

A WNDW TRIM DETAIL

A SCALE: 1 1/2"=1'-0"



REAR ELEVATION

SCALE 1/4" = 1'-0"



FRONT ELEVATION

SCALE 1/4" = 1'-0"

LOTTED: August 22, 2018 / Rudolph Sanchez / PLAN-3295-RO-EL01.DWG

Cleveland Division



387 Medina Rd. Suite 1700
Medina, OH 44256

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PRODUCTION MANAGER: James Heinzman
CURRENT RELEASE DATE: 08/22/2018
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NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS
PROJECT TYPE: SINGLE FAMILY
COMMUNITY NAME: RIVER OAKS
LOT 123
LAWSON COMMUNITY ID

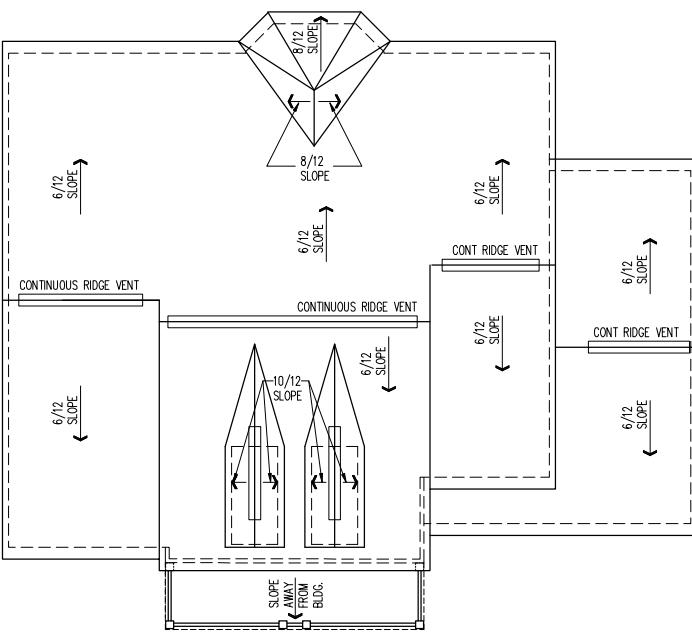
