APPROVED: _____ STAFF APPROVAL DATE

APPROVED: _____ ENGINEERING DEPT. APPROVAL DATE

APPROVED: _____ LANDSCAPE ARCHITECT APPROVAL DATE

PRIMARY BENCHMARK:
TOC/BOC ELEV @ P/L
IN FRONT OF SUBLOT'S 133/134
ELEV. = 1007.61

SECONDARY BENCHMARK
TOP STEM OF HYDRANT
IN FRONT OF SUBLOT 134
ON TIMBERLINE TRAIL
ELEV. = 1010.41

THE CONTRACTOR MUST CHECK THE BENCHMARK WITH THE CURB GRADES PRIOR TO DIGGING THE FOUNDATION.

BUILDER: PULTE HOMES OF OHIO, LLC.
ADDRESS: 387 MEDINA ROAD SUITE 1700, MEDINA, OHIO 44256
PHONE: 330-239-1587

OWNER: _____
ADDRESS: _____
PHONE: _____

NOTE:
ALL PROPOSED FOOTERS WILL REQUIRE SURVEY CERTIFICATION ONCE SET AND PRIOR TO THE COMPLETION OF HOME CONSTRUCTION

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING	DELTA
C1	75.17'	60.00'	43.42'	70.35'	S62°08'41"E	71°46'48"

NOTE:
FINAL LOCATION OF (3) TREES TO BE DETERMINED AND INSTALLED BY PURCHASER IN COMPLIANCE WITH CITY OF HUDSON LAND DEVELOPMENT CODE (1207.04J).

INITIAL SITE BENCHMARK:
SUMMIT COUNTY GEODETIC MONUMENT HU 118
STATE PLAN COORDINATE
N 572,745.649
E 2,250,912.641
ELEVATION = 1006.912 NAVD 1988

NOTES:
DOWNSPOUTS TO BE CONNECTED TO STORM SEWER CONNECTION

SUMP PUMP REQUIRED FOR FOOTER DRAINS

NOTE:
PURCHASER TO INSTALL MINIMUM OF 3 TREES PER MUNICIPAL REQUIREMENTS

NOTE:
PURCHASER TO INSTALL LANDSCAPING PER CITY OF HUDSON LANDSCAPING REQUIREMENTS.

NOTE:
PER ARB, EGRESS WINDOW WELLS SHOULD BE NO MORE THAN 6" ABOVE FINISHED GRADE

GRAPHIC SCALE
20 0 10 20
(IN FEET) 1 inch = 20 ft.

PERCENTAGE OF LOT COVERAGE = 21.0%

HOUSE COVERAGE = 2,454 SQ.FT.
DRIVEWAY COVERAGE = 1,446 SQ.FT.
WALKWAY COVERAGE = 234 SQ.FT.
TOTAL COVERAGE = 4,134 SQ.FT.

DATE OF SURVEY:
JUNE 21st, 2018

TYPE OF HOUSE:
PLAN# ATWATER
ELEVATION: 9
GAR: 3 CAR SIDE RIGHT W/8' BASEMENT & FIREPLACE

① = PROP 1" WAT CONN
② = PROP 6" PVC SAS CONN @ 1.0% MIN 10% MAX
③ = PROP 6" PVC STS CONN @ 1.0% MIN 10% MAX

LEGEND:
- = PROPOSED TREE
- = EX MONUMENT
- = EX CURB INLET
- = EX SANITARY MANHOLE
- = EX YARD DRAIN
- = IRON PIN SET 5/8"X30" REBAR CAPPED "AZTECH #8249"
- EXISTING GRADE / PROPOSED GRADE
- = PROP SILT FENCE
- = INLET PROTECTION
- = EX HYDRANT
- WV = EX WATER VALVE
- (SP) = SUMP PUMP
- (D) = EX STORM MANHOLE
- = SWALE
- = FLOW ARROW
- AC = AIR CONDITIONER
- E = ELECTRIC CONNECTION
- G = GAS CONNECTION
- = OFFSET HUB

NOTE:
100 YEAR FLOW DEPTHS SHOWN IN CROSS SECTIONS ASSUMES ALL RUNOFF IS FLOWING OVER LAND.

STATE OF OHIO * STAN LOCH E #63332 * REGISTERED PROFESSIONAL ENGINEER

I CERTIFY THAT THIS PLAN WAS PREPARED BY ME AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

6-29-18
STAN R. LOCH P.E. #63332 DATE

STATE OF OHIO * STAN R. LOCH 8249 REGISTERED PROFESSIONAL SURVEYOR

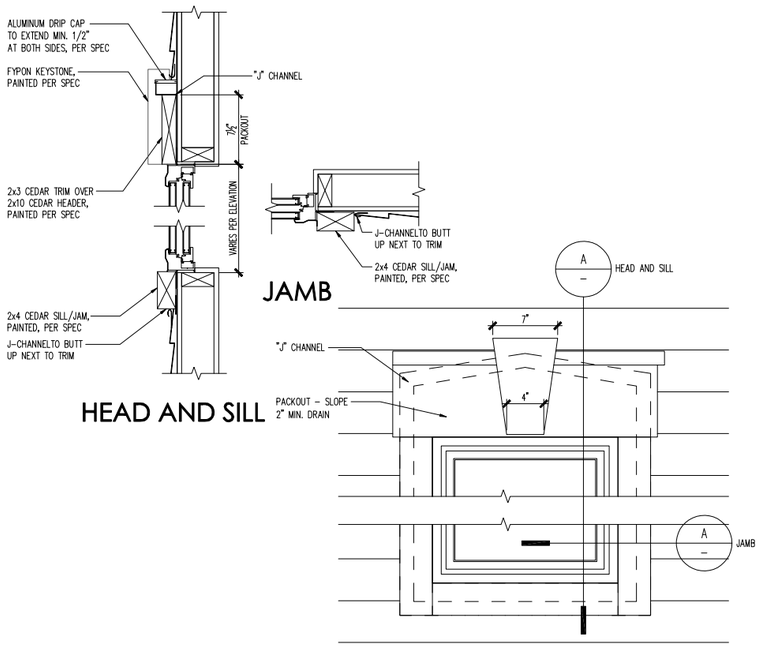
5425 WARNER ROAD - SUITE 12
VALLEY VIEW, OHIO 44125
440-602-9071
AZTECH
FAX 216-369-0259
ENGINEERING and SURVEYING
Civil Engineering - Land Surveying

SHEET CONTENT

SITE PLAN FOR PULTE HOMES SUBLOT 133 5508 TIMBERLINE TRIAL IN THE RESERVE AT RIVER OAKS SUBDIVISION PH.3 SITUATED IN THE CITY OF HUDSON COUNTY OF SUMMIT STATE OF OHIO

REVISIONS			
NO.	DATE	DESCRIPTION	BY

HORIZ. SCALE: 1" = 20'	VERT. SCALE:
DRAWN BY: KEG	DATE: 6-29-2018
CHECKED BY: SRL	DRAWING NO: Site-Plans
JOB NO: 20142977-3	SHEET: 1 OF 1

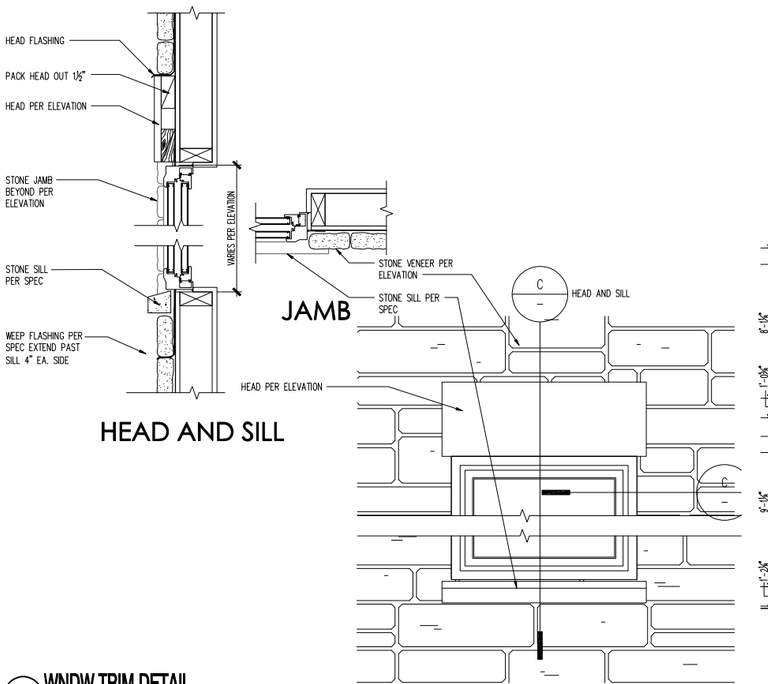


A WNDW TRIM DETAIL

SCALE: 1 1/2"=1'-0"

