

REVISIONS:

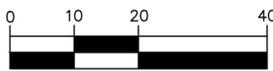
- 1. Added Topo - 8/15/18

TOPOGRAPHIC SURVEY & SITE PLAN for The Reed Residence by LDA Builders, Inc.

Situated in the City of Hudson, County of Summit and State of Ohio: And known as being Sublot 3 in the Lake Christine Subdivision, as recorded in Doc. #56294530.

LEGEND

- Ex. Contour
- PR. CONTOUR
- Ex. Tree Line
- PR. CLEARING
- PR. SILT FENCE
- PR. GRADE
- Ex. Grade
- PR. DRAINAGE
- TREE TO BE REMOVED
- PR. CONST. ENTRANCE
- Ex. = Existing PR. = PROPOSED
- Ex. San./Stm. MH.
- Ex. Pedestals
- Ex. Hydrant
- Iron Pin Fnd./Set
- Iron Pipe Fnd.
- Mon. Fnd.



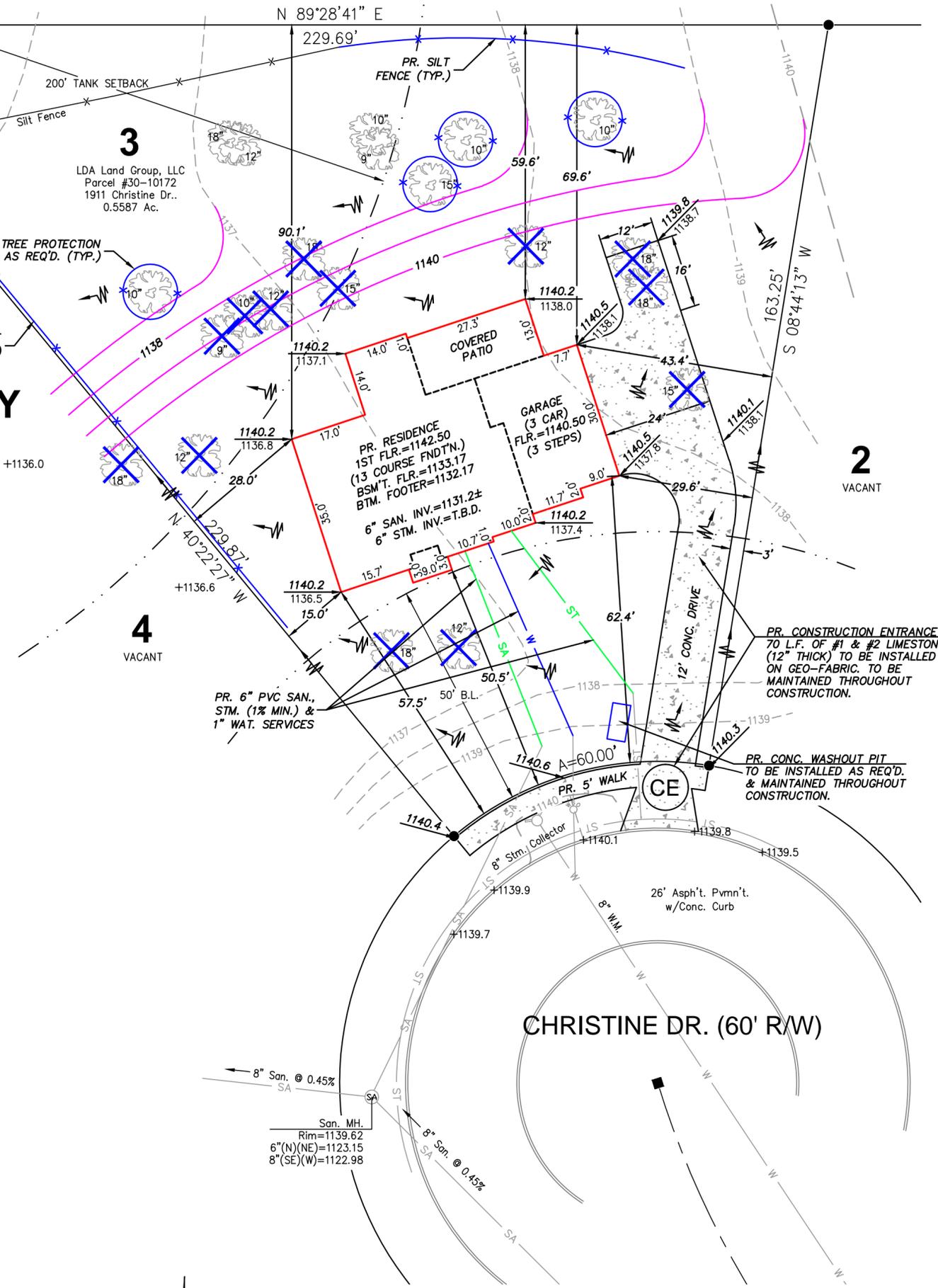
SCALE: 1" = 20'

DATUM:

B.O.B.: RECORD PLAT
VERT: IMPROVEMENT PLANS

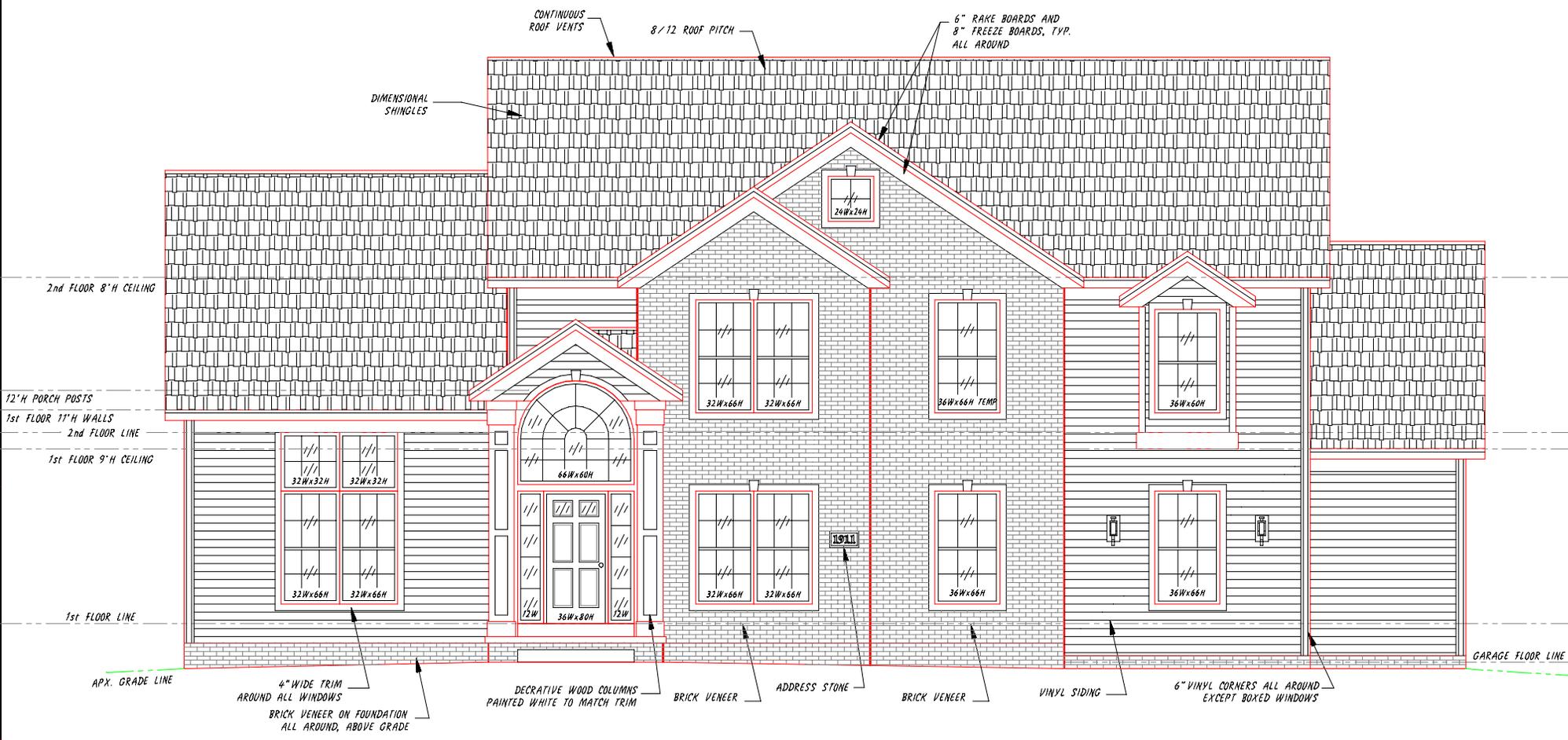
CONSTRUCTION NOTES:

- The contractor must verify all foundation dimensions and proposed grades shown on this plan. Any errors resulting from failure to check or to notify the surveyor of any changes shall not be the responsibility of Apex Land Surveying.
- All grades shall comply w/corresponding government office.
- All swales must maintain a minimum slope of 1%.
- Maintain positive yard drainage away from house.
- Contractor to notify utilities protection services/ OUPS prior to construction.
- Contractor shall verify location and depths of existing laterals & verify if proper connections can be made to house. Contact corresponding government office if discrepancies occur.
- All sewer connections must maintain a minimum slope of 1%.
- A foundation sump pump is/ is not required.
- Silt fence must surround any excavation areas so that no silt escapes site.
- There was no search for easements of record, right-of-ways, restrictive covenants, encumbrances, ownership title evidence, or any other facts that a title search may disclose.



Know what's below.
Call before you dig.

| | | |
|---|-------------------------|-------------------|
| <p>SURVEYED BY:</p> <p>KELLY D. DUNFORD, P.S. 8182 2858 FULMER DR., SILVER LAKE, OH (330) 928-7750 ps8182@sbcglobal.net www.apexlandsurveying.com</p> | TITLE: TOPO & SITE PLAN | DATE: AUG. 2018 |
| | CLIENT: LDA BUILDERS | PROJ.: 2018063 |
| | SCALE: 1" = 20' | FILE: 2018063.dwg |
| | DRAWN BY: KDD | CHECKED BY: KDD |
| | CREW: KDD | SHEET: 1 OF 1 |
| SHEET SIZE: 17" X 22" | | |

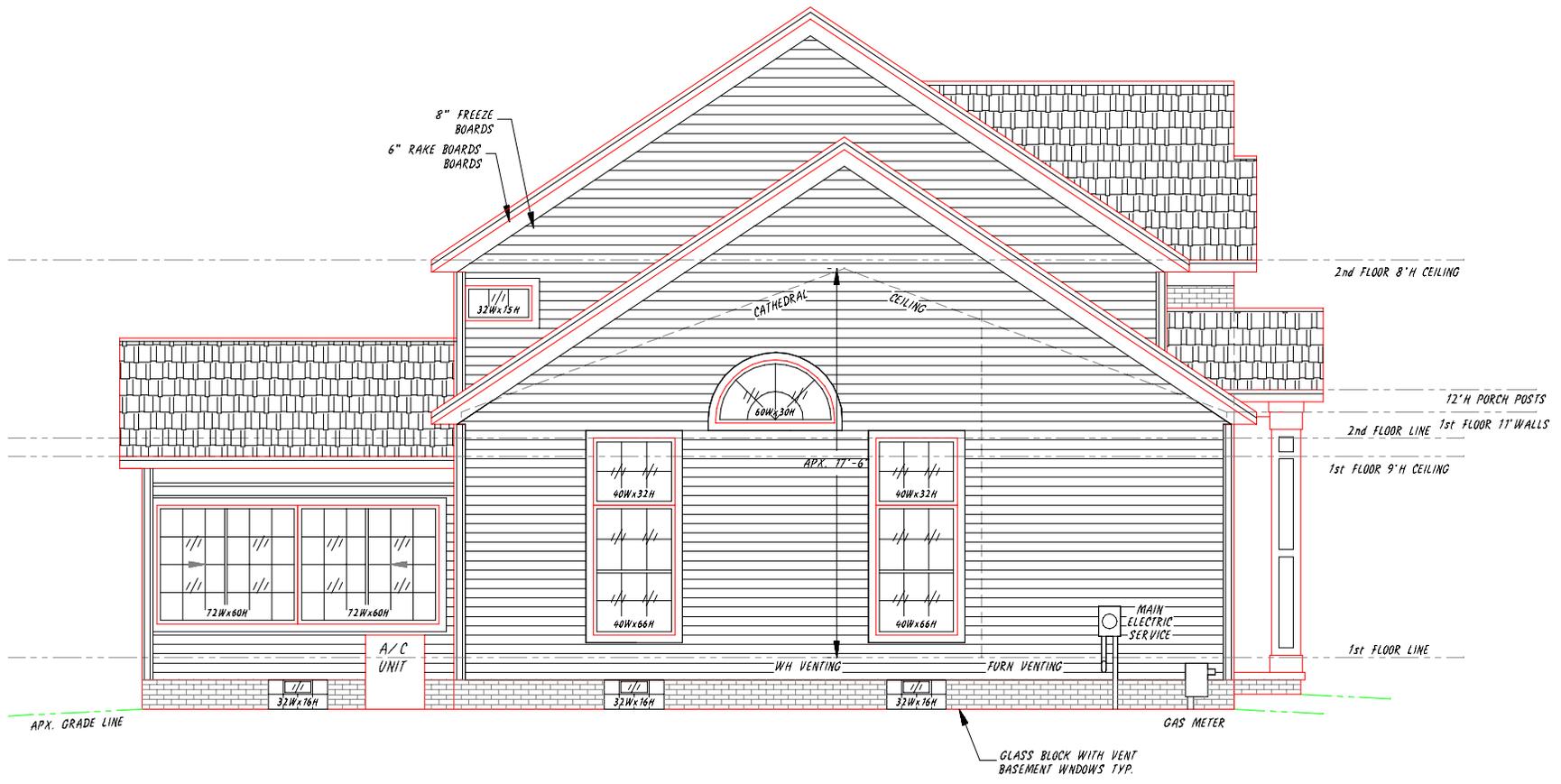


Front Elevation (S/L 3 - 1911 Christine Drive)