GARAGE HANDING: GARAGE RIGHT
SPECIFICATION LEVEL: TBD

PLAN NAME: ATWATER
NPC PLAN NUMBER: 1642
LAWSON PLAN ID
LEGACY PLAN NUMBER / NAME: PLAN 3295

ENGINEER OF RECORD: MULHERN & KUHN ENGINEERS
ARCHITECT OF RECORD: ZODUCO DESIGN - ARCHITECTS
SHEET: 7.03a3

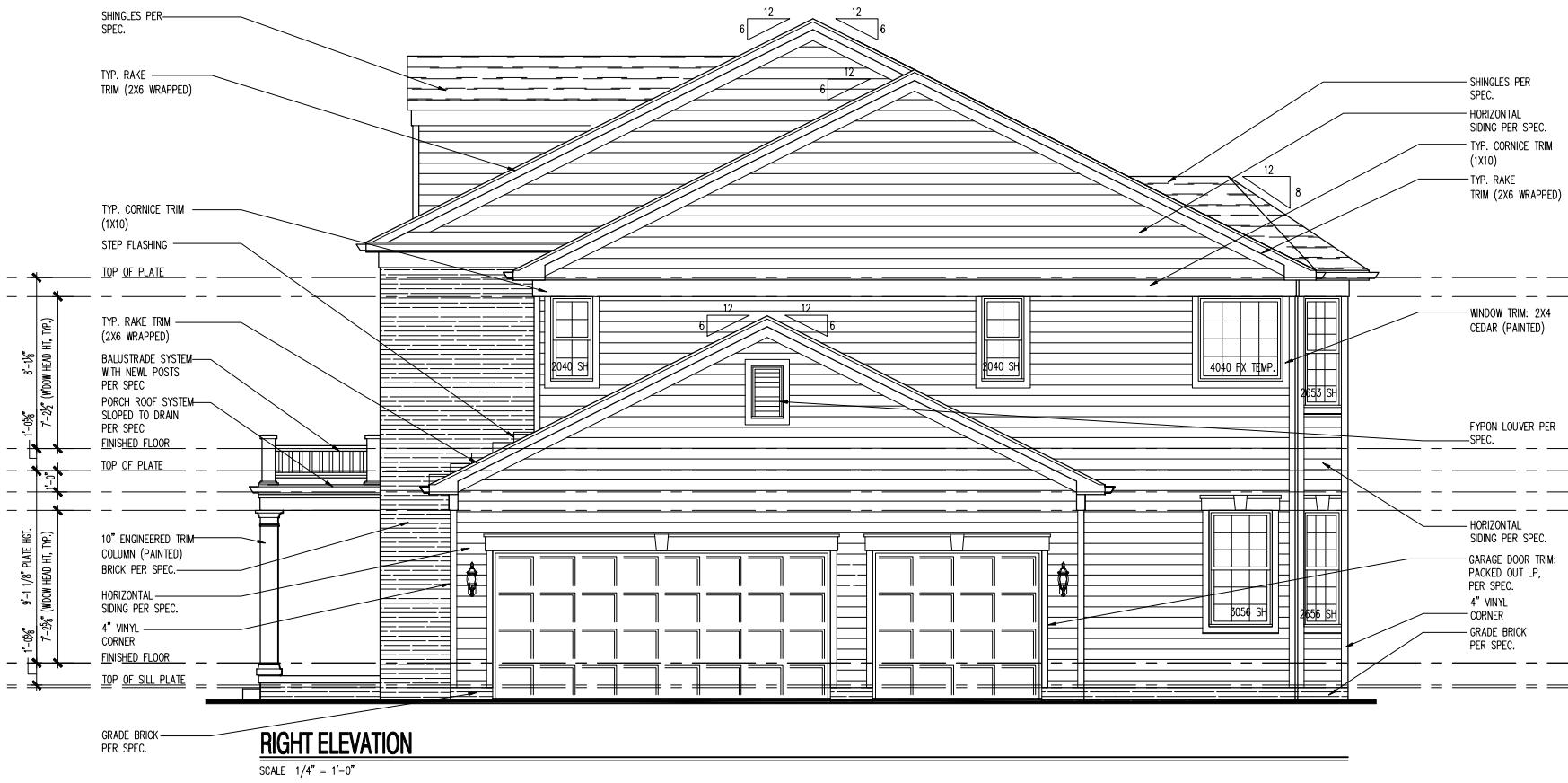
ATTIC VENTILATION SCHEDULE

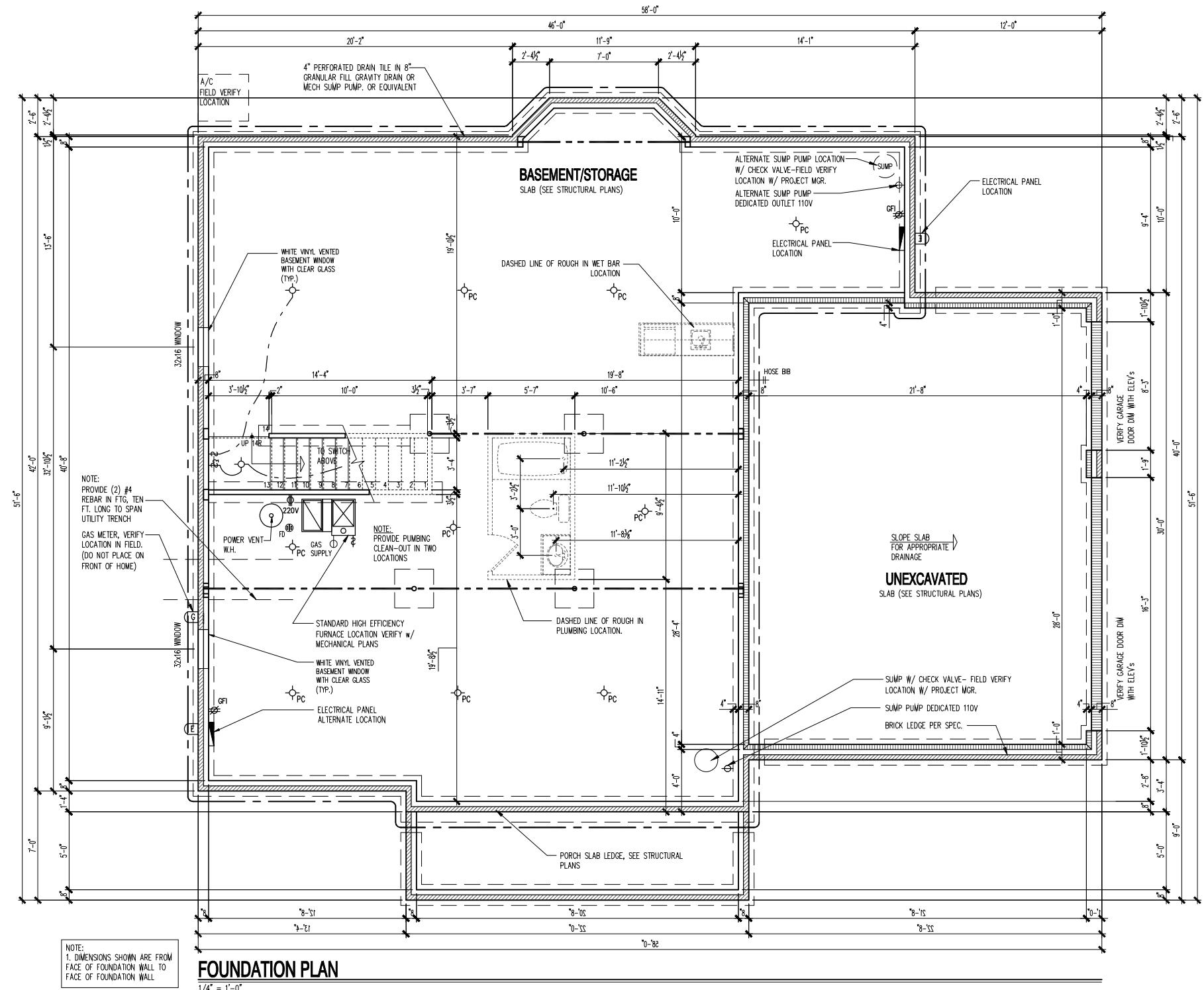
3 ELEVATION	1ST FLOOR ROOF			2ND FLOOR ROOF			GARAGE ROOF			
	LOC	AREA	REQ'D	SUPP	AREA	REQ'D	SUPP	AREA	REQ'D	SUPP
ROOF					2030	3.39	5.88	455	0.38	1.56
EAVE						3.39	6.00	225	0.38	2.25
TOTAL						6.77	11.88	0.76	3.81	