REAR ELEVATION

SCALE 1/4" = 1'-0"



B WNDW TRIM DETAIL

SCALE: 1 1/2"=1'-0"

FRONT ELEVATION

SCALE 1/4" = 1'-0"

Cleveland Division
387 Medina Rd. Suite 1700
Medina, OH 44256

Pulte Homes

Elevation - 9
Front and Rear Elevations

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

PRODUCTION MANAGER
Jamey Heinzman
CURRENT RELEASE DATE: 06/29/2018

REV #	DATE / DESCRIPTION

ENGINEER OF RECORD: MULHERN & KULP ENGINEERS
ARCHITECT OF RECORD: GODUCO DESIGN - ARCHITECTS

PROJECT TYPE
SINGLE FAMILY

COMMUNITY NAME
RIVER OAKS
LOT 133
LAWSON COMMUNITY ID

GARAGE HANDING
GARAGE RIGHT

SPECIFICATION LEVEL
TBD

PLAN NAME
ATWATER
NPC PLAN NUMBER
1642
LAWSON PLAN ID

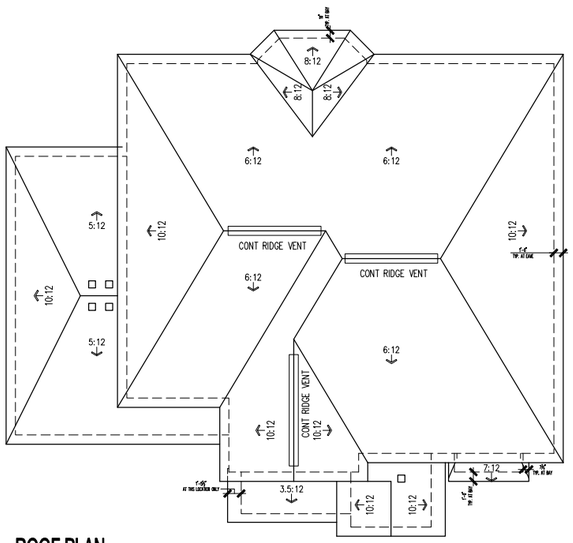
LEGACY PLAN NUMBER / NAME
PLAN 3295

SHEET
7.09a1

PLOTTED: July 3, 2018 / Tiffany Perreault / PLAN_3295-RO-ELOA.DWG

ATTIC VENTILATION SCHEDULE

9 ELEVATION		1ST FLOOR ROOF			2ND FLOOR ROOF			GARAGE ROOF								
	LOC	AREA	REQ'D	SUPP	AREA	REQ'D	SUPP	AREA	REQ'D	SUPP	AREA	REQ'D	SUPP	AREA	REQ'D	SUPP
	RIDGE	-	-	-	1921	3.20	4.00	404	0.67	1.56	-	-	-	-	-	-
	EAVE		-	-		3.20	3.54		0.67	2.25		-	-		-	-
	TOTAL		-	-		6.40	7.54		1.34	3.81		-	-		-	-



ROOF PLAN

SCALE 1/8" = 1'-0"

LEFT ELEVATION

SCALE 1/4" = 1'-0"

RIGHT ELEVATION

SCALE 1/4" = 1'-0"

Cleveland Division
387 Medina Rd. Suite 1700
Medina, OH 44256

Pulte Homes

Elevation - 9
Side Elevations and Roof Plan

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

PRODUCTION MANAGER
Jamey Heinzman
CURRENT RELEASE DATE: 09/20/2017

REV #	DATE / DESCRIPTION

ENGINEER OF RECORD: MULHERN & KULP ENGINEERS
ARCHITECT OF RECORD: GODUCO DESIGN - ARCHITECTS

PROJECT TYPE
SINGLE FAMILY

COMMUNITY NAME
RIVER OAKS
LOT 133
LAWSON COMMUNITY ID

GARAGE HANDING
GARAGE RIGHT

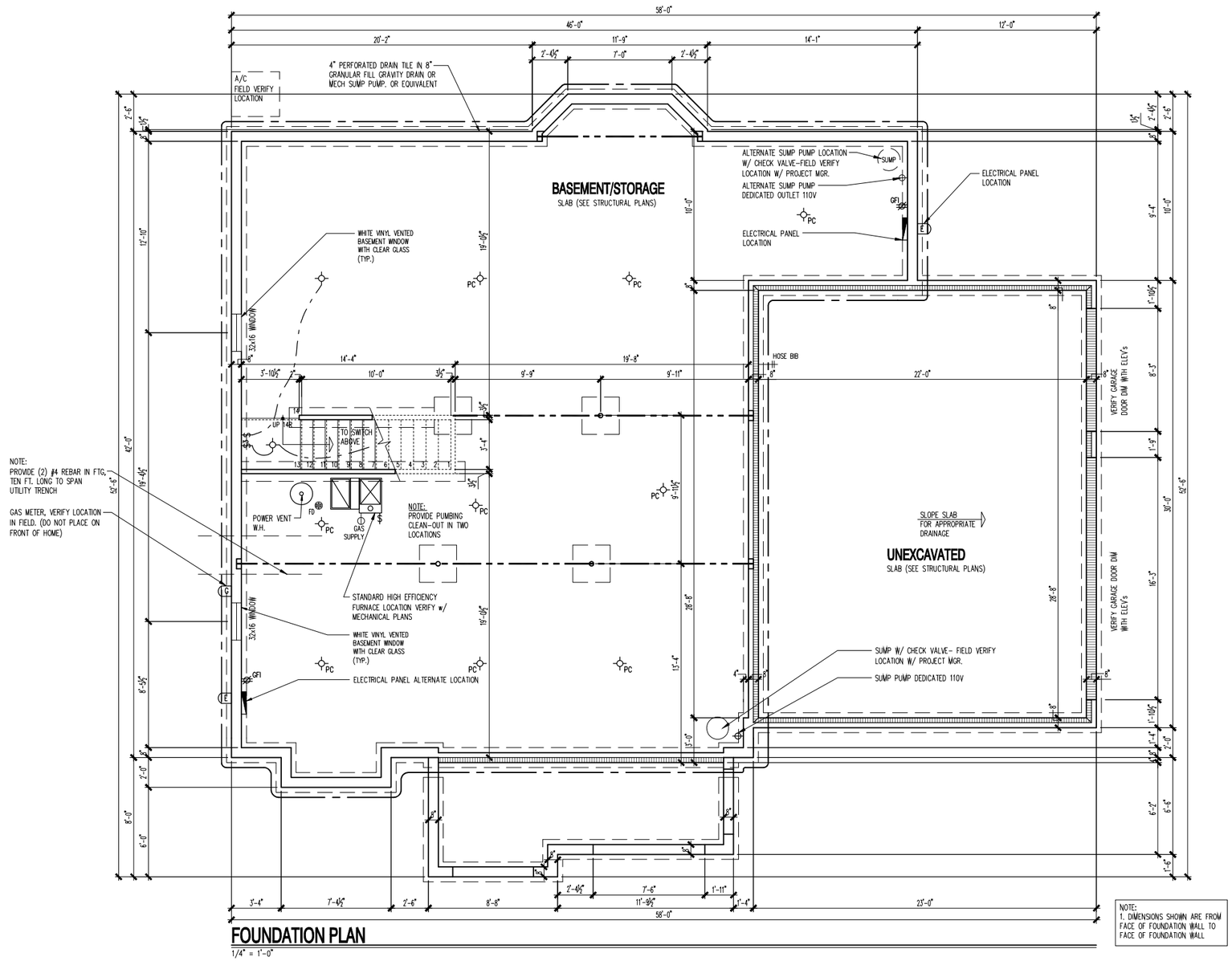
SPECIFICATION LEVEL
TBD

PLAN NAME
ATWATER
MPC PLAN NUMBER
1642
LAWSON PLAN ID

LEGACY PLAN NUMBER / NAME
PLAN 3295

SHEET
7.09a2

PLOTTED: October 12, 2017 / Tiffany Perreault / PLAN_3295_RO-EL04.DWG



FOUNDATION PLAN

1/4" = 1'-0"

NOTE:
1. DIMENSIONS SHOWN ARE FROM FACE OF FOUNDATION WALL TO FACE OF FOUNDATION WALL

Cleveland Division
387 Medina Rd. Suite 1700
Medina, OH 44256

Pulte Homes

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17" SHEETS REPRESENT 1/2 SCALE PLOTS