PARCEL # 3010172
 S/L 3, Lake Christine Subdivision
 1911 Christine Drive, Hudson, Ohio 44236
 Lot Size - 60' Frontage x 229.87' Deep on left, .5587 acres
 Overall House Size - 66"Wx52'D, 2796 Apx sq.ft. on lot
 2993 Sq ft Living Area,
 (1720 Sq ft on First floor & 1273 Sq ft on Second floor)
 1720 Sq ft Basement (1700 finished) and 679 Sq ft of Garage

LC003

CUSTOMER: Justin & Gia Reed
 SCALE: 1/8" = 1'
 DATE: 03/18
 DRN: J
 CKD:
 APR: 03
 REVISIONS:
 BY: DATE
 LIDA BUILDERS
 INCORPORATED
 Boston Hts., Ohio U.S.A. • Phone/Fax Cleveland (330) 958-3800 • Akron (330) 342-4240
 THEARHOUSE III modified, 2-STORY (2993 sq.ft.)
 FRONT ELEVATION
 NO. 18-LC003-10



Left Side Elevation

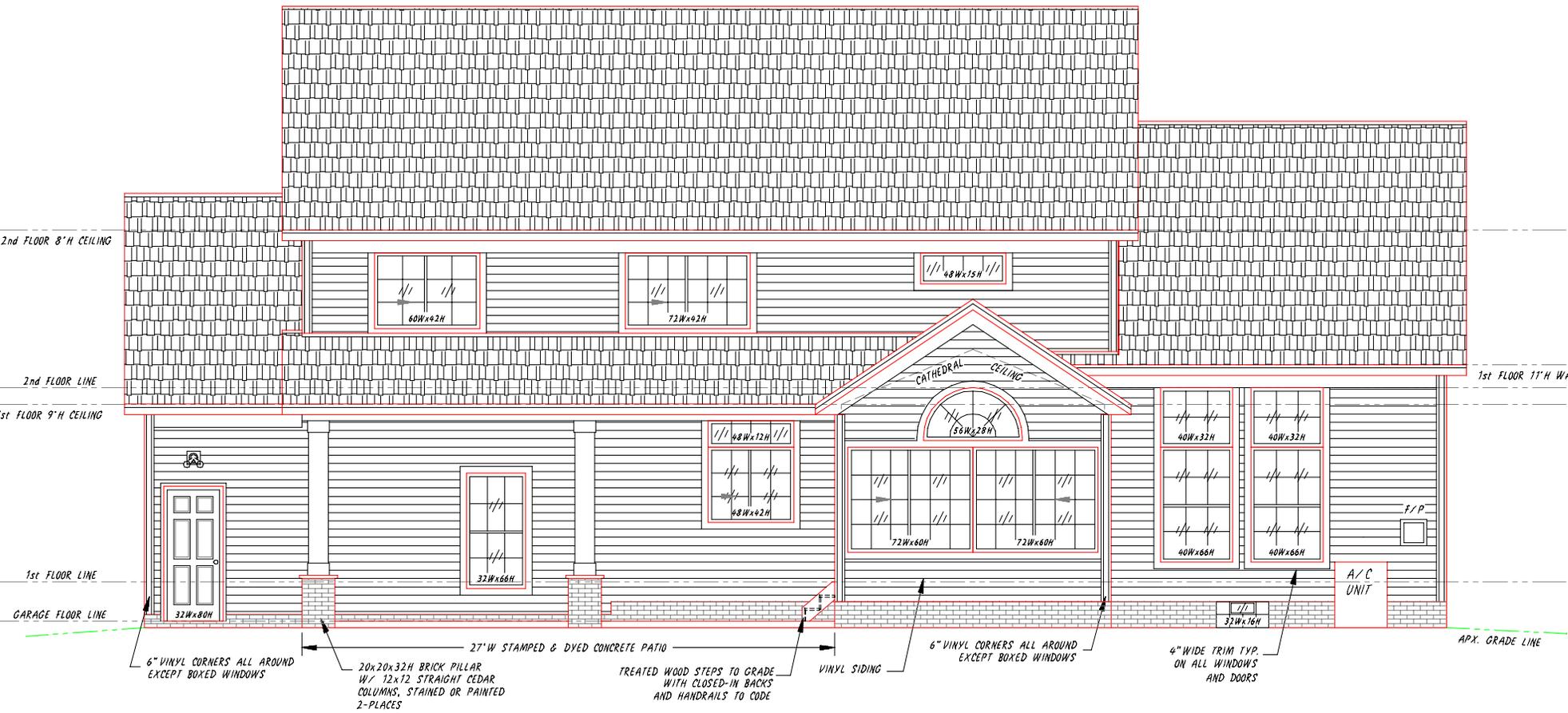


| SCALE | DATE | BY | REVISIONS |
|-----------|----------|----|-----------|
| 1/2" = 1' | 07/31/08 | | |
| | | | |
| | | | |
| | | | |