ROOF PLAN

SCALE 1/8" = 1'-0"





ENGINEER OF RECORD: MULHEARN & KUHL ENGINEERS
ARCHITECT OF RECORD: SODICO DESIGN - ARCHITECTS
SPECIFICATION LEVEL: TBD
PLAN NAME: ATWATER
NPC PLAN NUMBER: 1642
LAWSON PLAN ID: 1642
LEGACY PLAN NUMBER / NAME: PLAN 3295
SHEET: 1.30a

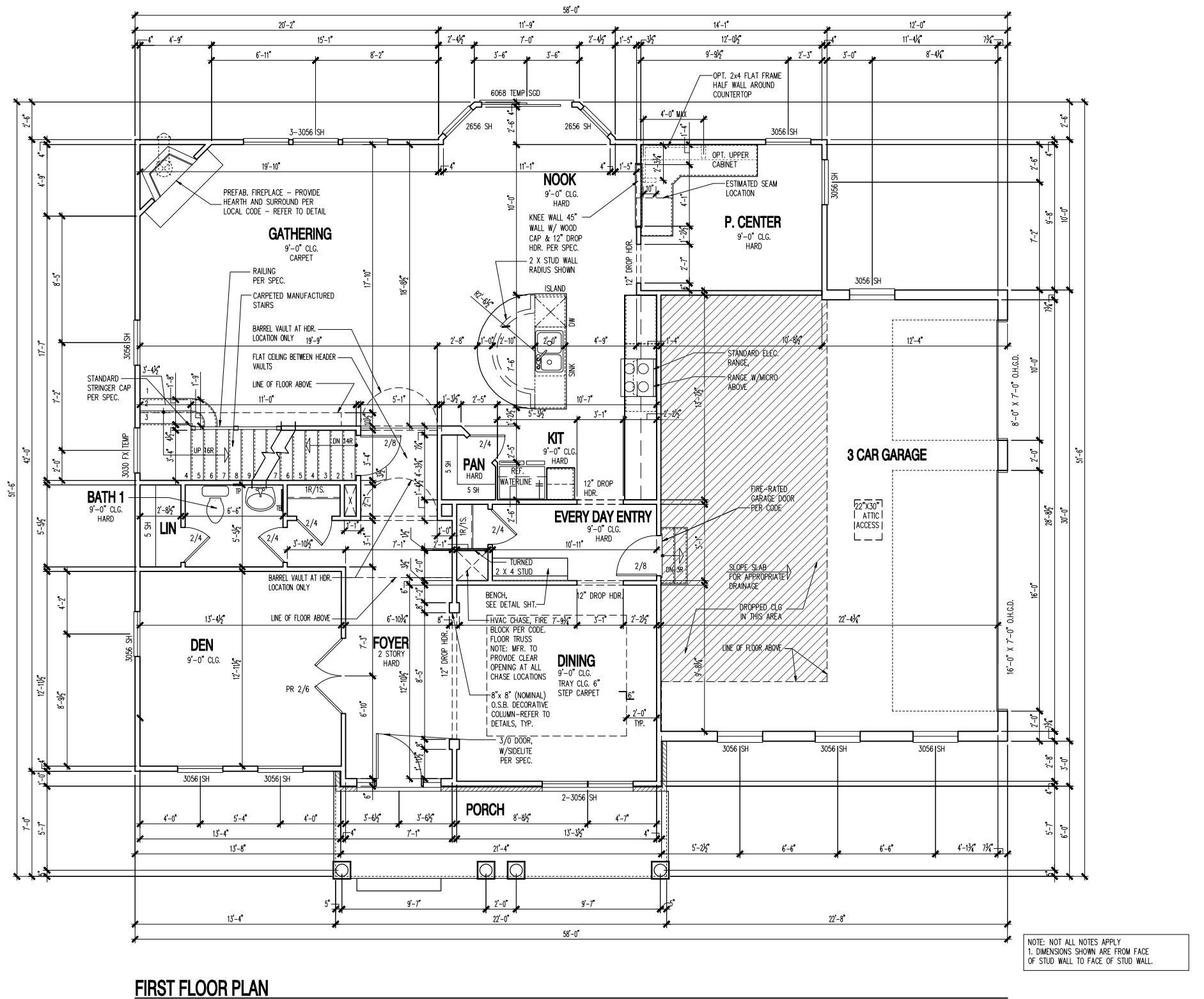
PROJECT TYPE: SINGLE FAMILY
COMMUNITY NAME: RIVER OAKS
LOT 123
LAWSON COMMUNITY ID: 123
GARAGE HANDING: GARAGE RIGHT
SPECIFICATION LEVEL: TBD
PLAN NAME: ATWATER
NPC PLAN NUMBER: 1642
LAWSON PLAN ID: 1642
LEGACY PLAN NUMBER / NAME: PLAN 3295
SHEET: 1.30a

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Full Basement Foundation Plan