Full Basement Foundation Plan

PRODUCTION MANAGER
Jamey Heinzman
CURRENT RELEASE DATE: 06/29/2018

REV #	DATE / DESCRIPTION

ENGINEER OF RECORD: MULHERN & KULP ENGINEERS
ARCHITECT OF RECORD: GODUCO DESIGN - ARCHITECTS

PROJECT TYPE
SINGLE FAMILY

COMMUNITY NAME
RIVER OAKS
LOT 133
LAWSON COMMUNITY ID

GARAGE HANDING
GARAGE RIGHT

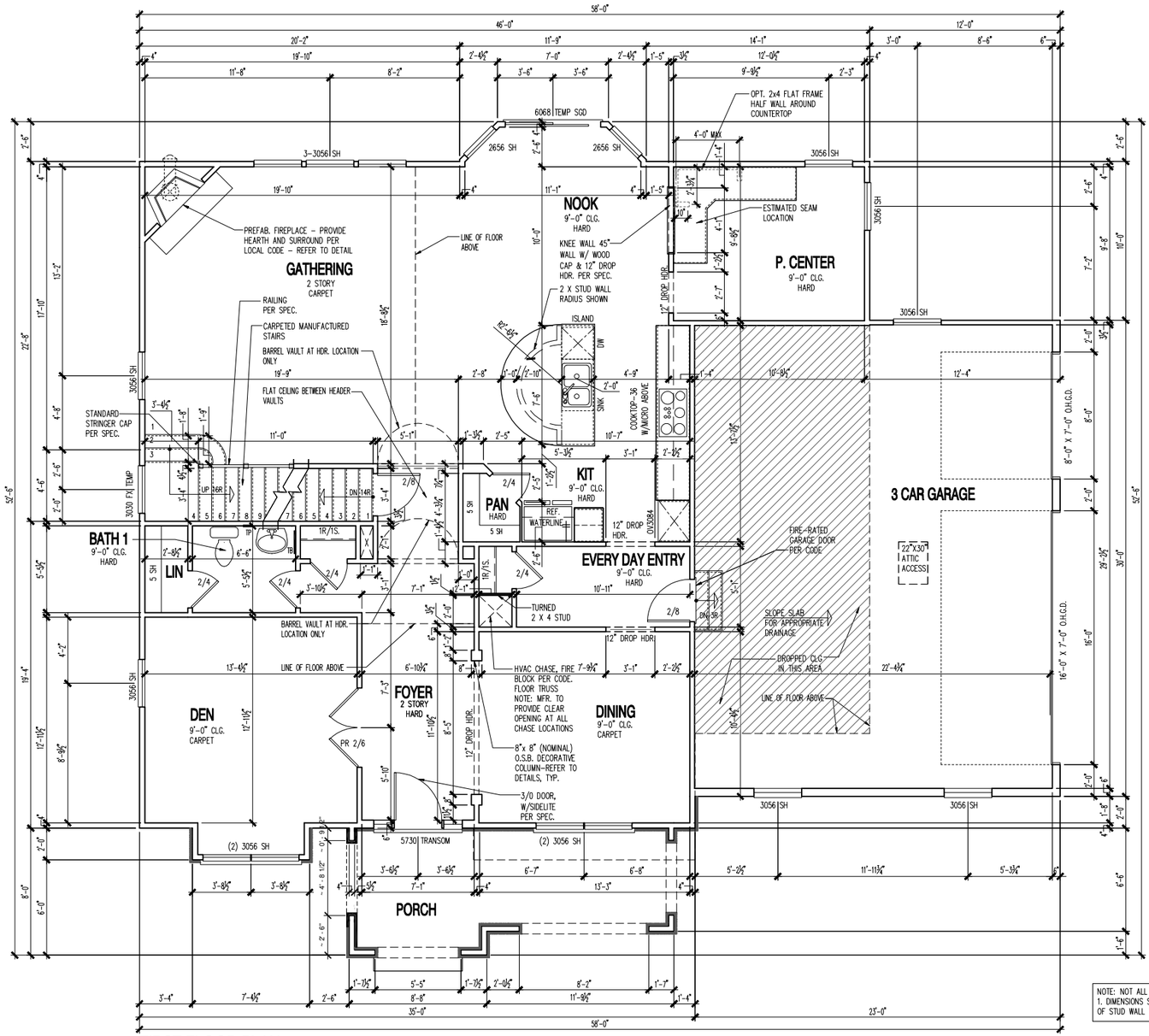
SPECIFICATION LEVEL
TBD

PLAN NAME
ATWATER
MPC PLAN NUMBER
1642
LAWSON PLAN ID

LEGACY PLAN NUMBER / NAME
PLAN 3295

SHEET
1.30a

PLOTTED: July 3, 2018 / Tiffany Perreault / PLAN-3295-RO-PLANS



FIRST FLOOR PLAN

1/4" = 1'-0"

NOTE: NOT ALL NOTES APPLY
1. DIMENSIONS SHOWN ARE FROM FACE OF STUD WALL TO FACE OF STUD WALL.

