

Meeting Date:

November 8, 2021

Location:

5445 Hudson Industrial Pkwy

Parcel Number

3010059

Request:

Site Plan Application

Applicant:

Trevor Extine, Geis Companies

Property Owner:

Ramco Associates LLC

Zoning:

D8-Industrial/Business Park

Case Manager:

Nick Sugar

Staff Recommendation

Approval subject to conditions on page 3.

Contents

- Site Plan/Grading Plan, 10.15.21
- Floor Plan/Elevations, 11.15.21
- Landscape Plan, 7.1.15
- Lighting Plan, 10.13.21
- Asst. City Engineer Review dated 11.3.21
- Site Photos, 11.1.21



Existing Conditions, Summit County GIS

Project Background:

Ramco is a manufacturer and distributor of automotive fasteners and stampings. The existing 164,874 sq. ft. building was constructed in 2016. The site is approximately twenty-four (24) acres. The proposed scope of work would include the construction of a 49,354 sq. ft. addition to the west end of the building. Staff notes the proposed addition was referenced in the 2015 review (PC case 2015-04) of the building as a future expansion.

Adjacent Development:

The site is located within the interior of District 8 and adjacent to a multi-office building and Gemco Medical to the north, property owned by Ohio Edison containing powerlines to the south, vacant property to the east, and Joann Stores to the west.

Hudson Planning Commission	SITE PLAN REVIEW
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District Standards (Section 1205)

- ☒ **Property Standards** The proposed building and site improvements meet applicable dimensional standards.

Use Standards (Section 1206)

- ☒ **Use** The use is classified as warehousing, distribution and storage and is permitted by right within District 8.

Site Plan Standards (Section 1207)

- ☒ **Impervious Surface** The maximum impervious surface coverage shall not exceed seventy-five (75) percent of the total gross area of the underlying lot or lots. A total of thirty-three (33) percent of the site would be impervious areas, including the proposed addition.
- ☒ **Limits of Disturbance, Wetlands, and Tree Preservation** Staff notes the full addition footprint area was cleared and graded as part of the building construction in 2016. The proposed addition would be constructed between the existing drive and the existing building.
- ☒ **Stormwater** The addition would utilize the existing stormwater basins on-site. Final design shall be compliant with the City of Hudson Engineering Standards and be reviewed and accepted by the city's Engineering Department.
- ☐ **Landscaping** The site is subject to compliance with Bufferyard A (minimum 5 ft.) at the property boundaries and front yard landscaping between the building and the street. The space between the building and street must be landscaped with a mixture of trees, shrubs, planting beds, an/or perennials in an area totaling at least ten (10) percent of the minimum required front setback area.
- Staff notes the existing landscaping along the property lines is in compliance with Bufferyard A. Staff recommends Bufferyard D (minimum 25 ft.) be installed between the addition and Hudson Industrial Parkway to meet the Land Development Code requirements for front yard landscaping as well staff's recommendation to the Industrial Design Subcommittee.
- ☐ **Parking** Staff notes there are currently one hundred fifty-five parking spaces onsite. The proposed building expansion would not include additional parking. The use requires one space for each employee on the shift with the highest number of employees. Applicant to submit an updated parking/employee calculation for verification.
- ☒ **Exterior Lighting** The applicant has submitted a photometric plan with proposed lighting levels in compliance with the Land Development Code. The proposed addition would be illuminated by a series of LED wall packs.

Hudson Planning Commission	SITE PLAN REVIEW
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- ☒ **Architectural Design** The architectural design will be reviewed for compliance with the Industrial Design Standards by the Industrial Design Subcommittee of the Planning Commission.

City Departments:

- ☒ **Engineering** Assistant City Engineer Nate Wonsick has submitted a review letter dated November 3, 2021. Mr. Wonsick notes the applicant shall verify the storm water is controlled so that the pre-developed peak flows are not exceeded for all designed storms. Mr. Wonsick also notes existing storm water management easements will require an updated and recorded Long Term Maintenance Agreement.
- ☒ **Fire Department** Fire Marshal Shawn Kasson has approved the review for the Fire Department with no comments.

Findings:

The staff finds that the application is in substantial compliance with the use, zoning development site plan, and other governmental regulations, and land disturbance and grading review contained in Section 1204.04.

Required PC Action

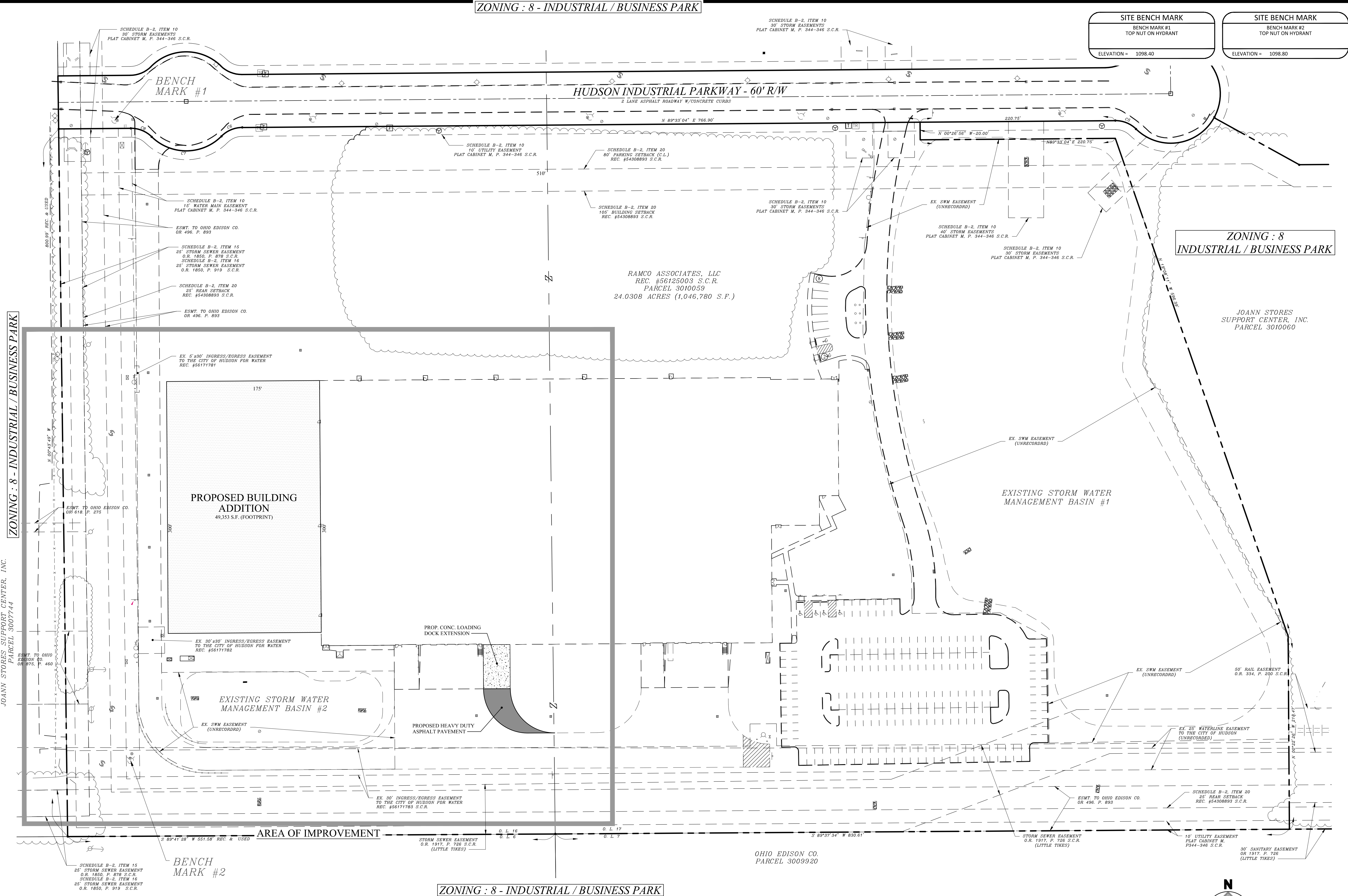
The PC shall consider the development application, the staff report, and then take final action. PC shall approve, approve with conditions, or deny the application based on its compliance with the appropriate review standards. All decisions of the Commission shall be based on findings of fact related to the relevant standards of the Code.