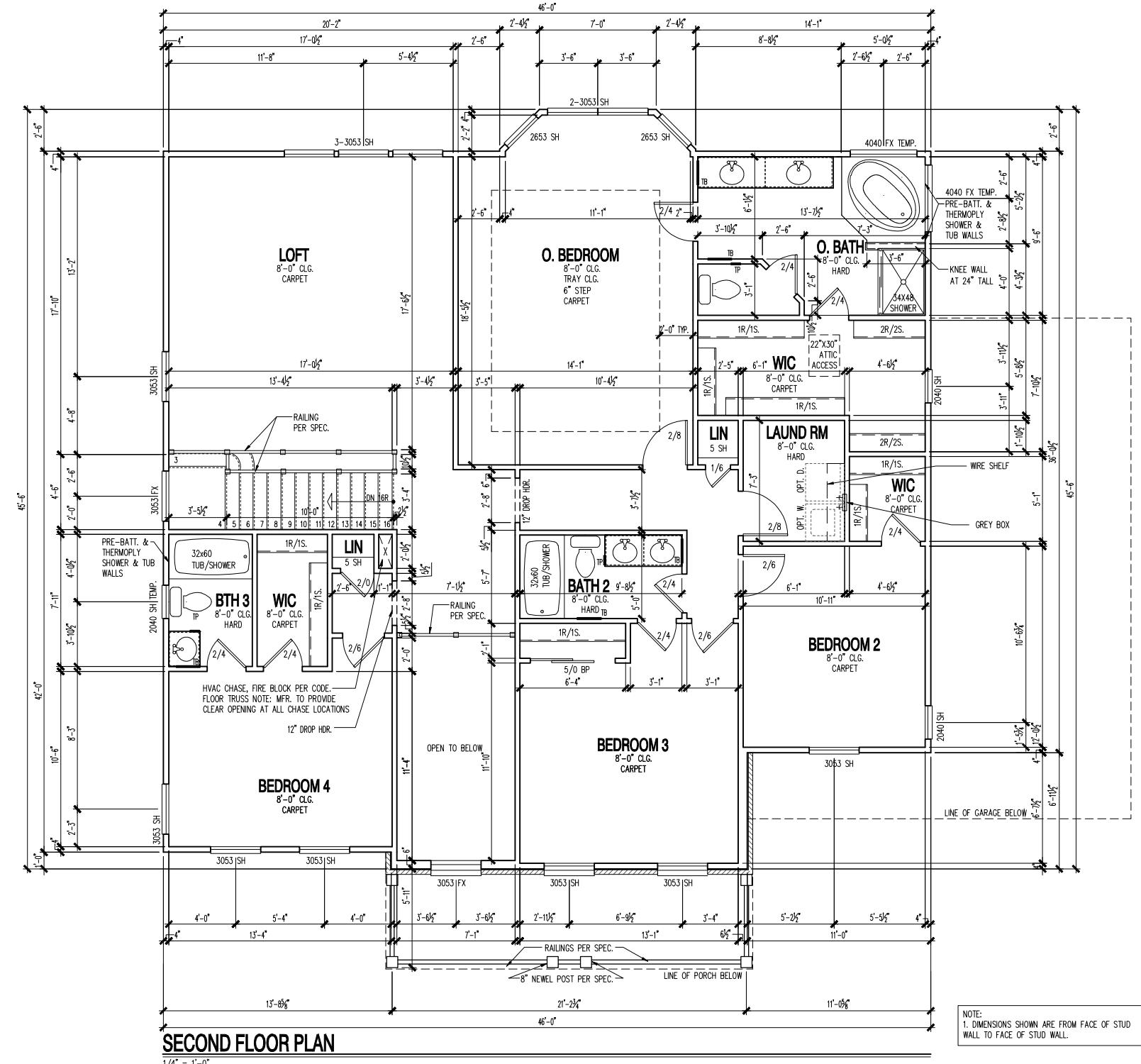
First Floor Plan

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NUMBER / NAME
N 3295



ENGINEER OF RECORD: MULHERN & KUHP ENGINEERS
ARCHITECT OF RECORD: SODICO DESIGN - ARCHITECTS
SPECIFICATION LEVEL: TBD
PLAN NAME: ATWATER
NPC PLAN NUMBER: 1642
LAWSON PLAN ID: PLAN 3295
SHEET: 2.20a

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

PROJECT TYPE: SINGLE FAMILY
COMMUNITY NAME: RIVER OAKS LOT 123
LAWSON COMMUNITY ID: 1
GARAGE HANDING: GARAGE RIGHT
SPECIFICATION LEVEL: TBD
PLAN NAME: ATWATER
NPC PLAN NUMBER: 1642
LAWSON PLAN ID: PLAN 3295
SHEET: 2.20a

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Medina, OH 44256

Pulte
Homes
Second Floor Plan

Typical Wall Sections

PRODUCED
By Jamey L.
CURRENT
RELEASE
REV # 1

NAME
R OAKS
T 123
COMMUNITY ID

ADING
GE RIGHT
N LEVEL

WATER
NUMBER

N ID
NUMBER / NAME
N 3295

31b

TYPICAL WALL SECTION - garage

SCALE 1/2" = 1'-0"

TYPICAL WALL SECTION - garage w/ 2x4 wall w/ brick wainscot

SCALE 1/2" = 1'-0"

TYPICAL WALL SECTION - garage w/ 2x4 wall w/ stone wainscot

SCALE 1/2" = 1'-0"



