

**NOTE:**  
GRADING AROUND HOUSE  
AREA AS PER PLAN

**811**  
O.U.P.S. REFERENCE #  
2 WORKING DAYS BEFORE YOU DIG CALL 8-1-1  
OHIO UTILITIES PROTECTION SERVICE NON-MEMBERS  
MUST BE CALLED DIRECT

**EXISTING UNDERGROUND UTILITIES NOTE:**  
THE SIZE AND LOCATION, BOTH HORIZONTAL AND VERTICAL OF THE UNDERGROUND UTILITIES SHOWN HEREON, HAVE BEEN OBTAINED BY A SEARCH OF AVAILABLE RECORDS. THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DETERMINED HEREON. VERIFICATION BY FIELD HOISTING AND/OR PENETRATION SURVEYING TECHNIQUE DOES NOT GUARANTEE THE COMPLETENESS NOR ACCURACY THEREOF.

**NOTE:** THIS SURVEY SUBJECT TO CHANGE UPON RECEIPT OF ANY ADDITIONAL AVAILABLE UNDERGROUND UTILITY INFORMATION.

REV. No.	DATE	BY

DATE:	02/28/10
SCALE:	HOR. 1"=30'
VERT.:	N/A
FOLDER:	2008Propol.Bgn.
FILENAME:	Site Plan
TAB:	01-Cabana Site Plan
DRAWN:	RMK

SYMBOL LEGEND	
	Ex. Clear Out
	Ex. Catch Basin
	Prop. Catch Basin
	Ex. Yard Drain
	Ex. Manhole
	Ex. Storm Manhole
	Prop. Storm Manhole
	Ex. Sanitary Manhole
	Prop. Sanitary Manhole
	Ex. Catch Inlet
	Ex. Gas Meter
	Ex. Gas Valve
	Ex. Water Valve
	Ex. Water Meter
	Ex. Fire Hydrant
	Prop. Hydrant
	Prop. Wt. Valve
	Well
	Test Bore
	Ex. Electrical Box
	Ex. Gray Wire
	Ex. Power Pole
	Ex. Light Power Pole
	Prop. Light Pole
	Ex. Tree
	Ex. Pine Tree
	Ex. Bush
	Ex. Mailbox
	Ex. Sign
	Ex. Telephone Box
	Guard Post
	Ex. Monument Box
	Power Transformer
	Sprinkler Control Box
	Sprinkler Head
	Traffic Signal Pole
	Traffic Signal Box

CONTRACT No.	16186
SHEET	01
OF	01

# CABANA SITE PLAN

**polaris**  
Engineering & Surveying

**2222 E. STREETSBORO STREET**

CITY OF HUDSON - SUMMIT COUNTY - OHIO

**POLARIS ENGINEERING & SURVEYING, INC.**  
34600 CHARDON ROAD - SUITE D  
WILLOUGHBY HILLS, OHIO 44094  
(440) 944-4433 (440) 944-3722 (Fax)  
www.polaris-es.com

**TOPOGRAPHIC CERTIFICATION:**

I, THE UNDERSIGNED, HEREBY CERTIFY THAT THIS TOPOGRAPHY, INDICATED BY CONTOURS AND ELEVATIONS SHOWN HEREON, REPRESENTS AN ACTUAL FIELD SURVEY MADE UNDER MY AT THE ELEVATIONS WERE TAKEN AT APPROPRIATE INTERVALS AND THAT AS DATUM IS BASED ON NAVD88.

*Richard A. Thompson Jr.*  
Richard A. Thompson, Jr., P.S. #7388

**STATE OF OHIO**  
**PROFESSIONAL SURVEYOR**  
RICHARD A. THOMPSON JR.  
7388

# Cabana for Zack & Casie Markwell

2222 E. Streetsboro Rd.  
Hudson Ohio

PRELIMINARY  
NOT FOR  
CONSTRUCTION

ISSUE:  
3-18-19 Rev/leu  
4-9-19 Rev/leu

Cabana for  
Zack & Casie Markwell

2222 E. Streetsboro Street  
Hudson Ohio

The Arcus Group, Inc.  
ARCHITECTS  
1244 Smith Court  
Rocky River, Ohio 44116  
Tel: 440.356.5530  
Fax: 440.356.5584

Title Sheet,  
Site Plan  
& Elevation

A-1

Sheet Number  
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Project No: 1825D  
Drawn By: MB/TJL  
Checked By: TJL

Canterbury Drive



## Drawing Index

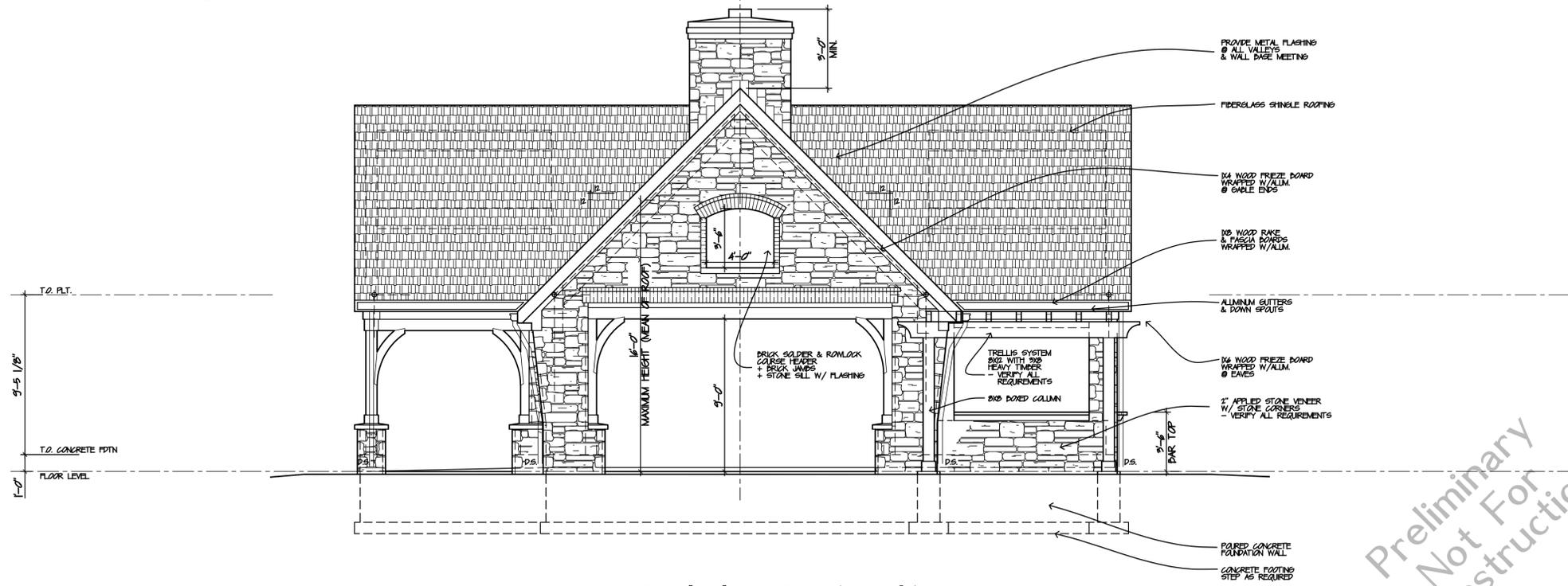
- A-1 Title Sheet, Site Plan & Elevation
- A-2 Elevations
- A-3 Foundation & Floor Plan
- A-4 Roof Framing Plan, Wall Bracing Details & Notes
- A-5 Typical Wall Section, Details & General Notes

## Site Plan

SCALE 1" = 50'-0"



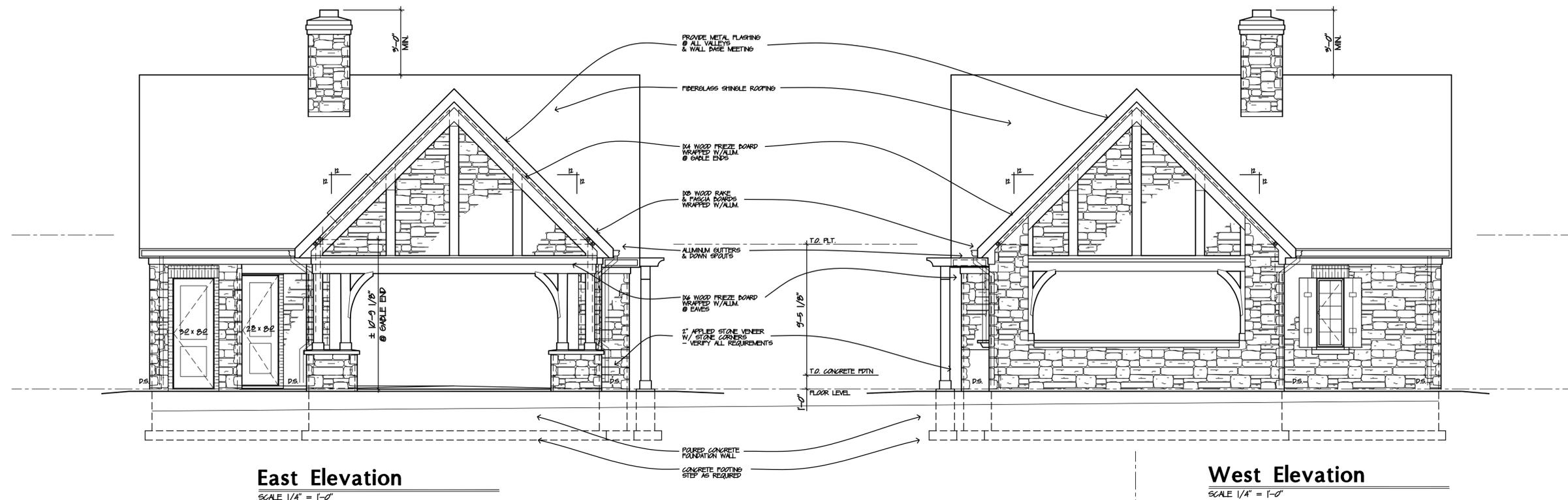
SITE PLAN PROVIDED BY  
SITE INFORMATION  
POLARIS ENGINEERING & SURVEYING  
PER SUMMIT COUNTY TAX MAPS  
- VERIFY WITH SURVEYOR