Cleveland Division
387 Medina Rd. Suite 1700
Medina, OH 44256

Pulte Homes

First Floor Plan

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

PRODUCTION MANAGER
Jamey Heinzman
CURRENT RELEASE DATE: 06/29/2018

REV #	DATE / DESCRIPTION

ENGINEER OF RECORD: MULHERN & KULP ENGINEERS
ARCHITECT OF RECORD: GODUCO DESIGN - ARCHITECTS

PROJECT TYPE
SINGLE FAMILY

COMMUNITY NAME
RIVER OAKS
LOT 133
LAWSON COMMUNITY ID

GARAGE HANDING
GARAGE RIGHT

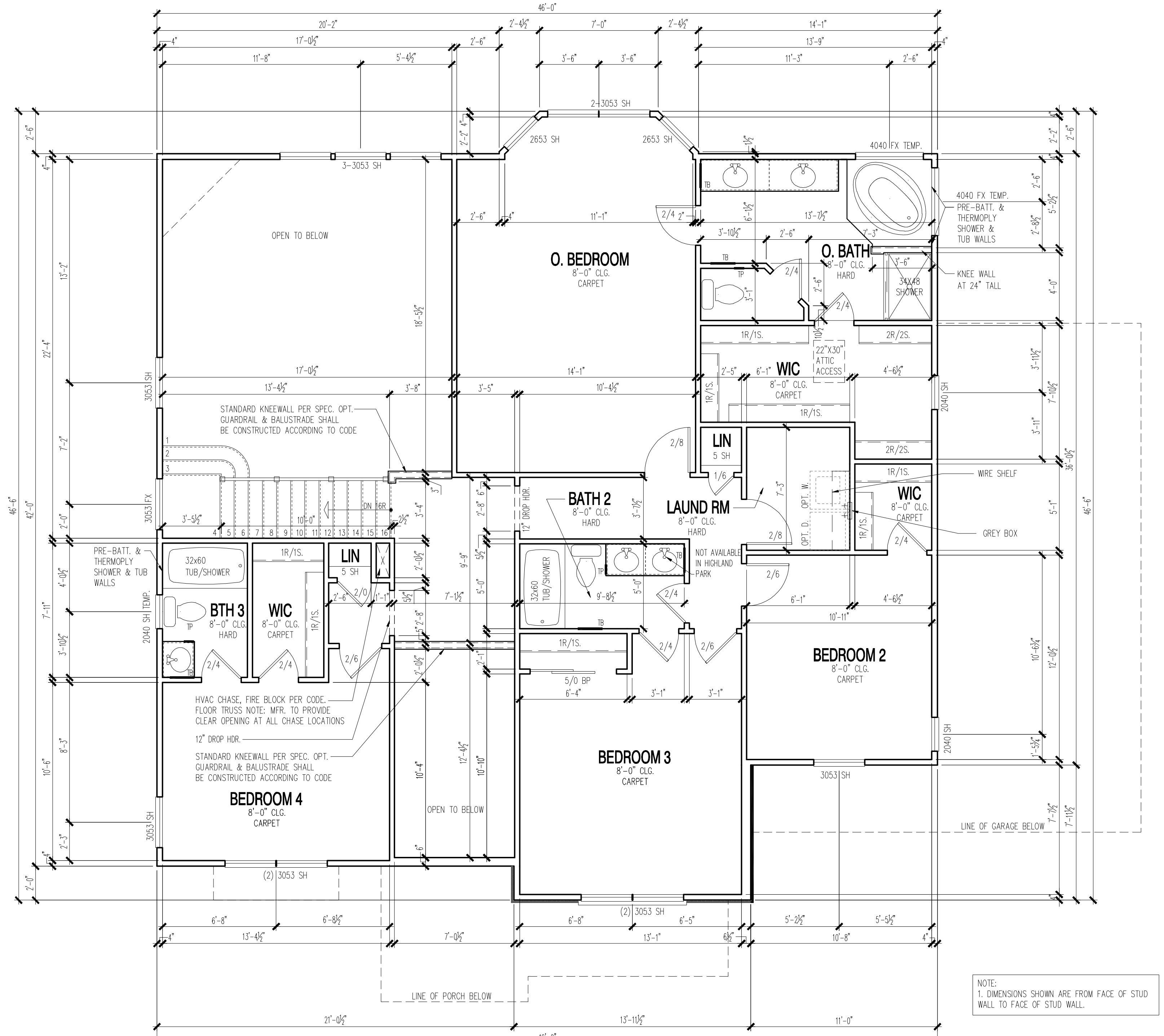
SPECIFICATION LEVEL
TBD

PLAN NAME
ATWATER
NPC PLAN NUMBER
1642
LAWSON PLAN ID

LEGACY PLAN NUMBER / NAME
PLAN 3295

SHEET
2.10a

PLOTTED: July 3, 2018 / Tiffany Perreault / PLAN-3295-RO-PLAN.DWG



SECOND FLOOR PLAN

1/4" = 1'-0"

PLOTTED: July 3, 2018 / Tiffany Perreault / PLAN-3295-RO-PLAN.DWG

Cleveland Division
387 Medina Rd. Suite 1700
Medina, OH 44256

Pulte Homes

Second Floor Plan

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS – 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

PRODUCTION MANAGER
Jamey Heinzman
CURRENT RELEASE DATE: 06/29/2018

REV #	DATE / DESCRIPTION
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ENGINEER OF RECORD: MULHERN & KULP ENGINEERS
ARCHITECT OF RECORD: GODUCO DESIGN – ARCHITECTS

PROJECT TYPE
SINGLE FAMILY

COMMUNITY NAME
RIVER OAKS
LOT 133

LAWSON COMMUNITY ID

GARAGE HANDING
GARAGE RIGHT

SPECIFICATION LEVEL
TBD

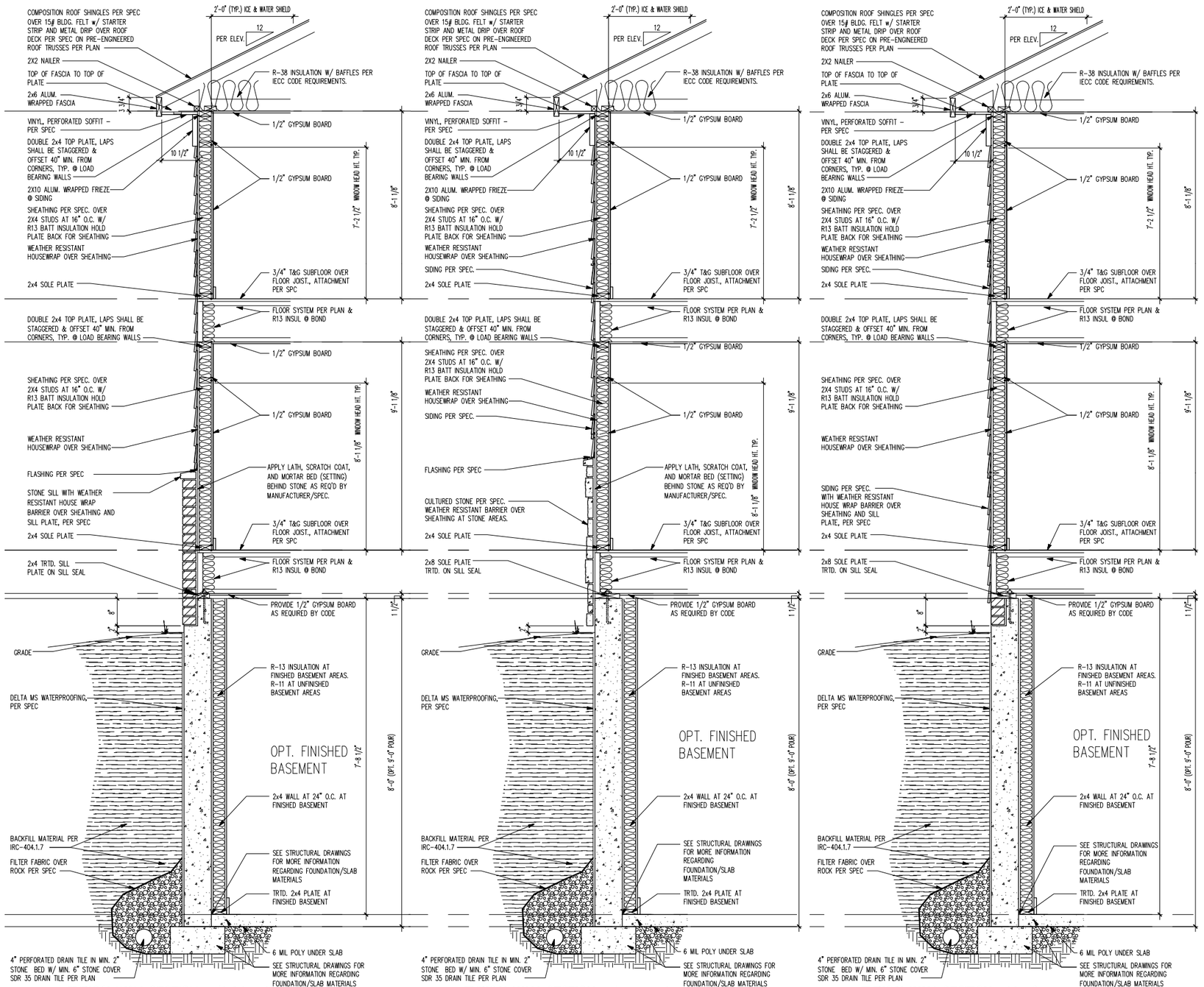
PLAN NAME
ATWATER

NPC PLAN NUMBER
1642

LAWSON PLAN ID

LEGACY PLAN NUMBER / NAME
PLAN 3295

SHEET
2.20a



TYPICAL WALL SECTION - w/ brick wainscoat

SCALE 1/2" = 1'-0"

TYPICAL WALL SECTION - w/ stone wainscot

SCALE 1/2" = 1'-0"

TYPICAL WALL SECTION - sides & rear

SCALE 1/2" = 1'-0"

Cleveland Division
387 Medina Rd. Suite 1700
Medina, OH 44256

Pulte Homes

Typical Wall Sections

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17' SHEETS REPRESENT 1/2 SCALE PLOTS