OHIO DIVISION - LOT 123

River Oake

Atwater

1 - GENERAL BUILDING & DESIGN REQUIREMENTS

1) THE ATTACHED PLANS & SPECIFICATIONS ARE THE SOLE PROPERTY OF PULTE HOMES INC. ANY UNAUTHORIZED USE OF THESE PLANS WITHOUT PRIOR WRITTEN CONSENT OF PULTE HOMES INC. IS STRICTLY PROHIBITED.
 2) PULTE HOMES INC. DESIGNS & BUILDS HOUSING AS SET FORTH BY THE FORMAT AND PROVISIONS OF THE RESIDENTIAL CODE OF OHIO (RCO), AND THE NATIONAL ELECTRIC CODE (NEC). ANY NON-COMFORMING DOCUMENTS DISCOVERED BY THE CONTRACTOR OR HIS AGENTS SHALL BE CALLED TO THE IMMEDIATE ATTENTION OF PULTE HOMES INC. BY CALLING (651) 452-5200.
 3) THESE PLANS ARE SUBJECT TO MODIFICATIONS TO MEET CODE REQUIREMENTS AND/OR TO FACILITATE MECHANICAL/ ELECTRICAL/ PLUMBING INSTALLATION AND/OR TO IMPLEMENT DESIGN IMPROVEMENTS. ANY INTENTION TO MODIFY THESE PLANS MUST BE APPROVED IN WRITING BY PULTE HOMES INC.
 4) CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AFFECTING CONTRACTOR'S PRODUCTS, INSTALLATIONS, OR FABRICATIONS IN THE FIELD PRIOR TO EXPEDITING THE CONSTRUCTION OF SUCH WORK. FIELD VERIFY ALL DIMENSIONS - DO NOT SCALE DRAWINGS! CONTRACTOR IS RESPONSIBLE FOR SURVEYING THE PROJECT AND BECOMING FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK INCLUDING BUT NOT LIMITED TO SITE AND SOIL BEARING CONDITIONS.
 5) ERRORS AND OMISSIONS WHICH MAY OCCUR IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, IN WRITING, AND WRITTEN INSTRUCTION SHALL BE OBTAINED PRIOR TO PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY ERRORS, DISCREPANCIES, OR OMISSIONS FOR WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT PRIOR TO CONSTRUCTION AND/OR FABRICATION OF THE WORK.

2 - SITE CONSTRUCTION

1) SOIL BEARING CALCULATIONS BASED ON 2000 PSF MIN
 2) BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS.
 3) BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS BACKFILL TO NOT DAMAGE THE FOUNDATION WALLS OR ANY WATERPROOFING/ DAMPROOFING MATERIALS.

3 - CONCRETE

1) ALL CONCRETE EXPOSED TO EXTERIOR ELEMENTS SHOULD BE AIR ENTRAINED 4-6%
 2) SLOPE ON DRIVE SHADE BE NO LESS THAN 2% OR 1/4" PER FOOT- PREFERABLY 4% OR 1/2" PER FOOT. THE FRONT STOOP SHALL HAVE SLOPE EQUAL TO 1" PER FOOT. THE RAISED WALK IN GARAGE SHALL HAVE A 1/2" PER FOOT SLOPE AND DRIVE SLAB SHALL BE SLOPED MIN. 1/4" PER FOOT.
 3) SOME COLUMN DIMENSIONS ARE FROM CENTER OF COLUMN TO EXTERIOR FACE OF BASEMENT WALL.
 4) BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS.
 5) BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS TO NOT DAMAGE THE FOUNDATION WALLS OR WATERPROOFING / DAMPROOFING MATERIALS.
 6) MUD SILLS SHALL BE TREATED MEMBERS AND SECURED BY ANCHOR BOLTS AND/OR STRAPS AS SPECIFIED IN THE DRAWINGS, DETAILS, AND SPECIFICATIONS.
 7) CALCULATIONS FOR COLUMN PADS BASED ON 2000 PSF SOIL BEARING.
 8) FOUNDATION WALLS & FLOOR DEPTH TO BE VERIFIED IN FIELD.

4 - MASONRY

1) ALL EXTERIOR BRICK MUST MEET ASTM C-216 FOR "SW" CONDITIONS
 2) MASONRY VENEER SHALL BE ATTACHED TO SUPPORTING WALLS w/ 22GA x 7/8" CORROUGATED METAL TIES AT 24" O.C.
 3) FLASHING BEHIND MASONRY SHALL BE 14# BUILDING PAPER OR FELT OR APPROVED EQUAL ATTACHED TO THE SHEATHING TO PREVENT MOISTURE PENETRATION.
 4) WEPPHOLES SHALL BE PROVIDED ALONG THE OUTSIDE NYTHE OF EXTERIOR MASONRY WALLS AT 33" O.C. MAX, SHALL BE A MIN. OF 3/16" IN DIAMETER, AND LOCATED IMMEDIATELY ABOVE THE FLASHING

5 - METALS

6 - WOOD AND PLASTICS

7 - THERMAL & MOISTURE PROTECTION

1) INSTALL FIRE STOPPING AND/ OR DRAFT STOPPING AS REQUIRED.
 2) ATTIC VENTILATION SHALL BE PROVIDED AT 1/150th OF THE AREA OF THE SPACE VENTILATED. CROSS VENTILATION WITH HALF OF THE VENTILATED AREA SHALL BE PROVIDED BY RIDGE OR GABLE VENTS AND THE OTHER HALF BY EAVES OR CORNICE VENTS. VENTS SHALL BE PLACED SO AS TO NOT ALLOW INFILTRATION OF RAIN OR SNOW.
 3) PROVIDE APPROVED TILE BACKER BOARD FOR ALL SHOWER AND BATH SPACE.
 4) PROVIDE ICE-SHIELD PEER CODE
 5) ROOF VENTING TO BE PROVIDED AS SHOWN, SOFFIT, RIDGE, AND OTHER ROOF VENTS TO BE INSTALLED AS NOTED ON THE DRAWINGS & AS PER MANUFACTURERS RECOMMENDATIONS.
 6) HOUSE WRAP & FLASHING TO BE INSTALLED PER PULTE BEST PRACTICES.