Pool Elevation (North)

SCALE 1/4" = 1'-0"

Preliminary  
Not For  
Construction

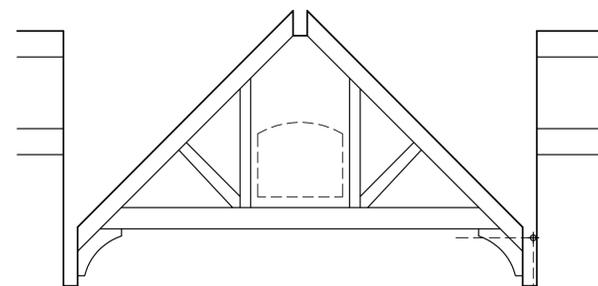


**East Elevation**

SCALE 1/4" = 1'-0"

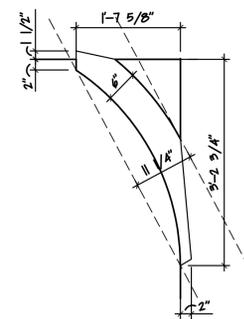
**West Elevation**

SCALE 1/4" = 1'-0"



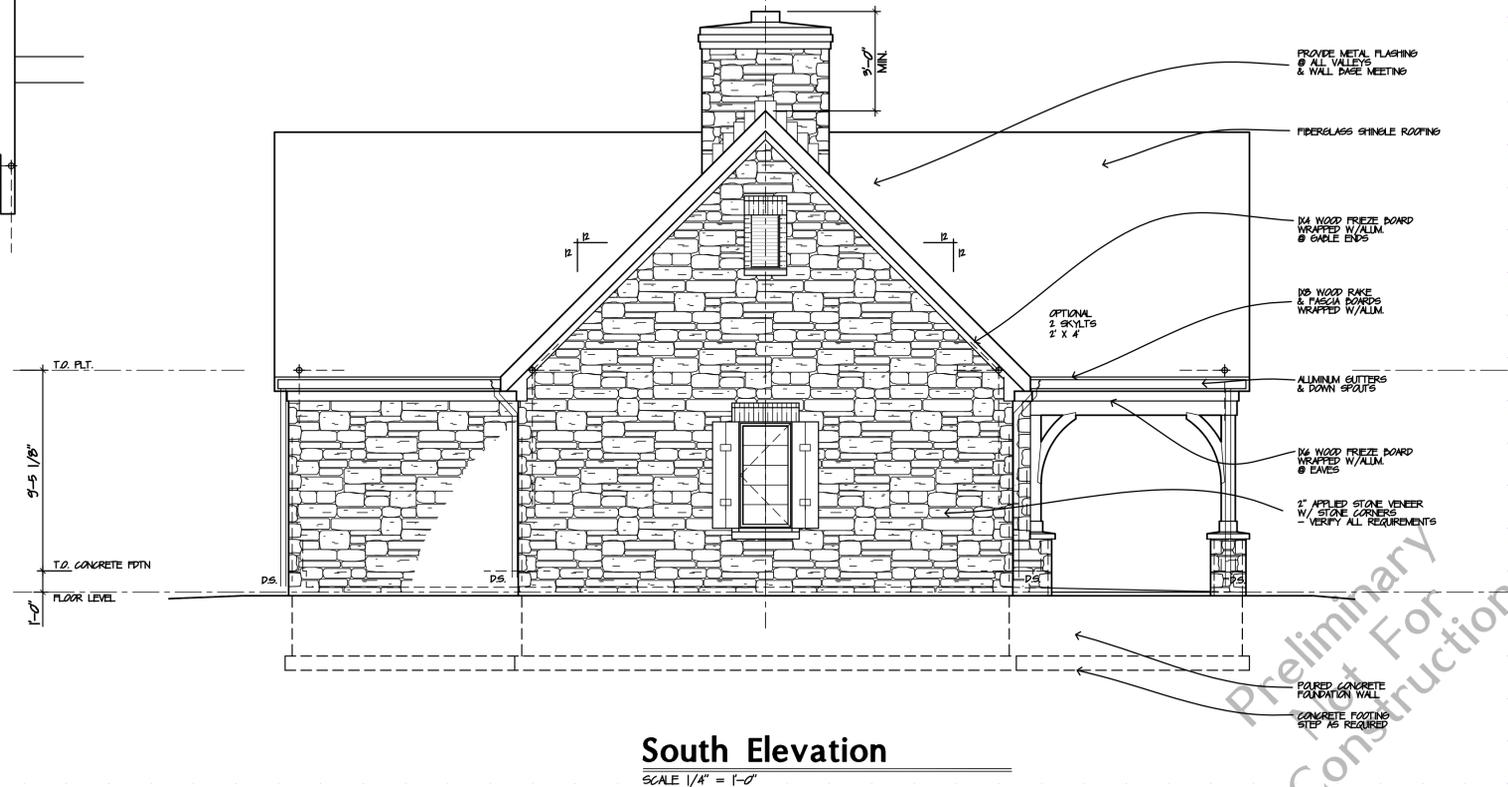
**Living Truss Profile**

SCALE 1/4" = 1'-0"



**Bracket Detail**

SCALE 3/4" = 1'-0"



**South Elevation**

SCALE 1/4" = 1'-0"

ISSUE:  
3-18-19 Rev/leu  
4-8-19 Rev/leu

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Elevations

**A-2**

Sheet Number  
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Project No: 1805D  
Drawn By: MB/TJL  
Checked By: TJL