PRODUCTION MANAGER
Jamey Heinzman
CURRENT RELEASE DATE: 06/29/2018

REV #	DATE / DESCRIPTION

ENGINEER OF RECORD: MULHERN & KULP ENGINEERS
ARCHITECT OF RECORD: GODUCO DESIGN - ARCHITECTS

PROJECT TYPE
SINGLE FAMILY

COMMUNITY NAME
RIVER OAKS
LOT 133
LAWSON COMMUNITY ID

GARAGE HANDING
GARAGE RIGHT

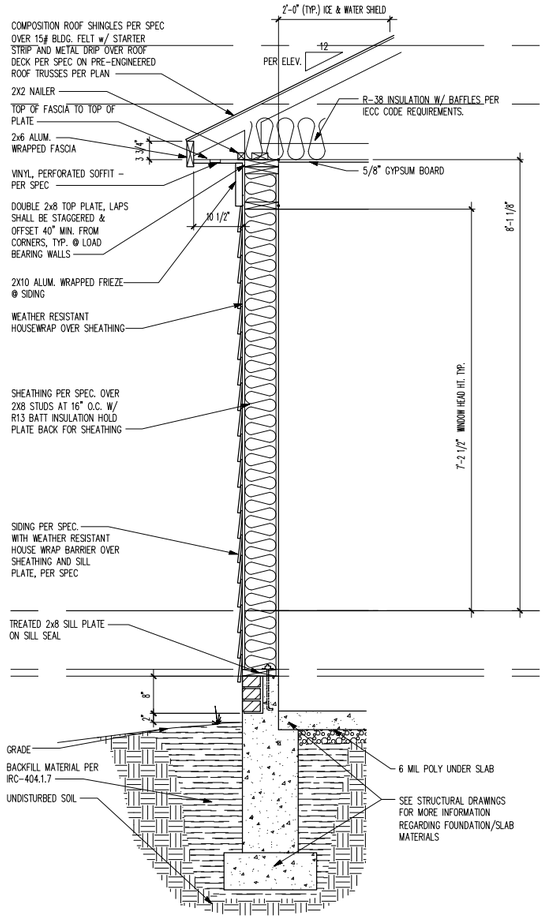
SPECIFICATION LEVEL
TBD

PLAN NAME
ATWATER
NPC PLAN NUMBER
1642
LAWSON PLAN ID

LEGACY PLAN NUMBER / NAME
PLAN 3295

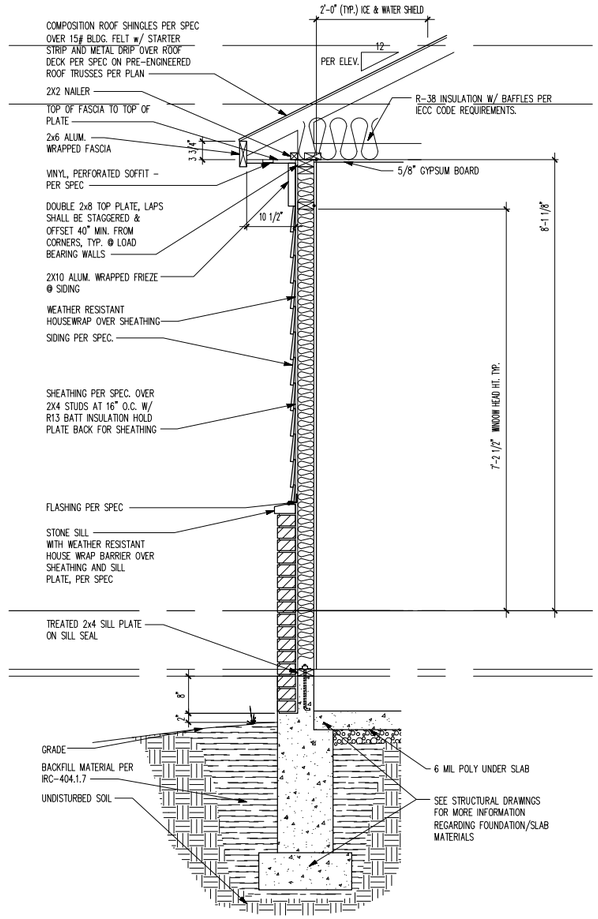
SHEET
3.31a

PLOTTED: July 3, 2018 / Tiffany Perreault / PLAN-3295-RO-FRNP.DWG



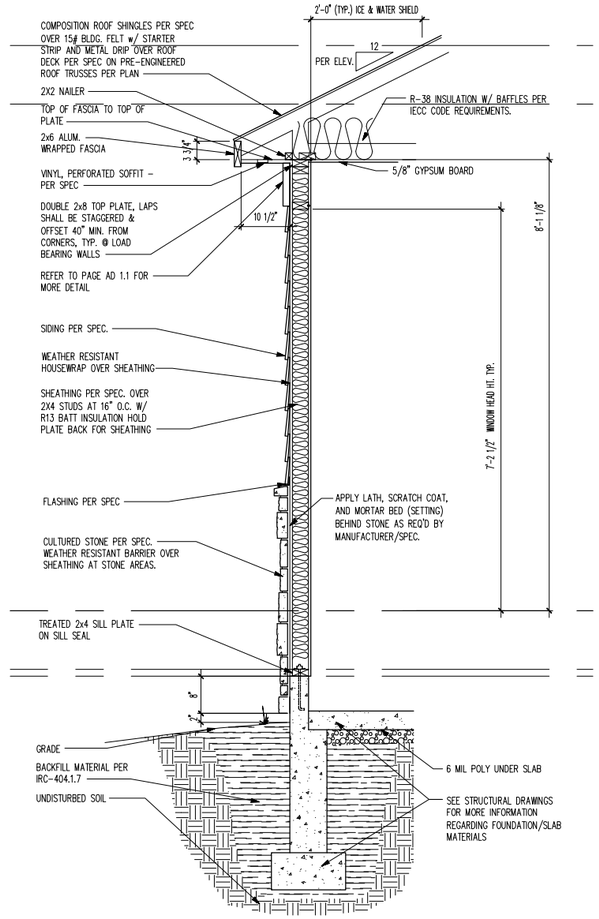
TYPICAL WALL SECTION - garage

SCALE 1/2" = 1'-0"



TYPICAL WALL SECTION - garage w/ 2x4 wall w/ brick wainscot

SCALE 1/2" = 1'-0"



TYPICAL WALL SECTION - garage w/ 2x4 wall w/ stone wainscot

SCALE 1/2" = 1'-0"

Cleveland Division
387 Medina Rd. Suite 1700
Medina, OH 44256

Pulte Homes

Typical Wall Sections

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

PRODUCTION MANAGER
Jamey Heinzman
CURRENT
RELEASE DATE: 06/29/2018

REV #	DATE / DESCRIPTION
1	
2	
3	
4	
5	
6	
7	
8	

ENGINEER OF RECORD: MULHERN & KULP ENGINEERS
ARCHITECT OF RECORD: GODUCO DESIGN - ARCHITECTS

PROJECT TYPE
SINGLE FAMILY

COMMUNITY NAME
RIVER OAKS
LOT 133
LAWSON COMMUNITY ID

GARAGE HANDING
GARAGE RIGHT

SPECIFICATION LEVEL
TBD

PLAN NAME
ATWATER
MPC PLAN NUMBER
1642
LAWSON PLAN ID

LEGACY PLAN NUMBER / NAME
PLAN 3295

SHEET
3.31b

PLOTTED: July 3, 2018 / Tiffany Perreault / PLAN-3295-RD-FRMP.DWG

OHIO DIVISION -LOT 133

River Oake

Atwater

1 - GENERAL BUILDING & DESIGN REQUIREMENTS

1) THE ATTACHED PLANS & SPECIFICATIONS ARE THE SOLE PROPERTY OF PULTE HOMES INC. ANY UNAUTHORIZED USE OF THESE PLANS WITHOUT PRIOR WRITTEN CONSENT OF PULTE HOMES INC. IS STRICTLY PROHIBITED.
2) PULTE HOMES INC. DESIGNS & BUILDS HOUSING AS SET FORTH BY THE FORMAT AND PROVISIONS OF THE RESIDENTIAL CODE OF OHIO (RCO), AND THE NATIONAL ELECTRIC CODE (NEC). ANY NON-CONFORMING DOCUMENTS DISCOVERED BY THE CONTRACTOR OR HIS AGENTS SHALL BE CALLED TO THE IMMEDIATE ATTENTION OF PULTE HOMES INC. BY CALLING (651) 452-5200.
3) THESE PLANS ARE SUBJECT TO MODIFICATIONS TO MEET CODE REQUIREMENTS AND/OR TO FACILITATE MECHANICAL/ ELECTRICAL/ PLUMBING INSTALLATION AND/ OR TO IMPLEMENT DESIGN IMPROVEMENTS. ANY INTENTION TO MODIFY THESE PLANS MUST BE APPROVED IN WRITING BY PULTE HOMES INC.
4) CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AFFECTING CONTRACTOR'S PRODUCTS, INSTALLATIONS, OR FABRICATIONS IN THE FIELD PRIOR TO EXPEDITING THE CONSTRUCTION OF SUCH WORK. FIELD VERIFY ALL DIMENSIONS – DO NOT SCALE DRAWINGS!! CONTRACTOR IS RESPONSIBLE FOR SURVEYING THE PROJECT AND BECOMING FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK INCLUDING BUT NOT LIMITED TO SITE AND SOIL BEARING CONDITIONS.
5) ERRORS AND OMISSIONS WHICH MAY OCCUR IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, IN WRITING, AND WRITTEN INSTRUCTION SHALL BE OBTAINED PRIOR TO PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY ERRORS, DISCREPANCIES, OR OMISSIONS FOR WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT PRIOR TO CONSTRUCTION AND/ OR FABRICATION OF THE WORK.

2 - SITE CONSTRUCTION

1) SOIL BEARING CALCULATIONS BASED ON 2000 PSF MIN
2) BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS.
3) BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS BACKFILL TO NOT DAMAGE THE FOUNDATION WALLS OR ANY WATERPROOFING/ DAMPPROOFING MATERIALS.