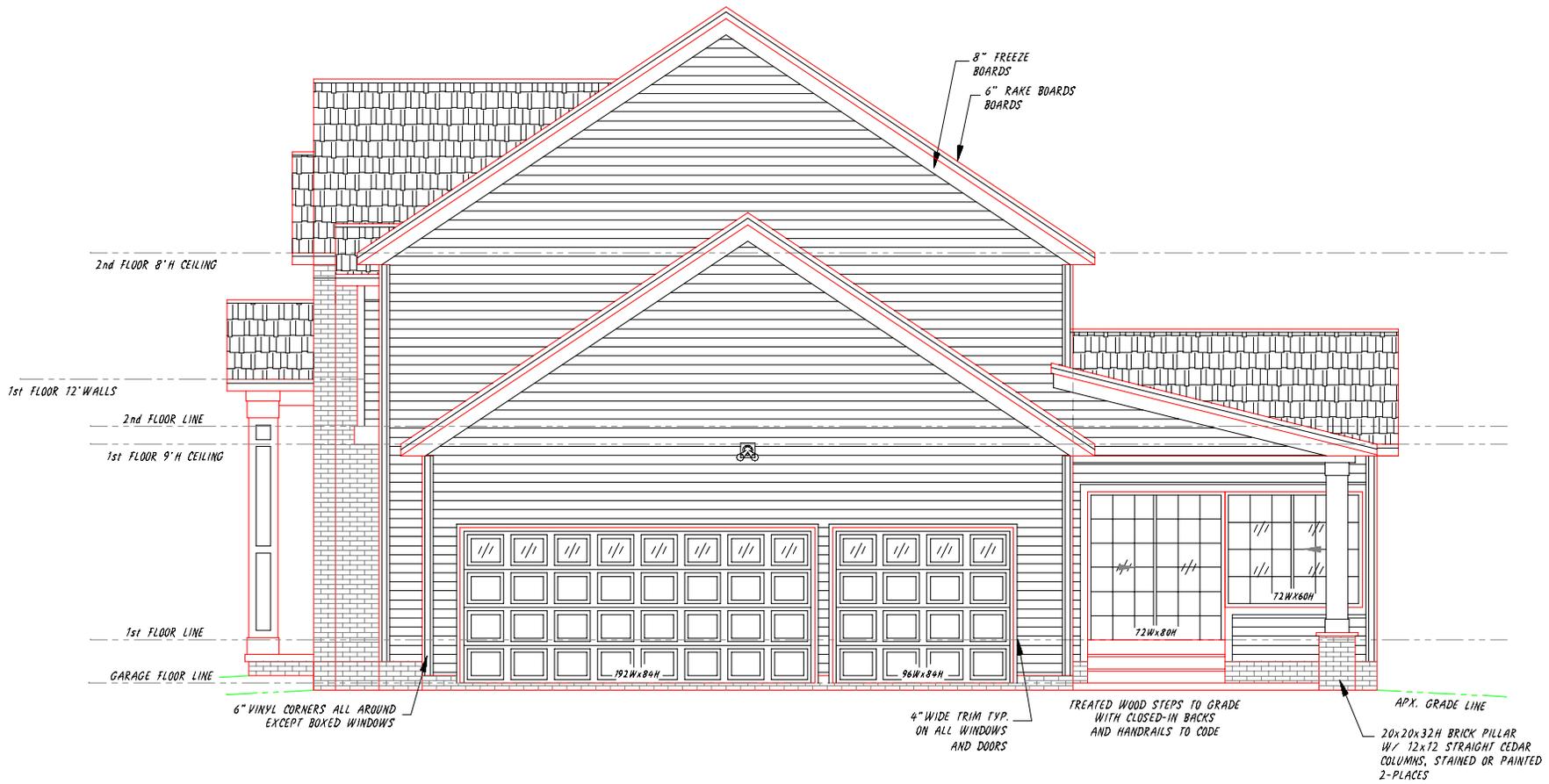


| SCALE | DATE | BY | REVISIONS |
|-----------|-------|----|-----------|
| 1/8" = 1' | 07/18 | | |
| | | | |
| | | | |

CUSTOMER
Justin & Gia Reed



Rear Elevation



Right Side Elevation



| SCALE | DATE | BY | DATE | REVISIONS |
|-----------|----------|--------|------|-----------|
| 1/8" = 1' | 07/31/08 | DRN | | |
| | | CHK'D | | |
| | | APP'VD | | |

FRAMING NOTES

- 1) PROVIDE DOUBLE JOIST OR CROSS BLOCKING UNDER ALL PARALLEL WALLS
- 2) ALL FRAMING LUMBER TO BE STRUCTURAL GRADE
- 3) SPACE FLOOR JOISTS OR HEADER OFF FLOOR JOISTS FOR TOILETS, CENTER OF TOILET 4" D DRAINS ARE 12" OFF WALL
- 4) FIRESTOP ALL AREAS AS REQUIRED BY MUNICIPALITY CODE
- 5) WALLS TO BE BRACED PER SEC 602.10 OF THE CURRENT RC

10'-4" A/C UNIT

32" W x 16" H GLASS BLOCK WINDOW WITH VENTS 4-PLACES

DROPPED CEILING AREA AROUND DUCT-WORK & BEAMS, ETC AS NEEDED 2x4 FRAME 16" O/C APX. 12" DOWN

LEAVE OPENING IN WALL FOR DUCTWORK & PLUMBING 14" DOWN

- MASONRY NOTES**
- 1) STEP DOWN FOOTINGS WHERE SLAB MEETS BASEMENT FOR DIRECT BEARING
 - 2) FILL ALL VOIDS IN MASONRY WALLS PRIOR TO DAMP/WATERPROOFING
 - 3) SEE ELEVATION DRAWINGS & TYP FOR GARAGE FLOOR LEDGE & STEPPING OF BRICK/STONE VENEER

Foundation

16" W x 8" D CONCRETE FOOTINGS, 12 COURSES OF 8" BLOCK WITH BRICK VENEER

NOTE - KEEP FRAMING BACK 4" IN THESE SECTIONS FOR BRICK VENEER ABOVE SEE ELEVATIONS

TO STORM LINE, USE ONLY 1/2" x 10" P'S DOWNSTAYS UPRIGHTS

● DOWNSTAYS UPRIGHTS

PROVIDE ANCHOR BOLTS AT CORNERS FOR COLUMNS ABOVE

24" x 24" x 12" DEEP CONCRETE FOOTING (FOR MAIN BEAM SUPPORT) 3-PLACES

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PROVIDE ANCHOR BOLTS AT CORNERS FOR COLUMNS ABOVE

EXRS RM 17'-4" x 13'-8"

2x10 JOISTS @ 16" O/C W/7 ROW BRIDGING

WB x 18 x 13" LONG STEEL W-BEAM OR EQUIVALENT

17'-4" x 13'-8"

2x10 JOISTS @ 16" O/C W/7 ROW BRIDGING

17'-4" x 13'-8"

2x10 JOISTS @ 16" O/C W/7 ROW BRIDGING

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2x10 JOISTS @ 16" O/C W/7 ROW BRIDGING

17'-4" x 13'-8"

2x10 JOISTS @ 16" O/C W/7 ROW BRIDGING

17'-4" x 13'-8"

2x10 JOISTS @ 16" O/C W/7 ROW BRIDGING

COVERED PATIO (UNEXCAVATED)

TOP OF GARAGE STEPS DN 8" HERE

7'-4"

10'-10"

7'-4"

10'-10"

7'-4"

10'-10"

7'-4"

10'-10"

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10'-10"

7'-4"

10'-10"

7'-4"

GARAGE (3car)

4" CONCRETE SLAB ON POROUS FILL

FLOOR DRAIN (SANITARY)

20" W x 8" D CONCRETE FOOTINGS WITH 11 COURSES OF 12" BLOCK AND 3 COURSES OF 8" BLOCK, TOTAL OF 13 COURSES, 4" LEDGE FOR GARAGE FLOOR VERIFY HEIGHT OF LEDGE WITH TOPO!

