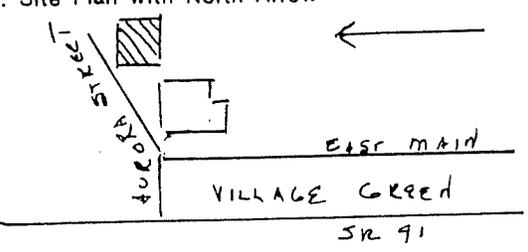


OHIO HISTORIC INVENTORY

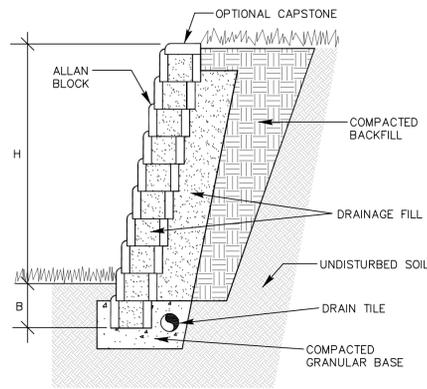
Ohio Historic Preservation Office
Ohio Historical Center
Columbus, Ohio 43211

1. No.		4. Present Name(s) WHEDON-FARWELL HOUSE	
2. County Summit		5. Other Name(s) Van Epps House; residence, R. Watson	
3. Location of Negatives HHA 39-29			
6. Specific Location 30 Aurora Street		16. Thematic Category C	28. No. of Stories 2
7. City or Town If Rural, Township & Vicinity Hudson		17. Date(s) or Period 1826	29. Basement? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
8. Site Plan with North Arrow 		18. Style or Design Greek Revival	30. Foundation Material tooled sandstone
9. Coordinates Lat. _____ Long. _____ U.T.M. Reference 17 463518 4565510		19. Architect or Engineer Lemuel Porter	31. Wall Construction wood frame
Zone Easting Northing 10 Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder Benjamin Whedon	32. Roof Type & Material hip - asph shingle
11. On National Register? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		21. Original Use, if apparent inn	33. No. of Bays Front 3 Side 3
12. Is It Eligible? Yes <input type="checkbox"/> No <input type="checkbox"/>		22. Present Use residence	34. Wall Treatment shiplap siding
13. Part of Estab. Hlst. Dist.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	35. Plan Shape square
14. District Potent'l? Yes <input type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name & Address, if known R. Watson 30 Aurora Street Hudson 44236	36. Changes (Explain in #42) Addition <input checked="" type="checkbox"/> Altered <input checked="" type="checkbox"/> Moved <input type="checkbox"/>
15. Name of Established District Hudson Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	37. Condition Interior excellent Exterior excellent
42. Further Description of Important Features Basement has whole tree logs as vertical supports; some horizontal beams have original wrought iron hooks; exterior entablature added or changed 1870's; roof line changed and Tuscan tower added same period; originally had simple gable roof, north-south ridge, evidenced by pockets of original rafters in attic; elaborate interior woodwork, actual swamp reed glued to mantel and chair rail instead of carving, double doorway arch, Corinthian (over)		26. Local Contact Person or Organization Hudson Heritage Association	38. Preservation Underway? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
43. History and Significance Benjamin Whedon came to Hudson in 1805, purchased this land in 1808. Building was originally an inn; young ladies' seminary around 1870. Owned 1867-73 by Charles Witty, carpenter and builder, who probably Victorianized. Charles Farwell bought in 1873, occupied by Farwell family until 1932, then became Hudson Primary School.		27. Other Surveys In Which Included	39. Endangered? By What? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
44. Description of Environment and Outbuildings Angled to west, partially facing Hudson Library, just off Village Green, in the heart of downtown Hudson.		40. Visible from Public Road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	41. Distance from and Frontage on Road 20' 12'
45. Sources of Information Files, Survey & Research Committee, HHA Personal observation		46. Prepared by L. Newkirk	Photo
		47. Organization HHA	
		48. Date	49. Revision Date(s)

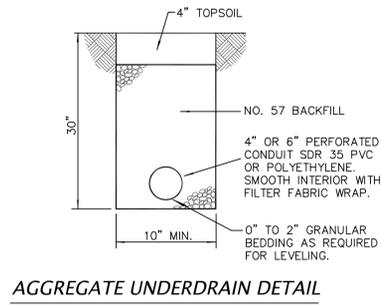
SUMMIT
WHEDON-FARWELL HOUSE
Van Epps House - residence R. Watson

12. (cont'd)

columns; barrel ceiling in entrance hall, probably 1870's; early Adam fireplace in parlor to right of entrance; parlor woodwork oval medallion, bow at top; similar details in parlor to left. Room behind parlor has random width horizontal wainscoting and chair rail. Corner posts exposed, beaded end. Black wrought iron door latches original. Black walnut or cherry visible in closet areas. First floor ceiling 9'.

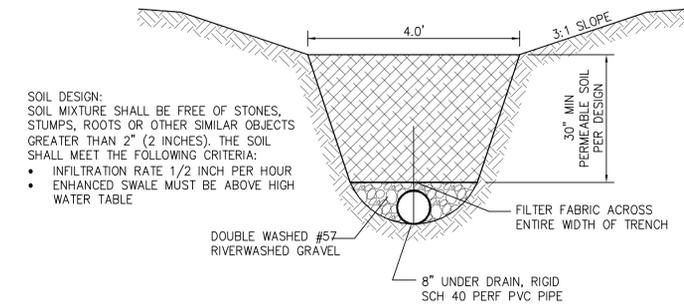


**ALLAN BLOCK GRAVITY SYSTEM
TYPICAL SECTION**



AGGREGATE UNDERDRAIN DETAIL

**OHIO
Utilities Protection
SERVICE**
Call Before You Dig
(800) 362-2764



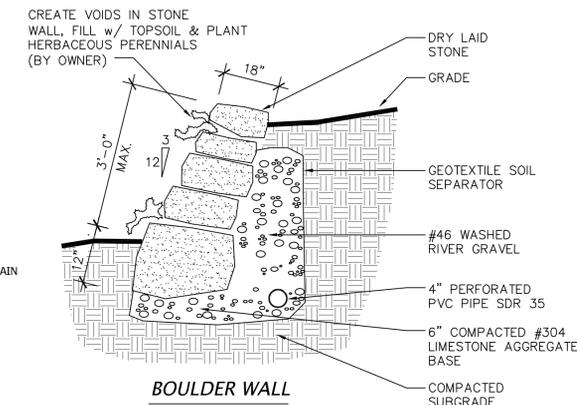
ENHANCED SWALE NOTES:
PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF ENHANCED SWALES. OWNER SHALL MAINTAIN PROPER OPERATION.