3 - CONCRETE

1) ALL CONCRETE EXPOSED TO EXTERIOR ELEMENTS SHOULD BE AIR ENTRAINED 4-6%
2) SLOPE ON DRIVE SHALE BE NO LESS THAN 2% OR 1/4" PER FOOT- PREFERABLY 4% OR 1/2" PER FOOT. THE FRONT STOOP SHALL HAVE SLOPE EQUAL TO 1" PER FOOT. THE RAISED WALK IN GARAGE SHALL HAVE A 1/2" PER FOOT SLOPE AND DRIVE SLAB SHALL BE SLOPED MIN. 1/4" PER FOOT.
3) SOME COLUMN DIMENSIONS ARE FROM CENTER OF COLUMN TO EXTERIOR FACE OF BASEMENT WALL.
4) BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS.
5) BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS TO NOT DAMAGE THE FOUNDATION WALLS OR WATERPROOFING / DAMPPROOFING MATERIALS.
6) MUD SILLS SHALL BE TREATED MEMBERS AND SECURED BY ANCHOR BOLTS AND/OR STRAPS AS SPECIFIED IN THE DRAWINGS, DETAILS, AND SPECIFICATIONS.
7) CALCULATIONS FOR COLUMN PADS BASED ON 2000 PSF SOIL BEARING.
8) FOUNDATION WALLS & FOOTER DEPTH TO BE VERIFIED IN FIELD.

4 - MASONRY

1) ALL EXTERIOR BRICK MUST MEET ASTM C-216 FOR "SW" CONDITIONS
2) MASONRY VENEER SHALL BE ATTACHED TO SUPPORTING WALLS w/ 22GA x 7/8" CORRUGATED METAL TIES AT 24" O.C.
3) FLASHING BEHIND MASONRY SHALL BE 14# BUILDING PAPER OR FELT OR APPROVED EQUAL ATTACHED TO THE SHEATHING TO PREVENT MOISTURE PENETRATION.
4) WEEPHOLES SHALL BE PROVIDED ALONG THE OUTSIDE WYTHE OF EXTERIOR MASONRY WALLS AT 33" O.C. MAX, SHALL BE A MIN. OF 3/16" IN DIAMETER, AND LOCATED IMMEDIATELY ABOVE THE FLASHING

5 - METALS

6 - WOOD AND PLASTICS

7 - THERMAL & MOISTURE PROTECTION

1) INSTALL FIRE STOPPING AND/ OR DRAFT STOPPING AS REQUIRED.
2) ATTIC VENTILATION SHALL BE PROVIDED AT 1/150th OF THE AREA OF THE SPACE VENTILATED. CROSS VENTILATION WITH HALF OF THE VENTILATED AREA SHALL BE PROVIDED BY RIDGE OR GABLE VENTS AND THE OTHER HALF BY EAVE OR CORNICE VENTS. VENTS SHALL BE PLACED SO AS TO NOT ALLOW INFILTRATION OF RAIN OR SNOW.
3) PROVIDE APPROVED TILE BACKER BOARD FOR ALL SHOWER AND BATH SPACE
4) PROVIDE ICE-SHIELD PER CODE
5) ROOF VENTING TO BE PROVIDED AS SHOWN. SOFFIT, RIDGE, AND OTHER ROOF VENTS TO BE INSTALLED AS NOTED ON THE DRAWINGS & AS PER MANUFACTURERS RECOMMENDATIONS.
6) HOUSE WRAP & FLASHING TO BE INSTALLED PER PULTE BEST PRACTICES.

8 - DOORS AND WINDOWS

1) WINDOW CALL OUT PER WINDOW SCHEDULE VERIFY WINDOW MANUFACTURER WITH PROJECT MANAGER
2) REVIEW ALL WINDOW HDR HEIGHTS PER PLATE HT. AND VERIFY W/ ELEVATIONS AND CORNICE DETAILS
3) TEMPERED GLASS SHALL BE USED IN ALL HAZARDOUS AREAS
4) FRONT DOOR WIDTH AS REQUIRED BY CODE
5) GARAGE DOOR AS REQUIRED BY CODE
6) EMERGENCY – SLEEPING ROOMS SHALL HAVE AT LEAST ONE EGRESS OPENING OF NOT LESS THAN 5.7 SF AND A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR.

15 - MECHANICALS

1) FACTORY BUILT CHIMNEYS AND FIREPLACES SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS, AND ARE SUBJECT TO MECHANICAL INSPECTION
2) PROVIDE EXTERIOR AIR INTAKE FOR COMBUSTION AIR.

16 - ELECTRICAL

1) ALL ELECTRICAL INSTALLATION SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRIC CODE (NEC). ALL MATERIAL AND EQUIPMENT SHALL BEAR THE LABEL OF APPROVAL OF THE UNDERWRITERS LABORATORIES, INC.
2) ELECTRICAL CONTRACTOR SHALL VERIFY SPACE REQUIRED FOR METER INSTALLATION BEFORE CONSTRUCTION AND SHALL NOTIFY GENERAL CONTRACTOR OF ANY DISCREPANCIES.
3) VERIFY LOCATION OF ALL RECEPTACLES FOR APPLIANCES WITH MANUFACTURER SPECIFICATIONS.
4) GROUND FAULT INTERRUPTS SHALL BE LOCATED PER THE NEC.
5) ALL SWITCHES SHALL BE INSTALLED AT 3'-2" ABOVE FINISHED FLOOR TO CENTERLINE OF SWITCH UNLESS NOTED OTHERWISE.
6) ALL CONVENIENCE OUTLETS SHALL BE INSTALLED W/ CENTERLINE OF OUTLET LOCATED 1'-3" ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE.
7) ALL CONVENIENCE OUTLETS WITH SWITCHES TO BE SWITCH AT TOP ONLY.
8) ALL EXTERIOR WALL BRACKET FIXTURES SHALL BE INSTALLED AT 5'-6" ABOVE ADJACENT DOOR SILL HEIGHT TO CENTERLINE OF FIXTURE.
9) APPROVED SMOKE DETECTORS SHALL BE LOCATED ON EVERY STORY OF THE DWELLING UNIT AS PER CODE (SEE SHEET 6.XXX FOR LOCATIONS). WHERE MORE THAN ONE DETECTOR IS REQUIRED THEY SHALL BE INTERCONNECTED. POWER SOURCE SHALL BE BUILDING POWER w/ BATTERY BACKUP.

GENERAL FRAMING SPECS AND CONSTRUCTION NOTES STAIRS:

1) THE MAXIMUM RISER HEIGHT SHALL BE 7 3/4 INCHES (210 MM) AND THE MINIMUM TREAD DEPTH SHALL BE 10 INCHES (229 MM).
2) HANDRAILS HAVING MINIMUM AND MAXIMUM HEIGHTS OF 34 INCHES AND 38 INCHES SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS.
3) HANDRAIL AND BALUSTRADE (WHERE PRESENT) SHALL BE CONSTRUCTED PER CODE
4) ALL REQUIRED HAND RAILS SHALL BE CONTINUOS THE FULL LENGTH OF THE STAIRS W/ 2 OR MORE RISERS FROM A POINT ABOVE THE THE TOP RISER OF A FLIGHT TO A POINT ABOVE THE LOWEST RISER OF THE FLIGHT. ENDS SHALL BE RETURNED OR SHALL TERMINATE AT NEWEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1.5" BETWEEN THE WALL AND HAND RAIL.

WALLS:

1) ALL STUDS TO BE 2x4 SPF OR EQUAL UNLESS NOTED OTHERWISE.
2) USE DBL TOP PLATES 16" OC ON BOTH FIRST AND SECOND FLOOR AT ALL EXTERIOR AND LOAD BEARING CONDITIONS ALL OTHER PARTITION WALL USE SINGLE TOP PLATE 24"OC.