Preliminary  
Not For  
Construction

### Floor Plan

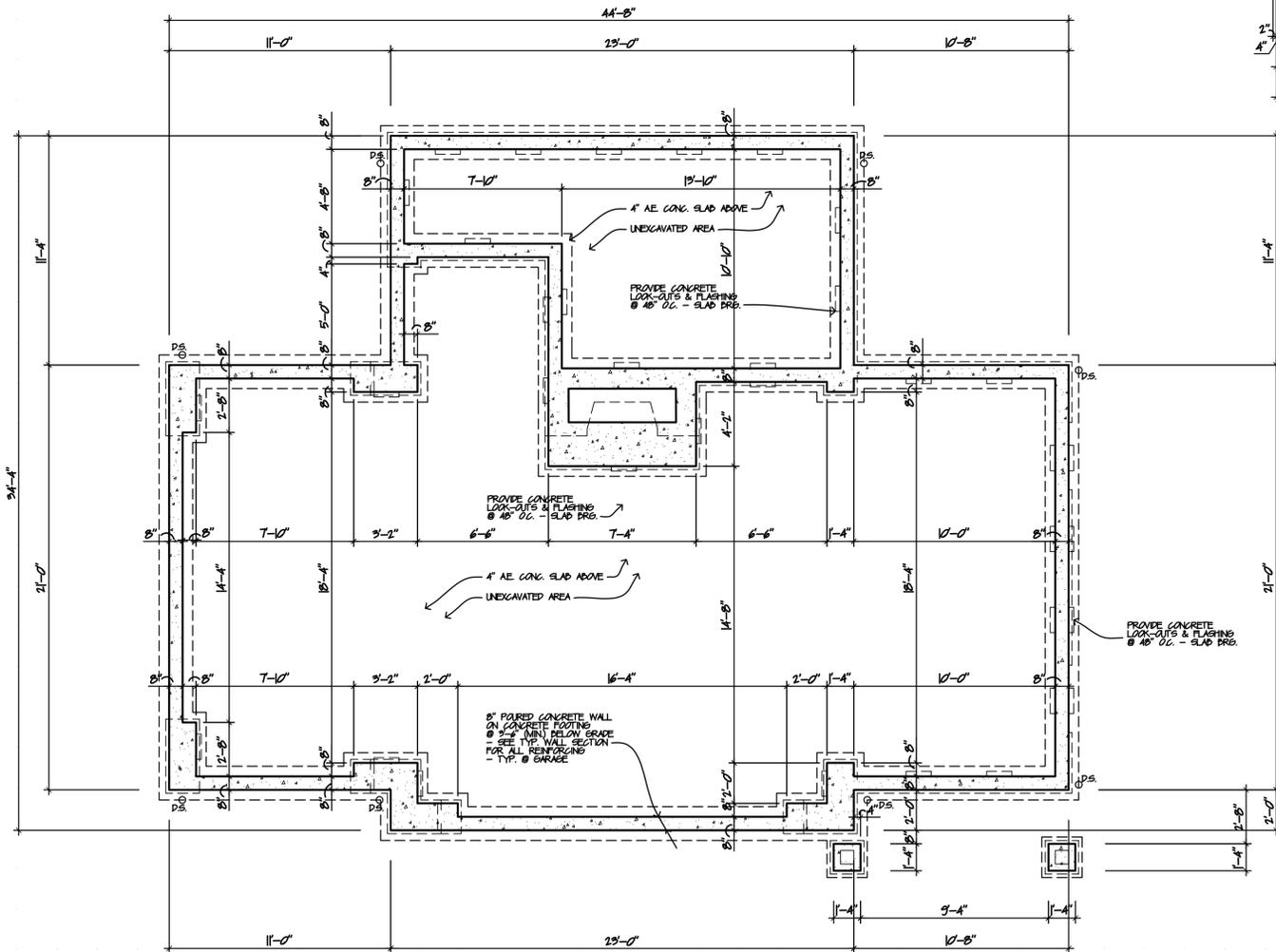
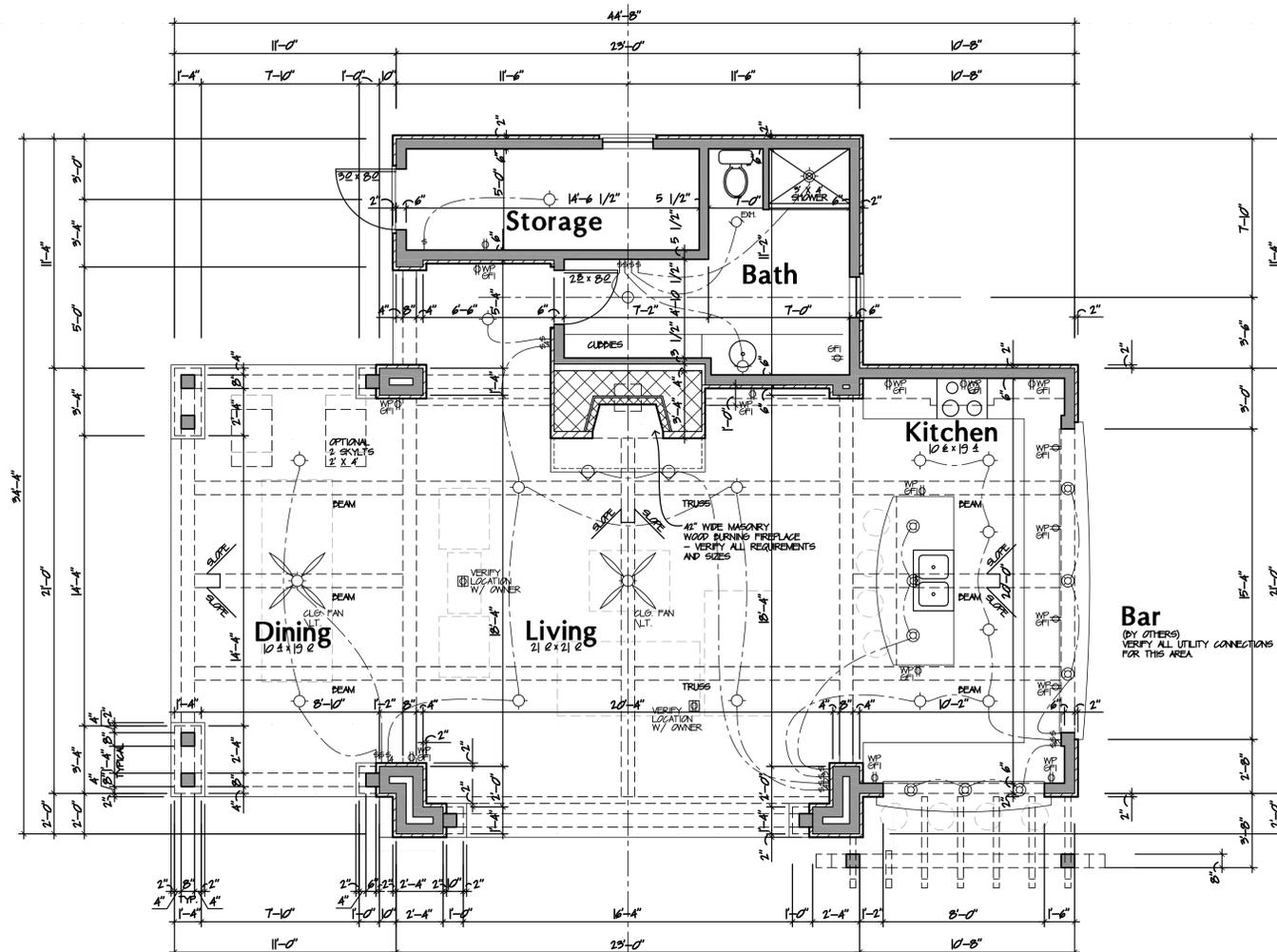
SCALE 1/4" = 1'-0"  
1245 SQ. FT. - FLOOR PLAN

NOTE: ALL DIMENSIONS, MULTIPLE OF 3 OR MORE SHALL BE DATED PER MANUFACTURER'S REQUIREMENTS  
NOTE: PROVIDE (2) FLOOR JOISTS BELOW ALL PARTITIONS (ABOVE) PARALLEL TO FLOOR JOISTS. PROVIDE SOLE PLUCKING BELOW ALL PARTITIONS (ABOVE) PERPENDICULAR TO FLOOR JOISTS.  
NOTE: CONTRACTOR IS TO VERIFY ALL STRUCTURAL, MECHANICAL, ELECTRICAL & PLUMBING BEFORE STARTING CONSTRUCTION.

NOTE: ALL ELECTRICAL FIXTURES, SWITCHING & WIRING INDICATED ON THE DRAWINGS ARE FOR DESIGN PURPOSES ONLY. CONTRACTOR TO VERIFY WITH OWNER & LOCAL BUILDING OFFICIALS.

NOTE: CONTRACTOR SHALL VERIFY W/ THE OWNER THE LOCATION(S) OF ALL ATTIC ACCESS PANELS OR DOORS.

NOTE: CONTRACTOR SHALL VERIFY ALL DIMENSION & STRUCTURAL FLOOR JOIST ALLOWABLE MODIFICATION. PROVIDE REQUIRED BEARING PLATE OR STRAPS PER MANUFACTURER.



### Foundation Plan

SCALE 1/4" = 1'-0"

8" BRICK OR STONE VENEER EXTENDS DOWN FAST TOP OF FOUNDATION 30" OR MORE. THE CONCRETE BEHIND THE BRICK/STONE IS TO BE INCREASED TO 8" THICK. TOTAL WALL THICKNESS 8". VERIFY WITH ENGINEER'S SITE PLAN-TOP.

SEE TYP. WALL SECTION FOR TYP. NOTES

SEE PAIRED CONCRETE WALL DETAILS ON SHEET A-5

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Foundation  
& Floor Plan

A-3

Sheet Number  
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Project No: 1825D  
Drawn By: MB/TJL  
Checked By: TJL



**GENERAL PROJECT DATA**

ALL CODES GOVERN OVER DRAWINGS.  
2019 RESIDENTIAL CODE OF OHIO  
OHIO BUILDING CODE (CBC)  
CBC 1 & 2 FAMILY DWELLING CODE  
CBCA ONE, TWO AND THREE FAMILY DWELLING CODE  
LOCAL CODES AND ORDINANCES (VERIFY)

USE GROUP CLASSIFICATION:  
WOOD FRAME, TYPE 5B, UNPROTECTED

CONSTRUCTION CLASSIFICATION:  
WOOD FRAME, TYPE 5B, UNPROTECTED

FLOOR LOADS:  
DEAD LOAD: 10 PSF  
SLEEPING ROOMS LIVE LOAD: 30 PSF  
DWELLING SPACES LIVE LOAD: 40 PSF  
ATTIC LIVE LOAD: 20 PSF

**GENERAL NOTES**

EACH CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AS THEY PERTAIN TO THE ACCEPTABLE COMPLETION OF THEIR WORK.  
WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES.

ALL EXTERIOR WALLS ARE 6" (1ST FLOOR) OR 4" (2ND FLOOR) (UN2).

ALL INTERIOR WALLS ARE 5/8" (UN2), 5/4" AT PLUMBING WALLS, TYP.

PROVIDE TEMPERED GLASS IN ALL DOORS & WINDOWS LESS THAN 8" ABOVE ABOVE THE FLOOR, AND ALL SHOWER & TUB ENCLOSURES AND AT ALL WINDOWS WITHIN 5'-0" FROM TUB OR SHOWER UNITS.

ALL ROOFS TO BE VENTED AS PER CODE.

DOWNSPOUT LOCATION SHALL BE VERIFIED BY CONTRACTOR IN FIELD

PROVIDE 24"X30" MINIMUM ACCESS WITH SWITCHED LIGHT TO ALL ATTIC AREAS OVER 30' CLEAR HEIGHT.

PROVIDE 2" SPACING BETWEEN MASONRY FIREPLACE AND WOOD FRAMING FOR MASONRY CHIMNEYS BUILT PARTIALLY OR ENTIRELY WITHIN THE DWELLING. PROVIDE 1" SPACE IF CHIMNEY IS BUILT ENTIRELY OUTSIDE THE DWELLING. PROVIDE FIRESTOPPING BETWEEN FLOORS.