Recommendation

Approve the application for the proposed 49,354 sq. ft. addition per Case 2021-1166, according to plans received October 15, 2021 subject to the following conditions:

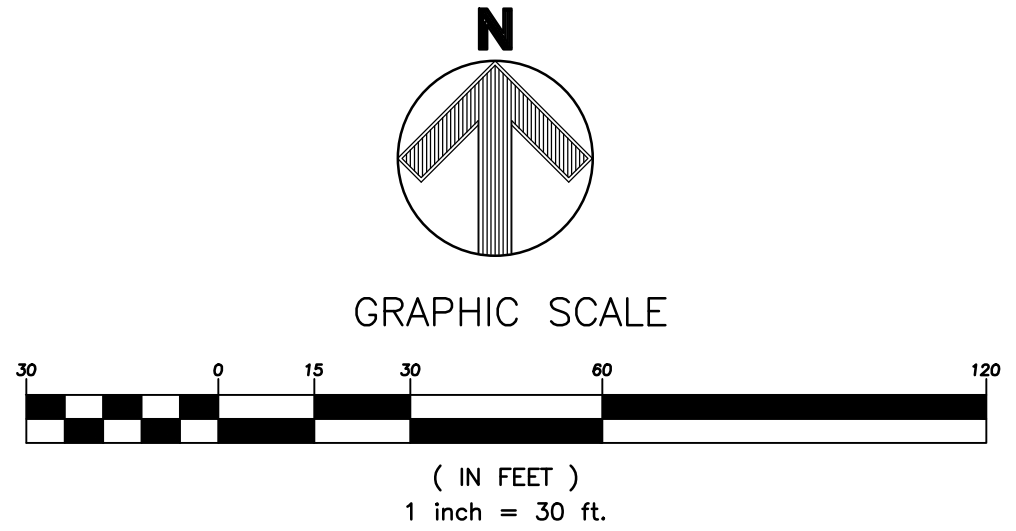
1. Landscape Bufferyard D (minimum 25 ft.) shall be installed between the addition and Hudson Industrial Parkway.
2. Applicant to submit an updated parking/employee calculation to verify compliance with Section 1207.12(f) "Parking Space Requirements".
3. Subject to the Planning Commission acceptance of the recommendation of the Industrial Design Subcommittee regarding the architectural design.
4. The comments of Assistant City Engineer, Nate Wonsick must be addressed per the November 3, 2021 correspondence.

ZONING : 8 - INDUSTRIAL / BUSINESS PARK



ZONING : 8 - INDUSTRIAL / BUSINESS PARK

NUMBER	CENTRAL ANGLE	CHORD BEARING	RADIUS	ARC LENGTH	CHORD LENGTH
C1	90°43'12"	S 44°40'52" W	30.00	47.50	42.69
C2	NOT USED				
C3	44°48'22"	S 23°04'55" E	33.50	26.20	25.53
C4	179°50'31"	N 44°26'10" E	56.00	175.77	112.00
C5	44°48'22"	S 68°02'45" E	33.50	26.20	25.53
C6	44°48'22"	N 67°08'53" E	33.50	26.20	25.53
C7	89°36'43"	N 89°33'04" E	56.00	87.59	78.93
C8	44°48'22"	S 68°02'45" E	33.50	26.20	25.53
C9	74°24'43"	N 08°16'44" W	56.00	72.73	67.72
C10	105°25'48"	N 81°38'31" E	56.00	103.05	89.11



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STATE OF OHIO
MATTHEW WEBER
61709
REGISTERED PROFESSIONAL ENGINEER

Reg. No.: 61709

OWNER:

RAMCO SPECIALTIES, INC.

5369 HUDSON DRIVE
HUDSON, OHIO
PHONE: (330) 653-5135

CLIENT:

GEIS CONSTRUCTION

10020 AURORA-HUDSON RD.
STREETSBORO, OHIO
JEN DOTSON
PHONE: (216) 218-3507

RAMCO SPECIALTIES
2021 EXPANSION
5445 HUDSON INDUSTRIAL PKWY, HUDSON, OH

Issue Date
10-15-2021

OVERALL SITE PLAN

C100A
Project No. 2021-339



EX. 1-STORY CONCRETE BUILDING
5445 HUDSON INDUSTRIAL PKWY.
HUDSON, OHIO

EX. FROST PAD
(TO BE REMOVED, TYP OF 3)

EX. 6" SCH. 40 SAN LAT. @ 1.0% MIN. (TO REMAIN)

EX. 10" D.I. FIRE WATER MAIN (TO REMAIN)

4" DOMESTIC WATER SERVICE (TO REMAIN)