FLOORS:

1) STRUCTURAL FLOOR MEMBERS SHALL NOT BE CUT, BORED, OR NOTCHED IN EXCESS OF THE LIMITATIONS SPECIFIED PER CODE
2) THE ENDS OF EACH JOIST, BEAM, OR GIRDER SHALL HAVE NOT LESS THAN 1.5 INCHES (38MM) OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3 INCHES (76MM) ON MASONRY OR CONCRETE OR AS OTHERWISE SPECIFIED PER CODE
3) ANY CONVENTIONAL FLOOR JOISTS SHOWN DOUBLED ON PLANS TO BE GLUED AT INSTALLATION AND NAILED W/ 3-16d NAILS @ 16" O.C. MULTIPLE PLIES OF ENGINEERED LUMBER TO BE ASSEMBLED PER MANUF. RECOMM.
4) SHOP DRAWINGS FOR ANY AND ALL ENGINEERED FLOOR SYSTEMS TO BE SUBMITTED TO ARCHITECT TO REVIEW IN CONFORMANCE WITH THESE CONSTRUCTION DOCUMENTS. WHERE THE CONSTRUCTION DOCUMENTS DO NOT ADDRESS METHODOLOGY, CONTRACTOR TO BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

FRAMING:

1) ALL FRAMING DIMENSIONS TO FACE OF MEMBER/SHEATING.
2) ALL BEARING HEADERS TO BE 2X8 SPF #2 OR EQUAL UNLESS NOTED OTHERWISE.
3) ALL 2x10 & 2x12 HEADERS TO BE SPF #2 UNLESS NOTED OTHERWISE.
4) ALL 2x8 HEADERS TO BE SPF #2 UNLESS NOTED OTHERWISE.
5) PROVIDE 1x BLOCKING UNDER ALL EXTERIOR SLIDING DOORS.
6) ALL BEAMS & HEADERS SHALL HAVE A MINIMUM OF (1) 2x JACK STUD & (1) 2x KING STUD. THE NUMBER OF STUDS LABELED ON PLANS INDICATES THE NUMBER OF JACK STUDS ONLY (UNLESS NOTED OTHERWISE).
7) TWO-PLY CONVENTIONAL BEAMS TO BE FACE-NAILED W/2 ROWS 16d COMMON NAILS STAGGERED @16" O.C. UNLESS NOTED OTHERWISE. THREE-PLY CONVENTIONAL BEAMS TO BE NAILED AS ABOVE FROM EACH SIDE. MULTIPLE PLIES OF ENGINEERED LUMBER TO BE ASSEMBLED PER MANUF. RECOMM.
8) JOIST HANGERS, WHERE REQUIRED, SHALL BE USED WITHOUT ANGLES.
9) INSTALL FIRE STOPPING AND/ OR DRAFT STOPPING AS REQUIRED.

ROOF:

1) HIP AND VALLEY RAFTERS SHALL BE SUPPORTED AT RIDGE DOWN TO BEARING PARTITION. CUT ENDS OF RAFTERS SHALL BE FULLY SUPPORTED WALL AND RIDGE.
2) SHOP DRAWINGS FOR ANY AND ALL ENGINEERED ROOF TRUSS SYSTEMS TO BE SUBMITTED TO ARCHITECT TO REVIEW IN CONFORMANCE WITH THESE CONSTRUCTION DOCUMENTS. WHERE THE CONSTRUCTION DOCUMENTS DO NOT ADDRESS METHODOLOGY, CONTRACTOR TO BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

LIGHT & VENT CALCULATIONS:

ROOM	SQ. FT.	LIGHT REQ'D	LIGHT SUPP	VENT REQ'D	VENT SUPP	NOTES
FIRST FLOOR						
PLANNING CENTER	115	9.2	24.80	4.60	10.60	
GATHERING ROOM	367	29.36	49.60	14.68	21.20	
KITCHEN/NOOK	331	26.48	46.94	13.24	22.72	
DINING ROOM	161	12.88	24.80	6.44	10.60	
DEN	173	14.08	37.20	7.04	15.90	
POWDER ROOM	35	N/A	N/A	1.12	50.00	
SECOND FLOOR						
GAME ROOM	299	23.92	46.80	11.96	19.60	
OWNER'S SUITE	282	22.64	40.80	11.32	17.20	
BEDROOM 2	131	10.48	26.80	5.24	11.90	
BEDROOM 3	159	12.16	23.40	6.08	9.80	
BEDROOM 4	152	12.16	35.17	6.08	14.70	
OWNER'S BATH	111	N/A	24.80	118.8	120.00	
TOILET ENCLOSURE	16	N/A	N/A	20.9	50.00	
BATH 3	48	N/A	N/A	59.40	60.00	
BATH 4	37	2.96	5.20	1.48	50.00	
OPT. BEDROOM 5	273	21.84	46.80	10.92	19.60	
OPT. SUNROOM	110	8.80	62.00	4.40	26.50	
OPT. GUEST SUITE	153	12.24	35.10	6.12	14.70	
OPT. BEDROOM 6	226	21.84	23.85	10.92	12.40	
OPT. BSMT. BATH	44	N/A	N/A	1.48	50.00	
BATH 1	35	N/A	N/A	37.40	50.00	
OPT. BATH 2	48	N/A	N/A	59.40	60.00	

APPLICABLE CODES:

2009 INTERNATIONAL RESIDENTIAL CODE
(SECTION 602) 2012 INTERNATIONAL RESIDENTIAL CODE
2013 RESIDENTIAL CODE OF OHIO
2011 INTERNATIONAL PLUMBING CODE
2011 INTERNATIONAL MECHANICAL CODE
2011 NATIONAL ELECTRIC CODE
2011 INTERNATIONAL FIRE CODE
2009 INTERNATIONAL ENERGY CONSERVATION CODE

SQUARE FOOTAGE INDEX:

DESCRIPTION OF AREA	AREA
ELEVATION 9	
FIRST FLOOR	1621 SQ. FT.
SECOND FLOOR	1472 SQ. FT.
ANSI STAIR	N/A SQ. FT.
TOTAL	3093 SQ. FT.
GARAGE	688 SQ. FT.
PORCH	146 SQ. FT.
TOTAL AREA UNDER ROOF	2455 SQ. FT.
UNFINISHED BASEMENT	1522 SQ. FT.

PLAN SHEET INDEX

Cleveland Division
387 Medina Rd. Suite 1700
Medina, OH 44256

Cover Sheet
Specifications & General Notes

PRODUCTION MANAGER
Jamey Heinzman
CURRENT RELEASE DATE: 06/29/2018

REV # | DATE / DESCRIPTION

NOTE: SCALE'S NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS – 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

ENGINEER OF RECORD: MULHERN & KULP ENGINEERS
ARCHITECT OF RECORD: GODUCO DESIGN – ARCHITECTS

PROJECT TYPE: SINGLE FAMILY
COMMUNITY NAME: RIVER OAKS LOT 133
LAWSON COMMUNITY ID: ----
GARAGE HANDING: GARAGE RIGHT
SPECIFICATION LEVEL: TBD
PLAN NAME: ATWATER
NPC PLAN NUMBER: 1642
LAWSON PLAN ID: ----
LEGACY PLAN NUMBER / NAME: PLAN 3295
SHEET: 0.00