IN THE EVENT THE CLIENT CONSENTS TO, ALLOWS, AUTHORIZES OR APPROVES OF CHANGES TO ANY PLANS, SPECIFICATIONS OR OTHER CONSTRUCTION DOCUMENTS, AND THESE CHANGES ARE NOT APPROVED IN WRITING BY THE ARCUS GROUP, INC., THE CLIENT RECOGNIZES THAT SUCH CHANGES AND RESULTS THEREOF ARE NOT THE RESPONSIBILITY OF THE ARCUS GROUP, INC. THEREFORE, THE CLIENT AGREES TO RELEASE THE ARCUS GROUP, INC. FROM ANY LIABILITY ARISING FROM THE CONSTRUCTION, USE OR RESULT OF SUCH CHANGES. IN ADDITION, THE CLIENT AGREES TO THE FULLEST EXTENT PERMITTED BY LAW, TO INDEMNIFY AND HOLD THE ARCUS GROUP, INC. HARMLESS FROM ANY DAMAGE, LIABILITY OR COST (INCLUDING REASONABLE ATTORNEYS FEES AND COSTS OF DEFENSE) ARISING FROM SUCH CHANGES, EXCEPT ONLY THOSE DAMAGES, LIABILITIES AND COSTS ARISING FROM THE SOLE NEGLIGENCE OR WILLFUL MISCONDUCT OF THE ARCUS GROUP, INC.

**FOUNDATION NOTES**

FOUNDATION DESIGN IS BASED ON SOIL BEARING CAPACITY 2500 PSF, TO BE VERIFIED IN FIELD BY TESTING AGENCY, PRIOR TO PLACING FOUNDATIONS.

ASSUMED BEARING PRESSURE SHALL BE CONFIRMED BEFORE ANY FOUNDATIONS ARE CONCRETED.

NOTIFY ARCHITECT OF ANY UNUSUAL SOIL CONDITION(S) BEFORE PROCEEDING WITH ANY WORK.

FOOTING ELEVATIONS SHOWN ON PLAN ARE TO BOTTOM OF FOOTING.

PLACE FOOTINGS AT ELEVATIONS SHOWN OR TO UNDISTURBED SOIL OF DESIGN CAPACITY WHICHEVER IS LOWER.

FOOTING DEPTHS SHOWN ARE MINIMUM. ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED EARTH, AT LEAST 2'-6" BELOW FINISH GRADE.

FOOTING EXCAVATIONS TO HAVE FLAT BOTTOMS WITH BEARING SURFACES UNDISTURBED BY METHOD OF EXCAVATION AND PROTECTED FROM WATER ACCUMULATION AND FREEZING.

FOOTING STEPS MAY BE 1 VERTICAL TO 2 HORIZONTAL WITH A MAXIMUM STEP OF 2 FEET.

DO NOT BACKFILL AGAINST BASEMENT WALLS UNTIL FIRST FLOOR DECK IS IN PLACE AND CONCRETE SLAB HAS CURED SO BOTH ARE ABLE TO RESIST THE IMPOSED FORCES.

A MORE ELABORATE FOUNDATION AND OR WATERPROOFING/ DAMPROOFING SYSTEM MAY BE REQUIRED. CONTRACTOR TO VERIFY EXISTING SITE COON WALL CONDITIONS.

FOUNDATION WALLS SHALL BE BACK FILLED WITH FREE DRAINING GRANULAR MATERIALS #57 STONE.

REMOVE ALL MAN-MADE FILL AND RUBBLE FROM THE BUILDING SITE.

PROVIDE 1/2" CEMENT PARINGS, TAR & GRANITE DAMPROOFING ON ALL FOUNDATION WALLS.

**MASONRY**

THE LOAD-BEARING MASONRY ELEMENTS OF THIS BUILDING ARE DESIGNED IN ACCORDANCE WITH BUILDING CODE REQUIREMENT FOR MASONRY CONSTRUCTION ACI 530-10, PUBLISHED BY THE AMERICAN CONCRETE INSTITUTE.

MATERIALS AND CONSTRUCTION METHODS SHALL BE SPECIFIED IN "SPECIFICATIONS FOR MASONRY STRUCTURES" ACI 530-10 PUBLISHED BY THE AMERICAN CONCRETE INSTITUTE.

HOLLOW LOAD BEARING CONCRETE MASONRY UNITS PER ASTM C90.

MORTAR FOR MASONRY PER ASTM C670, TYPE S (8000 PSI (MIN) CUBE STRENGTH).

GRAUT SHALL CONFORM TO ASTM C676. USE FINE GRAUT FOR COLLAR JOINTS 1" WIDE OR LESS AND WHEN GRAUTING CELLS OF HOLLOW MASONRY UNITS, WITH OR WITHOUT VERTICAL REINFORCING. USE COARSE GRAUT WHEN GRAUTING DAD BEAMS. MINIMUM COMPRESSIVE STRENGTH SHALL BE 3000 PSI.

REINFORCING BARS PER ASTM A63, GRADE 60, LAP SPLICES 24" MINIMUM AND GRAUT SOLID INTO WALLS.

PROVIDE SOLID MASONRY UNDER WALL BEARING BEAMS UNLESS OTHERWISE NOTED ON THE DRAWINGS.

**MASONRY (CONT)**

MORTAR FOR EXTERIOR BELOW - GRADE AND VERTICALLY REINFORCED WALLS SHALL BE ASTM C670, TYPE S.

ALL UNITS SHALL BE LAID WITH FULL MORTAR COVERAGE ON HEAD, REP (FACE SHELLS), WEBS AND COLLAR JOINTS, UNLESS OTHERWISE NOTED.

ALL MASONRY WALLS SHALL HAVE GALVANIZED HORIZONTAL REINFORCING OF THE BELOW GRADE WALLS AND VERTICALLY REINFORCED WALLS, SPACED 16" ON CENTER TRUSS TYPE, 3/8" SIDE RODS AND #3 GAGE CROSS RODS.

THE USE OF CALCIUM CHLORIDE, SALTS AND OTHER MATERIALS CONTAINING ANTI-FREEZE AGENTS OR CHEMICAL ACCELERATORS IS PROHIBITED UNLESS OTHERWISE APPROVED. CONTRACTOR TO SUBMIT PROPOSED MIXTURE WITH MIX DESIGN FOR APPROVAL.

**CAST-IN-PLACE CONCRETE**

CAST-IN-PLACE CONCRETE WORK SHALL CONFORM WITH THE REQUIREMENTS OF ACI 308 & ACI 301, LATEST EDITION.

CAST-IN-PLACE CONCRETE WORK SHALL CONFORM TO THE AMERICAN CONCRETE INSTITUTE CODES AND STANDARDS, EXCEPT AS NOTIFIED ON THE DRAWINGS.

**ADMITTIVES:**

- A. USE AN APPROVED WATER REDUCING AGENT FOR ALL CONCRETE EXCEPT FOOTINGS.
- B. USE AN APPROVED 2ND AND 3RD GENERATION HIGH RANGE WATER REDUCER (HWWR) FOR ALL SLABS ON GRADE.
- C. USE AN APPROVED AIR ENTRAINING AGENT FOR ALL CONCRETE EXPOSED TO WEATHER.
- D. THE USE OF CALCIUM CHLORIDE OR ADMIXTURES CONTAINING CHLORIDES IS PROHIBITED.

CURING COMPOUND: USE AN APPROVED CURING COMPOUND ON ALL FLAT SURFACES.

**REINFORCING STEEL:**

- A. REINFORCING BARS #4 AND LARGER PER ASTM A63, GRADE 60.
- B. LAP REINFORCEMENT 36 DIAMETERS UNLESS OTHERWISE NOTED.

**PROTECTION TO REINFORCEMENT:**

- A. AGAINST SOIL - 3"
- B. EXPOSED CONCRETE - 1"

CONCRETE SLAB ON GRADE SHALL BE PLACED ON 4" MINIMUM COMPACTED GRANULAR SUB-DRAINAGE MATERIAL OVER 6" MILL VAPOR BARRIER PLACED ON BEARING SOIL.

PLATE WELDED WIRE FABRIC IN CONCRETE SLABS, 1/2" DOWN FROM TOP OF SLAB, UNLESS OTHERWISE NOTED.

MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF CONCRETE AT 28 DAYS SHALL BE:

LOCATION	STRENGTH	SLOPE	AIR CONTENT	REMARKS
FOUNDATIONS	3000 PSI	MAX 5'	NONE	-
SLABS ON GRADE	4000 PSI	MAX 4"	6% +/- .1% (EXPOSED)	-
WALLS	3000 PSI	MAX 3"	6% +/- .1% (EXPOSED)	-
FORMED SLABS	4000 PSI	MAX 3"	NONE	-
MD MAX CONC. FILL	1000 PSI	4" +/- 1"	-	-
FOR BLOCK	3000 PSI	8" +/- 1"	-	3/8" MAX. AGG.
LINTEL BEAMS	4000 PSI	4" +/- 1"	-	-

CURING COMPOUND: USE AN APPROVED CURING COMPOUND ON ALL FLAT SURFACES.

**ANCHORS TO BE:**

- A. NELSON FULLED, HEADED ANCHOR STUDS (NS) OR REFORCED BAR ANCHORS (RBA).
- B. REBAR PER ASTM A63, GRADE 60.
- C. "SMIPSON STRONG-TIE" CONNECTORS.

PATIO & WALKS: REINFORCING BARS: ASTM A63, GRADE 60 WELDED WIRE FABRIC: ASTM A65.

PATIO & WALKS: PROVIDE #4-MAXIMA WELDED WIRE FABRIC IN ALL SLABS ON GRADE, UNLESS OTHERWISE NOTED.

PROVIDE CONTROL JOINTS IN ALL WALKS EQUAL TO THE WIDTH OF THE WALK.