1103 — EX. 4" D.I. FDC LINE —

1102
1101

109

1094

1098

191 E

1

EX WATER — — — — EX WATER — — — —

1100

1098

1096

1094

1092

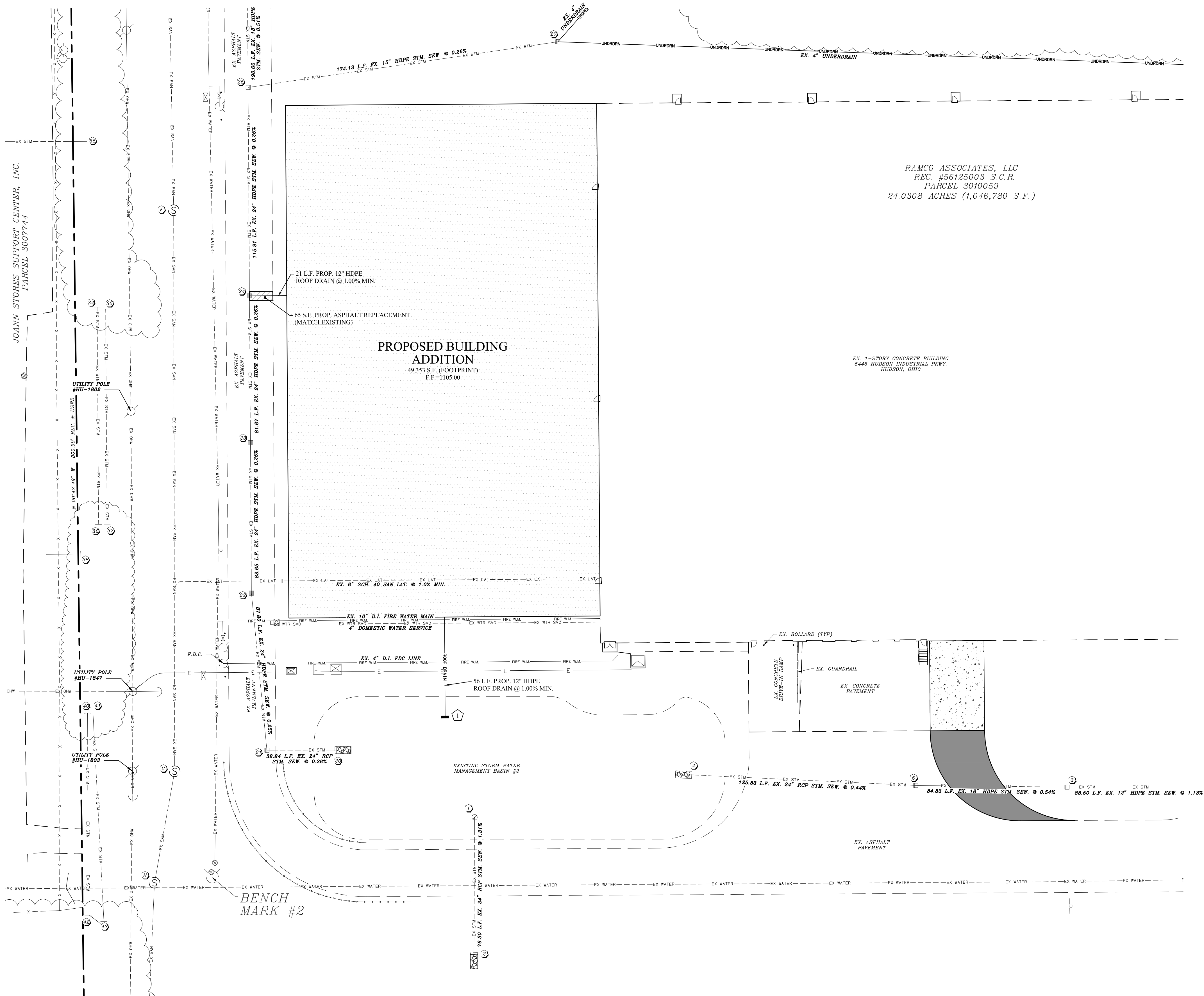
1090

1089
1090

1092

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

Project No. 2021-339



SITE BENCH MARK
BENCH MARK #1
TOP NUT ON HYDRANT
ELEVATION = 1098.40

SITE BENCH MARK
BENCH MARK #2
TOP NUT ON HYDRANT
ELEVATION = 1098.80

EX. STORM
STRUCTURE
SCHEDULE

- 1 EX. OUTLET STRUCTURE
- 2 EX. ODOT HW 1.1
INV. 1090.50, 24" N
- 3 EX. ODOT CB 2-3
TOP 1096.00
INV. 1095.00, 12" E
INV. 1094.50, 18" W
- 4 EX. ODOT HW 2.1
INV. 1093.00, 24" E
- 5 EX. ODOT CB 2-3
TOP 1099.00
INV. 1094.05, 18" E
INV. 1093.55, 24" W
- 6 EX. ODOT CB 2-3
TOP 1099.00
INV. 1096.00, 12" W
- 7 EX. ODOT HW 2.1
INV. 1093.00, 24" W
- 8 EX. ODOT CB 2-3
TOP 1103.30
INV. 1093.10, 24" N & E
- 9 EX. ODOT CB 2-3
TOP 1102.00
INV. 1093.32, 24" N & S
- 10 EX. ODOT CB 2-3
TOP 1104.00
INV. 1093.53, 24" N & S
- 11 EX. ODOT CB 2-3
(TO BE MODIFIED)
TOP 1104.00
INV. 1093.74, 24" N & S
INV. 1094.74, 12" E (PROP.)
- 12 EX. ODOT CB 2-3
TOP 1104.00
INV. 1094.78, 15" E
INV. 1094.53, 18" N
INV. 1094.03, 24" S
- 13 EX. ODOT CB 2-2
TOP 1097.00
INV. 1095.23, 15" W
INV. 1095.50, 4" N&E
- 14 36" CMP INV. S=1086.85
- 15 48" CMP INV. S=1087.42
- 16 36" CMP INV. N=1085.98
- 17 48" CMP INV. N=1086.06
- 18 8" CMP INV. W=1089.12
- 19 10" CMP INV. S=1089.69
- 20 64" RCP INV. S=1086.53
- 21 10" CMP INV. N=1090.54
- 22 54" RCP INV. N=1086.50
- 23 24" CLAY INV. W=1087.99

EX. SANITARY
STRUCTURE
SCHEDULE

- 1 SANITARY MANHOLE
RUM-1094.09
10" PVC INV.
N&S=1089.04
- 2 SANITARY MANHOLE
UNABLE TO FIELD LOCATE: BURIED
UNDER CONCRETE DEBRIS. MANHOLE
SHOWN FOR CITY OF HUDSON
AS-BUILT PLANS SHEET C3.4
RUM-AS-BUILT ELEVATION NOT
LABELED
10" PVC INV. N&W=1088.18 CALC.
USING AS-BUILT PIPE SLOPE, THEN
ADJUSTED TO TOPOGRAPHIC SURVEY
VERTICAL DATUM. FIELD VERIFY
WHEN MANHOLE UNCOVERED
- 3 SANITARY MANHOLE
RUM-1095.45
10" PVC INV.
N&S=1087.90

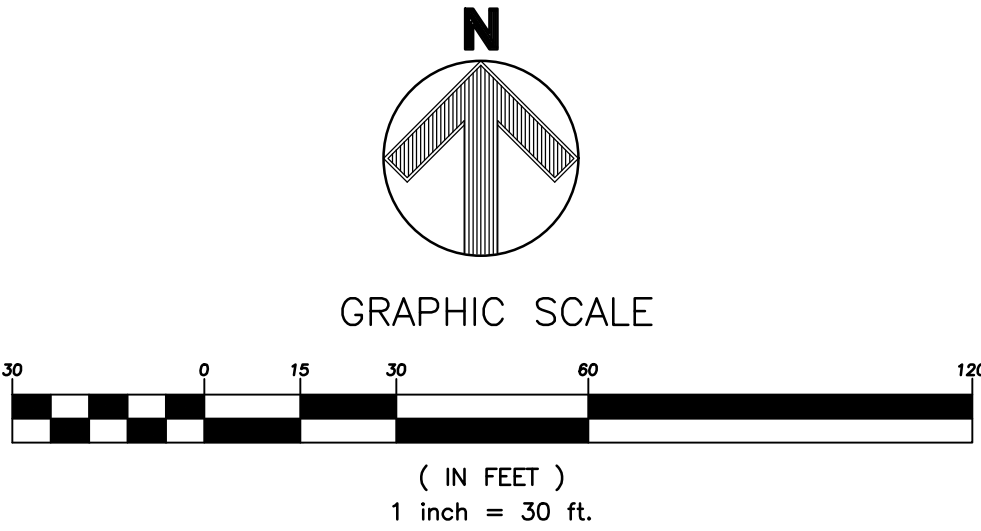
PROPOSED STORM
STRUCTURE SCHEDULE

- 1 PROP. ODOT HW 2.1
INV. 1093.00, 12" N

LEGEND

ITALICS TEXT REPRESENTS EXISTING CONDITION
NON-ITALICS TEXT REPRESENTS PROPOSED CONDITION

ALL PROPOSED SANITARY, ELECTRIC, GAS, TELEPHONE, CABLE
CONNECTIONS SHALL BE MADE BY MEANS OF CONNECTING TO
THE EXISTING INTERIOR UTILITIES, UNLESS OTHERWISE SHOWN
ON THE PLANS