- OPERATION & MAINTENANCE REQUIREMENTS:**
- SWALES REQUIRE ROUTINE MAINTENANCE, INCLUDING MOWING, WATERING, FERTILIZING, AND REMOVAL OF SEDIMENT (ESPECIALLY BEHIND CHECK DAMS), WHICH CAN BE PERFORMED BY A LANDSCAPE MAINTENANCE CONTRACTOR OR GROUNDSKEEPER. IN DRY CLIMATES OR DURING SUMMER MONTHS, THEY MUST USUALLY BE WATERED TO KEEP THE VEGETATION (PREFERABLY TURF GRASSES) HEALTHY AND DENSE, SO THAT IT WILL BE EFFECTIVE DURING THE FIRST AUTUMN RAINS. FOR THIS REASON, THEY ARE MOST SUCCESSFUL IN A LANDSCAPED AREA THAT WILL BE IRRIGATED.
 - SEDIMENTS REMOVED DURING MAINTENANCE SHOULD BE TESTED ONCE FOR CLASSIFICATION AS HAZARDOUS WASTE. IN GENERAL, SEDIMENT ACCUMULATION RATES IN SWALES ARE LOW, AND IT IS UNLIKELY THAT SEDIMENT WILL NEED TO BE DISPOSED OF AS HAZARDOUS WASTE.
 - ALL CONTROL MUST BE INSPECTED ONCE EVERY 7 DAYS AND WITHIN 24 HOURS OF ANY STORM EVENT GREATER THAN 0.5 INCH IN 24 HOURS TIME. REPAIRS MUST BE PERFORMED WITHIN 3 DAYS OF THE INITIAL INSPECTION. SEDIMENT PONDS MUST BE REPAIRED WITHIN 10 DAYS OF THE INITIAL INSPECTION.
 - ANY AREAS AT FINAL GRADE OR THAT MAY LIE DORMANT FOR ONE YEAR OR MORE REQUIRE PERMANENT SEEDING WITHIN 7 DAYS OF THE MOST RECENT DISTURBANCE. ANY AREAS WITHIN 50 FEET OF ANY STREAM AND AT FINAL GRADE REQUIRE EROSION CONTROLS WITHIN 2 DAYS OF REACHING FINAL GRADE. 70% VEGETATIVE DENSITY IS REQUIRED ON ALL DISTURBED SOIL AREAS FOR STABILIZATION.

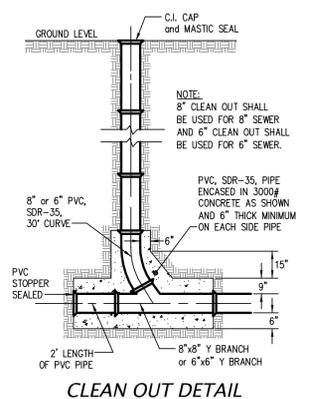
ENHANCED SWALE

Thanks Alicia, please see revised attachments for further info:

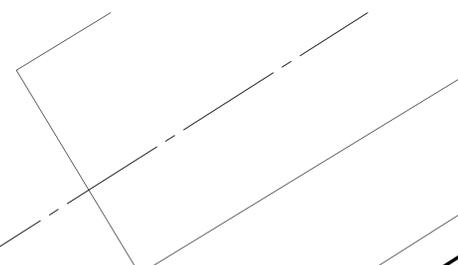
- unlock walls will not be visible along Aurora - any walls visible from Aurora will be natural stone pictured in 'landscape walls' image
- low stone wall will not hide view from the historic elevation, grade is retained to maintain the same elevation at th bottom of the front stoop steps (ref. to topo plan pg 13 and rendering pg 8)
- engineered site plan notes impervious surface coverage is less than 40%
- new wood fence to match existing wood fence at the back of the property (see pg 9 for images)
- during the demo of the rear of the house the historic siding was carefully removed and stored. Builder proposes using the reclaimed siding to patch the small window opening at the center of the north elevation, which is not original to the home. Patch will be filled, sanded, primed and painted so that seams are not visible and finish is consistent with that surrounding the opening.



BOULDER WALL



CLEAN OUT DETAIL

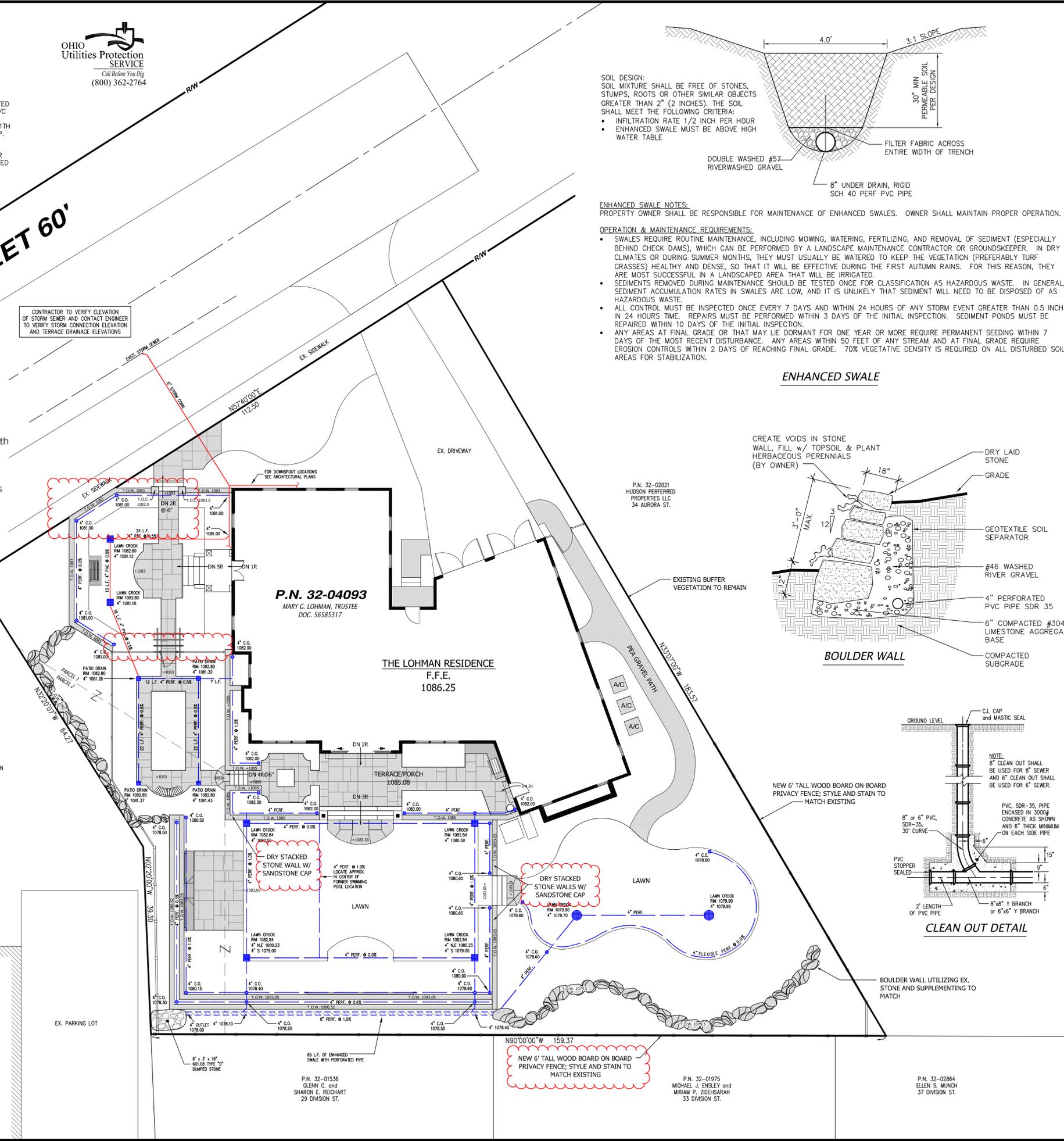
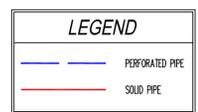