**CAST-IN-PLACE FOUNDATION WALL (IF APPLICABLE)**

PROVIDE VERTICAL CONTROL JOINTS IN ALL VERTICALLY REINFORCED CONCRETE SURFACES (WALLS). THE MAXIMUM SPACING OF CONTROL JOINTS SHALL BE 32'-0" UNLESS NOTED OTHERWISE. CUT ALTERNATE NON-STRUCTURAL HORIZONTAL REINFORCING BARS ON EACH FACE AND PROVIDE A 1/2"X1/2" REVEAL AT EACH CONTROL JOINT, UNLESS OTHERWISE NOTED (IF APPLICABLE).

PROVIDE VERTICAL AND HORIZONTAL REINFORCING BARS IN CONCRETE WALLS TO CONFORM TO THE PROVISIONS OF ACI 308, SECTION 14.9, WITH THE REINFORCING RATIOS TO BE 0.06 FOR VERTICAL REINFORCING AND 0.015 FOR HORIZONTAL REINFORCING, UNLESS OTHERWISE NOTED.

SOIL TYPES ASSUMED FOR DESIGN OF FOUNDATION WALLS INCLUDES SM, GC, SM, SM-SG AND ML SOILS. CONTRACTOR TO VERIFY EXISTING SITE SOILS PRIOR TO CONSTRUCTION. IF EXISTING SOILS DIFFER THAT WHAT WAS ASSUMED IN THE DESIGN, CONTACT DESIGN PROFESSIONAL IMMEDIATELY TO REVISE FOUNDATION DESIGN ACCORDINGLY.

ALL HORIZONTAL WALL BARS SHALL BE BENT AND LAPPED AROUND ALL CORNERS, UNLESS OTHERWISE NOTED.

ALL WALL FOOTING REINFORCING SHALL EXTEND TO INTERSECTING CENTERLINE OF COLUMN FOOTING.

CHAMFER EXPOSED EDGES OF CONCRETE 3/4"X1/4", UNLESS OTHERWISE NOTED.

REFER TO ARCHITECTURAL DRAWINGS FOR LOCATION AND EXTENT OF FINISHES OR OTHER TREATMENTS TO EXPOSED CONCRETE.

DETERMINE SIZE AND LOCATION OF MECHANICAL EQUIPMENT, AND MAKE PROVISIONS FOR DUCTS, SLEEVES, PANS, ETC., FROM MANUFACTURER'S CERTIFIED DRAWINGS. THIS WORK SHALL BE COORDINATED WITH ALL PERTINENT TRADES INVOLVED.

**STRUCTURAL STEEL**

STRUCTURAL STEEL SHALL BE NEW AND TO CONFORM TO AISC "SPECIFICATION FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS" LATEST EDITION.

BOLTS PER ASTM A508, BEARING TYPE CONNECTIONS.

ANCHOR BOLTS INTO CONCRETE OR MASONRY TO BE PER ASTM A307 OR ASTM A58.

ALL STEEL TO BE PER ASTM A58.

ALL STRUCTURAL STEEL DETAILS AND CONNECTIONS SHALL CONFORM TO THE STANDARDS OF AISC.

**MASONRY LINTEL SCHEDULE**

OPENINGS UP TO 4'-0" ANGLE L 5 1/2" X 3 1/2" X 5/16"

OPENINGS FROM 4'-0" - 6'-0" ANGLE L 5" X 3 1/2" X 5/16" LVL.

OPENINGS FROM 6'-0" - 7'-0" ANGLE L 6" X 3 1/2" X 5/16" LVL PER 4" MASONRY WYTHE.

ALL LINTELS SHALL HAVE 1" OF BEARING FOR EACH FOOT OF SPAN W/ A MINIMUM OF 4" BEARING ON EACH END.

ALL LINTELS SHALL BEAR ON 8" OF SOLID MASONRY FOR ENTIRE HEIGHT.

MINIMUM THICKNESS OF LINTELS IN EXTERIOR WALLS TO BE 3/8".

ALL LINTELS EXPOSED TO THE EXTERIOR SHALL BE GALVANIZED.

USE ONE ANGLE FOR EACH 4" WYTHE OF MASONRY.

**STRUCT. WOOD CONSTRUCTION**

STRUCTURAL SAWN LUMBER:  
A. SIZES 2" THICK X 6" AND WIDER SHALL BE SOUTHERN PINE NO. 2, OR APPROVED EQUAL WITH THE FOLLOWING MINIMUM DESIGN VALUES:

F<sub>b</sub> = 1200 PSI (SHEAR)  
F<sub>v</sub> = 1400 PSI (PERPENDICULAR TO GRAIN)  
E = 1,600,000 PSI

F<sub>b</sub> = 200 PSI (PARALLEL TO GRAIN)  
F<sub>v</sub> = 300 PSI (PARALLEL TO GRAIN)

D. ALLOWABLE STRESSES FOR SAWN LUMBER SHALL BE IN ACCORDANCE WITH THE EDITION OF THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION PLUS SUPPLEMENT, DESIGN VALUES FOR WOOD CONSTRUCTION BY THE NATIONAL FOREST PRODUCTS ASSOCIATION.

DETAIL FABRICATE AND ERECT STRUCTURAL WOOD IN ACCORDANCE WITH THE AMERICAN INSTITUTE OF WOOD CONSTRUCTION STANDARDS AND SPECIFICATIONS, THE PROJECT MANUAL AND THESE DRAWINGS.

ALL LUMBER CONNECTORS SHALL HAVE DOLCA AND I.C.D.O. APPROVAL.

LAMINATED VENEER LUMBER (LVL) SHALL BE MICRO-LAM MEMBERS OF TRUSJOIST CORPORATION OR GAMB-LAM (LVL) AS MANUFACTURED BY GAMB-LAM SYSTEM INC.

A. MULTIPLE MEMBERS SHALL BE FASTENED TOGETHER WITH 1/2" NAILS AT 12 INCHES O.C. ALONG THE TOP AND BOTTOM EDGES. ALL MULTIPLE MEMBERS (3) THREE OR MORE, SHALL BE BOLTED PER MANUFACTURER'S REQUIREMENTS.

D. LAMINATED VENEER LUMBER MEMBERS DESIGNATED LVL ON PLAN.

ALL WOOD USED FOR SILL PLATES, DECKS, AND RAILINGS SHALL BE PRESSURE TREATED LUMBER.

ALL ANCHOR BOLTS SHALL BE PER ASTM A307. USE WITH HEAVY DUTY PLATE WASHERS.

ALL STEEL PLATES SHALL BE PER ASTM A58.

ALL FABRICATION AND ERECTION PER NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION - 1991.

DO NOT DRILL OVERSIZE HOLES FOR NISHTS WITHOUT ARCHITECT'S APPROVAL.

ALL LUMBER SHALL BE STAMPED WITH THE GRADE MARK OF AN APPROVED TESTING AGENCY.

ALL WINDOW AND DOOR HEADERS IN 2X4 WALLS TO BE 2-2X10S 1/12" PLYWOOD SHIM, UNLESS OTHERWISE NOTED. ALL WINDOW AND DOOR HEADERS IN 2X6 WALLS TO BE 2-2X10S 1/12" PLYWOOD SHIM, UNLESS OTHERWISE NOTED.

ALL JACKS SHALL BE BLOCKED BELOW THE DECK.

ALL PARTITIONS OVER 12'-0" HIGH SHALL BE FRAMED @ 12" O.C.

PROVIDE 2X6 TOP PLATE ON ALL STEEL BEAMS - STAGGER BOLTS @ 24" O.C. W/ 3/8" BOLTS.

PROVIDE GALVANIZED JOIST HANGERS @ ALL FLUSH BEAMS.

ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.

PROVIDE 1/2" PAINTED SHEATHING AT ALL JOIST OVERHANGS.

PROVIDE FIRESTOPPING AT ALL SOTTITS AND FURRED OFF SPACES.

PROVIDE 2X6 STIFFENERS @ 12'-0" O.C. FOR ALL CEILING JOISTS.

PROVIDE 2X6 COLLAR TIES @ EVERY OTHER RAFTER. LOCATION TO BE 1/3 DOWN FROM THE PEAK TO THE CEILING RAFTERS.

ALL HEADERS SHALL BE FREE FROM SPLITS, CHECKS & SHAKES.

PROVIDE DOUBLE HEADER JOIST & TRIMMER AT ALL FLOOR OPENINGS.

PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS.

PROVIDE 120" X" BRIDGES @ 4'-0" O.C.

ALL ANGLED HEADS ARE 45° UNLESS OTHERWISE NOTED.

ADJUST ALL OVERHANGS OF DIFFERENT PITCHES TO MAINTAIN CONSISTENT LEVEL.

ANY HIP OR VALLEY RAFTERS EXCEEDING 28'-0" TO BE LVL (UN2)

ALL SILL PLATES SHALL BE FULL WIDTH OF FOUNDATION.

PROVIDE CORNER BRACING AT ALL CORNERS IF FOAM SHEATHING IS USED.