16" W x 8" D CONCRETE OF 8" BLOCK AND 1 COURSE (8") OF BRICK, 4" LEDGE FOR GARAGE FLOOR, STONE VENEER OVER BLOCK STEP DOWN FOOTERS TO BASEMENT FOOTERS

TOP OF GARAGE STEPS DN 8" HERE

23'-6"

2'

2'

2'

2'

2'

2'

2'

2'

2'

2'

2'

2'

2'

2'

2'

2'

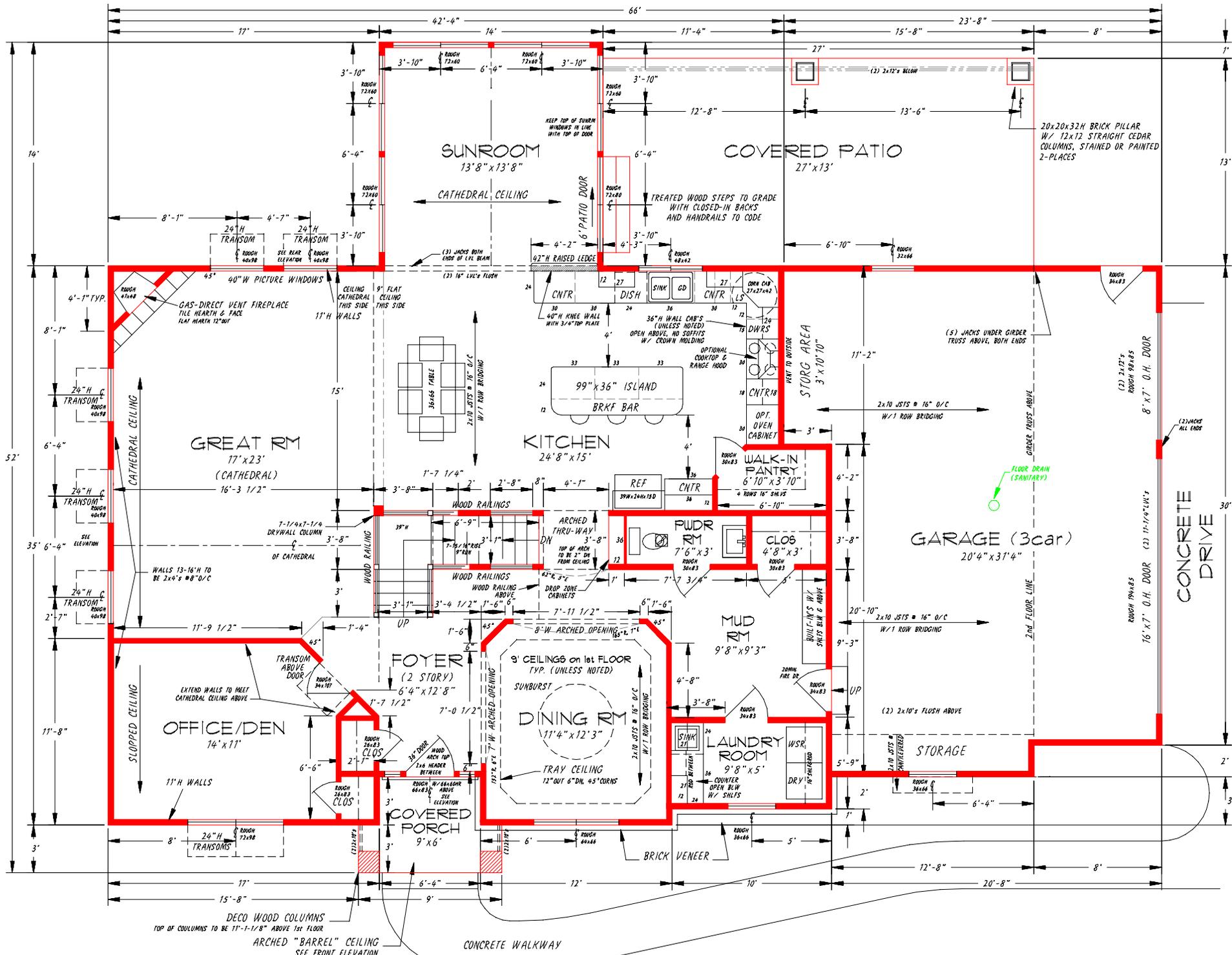
2'

2'

2'

2'

ILIDA BUILDERS
 INCORPORATED
 Boston Hts., Ohio U.S.A. • Phone/Fax Cleveland (330) 958-3800 • Aircon(330) 342-4210
 THEARHSDE III modified, 2-STORY (1993 sq.ft.) NO. 18-LC003-22
 FOUNDATION PLAN
 SCALE 1/8" = 1'-0"
 DATE 07/31/18
 DRN JZ
 APR 09
 REVISIONS
 CUSTOMER Justin & Gia Reed