8 - DOORS AND WINDOWS

1) WINDOW CALL OUT PER WINDOW SCHEDULE VERIFY WINDOW MANUFACTURER WITH PROJECT MANAGER
 2) REVIEW ALL WINDOW HDR HEIGHTS PER PLATE HT, AND VERIFY W/ ELEVATIONS AND CORNICE DETAILS
 3) TEMPERED GLASS SHALL BE USED IN ALL HAZARDOUS AREAS
 4) ALL 2x10 & 2x12 HEADERS TO BE SPF #2 UNLESS NOTED OTHERWISE.
 5) GARAGE DOOR WIDTH AS REQUIRED BY CODE
 6) EMERGENCY - SLEEPING ROOMS SHALL HAVE AT LEAST ONE EGRESS OPENING OF NOT LESS THAN 5.7 SF AND A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR.

15 - MECHANICALS

1) FACTORY BUILT CHIMNEYS AND FIREPLACES SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS, AND ARE SUBJECT TO MECHANICAL INSPECTION
 2) PROVIDE EXTERIOR AIR INTAKE FOR COMBUSTION AIR.

16 - ELECTRICAL

1) ALL ELECTRICAL INSTALLATION SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRIC CODE (NEC). ALL MATERIAL AND EQUIPMENT SHALL BEAR THE LABEL OF APPROVAL OF THE UNDERWRITERS LABORATORIES, INC.
 2) ELECTRICAL CONTRACTOR SHALL VERIFY SPACE REQUIRED FOR METER INSTALLATION BEFORE CONSTRUCTION AND SHALL NOTIFY GENERAL CONTRACTOR OF ANY DISCREPANCIES.

3) VERIFY LOCATION OF ALL RECEPTACLES FOR APPLIANCES WITH MANUFACTURER SPECIFICATIONS.

4) GROUND FAULT INTERRUPTS SHALL BE LOCATED PER THE NEC.

5) ALL SWITCHES SHALL BE INSTALLED AT 3'-2" ABOVE FINISHED FLOOR TO CENTERLINE OF SWITCH UNLESS NOTED OTHERWISE.

6) ALL CONVENIENCE OUTLETS SHALL BE INSTALLED W/ CENTERLINE OF OUTLET LOCATED 1'-3" ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE.

7) ALL CONVENIENCE OUTLETS WITH SWITCHES TO BE SWITCH AT TOP ONLY.

8) ALL EXTERIOR WALL BRACKET FIXTURES SHALL BE INSTALLED AT 5'-6" ABOVE ADJACENT DOOR SILL HEIGHT TO CENTERLINE OF FIXTURE.

9) APPROVED SMOKE DETECTORS SHALL BE LOCATED ON EVERY STORY OF THE DWELLING UNIT AS PER CODE (SEE SHEET 6-XXX FOR LOCATIONS). WHERE MORE THAN ONE DETECTOR IS REQUIRED THEY SHALL BE INTERCONNECTED. POWER SOURCE SHALL BE BUILDING POWER W/ BATTERY BACKUP.

GENERAL FRAMING SPECS AND CONSTRUCTION NOTES STAIRS:

1) THE MAXIMUM RISER HEIGHT SHALL BE 7 3/4 INCHES (210 MM) AND THE MINIMUM TREAD DEPTH SHALL BE 10 INCHES (229 MM).
 2) HANDRAILS HAVING MINIMUM AND MAXIMUM HEIGHTS OF 34 INCHES AND 38 INCHES SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS.
 3) HANDRAIL AND BALUSTRADE (WHERE PRESENT) SHALL BE CONSTRUCTED PER CODE.
 4) ALL REQUIRED HAND RAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS W/ 2 OR MORE RISERS FROM A POINT ABOVE THE THE TOP RISER OF A FLIGHT TO A POINT ABOVE THE LOWEST RISER OF THE FLIGHT. ENDS SHALL BE RETURNED OR SHALL TERMINATE AT NEWEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1.5" BETWEEN THE WALL AND HAND RAIL.

WALLS:

1) ALL STUDS TO BE 2x4 SPF OR EQUAL UNLESS NOTED OTHERWISE.
 2) USE DBE TOP PLATES 16" OC ON BOTH FIRST AND SECOND FLOOR AT ALL EXTERIOR AND LOAD BEARING CONDITIONS ALL OTHER PARTITION WALL USE SINGLE TOP PLATE 24" OC.