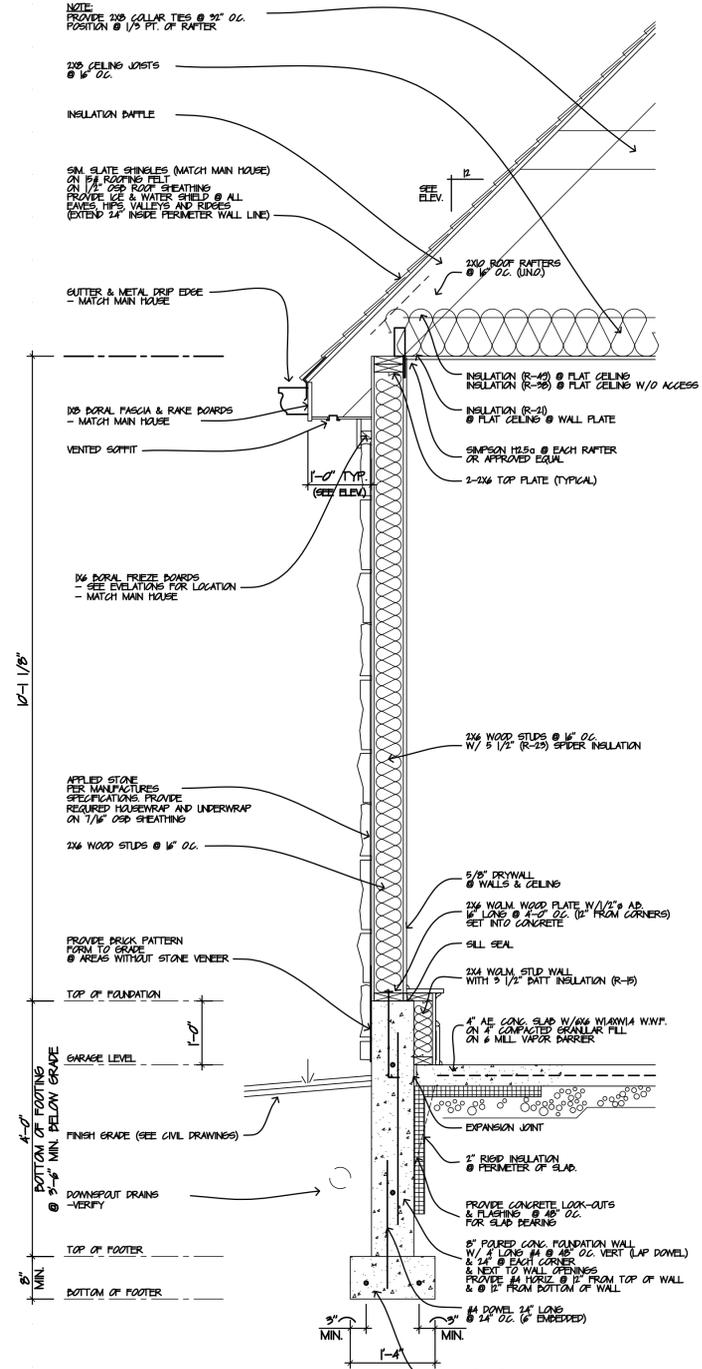
REPAIR/ REPLACE ALL FRAMING DAMAGED BY MECHANICAL SYSTEMS.

EXTERIOR SHEATHING TO BE CONTINUOUS OVER ALL FRAMING MEMBERS INCLUDING BUT NOT LIMITED TO RIM JOISTS AND CORNER FRAMING.

ALL WOOD PLATES SHALL BE ANCHORED TO MASONRY FOUNDATION WALL WITH 1/2" DIAMETER X 16" LONG GALVANIZED ANCHOR BOLTS @ 4'-0" O.C. MAXIMUM AND 12" FROM ALL CORNERS - MINIMUM.

FOR 2X4 FRAMED WALL WALLS, ALL HEADER BEARING TO BE MINIMUM (2)-2X4 UN2.

FOR 2X6 FRAMED WALL WALLS, ALL HEADER BEARING TO BE MINIMUM (2)-2X6 UN2.



**Typical Wall Section**

SCALE 3/4" = 1'-0"

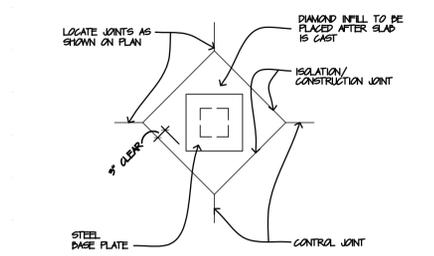
NOTE: A MORE ELABORATE BASEMENT WALL REINFORCING, FOUNDATION REINFORCING AND OR WATERPROOFING/DAMP-PROOFING SYSTEM MAY BE REQUIRED. CONTRACTOR SHALL VERIFY EXISTING SITE CONDITIONS AND STRUCTURAL LOADING BEFORE CONSTRUCTION AND DESIGN THE REINFORCING AND FRAMING ACCORDINGLY.

NOTE: DESIGNED BEARING CAPACITY FOR CONC. FOOTING IS 2500 PSF. CONTRACTOR SHALL VERIFY SOIL BEARING CAPACITY IN FIELD. FOOTING SIZE INCREASES IF SOIL BEARING CAPACITY IS FOUND TO BE LESS THAN 2500 PSF. CONTACT ARCHITECT W/ FINDINGS.

VERTICAL WALL REINFORCEMENT SHALL BE PLACED AS DESCRIBED IN THESE DRAWINGS. RESIDENTIAL BUILDING CODE ASSUMING WORST CASE SOIL CATEGORY UNLESS SOILS REPORT ADVISES OTHER.

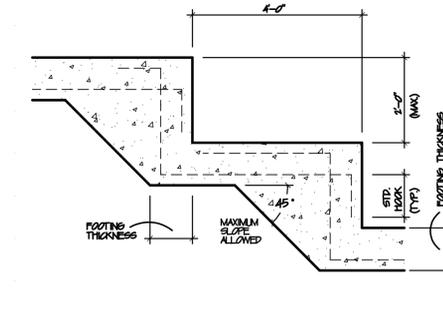
**Plan Of Control Joint @ Column**

SCALE: 1/2" = 1'-0"



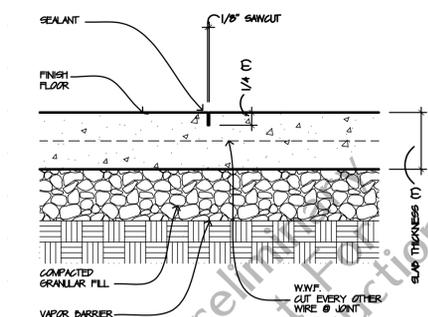
**Typical Step Footing Detail**

SCALE: 1/2" = 1'-0"



**Typ. Control Joint Detail**

NOT TO SCALE



# Previously Approved House Plans (House Currently Under Construction)

OHIO  
**HUDSON**  
COMMUNITY DEVELOPMENT  
DEPARTMENT

Approved

7/20/18

Zoning Certificate #:  
4024



ISSUE:	12-15-16 Review
	1-16-17 Permit
	10-16-17 Revision
	1-18-18 Revision

Ohio

Residence for  
**Zack & Casie Markwell**

2222 E. Streetsboro Street

Hudson



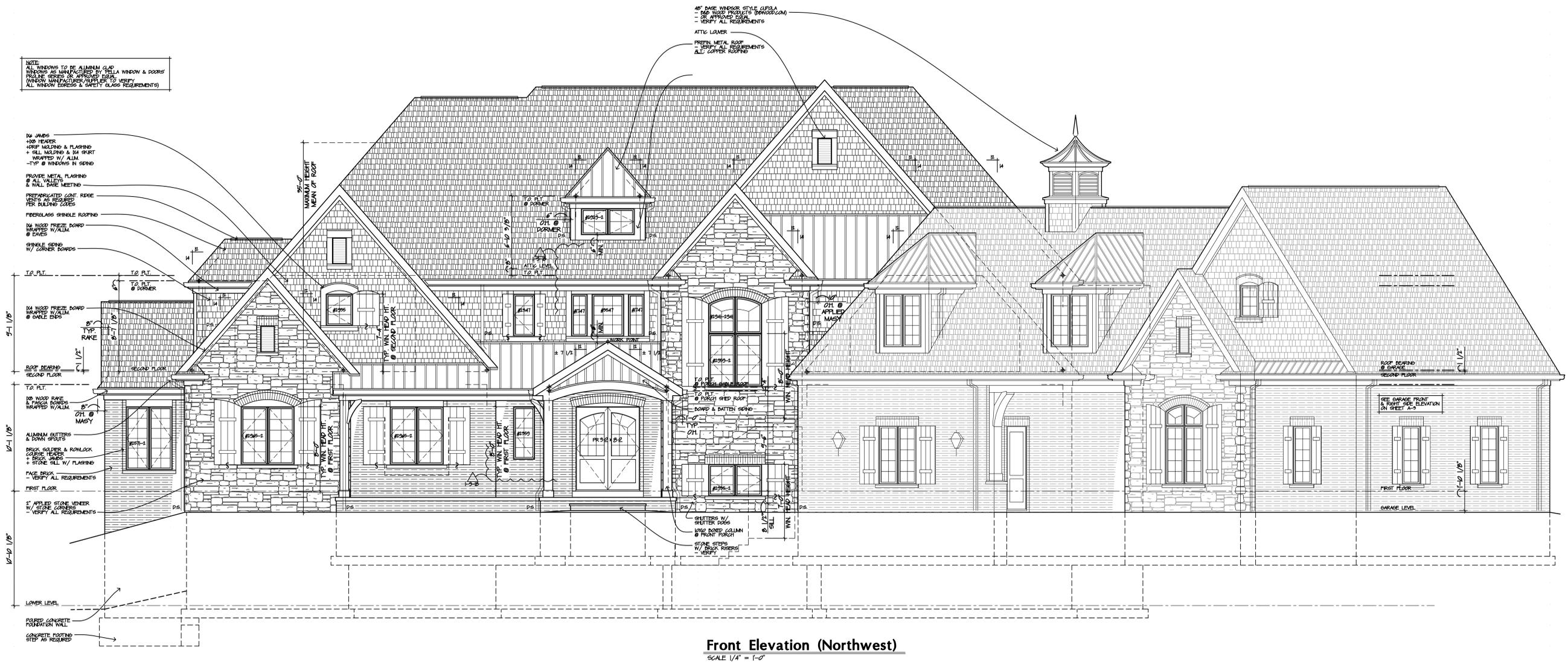
2248 Smith Court #466  
Hudson, OH 44130  
Tel: 440.356.5330  
Fax: 440.356.5394