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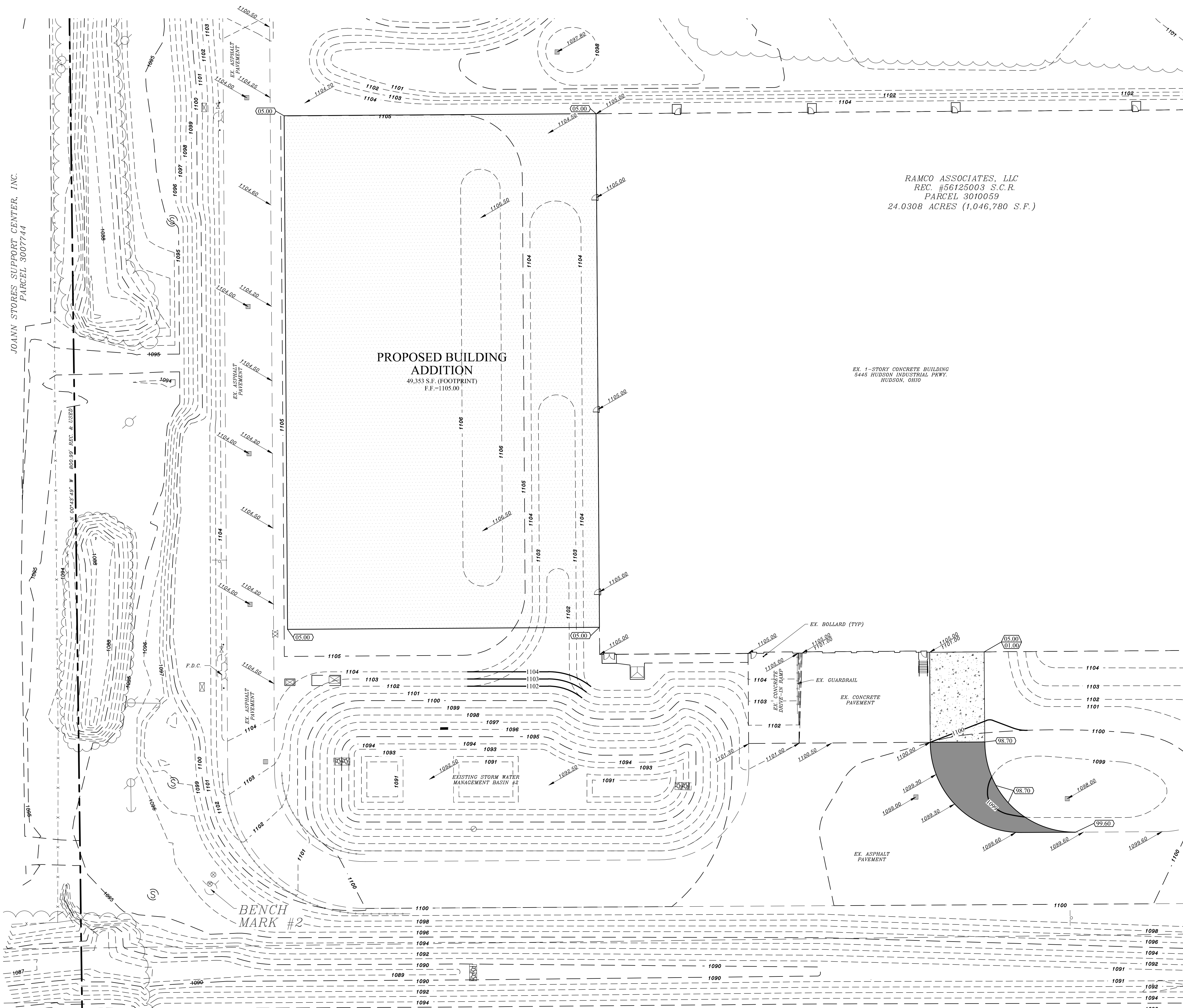
RAMCO SPECIALTIES
2021 EXPANSION
5445 HUDSON INDUSTRIAL PKWY, HUDSON, OH

Issue Date
10-15-2021

**UTILITY
PLAN**

C103
Project No. 2021-339

W:\A-1 Projects\2021 Projects\2021-339 RAMCO Expansion\2021-339 Site\B 10-14-2021\2021-339 Site\B1.DWG