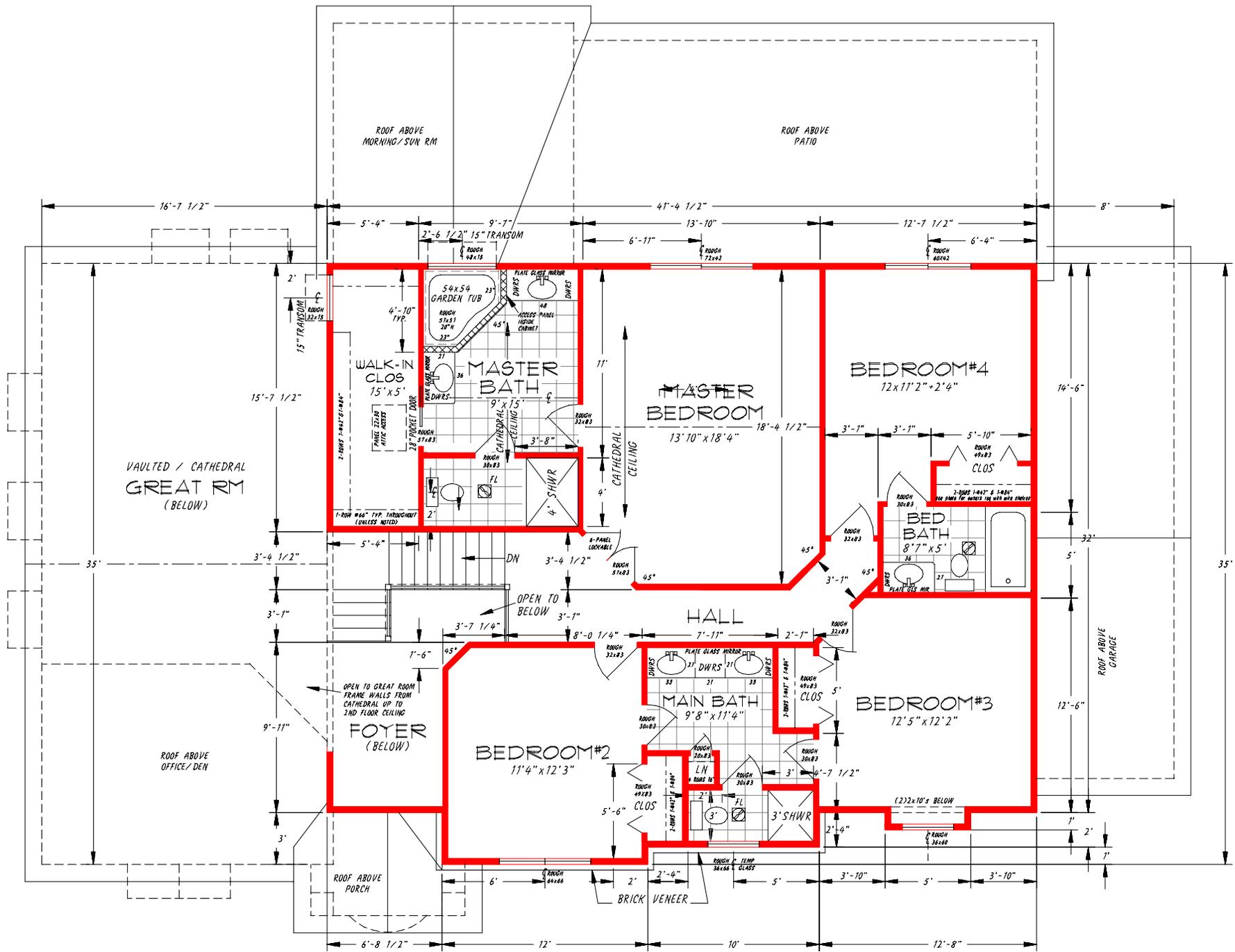
Floor Plan (1st Floor)
Front of House

CUSTOMER: Justin & Gia Reed
 SCALE: 1/8" = 1'-0"
 DATE: 08/20/07
 DRAWN BY: JCR
 CHECKED BY: JCR
 APPROVED BY: JCR

REVISIONS:

BY: DATE:

LIDA BUILDERS
 INCORPORATED
 1100 W. 12th St.
 Boston Hts., Ohio U.S.A. • Phone/Fax Cleveland (330) 958-3800 • Akron (330) 342-4240
 THEARHSDE III modified, 2-STORY (2993 sq.ft.) NO. 18-LC0003-23
 FLOOR PLAN (1st Floor)



Floor Plan (2nd Floor)

CUSTOMER

Justin & Gia
Reed

SCALE 1/8" = 1'

DATE 07/31/18

DRN J

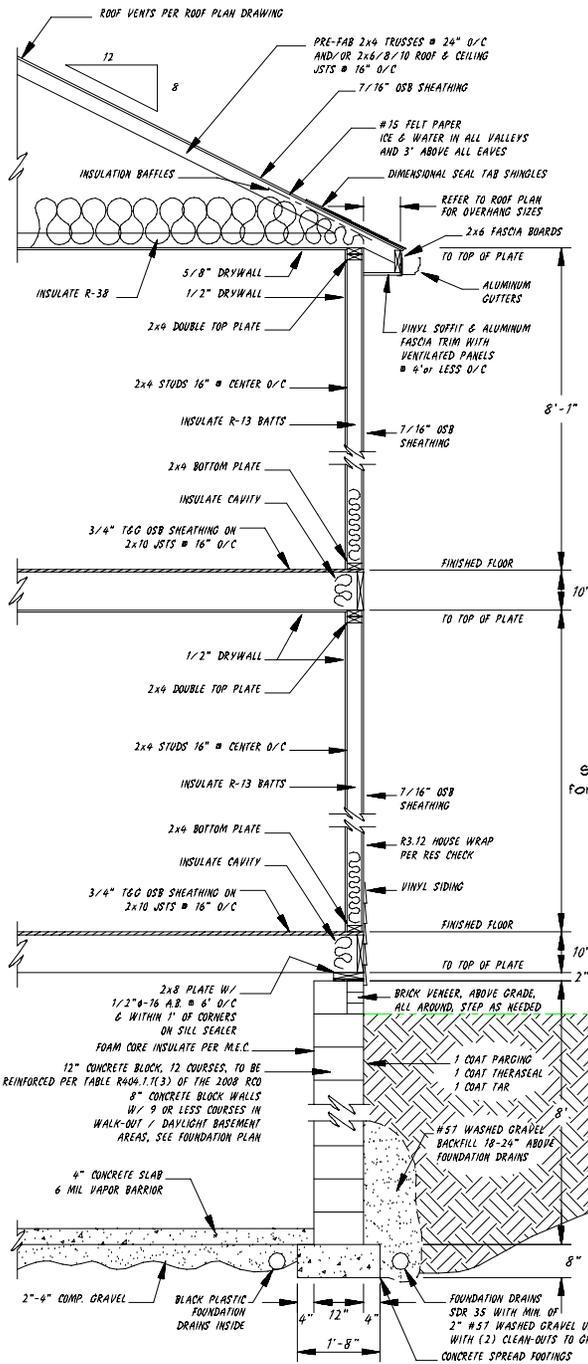
APP VB

REVISIONS

BY DATE

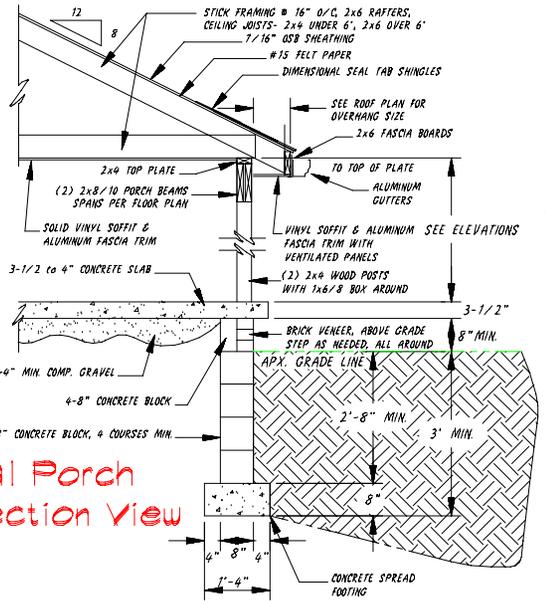


LIDA BUILDERS
INCORPORATED
Boston Hts., Ohio U.S.A. • Phone/Fax Cleveland (330) 528-3800 • Aircon (330) 342-4240
THE HARTSHIDE III Modified, 2-STORY (2993 sq.ft.) NO. 18-LC003-24
FLOOR PLAN (2nd Floor)

