-8"	
48	1	2'-6" x 6'-6"	4'-11"	
49	1	3'-0" x 3'-10"	5'-1"	
50	1	2'-0" x 2'-8"	6'-8"	
51	1	3'-0" x 3'-10"	5'-1"	
51.1	1	2'-6" x 3'-8"	4'-11"	
52	1	6'-0" x 3'-0"	8'-8" 3/4"	
53	1	2'-6" x 3'-6"	6'-8"	
54	1	2'-6" 1/2" x 3'-0"	4'-0"	



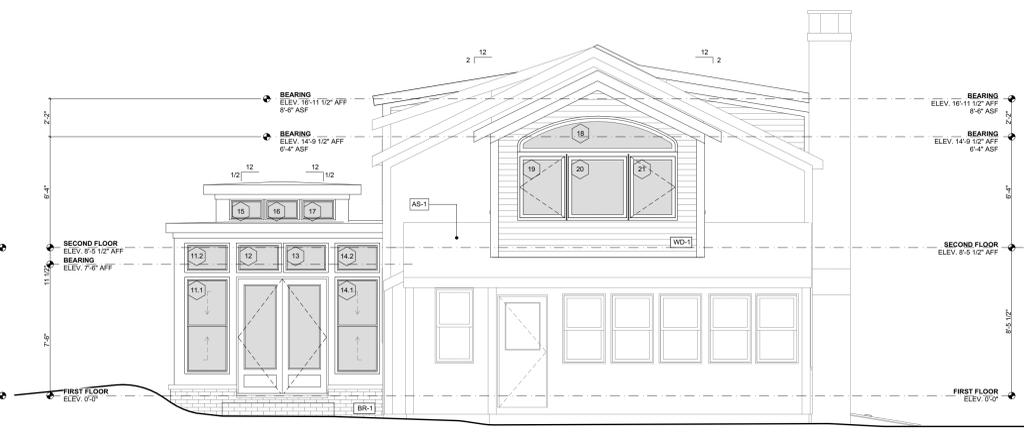
**1 EXTERIOR ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 EXTERIOR ELEVATION**  
SCALE: 1/4" = 1'-0"



**3 EXTERIOR ELEVATION**  
SCALE: 1/4" = 1'-0"



**4 EXTERIOR ELEVATION**  
SCALE: 1/4" = 1'-0"



**5 BUILDING SECTION**  
SCALE: 1/4" = 1'-0"



**6 BUILDING SECTION**  
SCALE: 1/4" = 1'-0"

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EXTERIOR ELEVATIONS  
AND BUILDING  
SECTIONS - HOUSE

**A2.01**  
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