SITE BENCH MARK
BENCH MARK #1 TOP NUT ON HYDRANT
ELEVATION = 1098.40

SITE BENCH MARK
BENCH MARK #2 TOP NUT ON HYDRANT
ELEVATION = 1098.80

LEGEND

ITALICS TEXT REPRESENTS EXISTING CONDITION
NON-ITALICS TEXT REPRESENTS PROPOSED CONDITION

00.00 PROPOSED SPOT GRADE
00.00 PROPOSED GRADE AT CURB
0000.00 EXISTING SPOT GRADE

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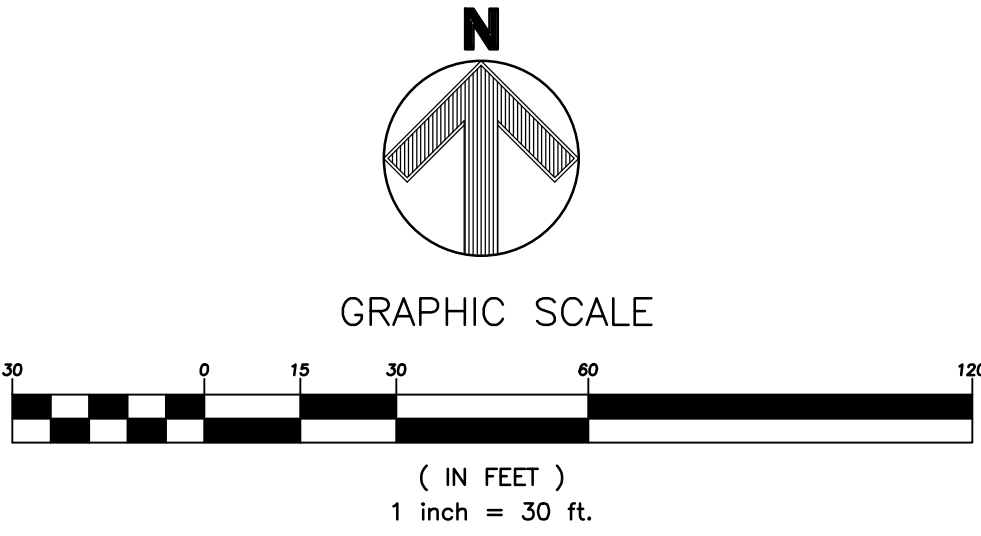
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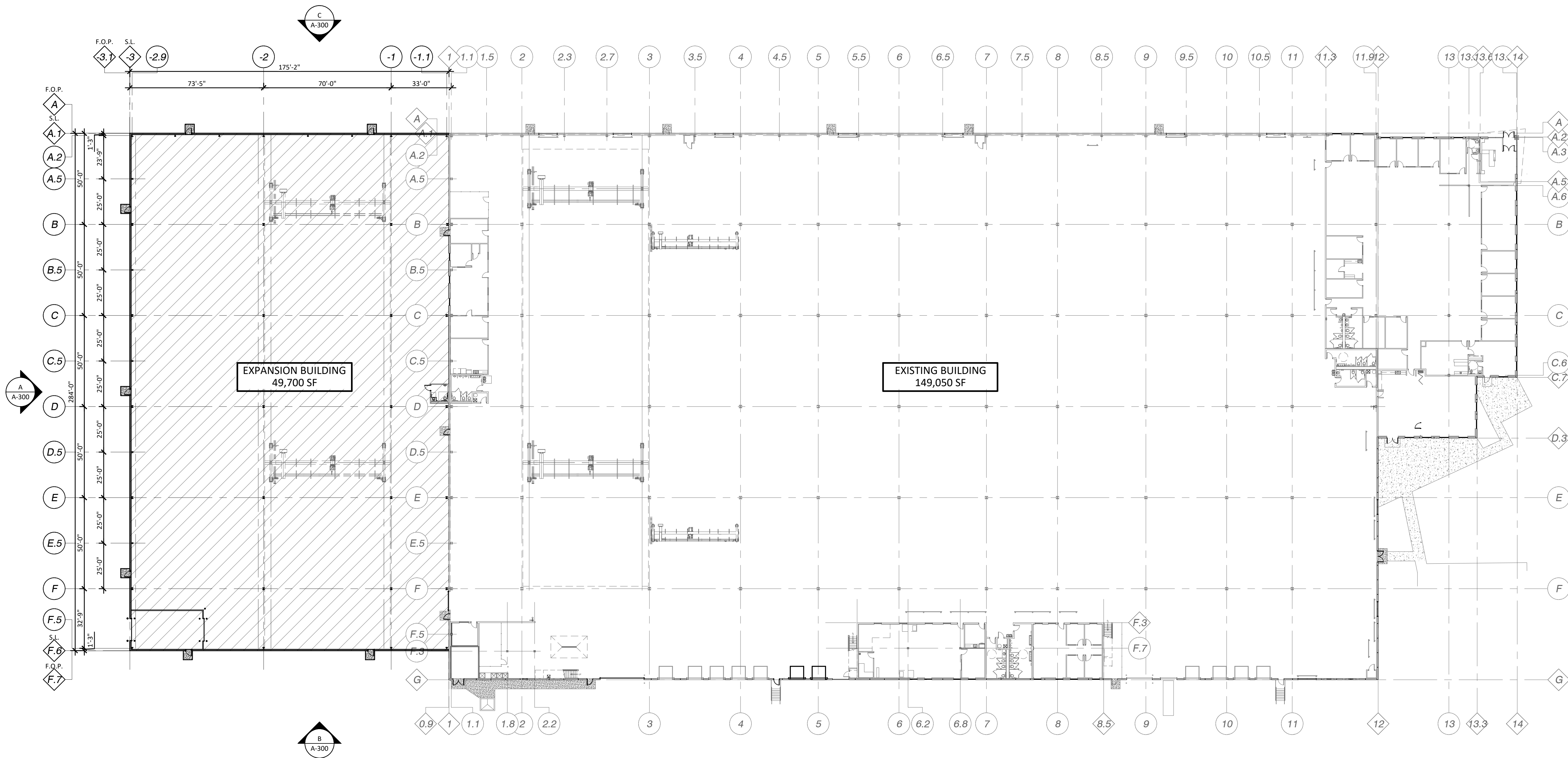
Issue Date
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GRADING PLAN

C104
Project No. 2021-339



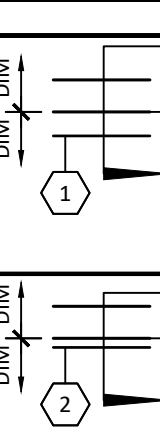
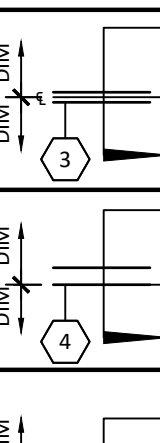
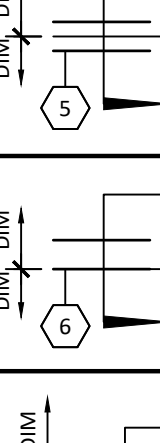
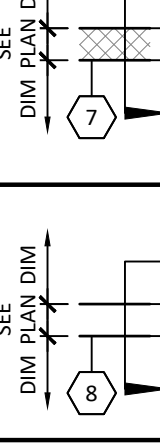
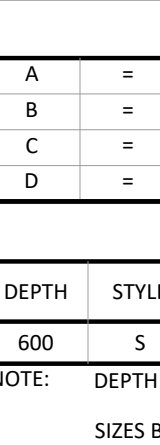
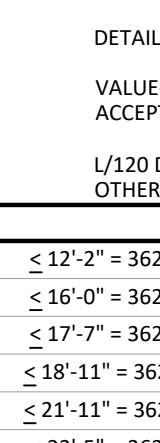
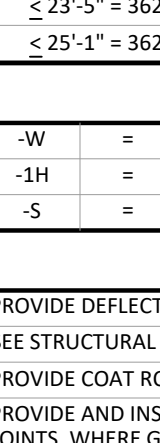
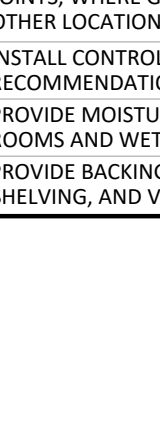
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OVERALL FLOOR PLAN
SCALE: 1/32" = 1'-0"