Elevation

**A-2**

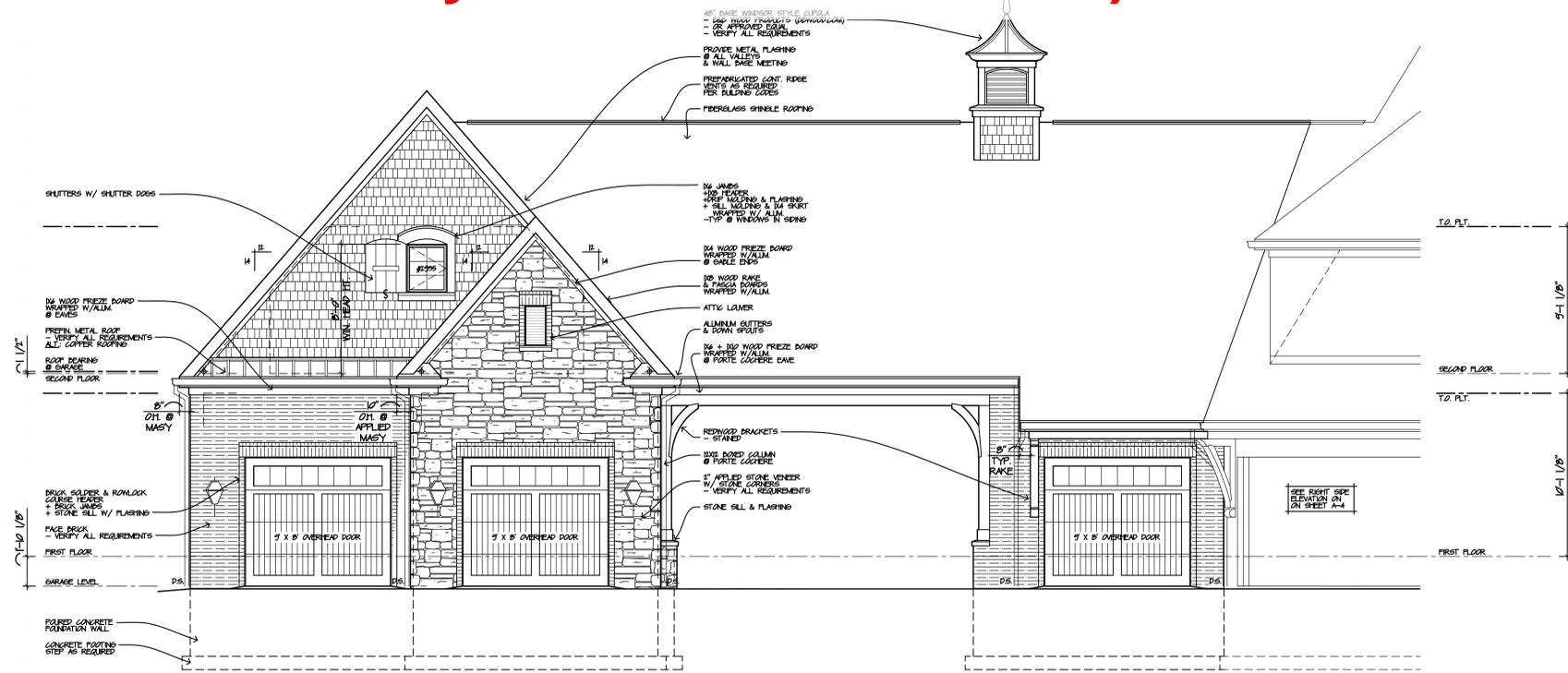
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Drawn By: BCK/TJL  
Checked By: TJL



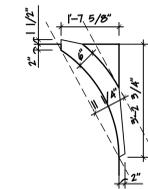
**Front Elevation (Northwest)**  
SCALE 1/4" = 1'-0"

# Previously Approved House Plans (House Currently Under Construction)



**Garage Rear Elevation (South)**  
SCALE 1/4" = 1'-0"

**Front Porch Bracket Detail**  
SCALE 1/2" = 1'-0"

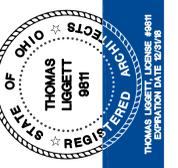


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DEPARTMENT

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7/20/18

**Zoning Certificate #:**  
**4024**



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	10-10-17 Revision
	1-2-18 Revision

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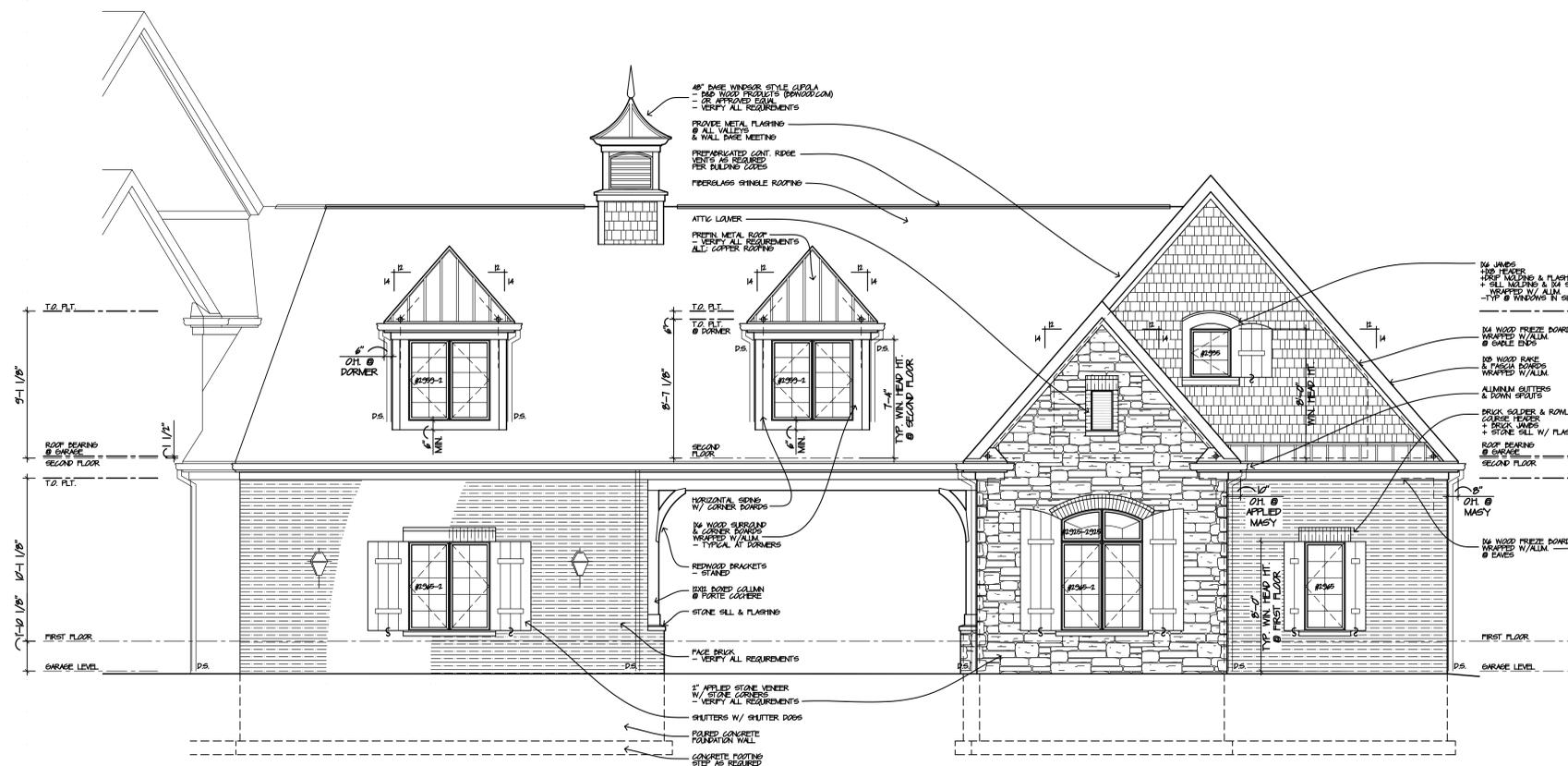
**The Arcus Group, Inc.**  
ARCHITECTS  
1244 Smith Court, #400  
Columbus, OH 43260  
Tel: 440.356.5330  
Fax: 440.356.5344

