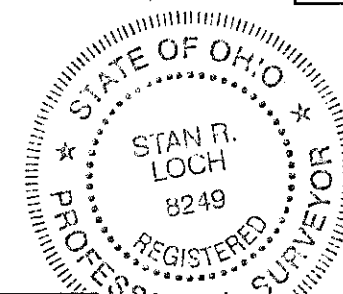


APPROVED: STAFF APPROVAL DATE
APPROVED: ENGINEERING DEPT. APPROVAL DATE
APPROVED: LANDSCAPE ARCHITECT APPROVAL DATE

PRIMARY BENCHMARK:
TOC/BOC ELEV @ P/L
IN FRONT OF SUBLOT'S 122/123
ELEV. = 1010.33

SECONDARY BENCHMARK:
TOP STEM OF HYDRANT
IN FRONT OF SUBLOT'S 123/124
ON TIMBERLINE TRAIL
ELEV. = 1013.05

**THE CONTRACTOR MUST CHECK THE
BENCHMARK WITH THE CURB GRADES
PRIOR TO DIGGING THE FOUNDATION.**



BUILDER: PULTE HOMES OF OHIO, LLC.
ADDRESS: 387 MEDINA ROAD SUITE 1700, MEDINA, OHIO 44256
PHONE: 330-239-1587

OWNER:
ADDRESS:
PHONE:

NOTE:
ALL PROPOSED FOOTERS WILL REQUIRE SURVEY
CERTIFICATION ONCE SET AND PRIOR TO THE
COMPLETION OF HOME CONSTRUCTION

| CURVE | LENGTH | RADIUS | TANGENT | CHORD | BEARING | DELTA |
|-------|---------|---------|---------|---------|-------------|-----------|
| C1 | 209.44' | 200.00' | 115.47' | 200.00' | S30°26'29"E | 60°00'00" |
| C2 | 6.98' | 230.00' | 3.49' | 6.98' | S01°18'39"E | 1°44'20" |
| C3 | 6.07' | 200.00' | 3.04' | 6.07' | S01°18'39"E | 1°44'20" |

NOTE:
FINAL LOCATION OF (3) TREES
TO BE DETERMINED AND INSTALLED
BY PURCHASER IN COMPLIANCE
WITH CITY OF HUDSON LAND
DEVELOPMENT CODE (1207.04J).

INITIAL SITE BENCHMARK:
SUMMIT COUNTY GEODETIC MONUMENT HU 118
STATE PLAN COORDINATE
N 572,745.649
E 2,250,912.641
ELEVATION = 1006.912 NAVD 1988

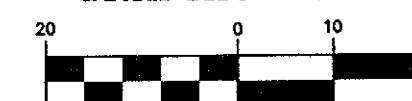
NOTES:
DOWNSPOUTS TO BE CONNECTED TO
STORM SEWER CONNECTION
SUMP PUMP REQUIRED FOR FOOTER DRAINS

NOTE:
PURCHASER TO INSTALL
MINIMUM OF 3 TREES
PER MUNICIPAL REQUIREMENTS

NOTE:
PURCHASER TO INSTALL LANDSCAPING PER CITY
OF HUDSON LANDSCAPING REQUIREMENTS.

NOTE:
PER ARB, EGRESS WINDOW WELLS SHOULD BE NO
MORE THAN 6" ABOVE FINISHED GRADE

GRAPHIC SCALE



(IN FEET) 1 inch = 20 ft.

PERCENTAGE OF
LOT COVERAGE = 24.7%

HOUSE COVERAGE = 2,448 SQ.FT.
DRIVEWAY COVERAGE = 1,351 SQ.FT.
WALKWAY COVERAGE = 207 SQ.FT.
TOTAL COVERAGE = 4,006 SQ.FT.