FLOORS:

1) STRUCTURAL FLOOR MEMBERS SHALL NOT BE CUT, BORED, OR NOTCHED IN EXCESS OF THE LIMITATIONS SPECIFIED PER CODE.
 2) THE ENDS OF EACH JOIST, BEAM, OR GIRDER SHALL HAVE NOT LESS THAN 1.5 INCHES (38MM) OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3 INCHES (76MM) ON MASONRY OR CONCRETE OR AS OTHERWISE SPECIFIED PER CODE.
 3) ANY CONVENTIONAL FLOOR JOISTS SHOWN DOUBLED ON PLANS TO BE GLUED AT INSTALLATION AND NAILED W/ 3-16d NAILS @ 16" O.C. MULTIPLE PLIES OF ENGINEERED LUMBER TO BE ASSEMBLED PER MANUF. RECOMM.
 4) SHOP DRAWINGS FOR ANY AND ALL ENGINEERED FLOOR SYSTEMS TO BE SUBMITTED TO ARCHITECT TO REVIEW IN CONFORMANCE WITH THESE CONSTRUCTION DOCUMENTS. WHERE THE CONSTRUCTION DOCUMENTS DO NOT ADDRESS METHODOLOGY, CONTRACTOR TO BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

FRAMING:

1) ALL FRAMING DIMENSIONS TO FACE OF MEMBER/SHEATHING.
 2) ALL BEARING HEADERS TO BE 2x8 SPF #2 OR EQUAL UNLESS NOTED OTHERWISE.
 3) ALL 2x10 & 2x12 HEADERS TO BE SPF #2 UNLESS NOTED OTHERWISE.
 4) ALL 2x8 HEADERS TO SPF #2 UNLESS NOTED OTHERWISE.
 5) PROVIDE 1x BLOCKING UNDER ALL EXTERIOR SLIDING DOORS.
 6) ALL BEAMS & HEADERS SHALL HAVE A MINIMUM OF (1) 2x JACK STUD & (1) 2x KING STUD. THE NUMBER OF STUDS LABELED ON PLANS INDICATES THE NUMBER OF JACK STUDS ONLY (UNLESS NOTED OTHERWISE).
 7) TWO-PLY CONVENTIONAL BEAMS TO BE FACE-NAILED W/2 ROWS 16d COMMON NAILS STAGGERED @16" O.C. UNLESS NOTED OTHERWISE. THREE-PLY CONVENTIONAL BEAMS TO BE NAILED AS ABOVE FROM EACH SIDE. MULTIPLE PLIES OF ENGINEERED LUMBER TO BE ASSEMBLED PER MANUF. RECOMM.
 8) JOIST HANGERS, WHERE REQUIRED, SHALL BE USED WITHOUT ANGLES.
 9) INSTALL FIRE STOPPING AND/ OR DRAFT STOPPING AS REQUIRED.

SQUARE FOOTAGE INDEX:

DESCRIPTION OF AREA	AREA
FIRST FLOOR	1628 SQ. FT.
SECOND FLOOR	1772 SQ. FT.
ANSI STAIR	N/A SQ. FT.
TOTAL	3400 SQ. FT.
GARAGE	688 SQ. FT.
PORCH	132 SQ. FT.
TOTAL AREA UNDER ROOF	2447 SQ. FT.
UNFINISHED BASEMENT	1532 SQ. FT.

LIGHT & VENT CALCULATIONS:

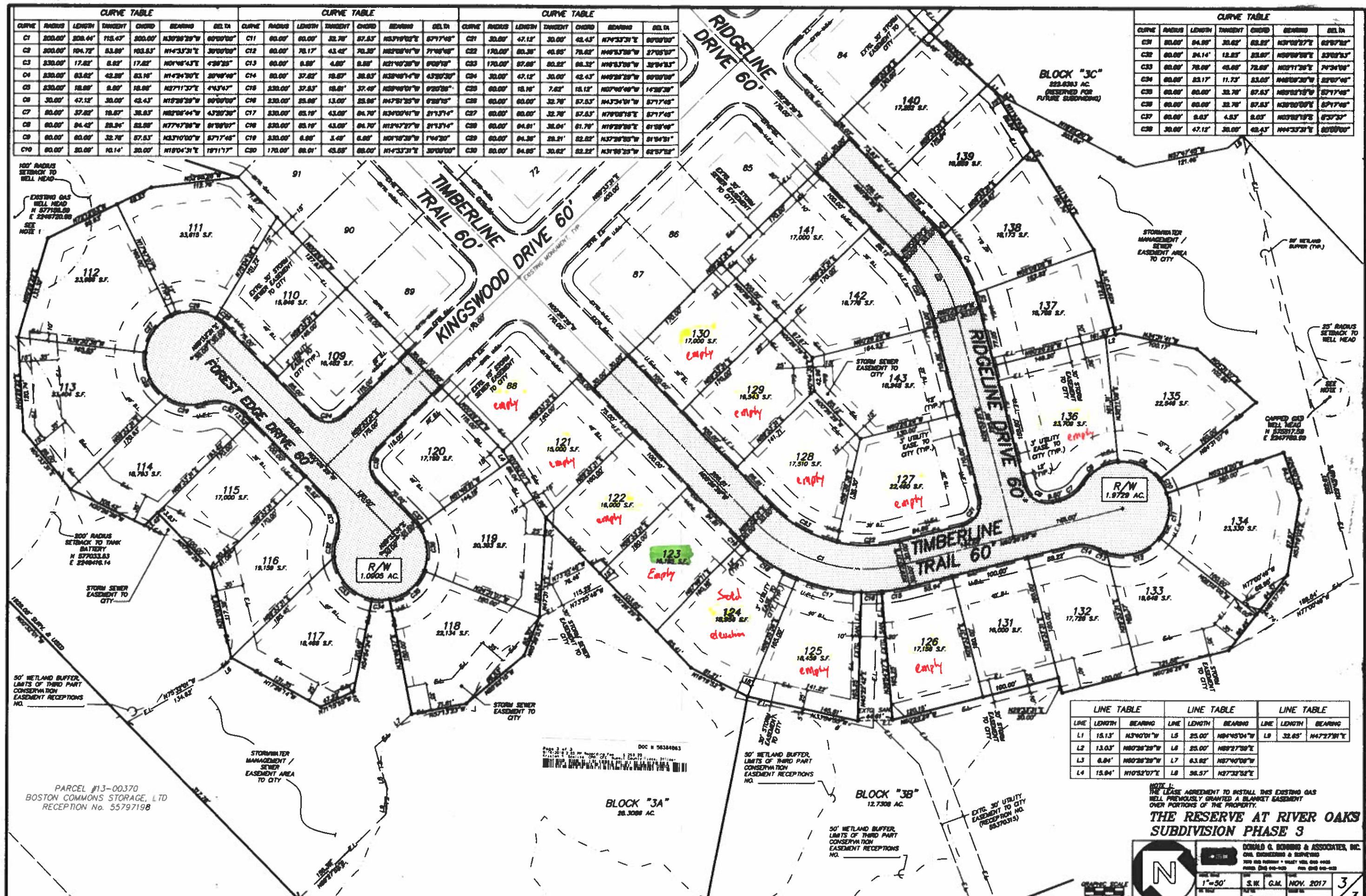
ROOM	SQ. FT.	LIGHT REQ'D	LIGHT SUPP	VENT REQ'D	VENT SUPP	NOTES
FIRST FLOOR						
PLANNING CENTER	115	9.2	24.80	4.60	10.60	
GATHERING ROOM	367	29.36	49.60	14.68	21.20	
KITCHEN NOOK	331	26.48	46.94	13.24	22.72	
DINING ROOM	161	12.88	24.80	6.44	10.60	
BED	173	14.08	37.20	7.04	15.90	
POWDER ROOM	35	N/A	N/A	1.12	50.00	
SECOND FLOOR						
GAME ROOM	299	23.92	46.80	11.96	19.60	
OWNER'S SUITE	282	22.64	40.80	11.32	17.20	
BEDROOM 2	131	10.48	26.80	5.24	11.90	
BEDROOM 3	159	12.16	23.40	6.08	9.80	
BEDROOM 4	152	12.16	35.17	6.08	14.70	
OWNER'S BATH	111	N/A	24.80	118.8	120.00	
TOILET ENCLOSURE	16	N/A	N/A	20.9	50.00	
BATH 3	48	N/A	N/A	59.40	60.00	
BATH 4	37	2.96	5.20	1.48	50.00	
OPT. BEDROOM 5	273	21.84	46.80	10.92	19.60	
OPT. SUNROOM	110	8.80	62.00	4.40	26.50	
OPT. GUEST SUITE	153	12.24	35.10	6.12	14.70	
OPT. BEDROOM 6	226	21.84	23.85	10.92	12.40	
OPT. BSMT. BATH	44	N/A	N/A	1.48	50.00	
BATH 1	35	N/A	N/A	37.40	50.00	
OPT. BATH 2	48	N/A	N/A	59.40	60.00	

APPLICABLE CODES:

2009 INTERNATIONAL RESIDENTIAL CODE
 (SECTION 602) 2012 INTERNATIONAL RESIDENTIAL CODE
 2013 RESIDENTIAL CODE OF OHIO
 2011 INTERNATIONAL PLUMBING CODE
 2011 INTERNATIONAL MECHANICAL CODE
 2011 NATIONAL ELECTRIC CODE
 2009 INTERNATIONAL FIRE CODE
 2009 INTERNATIONAL ENERGY CONSERVATION CODE

PLAN SHEET INDEX

SHT.	DESCRIPTION
0.00	COVER SHEET
1.30g	FULL BASEMENT FOUNDATION PLAN
2.10g	FIRST FLOOR PLAN
2.11g	PLAN DETAILS
2.11c	PLAN DETAILS
2.20g	SECOND FLOOR PLAN
3.30g	TYPICAL BUILDING SECTIONS
3.31g	TYPICAL WALL SECTIONS
3.31b	TYPICAL WALL SECTIONS
AD 3.7	ARCHITECTURAL DETAILS
6.10	FIRST FLOOR ELECTRICAL PLAN
6.11	SECOND FLOOR ELECTRICAL PLAN
7.03g2	ELEVATION "3" - FRONT AND REAR ELEVATIONS
7.03g3	ELEVATION "3" - SIDE ELEVATIONS AND ROOF PLAN
S-1.0	1ST FLOOR FRAMING PLAN
S-1.1	1ST FLOOR FRAMING PLAN
S-1.2	1ST FLOOR FRAMING PLAN
S-1.3	1ST FLOOR FRAMING PLAN
S-1.4	1ST FLOOR FRAMING PLAN
S-1.5	1ST FLOOR FRAMING PLAN
S-1.6	1ST FLOOR FRAMING PLAN
S-2.0	2ND FLOOR FRAMING PLAN
S-2.1	2ND FLOOR FRAMING PLAN
S-2.2	2ND FLOOR FRAMING PLAN
S-2.3	2ND FLOOR FRAMING PLAN
S-3.0	ROOF FRAMING PLAN
S-3.1	ROOF FRAMING PLAN
S-3.2	ROOF FRAMING PLAN
S-3.3	ROOF FRAMING PLAN
SD.01	TYPICAL FOUNDATION DETAILS
SD.02	TYPICAL FOUNDATION DETAILS
SD.03	T



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