PLOTTED: July 3, 2018 / Tiffany Perreault / PLAN-3295-RO-COVR.DWG

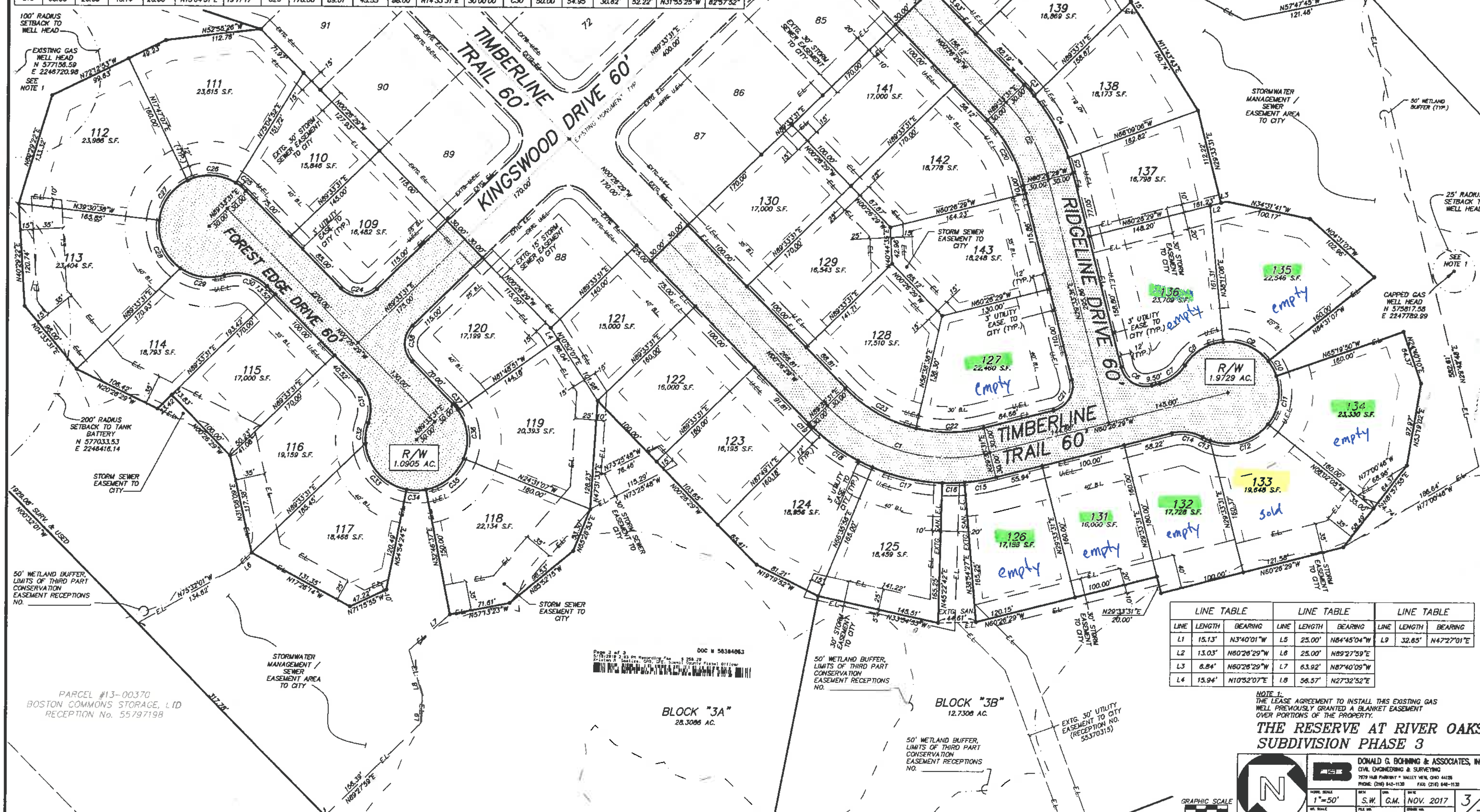
Ro 133 Plat

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	200.00'	209.44'	115.47'	200.00'	N30°26'29"W	60°00'00"
C2	200.00'	104.72'	53.59'	103.53'	N14°33'31"E	30°00'00"
C3	230.00'	17.82'	8.92'	17.82'	N01°46'43"E	4°26'25"
C4	230.00'	83.62'	42.28'	83.16'	N14°24'50"E	20°49'48"
C5	230.00'	18.99'	9.50'	18.98'	N27°11'37"E	4°43'47"
C6	30.00'	47.12'	30.00'	42.43'	N15°26'29"W	90°00'00"
C7	50.00'	37.82'	19.87'	36.93'	N82°06'44"W	43°20'30"
C8	60.00'	54.42'	29.24'	52.58'	N77°47'56"W	51°58'07"
C9	60.00'	60.00'	32.78'	57.53'	N23°10'00"W	57°17'45"
C10	60.00'	20.09'	10.14'	20.00'	N15°04'31"E	19°11'17"

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C11	60.00'	60.00'	32.78'	57.53'	N53°19'02"E	57°17'45"
C12	60.00'	75.17'	43.42'	70.35'	N62°08'41"W	71°46'48"
C13	60.00'	9.59'	4.80'	9.58'	N21°40'38"W	9°09'18"
C14	50.00'	37.82'	19.87'	36.93'	N38°46'14"W	43°20'30"
C15	230.00'	37.53'	18.81'	37.49'	N55°46'01"W	9°20'56"
C16	230.00'	25.98'	13.00'	25.96'	N47°51'25"W	6°28'15"
C17	230.00'	85.19'	43.09'	84.70'	N34°00'41"W	21°13'14"
C18	230.00'	85.19'	43.09'	84.70'	N12°47'27"W	21°13'14"
C19	230.00'	6.98'	3.49'	6.98'	N01°18'39"W	1°44'20"
C20	170.00'	89.01'	45.55'	88.00'	N14°33'31"E	30°00'00"

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C21	30.00'	47.12'	30.00'	42.43'	N74°33'31"E	90°00'00"
C22	170.00'	80.36'	40.95'	79.62'	N46°53'56"W	27°05'07"
C23	170.00'	97.66'	50.22'	96.32'	N16°53'56"W	32°54'53"
C24	30.00'	47.12'	30.00'	42.43'	N45°26'29"W	90°00'00"
C25	60.00'	15.16'	7.62'	15.12'	N07°40'49"W	14°28'39"
C26	60.00'	60.00'	32.78'	57.53'	N43°34'01"W	57°17'45"
C27	60.00'	60.00'	32.78'	57.53'	N79°08'15"E	57°17'45"
C28	60.00'	64.91'	36.04'	61.79'	N19°29'56"E	61°58'49"
C29	60.00'	54.36'	29.21'	52.52'	N37°26'55"W	51°54'51"
C30	50.00'	54.95'	30.62'	52.22'	N31°55'25"W	62°57'52"

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C31	50.00'	54.95'	30.62'	52.22'	N31°02'27"E	62°57'52"
C32	60.00'	24.14'	12.23'	23.97'	N50°39'56"E	23°02'53"
C33	60.00'	78.09'	45.68'	72.69'	N02°11'26"E	74°34'08"
C34	60.00'	23.17'	11.73'	23.03'	N46°08'30"W	22°07'46"
C35	60.00'	60.00'	32.78'	57.53'	N85°52'15"W	57°17'45"
C36	60.00'	60.00'	32.78'	57.53'	N36°50'00"E	57°17'45"
C37	60.00'	9.03'	4.53'	9.03'	N03°52'19"E	8°37'37"
C38	30.00'	47.12'	30.00'	42.43'	N44°33'31"E	90°00'00"



RIDGELINE DRIVE 60'
TIMBERLINE TRAIL 60'
KINGSWOOD DRIVE 60'
FOREST EDGE DRIVE 60'
BLOCK "3C" 222.8363 AC. (RESERVED FOR FUTURE SUBDIVIDING)
BLOCK "3A" 28.3086 AC.
BLOCK "3B" 12.7308 AC.
PARCEL #13-00370 BOSTON COMMONS STORAGE, LTD RECEPTION No. 55797198
R/W 1.0905 AC.
R/W 1.9729 AC.
100' RADIUS SETBACK TO WELL HEAD
EXISTING GAS WELL HEAD N 577156.59 E 2246720.98 SEE NOTE 1
200' RADIUS SETBACK TO TANK BATTERY N 577033.53 E 2248416.14
25' RADIUS SETBACK TO WELL HEAD
CAPPED GAS WELL HEAD N 575817.58 E 2247782.99
STORMWATER MANAGEMENT / SEWER EASEMENT AREA TO CITY
50' WETLAND BUFFER, LIMITS OF THIRD PART CONSERVATION EASEMENT RECEPTIONS NO.
111 23,615 S.F.
112 23,986 S.F.
113 23,404 S.F.
114 18,793 S.F.
115 17,000 S.F.
116 19,159 S.F.
117 18,468 S.F.
118 22,134 S.F.
119 20,393 S.F.
120 17,199 S.F.
121 15,000 S.F.
122 16,000 S.F.
123 16,195 S.F.
124 18,856 S.F.
125 18,459 S.F.
126 17,193 S.F. empty
127 22,460 S.F. empty
128 17,510 S.F.
129 16,543 S.F.
130 17,000 S.F.
131 16,000 S.F. empty
132 17,728 S.F. empty
133 19,648 S.F. Sold
134 23,330 S.F. empty
135 22,546 S.F. empty
136 23,709 S.F. empty
137 16,798 S.F.
138 18,173 S.F.
139 18,869 S.F.
140 17,282 S.F.
141 17,000 S.F.
142 18,778 S.F.
143 18,248 S.F.
109 18,482 S.F.
110 15,846 S.F.

LINE	LENGTH	BEARING
L1	15.13'	N3°40'01"W
L2	13.03'	N60°26'29"W
L3	6.84'	N60°26'29"W
L4	15.94'	N10°52'07"E
L5	25.00'	N84°45'04"W
L6	25.00'	N89°27'59"E
L7	63.92'	N87°40'09"W
L8	56.57'	N27°32'52"E
L9	32.65'	N47°27'01"E

NOTE 1:
THE LEASE AGREEMENT TO INSTALL THIS EXISTING GAS WELL PREVIOUSLY GRANTED A BLANKET EASEMENT OVER PORTIONS OF THE PROPERTY.

THE RESERVE AT RIVER OAKS SUBDIVISION PHASE 3

DONALD G. BOHNING & ASSOCIATES, INC.
CIVIL ENGINEERING & SURVEYING

HORIZ. SCALE	DRWN	CHK.	DATE	SHEET
1"=50'	S.W.	G.M.	NOV. 2017	3/3
VERT. SCALE	FILE NO.		ORDER NO.	
------	427203-02-03		4272-3	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