% OF IMPERVIOUS SURFACE:

Total Site Area	16,249 Sq. Ft.
Exist. House and Addition	3,322 Sq. Ft.
Walks, Patio, Stoops	1,965 Sq. Ft.
Total Impervious	5,287 Sq. Ft.
% Impervious	32.5%

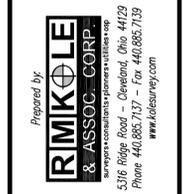
CONSTRUCTION AND DRAINAGE NOTES:

- The contractor shall notify the City of Hudson of their schedule for constructing the storm sewer connection.
- The contractor shall uncover the existing storm sewer in the curb lane of Aurora Street.
- The Contractor shall note the pipe size and elevation of the storm sewer and notify the engineer, Matthew Neff, (216)570-7981
- The City of Hudson will camera the existing storm sewer to verify condition.
- The engineer shall determine how much yard drainage will be able to flow by gravity to the Aurora St. storm sewer.
- The balance of the storm water will discharge to the Library property. An enhanced swale will be constructed along the south property line reducing the flow to the Library property.



REVISIONS:

- JUNE 13, 2022: ADDED BOULDER WALL, ENHANCED SWALE DETAILS
- JULY 12, 2022: ADDED % IMPERVIOUS SURFACE

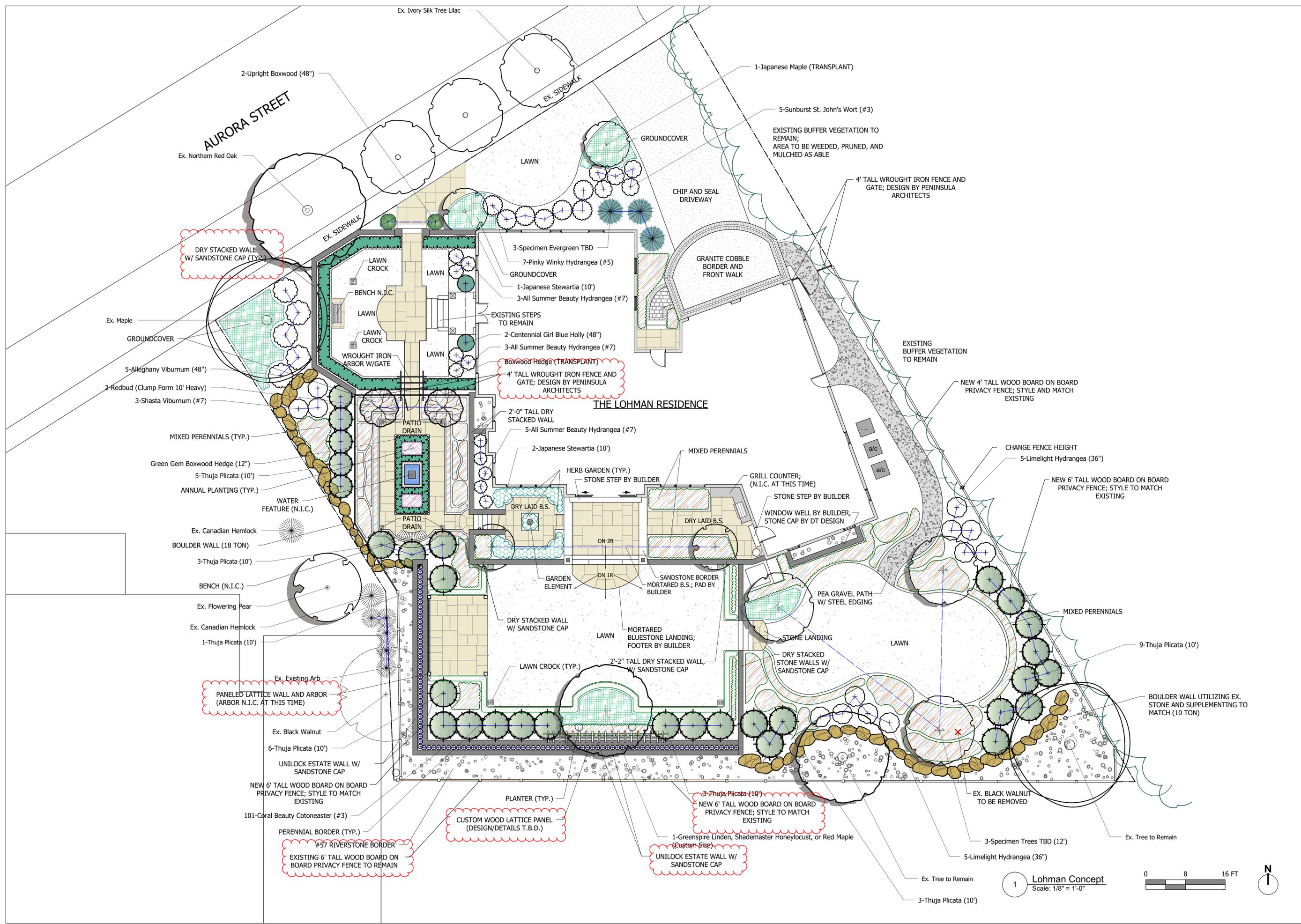


**SEWER LAYOUT
THE LOHMAN RESIDENCE
30 AURORA STREET
HUDSON, SUMMIT COUNTY, OHIO**

DATE: APRIL 18, 2022
SCALE: 1" = 10'
DRAWN BY: R.D.S.
FILE NO. 22103 SEW
SHEET 1 OF 1

The Lohman Residence

30 Aurora Street
Hudson, Ohio



Date: 06.07.2021
Drawn by: DT

Revised:
 10.29.2021
 11.29.2021
 12.30.2021
 02.02.2022
 04.11.2022
 04.19.2022
 05.10.2022
 05.25.2022

Drawing Title:

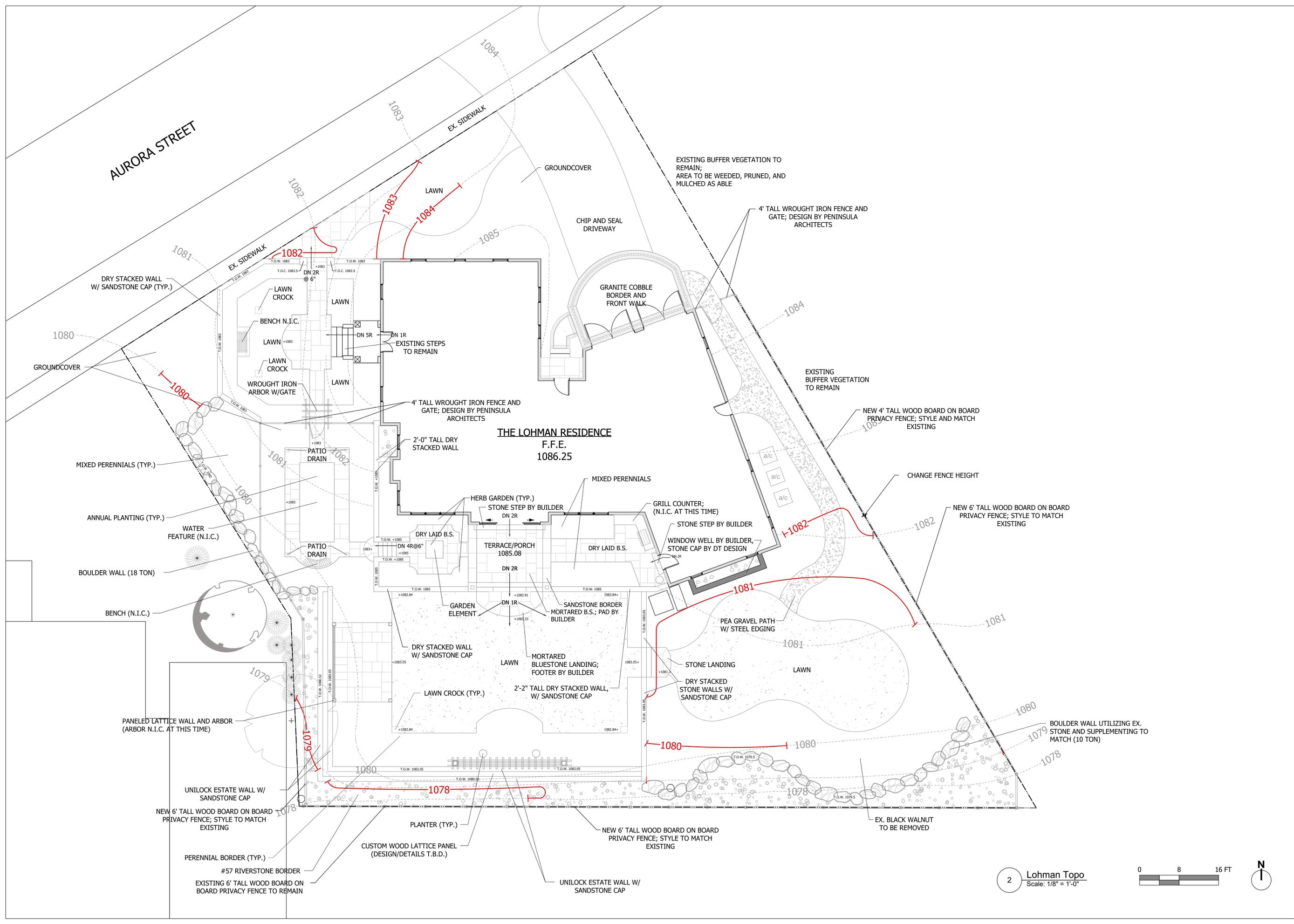
Lohman
Revised
Landscape
Concept

L-1.0

1 Lohman Concept
 Scale: 1/8" = 1'-0"

The Lohman Residence

30 Aurora Street
Hudson, Ohio



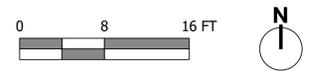
Date: 06.07.2021
Drawn by: DT

- Revised:
- 0 10.29.2021
 - 0 11.29.2021
 - 0 12.30.2021
 - 0 02.02.2022
 - 0 04.11.2022
 - 0 04.19.2022
 - 0 05.10.2022
 - 0 05.25.2022

Drawing Title:

Lohman
Topo
Concept

L-1.1





30 AURORA STREET
1826



HISTORIC IMAGES FROM HUDSON HERITAGE ASSOCIATION REPORT

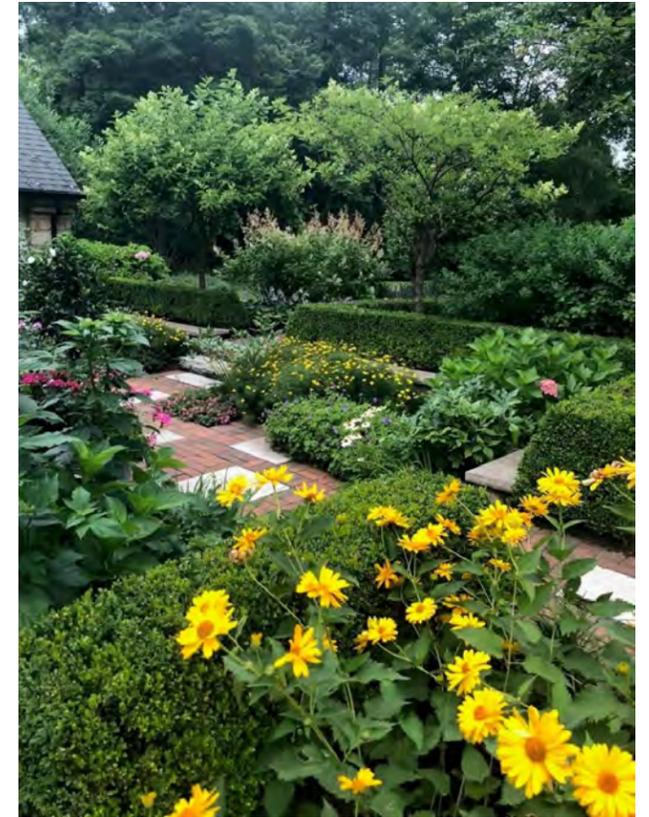
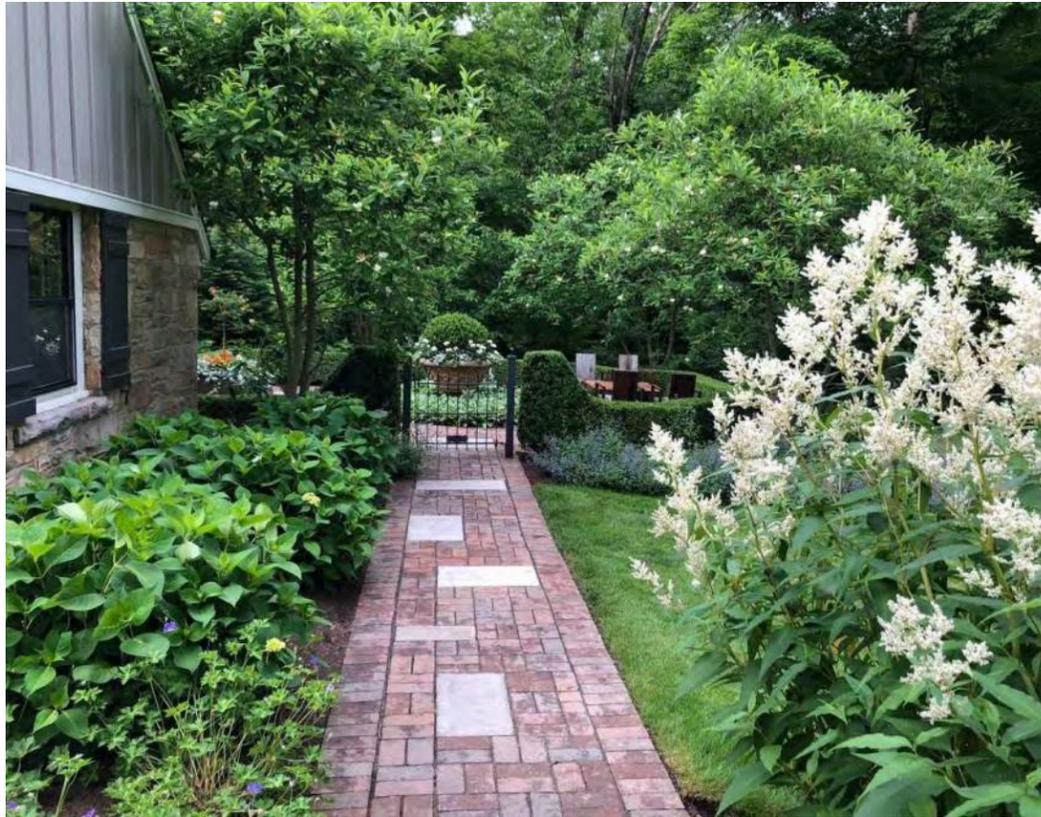