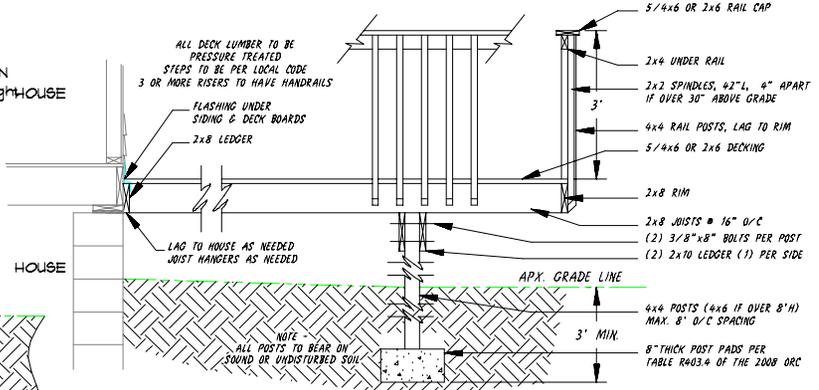


Main House Wall Cross Section View

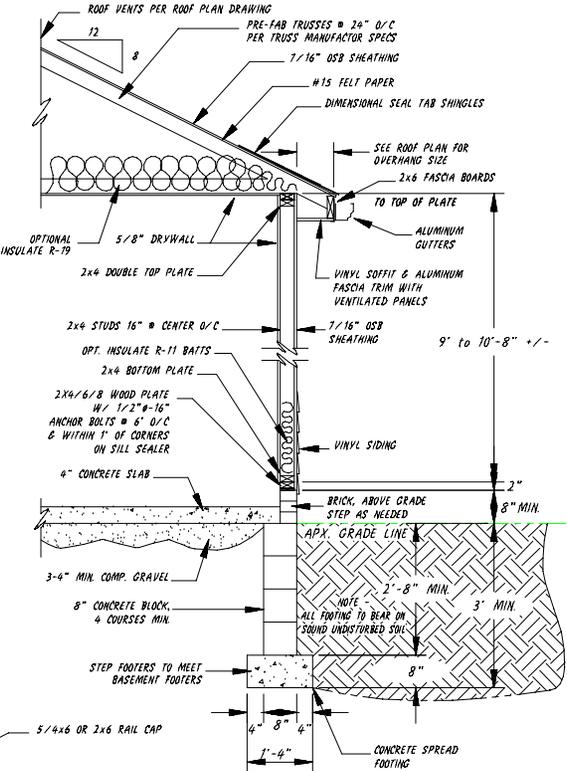
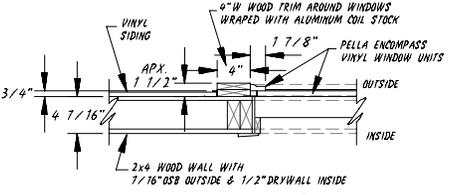
Typical Porch Cross Section View



Deck Cross Section View (if applicable)



Typical Window Section View (Scale 1" = 1')



Garage Wall Cross Section View

- CONSTRUCTION NOTES (2013 CODE)**
- 1) ALL ROOF PITCHES TO BE AN 8/12 SIDE TO SIDE & A 8/12 FRONT TO BACK, UNLESS NOTED, INCLUDING GARAGES, PORCHES & CHIMNEYS
 - 2) ALL PARALLEL WALLS TO HAVE DOUBLE JOISTS AND CROSS BLOCKING UNDER THEM
 - 3) GARAGE WALLS, BETWEEN GARAGE & HOUSE AND GARAGE CEILING TO HAVE 5/8" FIRECODE DRYWALL
 - 4) BLOCK WALLS TO BE REINFORCED PER TABLE R404.1.1(4) OF THE 2013 ROC AND HAVE HORIZONTAL DOWEL WALL EVERY APX. 3 COURSES
 - 5) ALL HEADERS TO BE A MIN. OF (2) 2x10'S WITH 7/16" OSB CENTER, OR LARGER AS INDICATED ON FLOOR PLANS
 - 6) ALL ROOF STICK FRAMING & OVERBUILDS TO BE A MIN. OF 2x6 FOR SPANS UNDER 16', A MIN. OF 2x8 FOR SPANS 16' TO 18' AND INCLUDE 2x8 SIDE PLATES, 2x8 RIDGE BOARDS AND 2x4 COLLAR TIES
 - 7) TRUSS ANCHORS TO BE INSTALLED PER SECTION R802.10.5 OF THE 2013 ROC
 - 8) ALL DEAD AND LIVE LOADS TO BE PER THE 2013 ROC, AND MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS TO BE PER TABLE R301.3
 - 9) THE MAIN DOOR BETWEEN THE HOUSE AND GARAGE IS TO COMPLY WITH SECTION R301.1 OF THE 2013 ROC