1
A-100



WALL LEGEND					
WALL TAG	# = WALL ASSEMBLY NUMBER S = WALL HEIGHTS @ = SPECIALTY NOTE TAG				
WALL ASSEMBLIES					
	1	FACE OF MASS WALL 2 1/2" METAL STUD FRAMING @ 16" O.C. R-10 MIN. RIGID INSULATION AIR SPACE 5/8" GYP. BD.			
	2	1 5/8" METAL STUD FRAMING @ 16" O.C. FACE OF MASS WALL 5/8" GYP. BD.			
	3	R-11 SOUND-BATT INSULATION 5/8" GYP. BD. 3 5/8" METAL STUD FRAMING @ 16" O.C. 5/8" GYP. BD.			
	4	R-11 SOUND-BATT INSULATION 3 5/8" METAL STUD FRAMING @ 16" O.C. 5/8" GYP. BD.			
	5	5/8" GYP. BD. R-11 SOUND-BATT INSULATION 6" METAL STUD FRAMING @ 16" O.C. 5/8" GYP. BD.			
	6	R-11 SOUND-BATT INSULATION 6" METAL STUD FRAMING @ 16" O.C. 5/8" GYP. BD.			
	7	9GA. WIRE RE- INFORCING IN BED JOINTS @ 16" O.C. CMU BLOCK SOLID MASONRY PIER (SMP) LOCATE PER PLAN FILL HEAD JOINTS (TYP.)			
	8	BACKER ROD AND SEALANT PRE-TENSIONED REINFORCING R-20 EPS FOAM BILLETS PRE-CAST CONCRETE PANELS			
WALL HEIGHTS					
A = 8'-0" A.F.F.	E =				
B = 9'-0" A.F.F.	F =				
C = 10'-0" A.F.F.	G =				
D = DECK ABOVE	H =				
STUD CHART					
DEPTH	STYLE	FLANGE	MILS	YIELD	STYLE: S=STUD J=JOIST T=TRAC F=FURRING CHANNEL
600	S	162	-	43 (33 KSI)	
NOTE: DEPTH AND FLANGE ARE NOTED IN 1/100" SIZES BASED ON SSMA TECHNICAL GUIDE DETAILS ACCORDING TO ICC-ESR3064P VALUE-ENGINEERED EQ-SERIES MAY BE ACCEPTED UPON ALTERNATE SUBMITTAL L/120 DEFLECTION UNLESS NOTED OTHERWISE					
ALLOWABLE STUD HEIGHTS					
≤ 12'-2" = 3625125-18 (33 KSI)			≤ 23'-3" = 6005125-30 (33 KSI)		
≤ 16'-0" = 3625125-27 (33 KSI)			≤ 25'-2" = 6005125-33 (33 KSI)		
≤ 17'-7" = 3625125-30 (33 KSI)			≤ 30'-9" = 6005125-43 (33 KSI)		
≤ 18'-11" = 3625125-33 (33 KSI)			≤ 35'-3" = 6005125-54 (50 KSI)		
≤ 21'-11" = 3625125-43 (33 KSI)			≤ 37'-9" = 6005125-68 (50 KSI)		
≤ 23'-5" = 3625125-54 (50 KSI)			≤ 44'-4" = 8005125-54 (50 KSI)		
≤ 25'-1" = 3625125-68 (50 KSI)					
SPECIALTY NOTES					
-W	=	PROVIDE MOISTURE RESISTANT GYP. BD.			
-1H	=	1-HOUR FIRE RATED CONSTRUCTION			
-S	=	SOUND BOARD			
GENERAL WALL NOTES					
PROVIDE DEFLECTION ASSEMBLY AT ALL WALLS TO DECK SEE STRUCTURAL DRAWINGS FOR DECK DEFLECTION CRITERIA. PROVIDE COAT ROD AND SHELF AT ALL CLOSETS (U.N.O.) PROVIDE AND INSTALL EXPANSION JOINTS AT ALL BUILDING EXPANSION JOINTS, WHERE GYP. BD. ASSEMBLIES TERMINATE AT PRECAST, AND AT ANY OTHER LOCATIONS SUBJECT TO MOVEMENT INSTALL CONTROL JOINTS IN ACCORDANCE WITH GYPSUM ASSOCIATION RECOMMENDATIONS AND DETAILS PROVIDE MOISTURE RESISTANT GYP. BD. AT ALL EXTERIOR WALLS, TOILET ROOMS AND WET AREAS WHETHER NOTED OR NOT. PROVIDE BACKING AND BLOCKING FOR ALL TOILET ACCESSORIES, PARTITIONS, SHELVING, AND VIDEO SCREENS					

PRELIMINARY
NOT FOR CONSTRUCTION



Architects, L.L.C.
10020 Aurora-Hudson Rd
Streetsboro, Ohio 44241
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FX: (330) 528-0008
www.geisco.net

Drawn By MB
Checked By BB
Project Number 21-00-447

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REVISIONS REFLECTED IN THESE
DRAWINGS INVOLVE CHANGES TO
CONTRACT PRICE PREVIOUSLY
PROVIDED. CHANGE ORDERS WILL BE
PROVIDED FOR ALL CHANGES. THESE
CHANGES ARE NOT IN THE BASE BID.

DATES AND REVISIONS

11-15-2021
ISSUED FOR PERMIT



GEIS COMPANIES

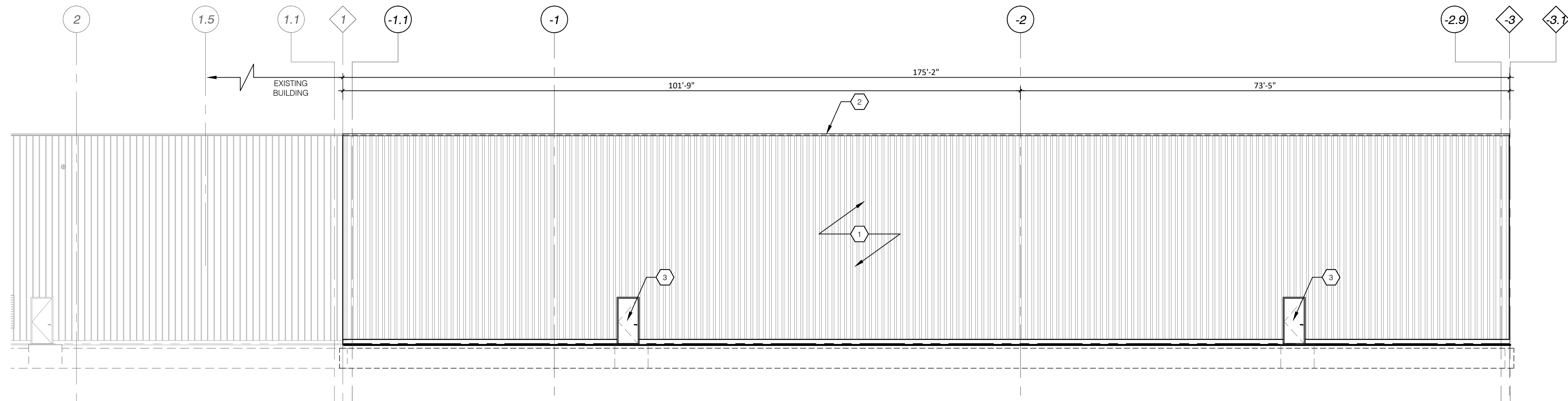
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OVERALL
FLOOR PLAN