30 AURORA STREET
CURRENT

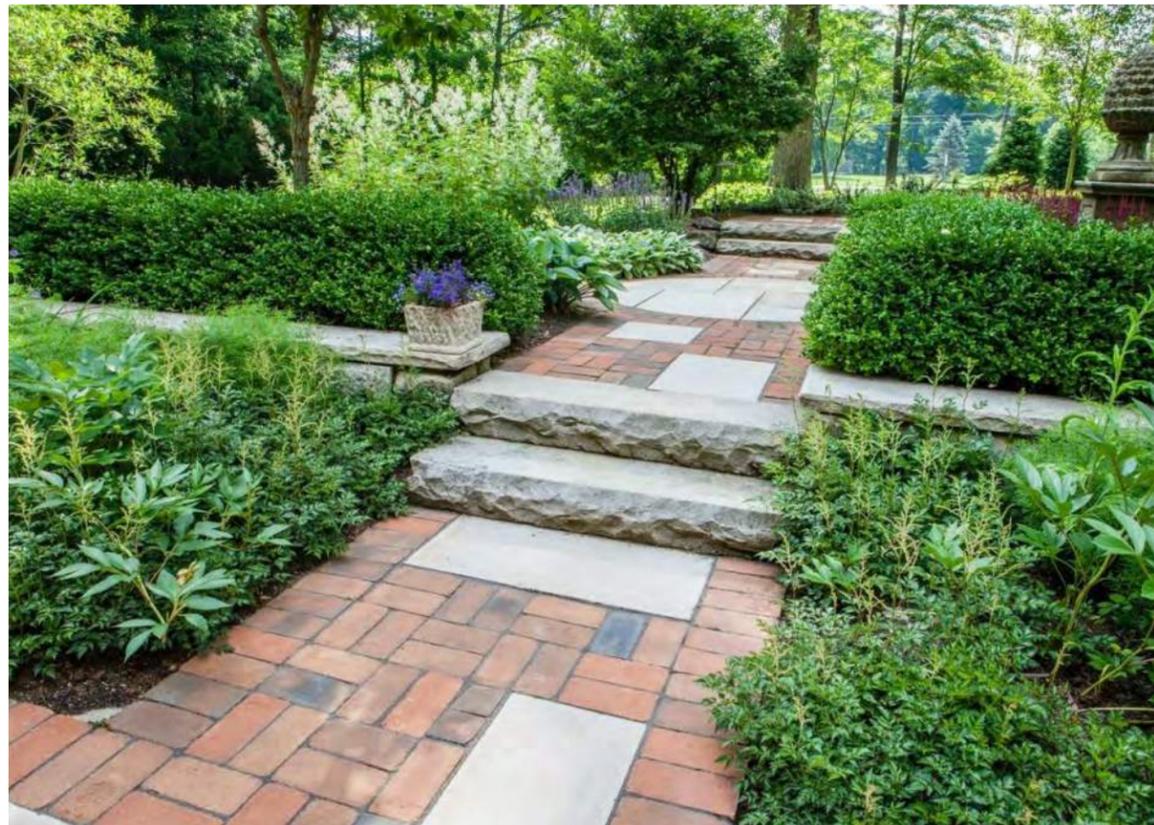
Removal of window

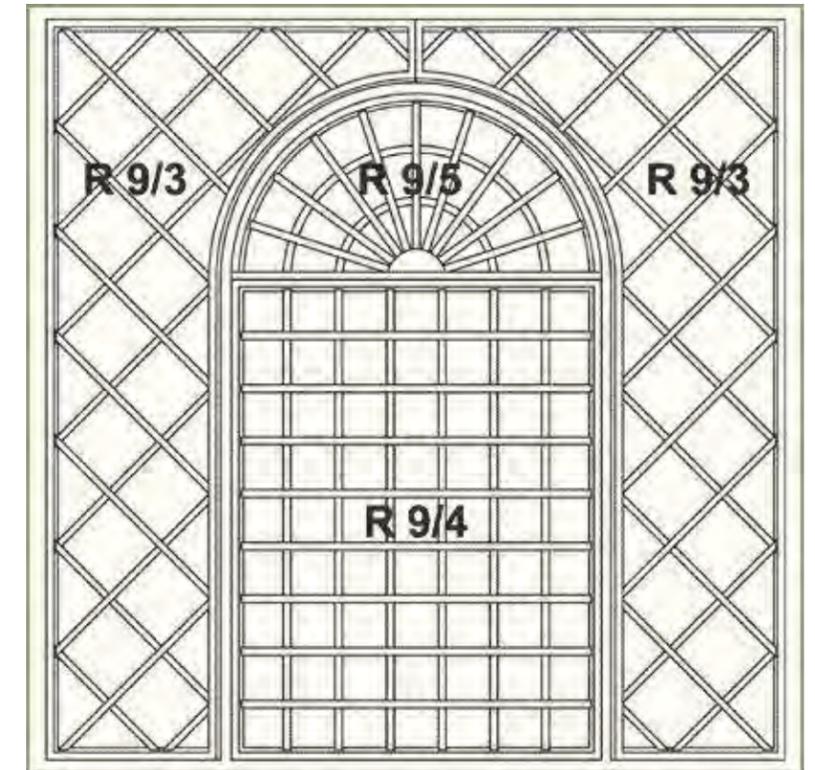
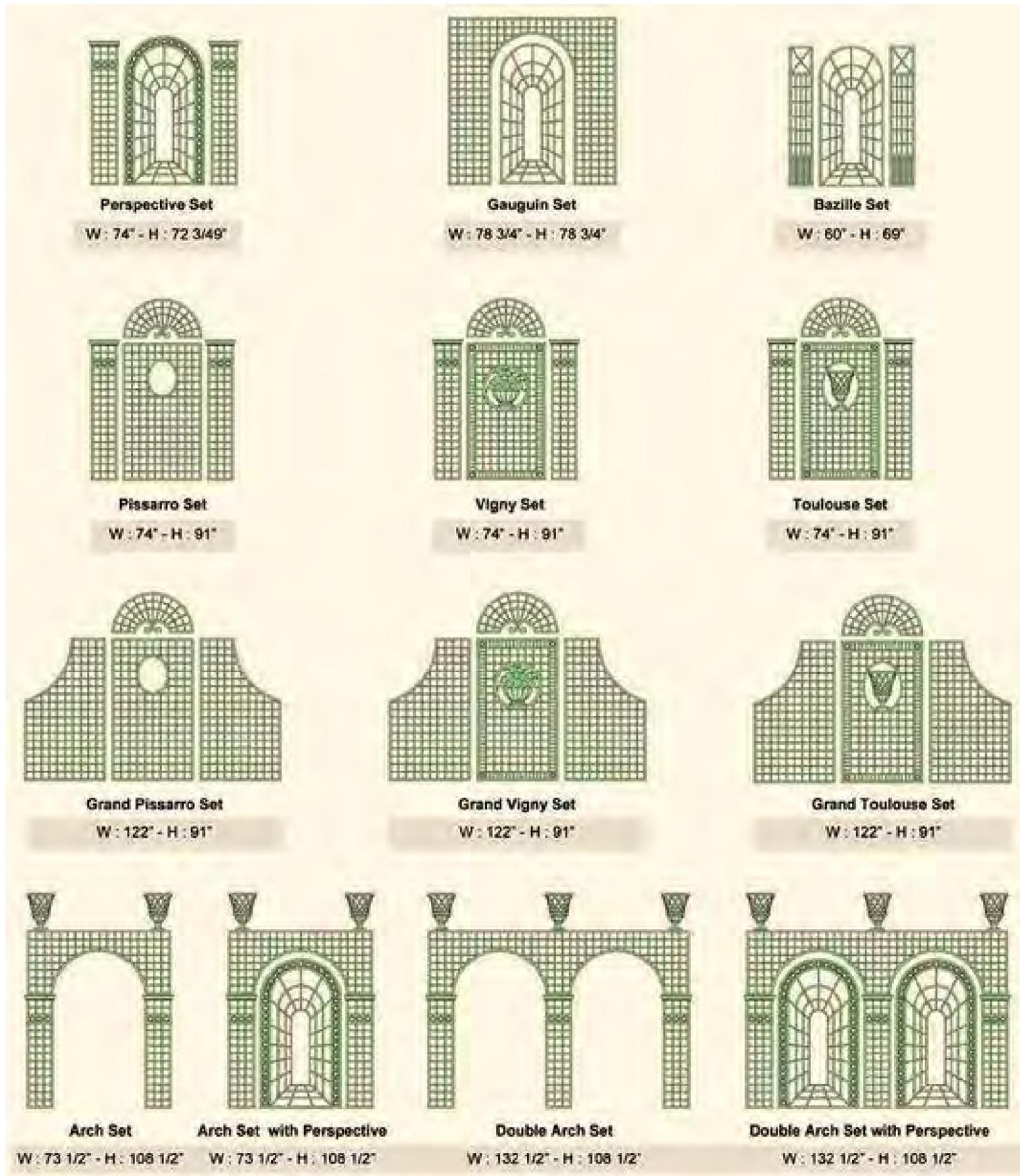