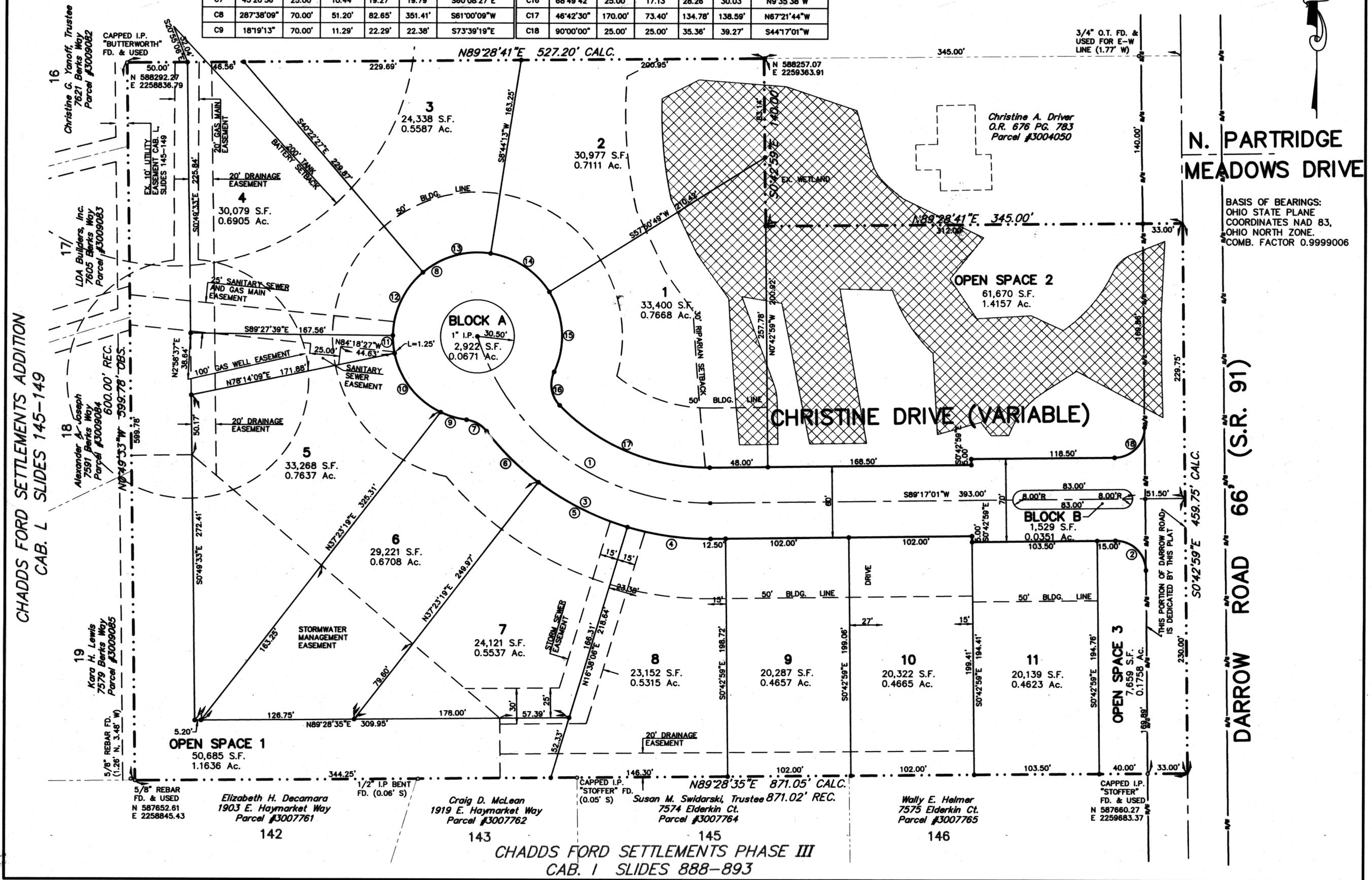
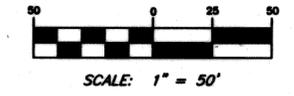
LIDA BUILDERS
 BOSTON ILL. OHIO U.S.A. • Phone/Fax Cleveland (330) 528-3800 • Aircon(330) 342-4240
 THEARHSIDE III modified, 2-STORY (2993 sq.ft.)
 CROSS SECTION VIEW & DETAILS
 SCALE 1/2" = 1'
 DATE 07/31/17
 DPN J
 APV KB
 REVISIONS
 CUSTOMER **Justin & Gia Reed**
 IDA BUILDERS INC. NO. 18-LC003-29

CURVE DATA

| CURVE | DELTA | RADIUS | TANGENT | CHORD | LENGTH | CHORD BEARING | CURVE | DELTA | RADIUS | TANGENT | CHORD | LENGTH | CHORD BEARING |
|-------|------------|---------|---------|---------|---------|---------------|-------|-----------|---------|---------|---------|---------|---------------|
| C1 | 73°00'00" | 200.00' | 147.99' | 237.93' | 254.82' | S54°12'59"E | C10 | 52°43'51" | 70.00' | 34.70' | 62.17' | 64.42' | S38°07'47"E |
| C2 | 90°00'00" | 25.00' | 25.00' | 35.36' | 39.27' | S45°42'59"E | C11 | 12°16'41" | 70.00' | 7.53' | 14.97' | 15.00' | S5°37'31"E |
| C3 | 53°15'00" | 230.00' | 115.30' | 206.15' | 213.76' | S64°05'29"E | C12 | 49°06'44" | 70.00' | 31.98' | 58.18' | 60.00' | S25°04'11"W |
| C4 | 17°21'05" | 230.00' | 35.10' | 69.39' | 69.65' | S82°02'27"E | C13 | 49°06'40" | 70.00' | 31.98' | 58.18' | 60.00' | S74°10'53"W |
| C5 | 20°45'13" | 230.00' | 42.12' | 82.86' | 83.31' | S62°59'18"E | C14 | 49°06'36" | 70.00' | 31.98' | 58.18' | 60.00' | N56°42'29"W |
| C6 | 15°08'42" | 230.00' | 30.58' | 60.62' | 60.80' | S45°02'20"E | C15 | 56°58'24" | 70.00' | 37.99' | 66.77' | 69.61' | N3°39'58"W |
| C7 | 45°20'56" | 25.00' | 10.44' | 19.27' | 19.79' | S60°08'27"E | C16 | 68°49'42" | 25.00' | 17.13' | 28.26' | 30.03' | N9°35'38"W |
| C8 | 287°38'09" | 70.00' | 51.20' | 82.65' | 351.41' | S61°00'09"W | C17 | 46°42'30" | 170.00' | 73.40' | 134.78' | 138.59' | N67°21'44"W |
| C9 | 18°19'13" | 70.00' | 11.29' | 22.29' | 22.38' | S73°39'19"E | C18 | 90°00'00" | 25.00' | 25.00' | 35.36' | 39.27' | S44°17'01"W |

LEGEND

- 5/8" IRON PINS TO BE SET AT ALL LOT CORNERS (WITH IDENTIFICATION CAPS 7604)
- IRON PIN FOUND AS NOTED
- MONUMENT BOX WITH 1" IRON PIN TO BE SET
- MONUMENT BOX WITH 1" IRON PIN FOUND AS NOTED



N. PARTRIDGE MEADOWS DRIVE

BASIS OF BEARINGS:
OHIO STATE PLANE
COORDINATES NAD 83,
OHIO NORTH ZONE.
COMB. FACTOR 0.9999006

DARROW ROAD 66' (S.R. 91)

CHADDS FORD SETTLEMENTS ADDITION
CAB. L SLIDES 145-149

CHADDS FORD SETTLEMENTS PHASE III
CAB. I SLIDES 888-893

F: DRIVER PROPERTY 34 DWGS LAKE CHRISTINE PLAT 1 7-5-2016



Sublot 1- 1931 Christine Drive



Sublot 2-1919 Christine Drive



Sublot 3- 1911 Christine Drive



Sublot 4- 1904 Christine Drive



Sublot 5- 1912 Christine Drive



Sublot 6- 1924 Christine Drive



Sublot 7- 1936 Christine Drive



Sublot 8- 1948 Christine Drive



Sublot 9- 1956 Christine Drive



Sublot 10- 1968 Christine Drive



Sublot 11- 1980 Christine Drive