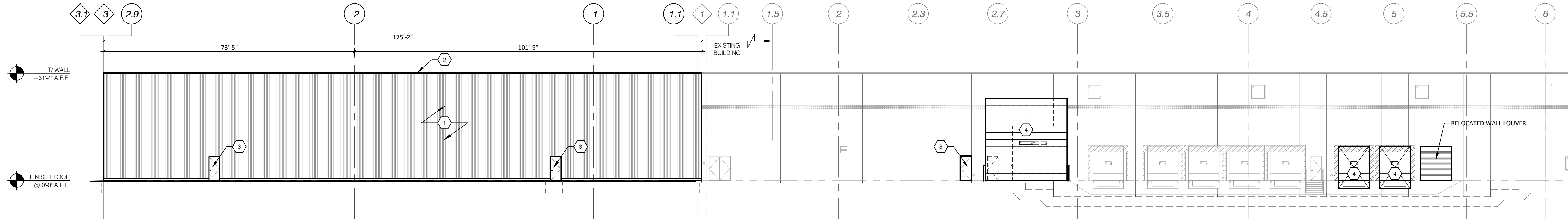
A-100

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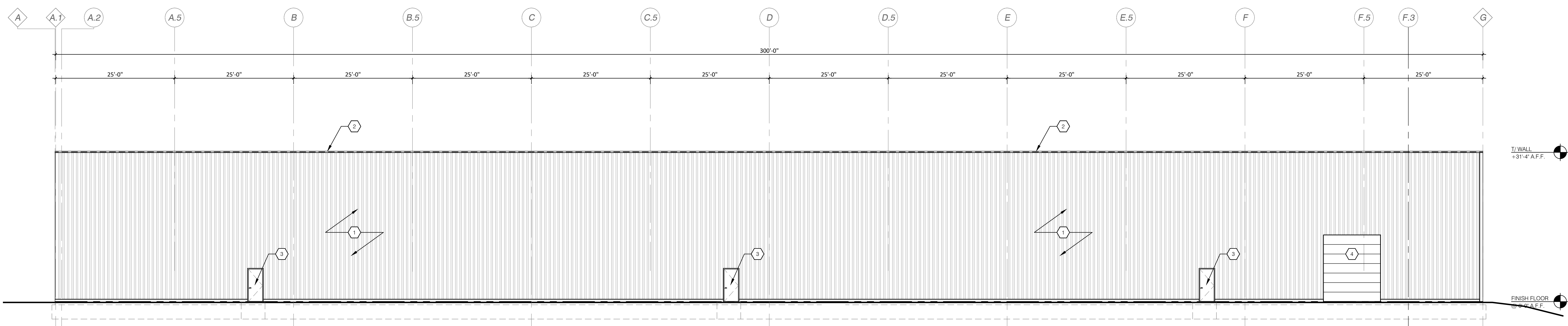
NORTH ELEVATION
SCALE: 3/32" = 1'-0"

C
A-300



SOUTH ELEVATION
SCALE: 1/16" = 1'-0"

B
A-300



WEST ELEVATION
SCALE: 3/32" = 1'-0"

A
A-300

MATERIAL LEGEND

- 1 1/2" OMEGA HR ULTRA METAL SIDING (REVERSED)
FIRESTONE UNA CLAD: KYNAR 500 24 GA.
COLOR: SIERRA TAN
- METAL COPING
AT SIDING: FIRESTONE UNACLAD SIERRA TAN
AT PRECAST: FIRESTONE UNACLAD SIERRA TAN
- INSULATED HOLLOW METAL MANDOOOR
AT PRECAST: SW7037 BALANCED BEIGE
AT SIDING: SHERWIN WILLIAMS SW7038 TONY TALPE
- OVERHEAD SECTIONAL DOOR W/ PLEXIGLASS VISION PANELS (1)
COLOR: WHITE

PRELIMINARY
NOT FOR CONSTRUCTION



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DATES AND REVISIONS

11-15-2021
ISSUED FOR PERMIT



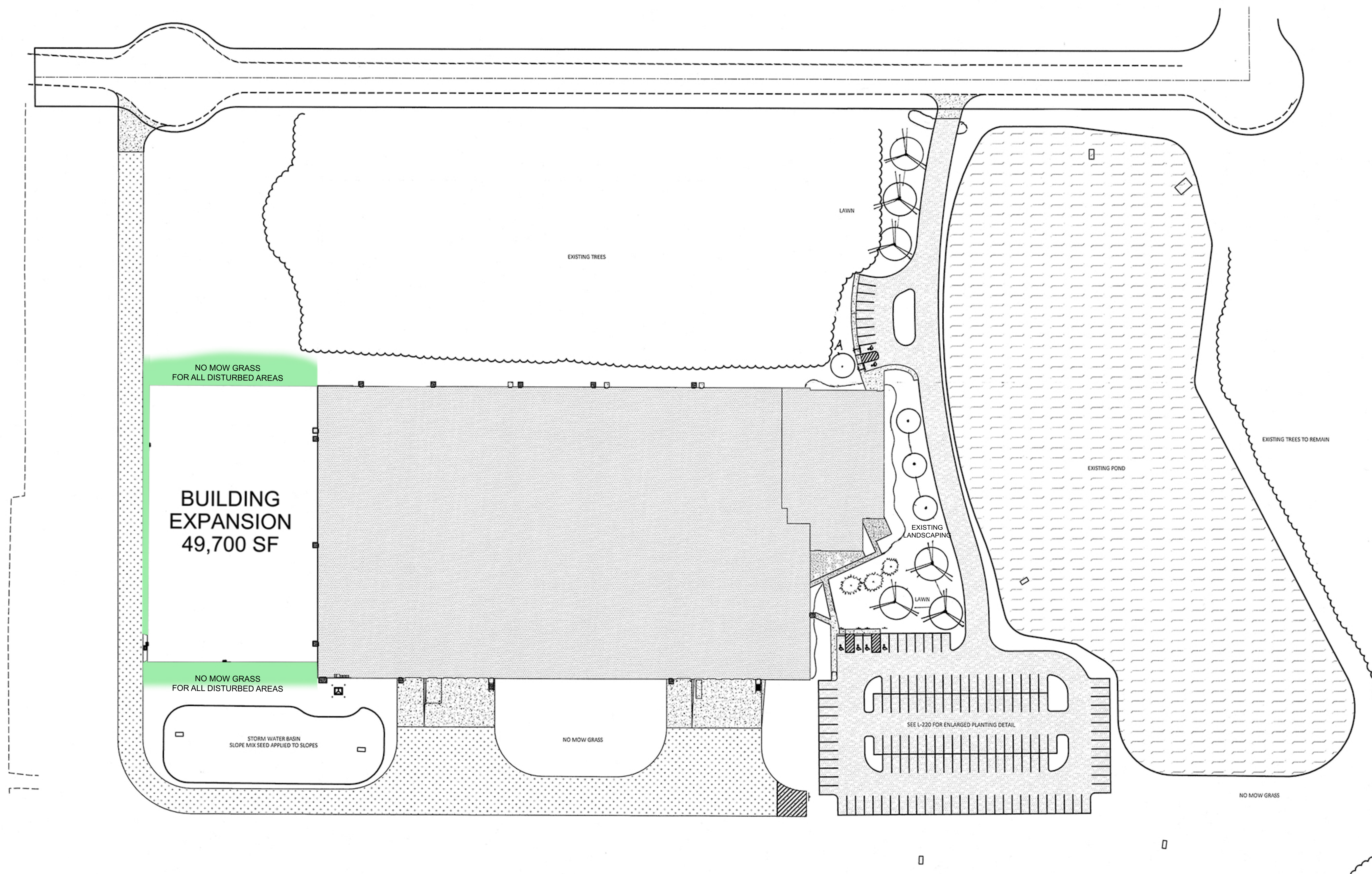
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EXTERIOR BLDG.
ELEVATIONS

A-300



LANDSCAPE PLAN
SCALE: 1" = 50'-0"



GSB
Architects, L.L.C.
10020 Aurora-Hudson Rd
Streetsboro, Ohio 44241
PH: (330) 528-3500
FX: (330) 528-0008
www.geisco.net

Drawn By DR
Checked By GS
Project Number 15-00-002

NOTICE
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REVISIONS REFLECTED IN THESE DRAWINGS INVOLVE CHANGES TO CONTRACT PRICE PREVIOUSLY PROVIDED. CHANGE ORDERS WILL BE PROVIDED FOR ALL CHANGES. THESE CHANGES ARE NOT IN THE BASE BID.

DATES AND REVISIONS

01-30-2015	DESIGN COORDINATION
02-20-2015	PROGRESS SET
03-18-2015	BID SET
03-31-2015	BID ADDENDUM / PERMIT SET
05-14-2015	ADJUDICATION REVISIONS
05-22-2015	BULLETIN No.1
07-01-15	REVISED LANDSCAPE DWGS.