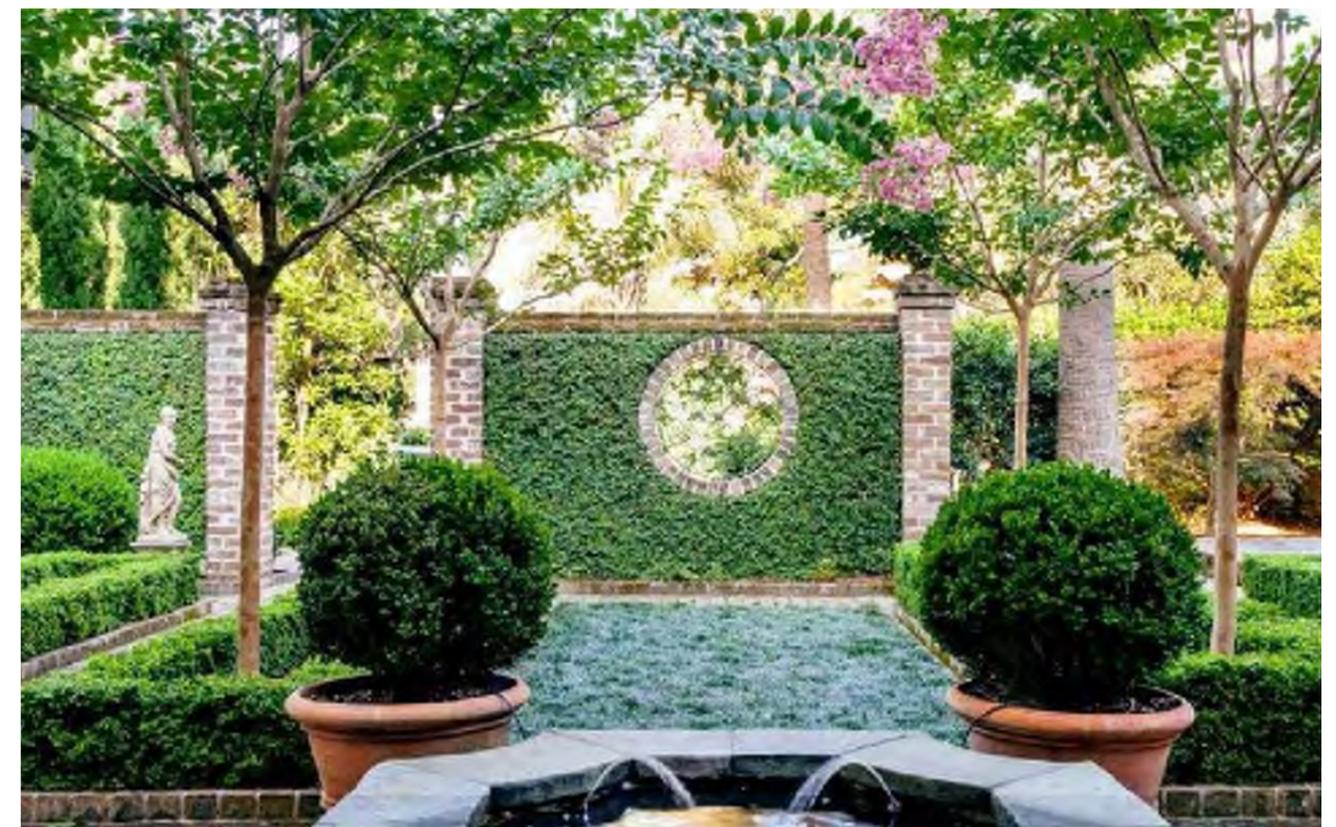


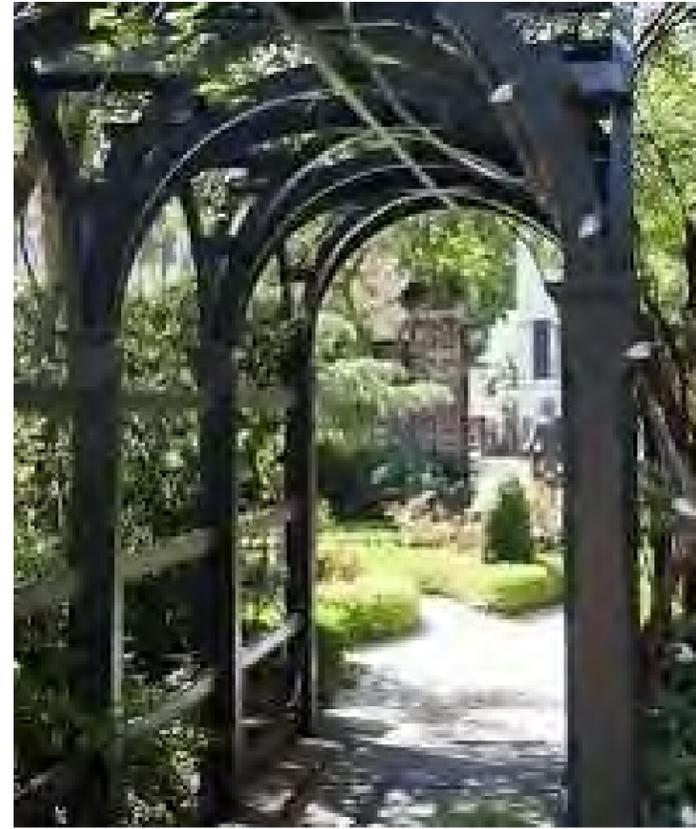
GARDEN PRECEDENT IMAGES





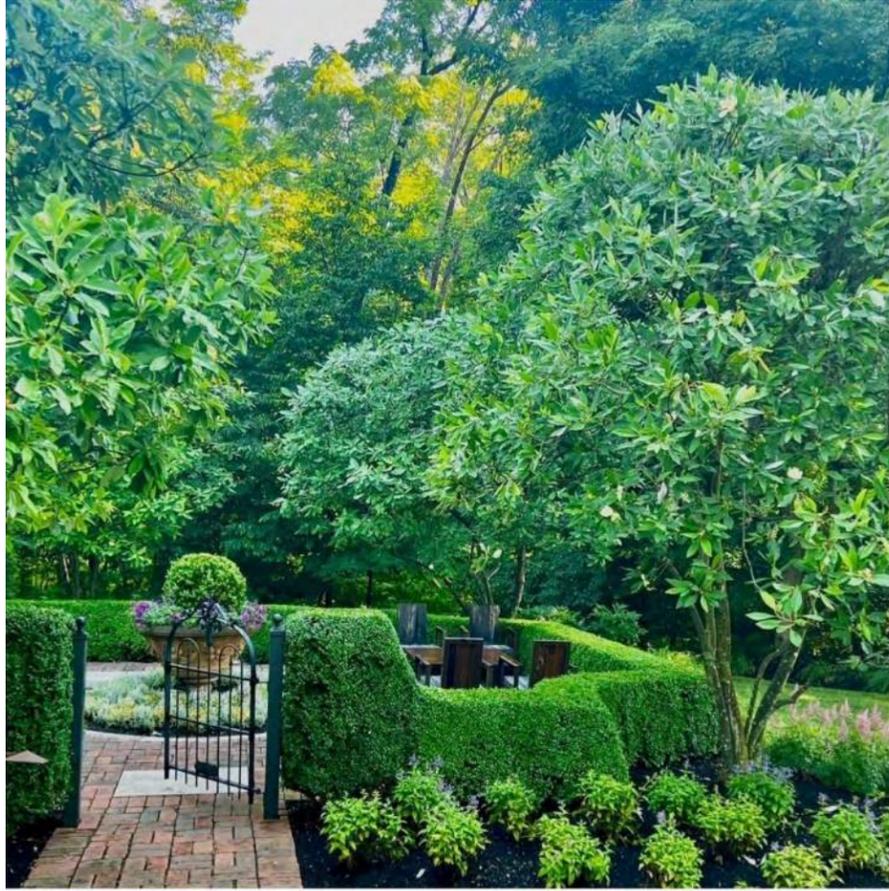
LATTICE PATTERN & GARDEN FEATURES PRECEDENT IMAGES





LATTICE PATTERN & GARDEN FEATURES PRECEDENT IMAGES





30 AURORA GARDEN INSPIRATION



WATER FEATURE

**FOUND / RECLAIMED FEATURE
APROX. HT: 48"-52"**



LANDSCAPE WALLS

**WALLS VISIBLE FROM AURORA
STREET TO BE STONE**



EXISTING WOOD FENCE

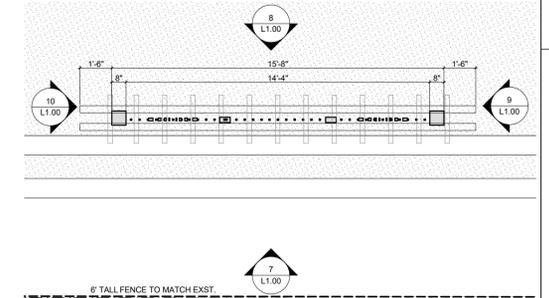


DATE	ISSUE
10-20-2020	SD
11-03-2020	SD II
11-06-2020	SD II
11-16-2020	SD II
12-02-2020	INFORMAL REVIEW
01-19-2021	HUDSON REVIEW
02-16-2021	REVISIONS
03-02-2021	HUDSON REVIEW
03-31-2021	CD
04-30-2021	COUNTY RESPONSE
05-26-2021	REVISIONS
10-29-2021	EXISTING MILLWORK
12-15-2021	MILLWORK PROGRESS
06-30-2022	LANDSCAPE