Elevations

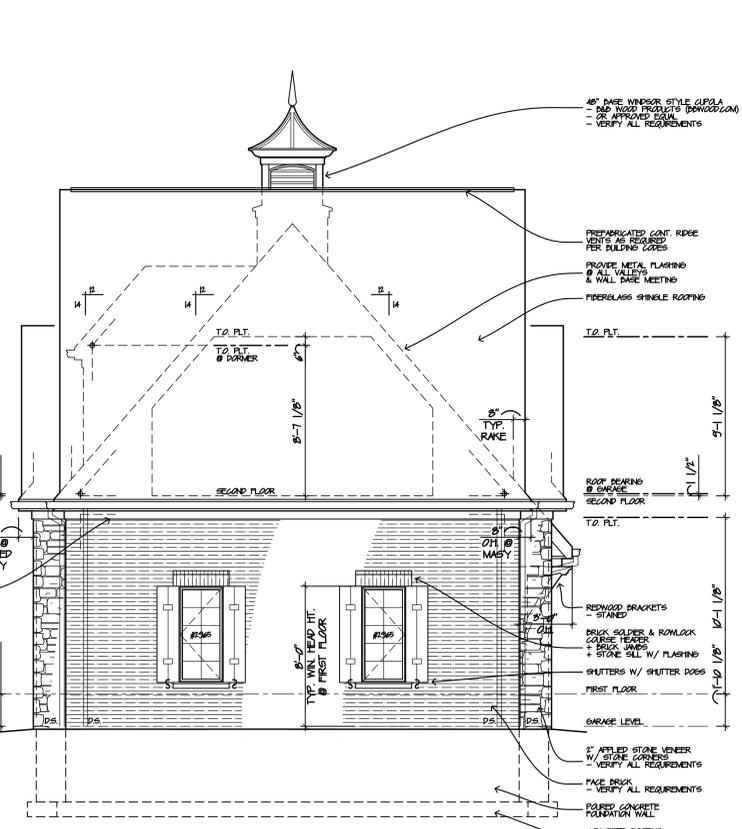
**A-3**

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Checked By: TJL



**Garage Front Elevation (North)**  
SCALE 1/4" = 1'-0"



**Garage Right Side Elevation (West)**  
SCALE 1/4" = 1'-0"

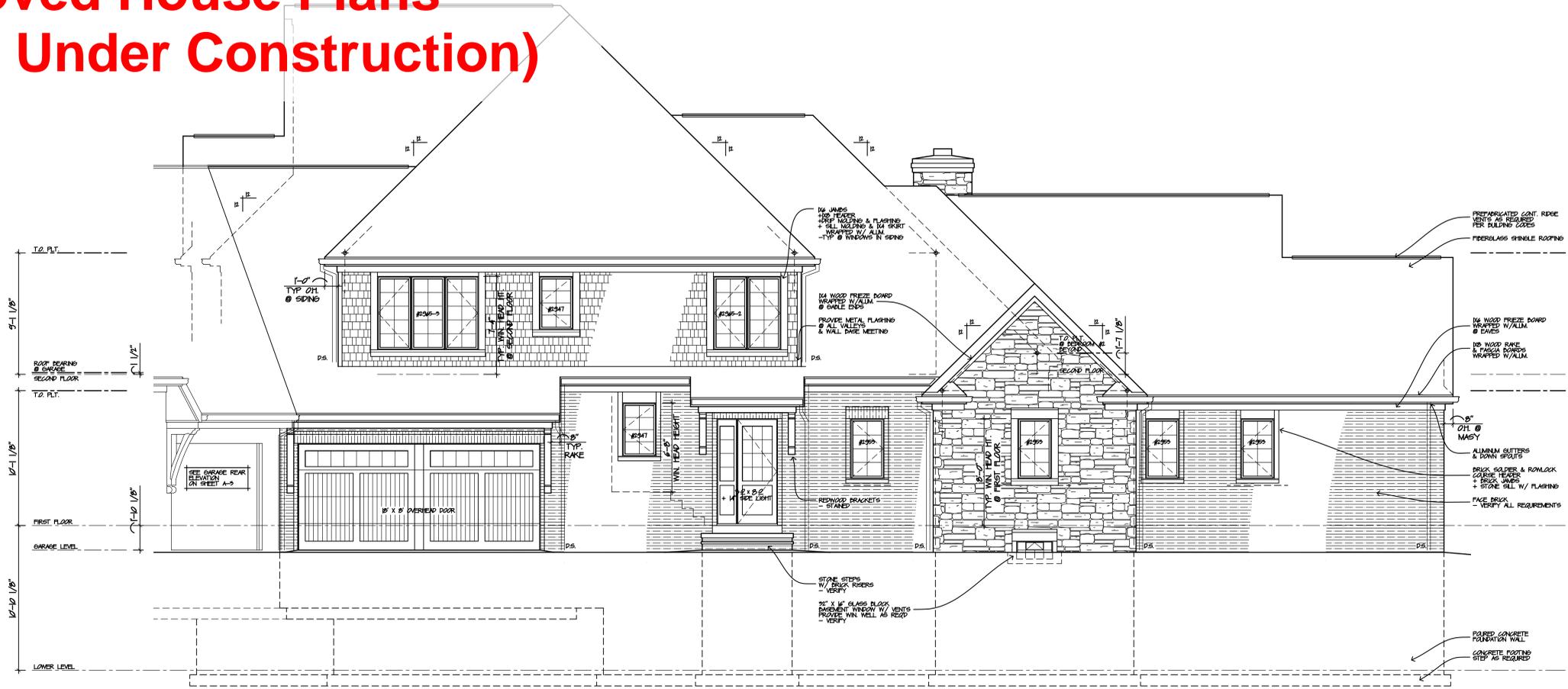
# Previously Approved House Plans (House Currently Under Construction)

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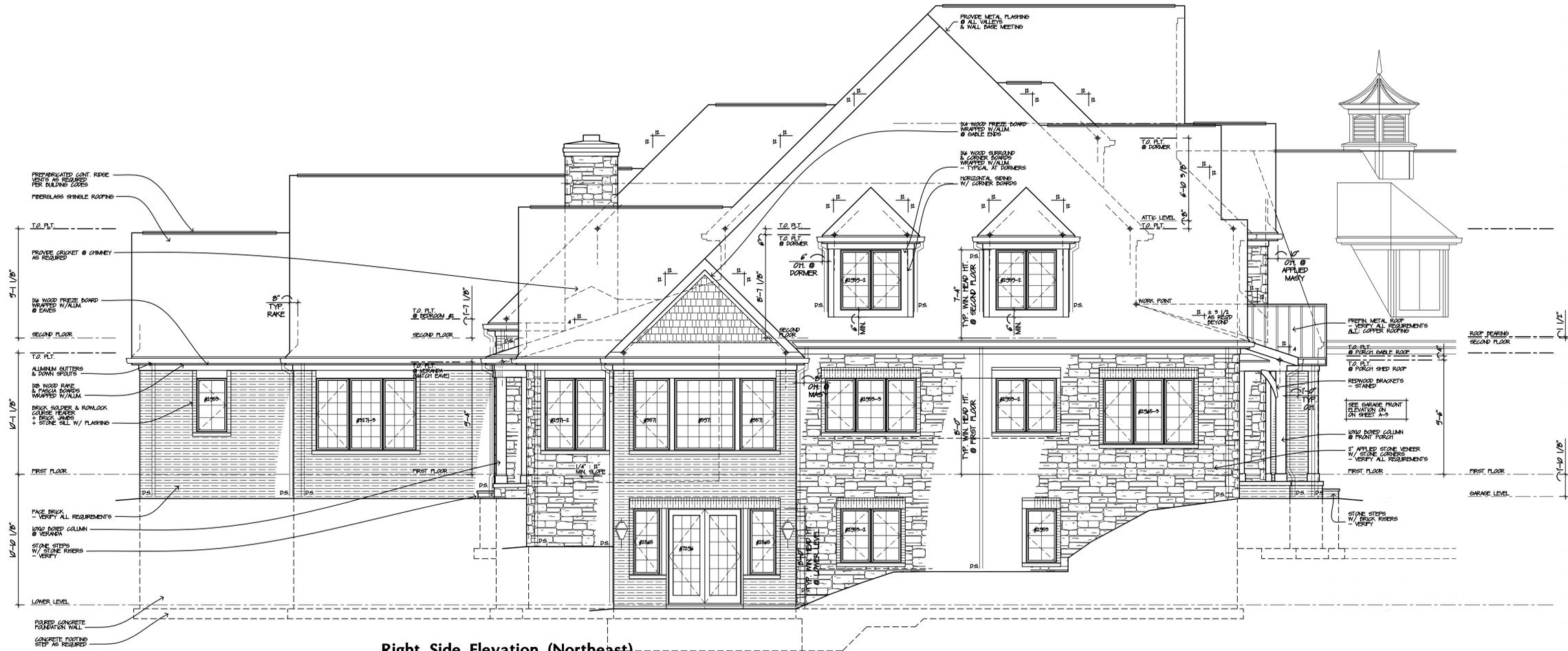
Approved

7/20/18

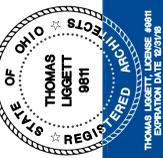
Zoning Certificate #: 4024



**Right Side Elevation (Southwest)**  
SCALE 1/4" = 1'-0"



**Right Side Elevation (Northeast)**  
SCALE 1/4" = 1'-0"



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	10-10-17 Revision
	1-18-18 Revision

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**Zack & Casie Markwell**  
2222 E. Streetsboro Street  
Hudson



**The Arcus Group, Inc.**  
ARCHITECTS  
2244 Smith Court, #416  
Hudson, OH 44130  
Tel: 440.356.5330  
Fax: 440.356.5594

Elevations

**A-4**

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Checked By: TJL



Front



Rear



Left



Right