OCCUPANCY DATE



GEIS COMPANIES
10020 Aurora-Hudson Rd
Streetsboro, Ohio 44241
PH: (330) 528-3500
FX: (330) 528-0008
www.geisco.net

RAMCO SPECIALTIES, INC
5445 HUDSON INDUSTRIAL PARKWAY
HUDSON, OHIO 44149

LANDSCAPE PLAN
DRAWING NO:
L-100



DATES AND REVISIONS

OCTOBER, 2021

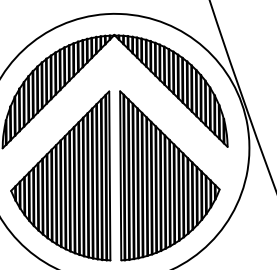
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RAMCO SPECIALTIES
5445 HUDSON INDUSTRIAL PARKWAY
HUDSON, OH

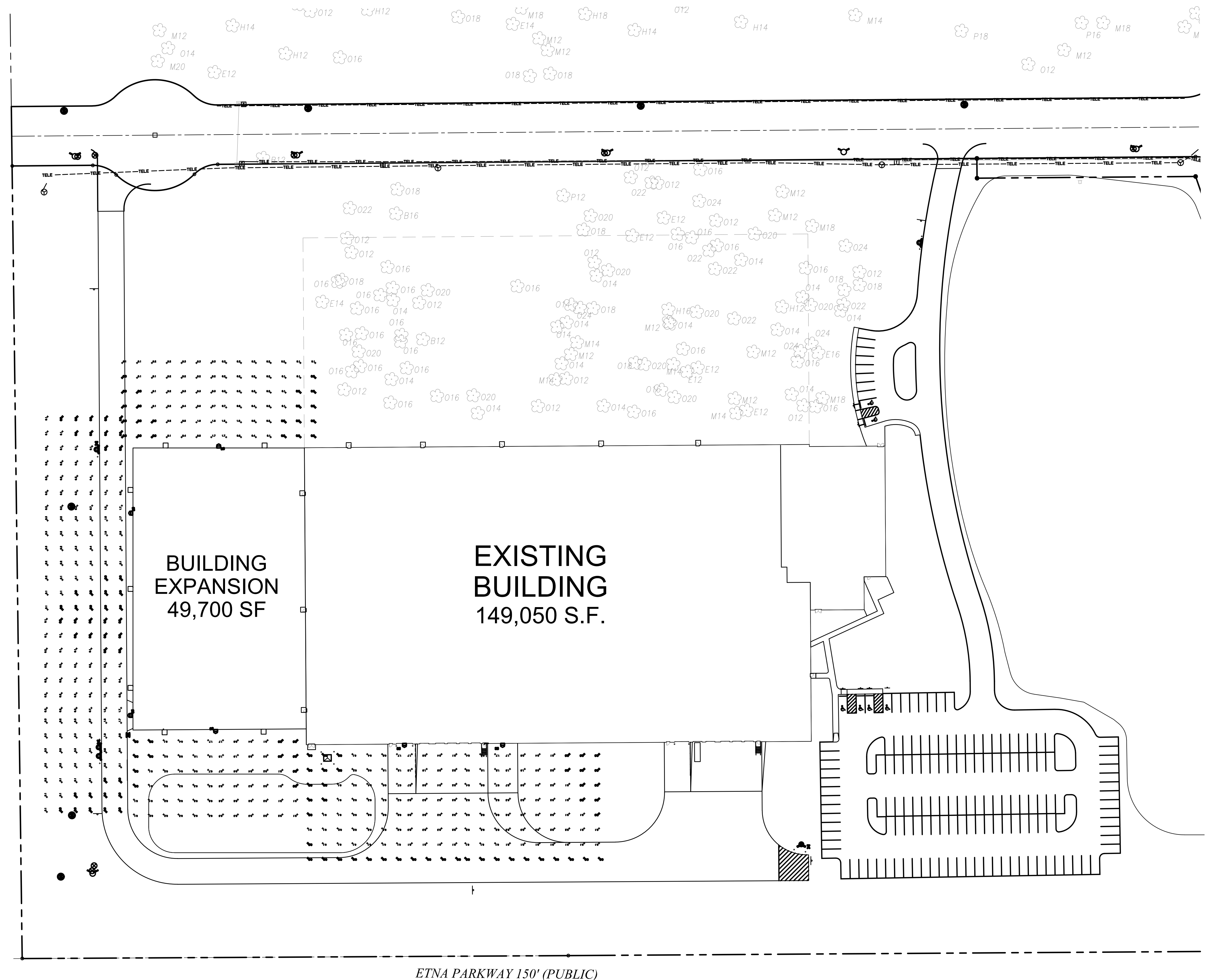
Drawn By _____
Checked By _____
Project Number _____



REFERENCE
NORTH

SITE PHOTOMETRICS
DRAWING NO:

0



SITE FIXTURE SCHEDULE

S3	LSI/ XWM-FT-LED-12L-40	WALLPACK	LED	62	UNV	OR EQUAL
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PHOTOMETRIC PLAN

SCALE: 1" = 60'



ENGINEERING • 1140 Terex Road • Hudson, Ohio 44236 • (330) 342-1770

Date: November 3, 2021

To: Nick Sugar, City Planner, Community Development

From: Nate Wonsick, P.E., Assistant City Engineer

Re: **5445 Hudson Industrial Pkwy - Ramco Addition**
Preliminary Engineering Approval - Viewpoint #21-1166

The City of Hudson Engineering Department has reviewed the preliminary plan for the above referenced site and recommends preliminary approval. Note: The City of Hudson Engineering Standards (Engineering Standards) and Land Development Code (LDC) are available online at the City of Hudson Website www.hudson.oh.us under the Engineering Dept. and Community Development Department respectively. The standards are also available in print for a fee. Please contact our office (330-342-1770) if you would like a cost for the printed version.

Other agency approvals that will be needed prior to the City of Hudson Final Engineering acceptance include:

1. Summit Soil and Water and the Ohio EPA Notice of Intent.
2. Summit County Building Standards shall review the building structures and fire lines.
3. Summit County DSSS shall review and approve the sanitary sewer for this site.

Overall Comments:

4. The City of Hudson Engineering Standards will be reviewed as part of the detailed improvement plan submittal of the project design. Since this site previously met City of Hudson storm water management requirements, the site the storm water must be controlled so that the pre-developed peak flows shall not be exceeded for all design storms.
5. The existing storm water management easements are shown as "unrecorded". Those easements and an updated Long Term Maintenance Agreement will be required to be recorded as part of this project.
6. Since the traffic trip generation is under 60 no further traffic study is required.
7. A professional engineer with a current Ohio registration shall stamp, sign and date the plans for all applicable engineering work including the storm water management calculations.
8. Bonds and fees will be identified when final detailed plans are submitted.
9. The City will perform a complete and thorough review when the complete set of improvement plans and reports are submitted to the City at a future date and the City reserves the right to add to these comments as needed.

If you have any questions, please contact me.

Sincerely,

Nate Wonsick, P.E.
Assistant City Engineer

C: File

Site Photos



Looking North From Location of Addition



Looking South From Road



Looking North at Rear of Building



Looking South at Adjacent Property

Site Photos