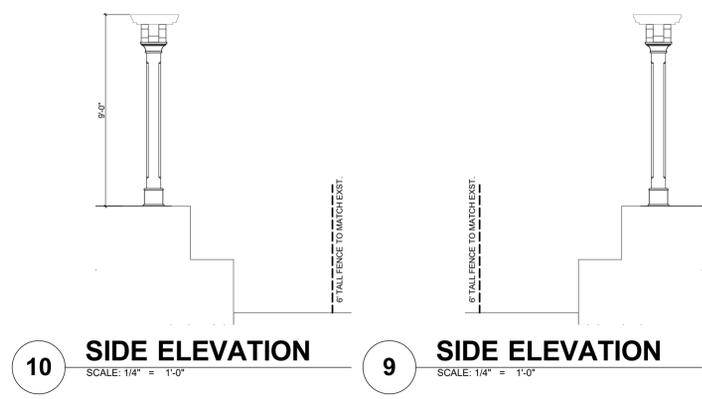
SCALE AS NOTED

GARDEN STRUCTURES

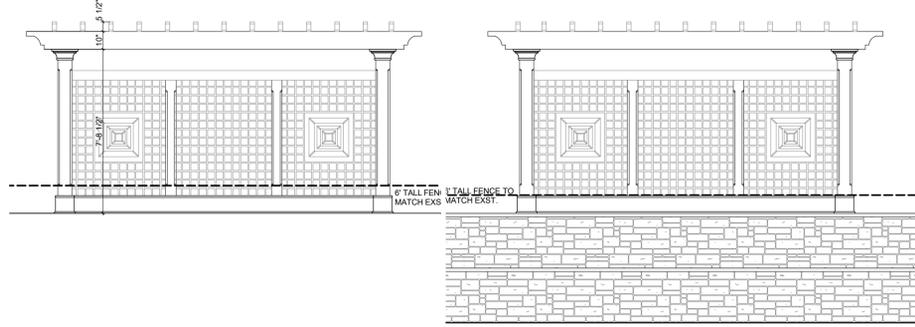
L1.00



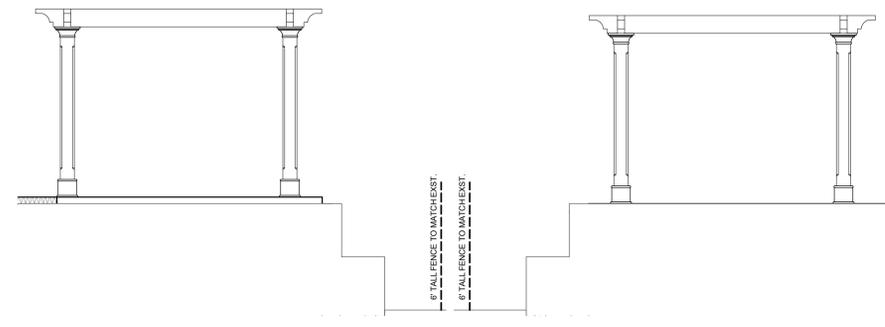
6 FEATURE ARBOR
SCALE: 1/4" = 1'-0"



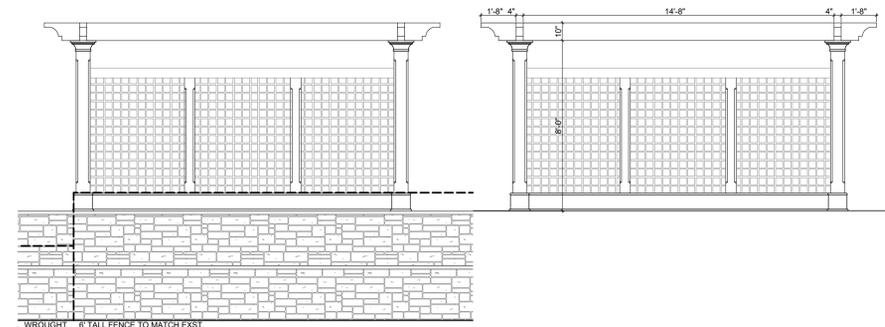
10 SIDE ELEVATION SCALE: 1/4" = 1'-0"
9 SIDE ELEVATION SCALE: 1/4" = 1'-0"



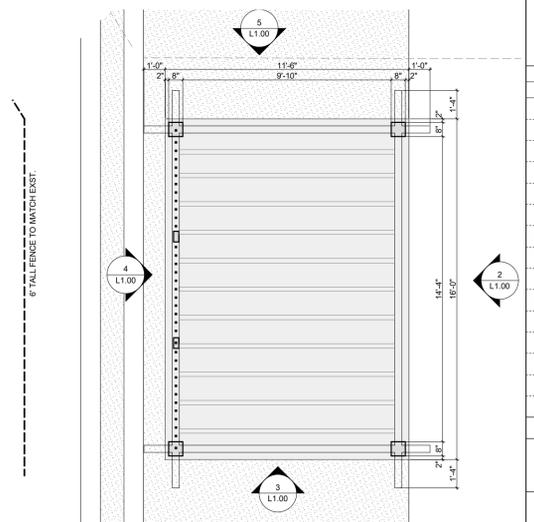
8 GARDEN ELEVATION SCALE: 1/4" = 1'-0"
7 REAR ELEVATION SCALE: 1/4" = 1'-0"



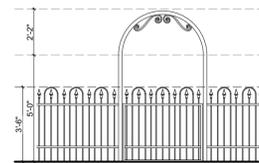
5 SIDE ELEVATION SCALE: 1/4" = 1'-0"
3 SIDE ELEVATION SCALE: 1/4" = 1'-0"



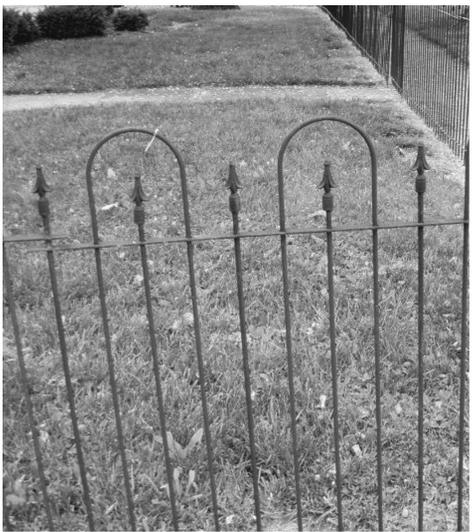
4 REAR ELEVATION SCALE: 1/4" = 1'-0"
2 GARDEN ELEVATION SCALE: 1/4" = 1'-0"



1 PERGOLA
SCALE: 1/4" = 1'-0"



11 GATE
SCALE: 1/4" = 1'-0"



WROUGHT IRON FENCE - 42" TALL (WEST GARDEN FENCE)



UNILOCK ESTATE WALL - REAR RETAINING WALLS (BEHIND FENCE)



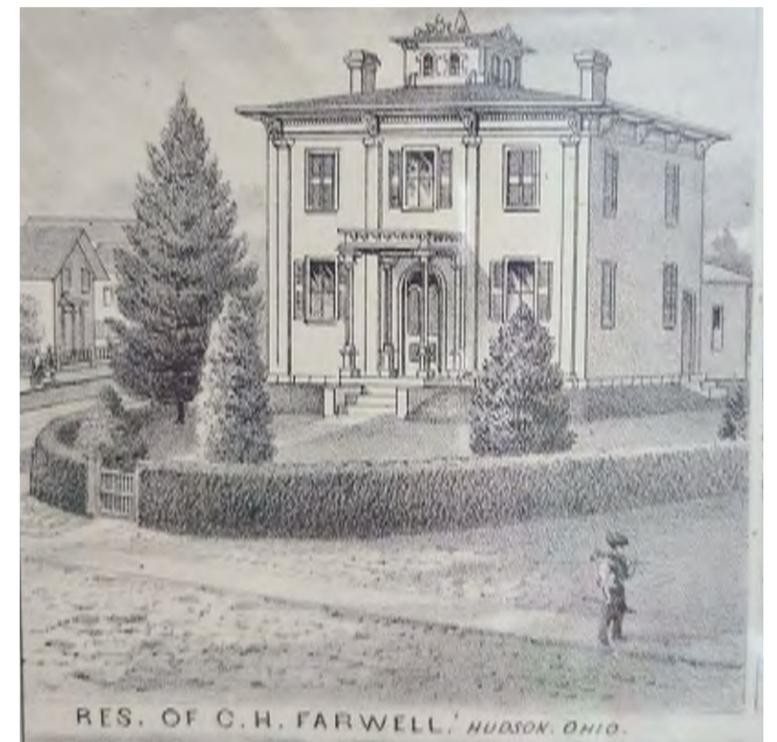
NATURAL STONE - FRONT LANDSCAPE WALLS / PAVERS





EXISTING LARGE WINDOWS

**EXISTING SMALL CENTER WINDOW
(REQUEST FOR REMOVAL)**



30 Aurora Street

RES. OF C. H. FARWELL, HUDSON, OHIO.

Site Photos



Site Photos