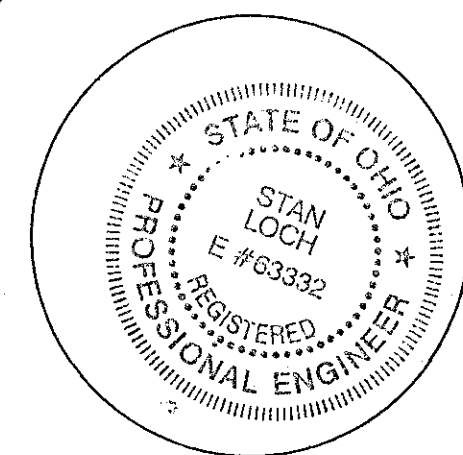
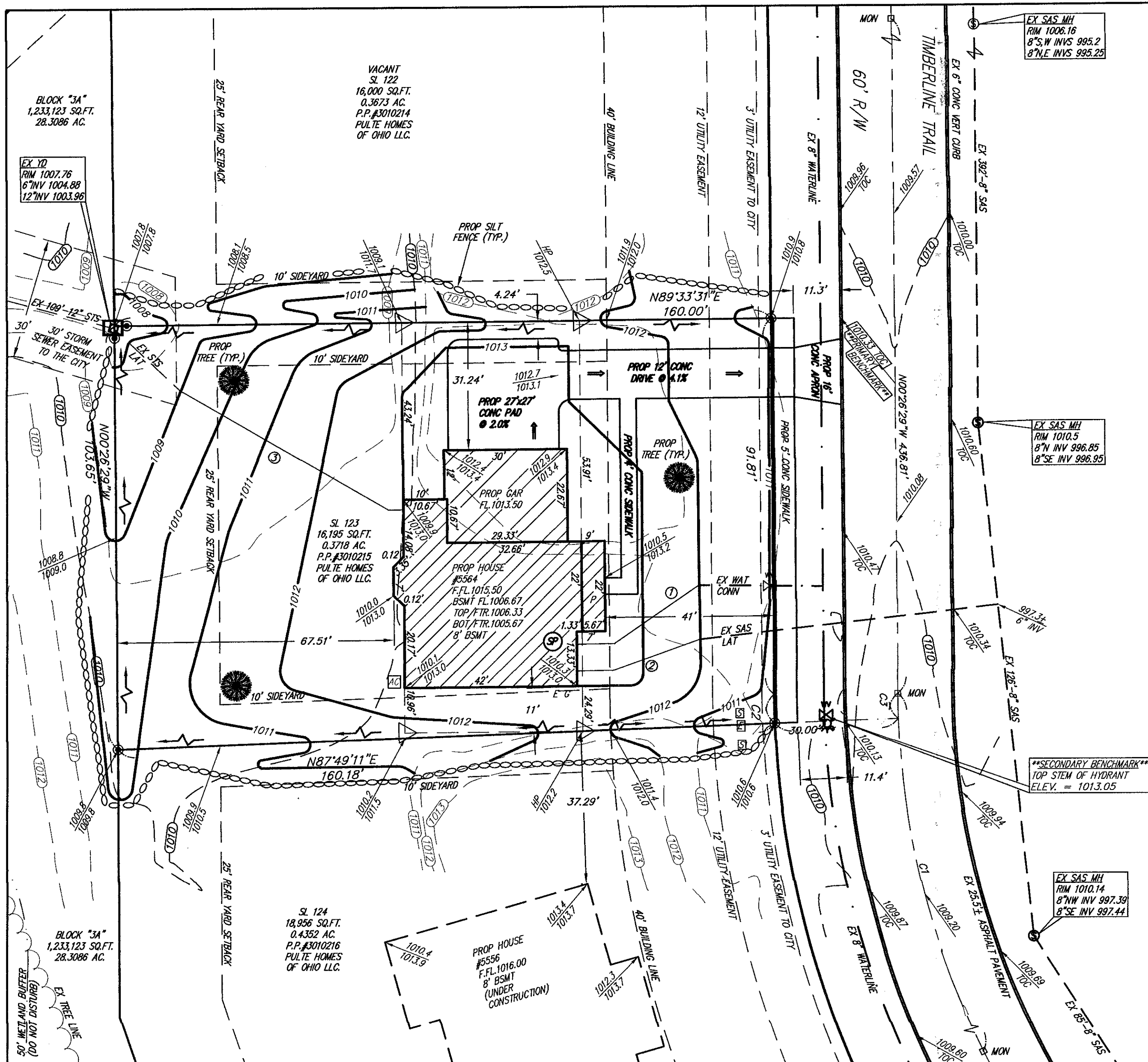
DATE OF SURVEY:
AUGUST 25th, 2018

TYPE OF HOUSE:
PLAN # ATWATER
ELEVATION: 3
GAR: 3 CAR SIDE RIGHT W/8' BASEMENT
& FIREPLACE

- ① = PROP 1" WAT CONN
- ② = PROP 6" PVC SAS CONN @ 1.0% MIN 10% MAX
- ③ = PROP 6" PVC STS CONN @ 1.0% MIN 10% MAX

LEGEND:

- = PROPOSED TREE
- = EX MONUMENT
- = EX CURB INLET
- ⊙ = EX SANITARY MANHOLE
- = EX YARD DRAIN
- ⊙ = IRON PIN SET 5/8"x30" REBAR CAPPED "AZTECH #8249"
- = EXISTING GRADE
- = PROPOSED GRADE
- = PROP SILT FENCE
- = INLET PROTECTION
- ⊙ = EX HYDRANT
- ⊙ = EX WATER VALVE
- ⊙ = SUMP PUMP
- ⊙ = EX STORM MANHOLE
- = SWALE
- = FLOW ARROW
- ⊙ = AIR CONDITIONER
- E = ELECTRIC CONNECTION
- G = GAS CONNECTION
- ▽ = OFFSET HUB
- ⊙ = EX STUB
- ⊙ = ELECTRIC BOX



I CERTIFY THAT THIS PLAN WAS
PREPARED BY ME AND IS CORRECT TO
THE BEST OF MY KNOWLEDGE AND
BELIEF.

8-30-18
STAN R. LOCH P.E. #63332 DATE

5425 WARNER ROAD - SUITE 12
VALLEY VIEW, OHIO 44125
440-602-9071

AZTECH
FAX 216-369-0259

ENGINEERING and SURVEYING
Civil Engineering - Land Surveying

SHEET CONTENT

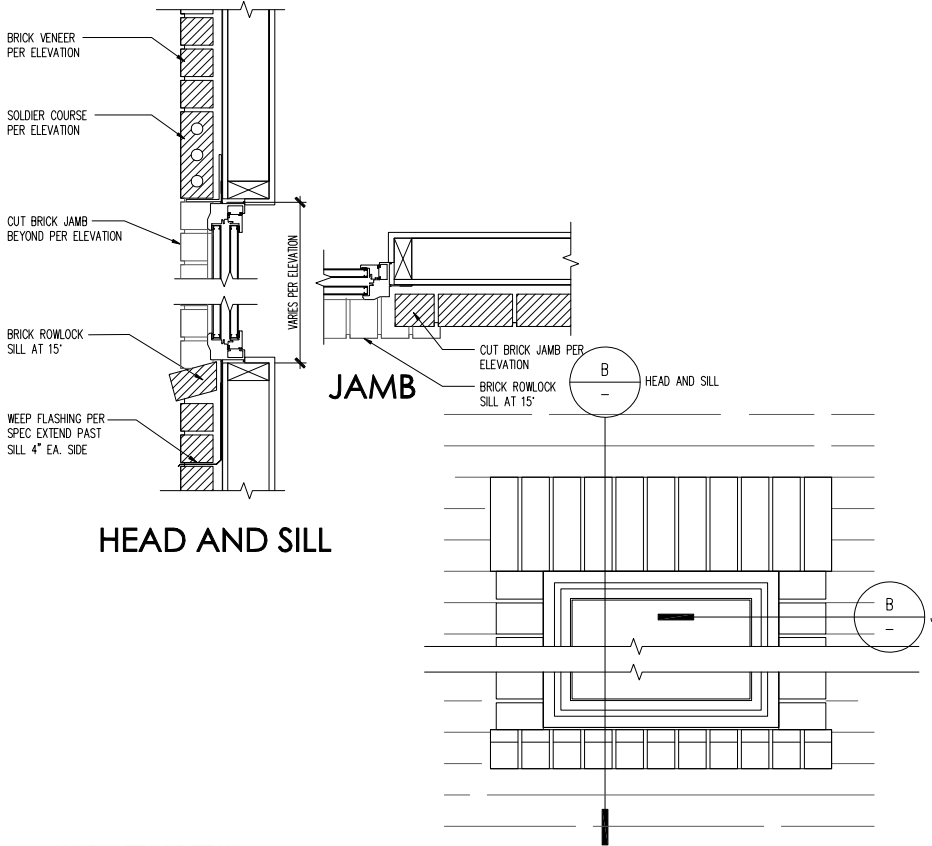
SITE PLAN
FOR
PULTE HOMES
SUBLOT 123
5564 TIMBERLINE TRIAL
IN THE
RESERVE AT RIVER
OAKS SUBDIVISION PH.3
SITUATED IN THE
CITY OF HUDSON
COUNTY OF SUMMIT
STATE OF OHIO

| REVISIONS | | | |
|-----------|------|-------------|----|
| NO. | DATE | DESCRIPTION | BY |
| | | | |
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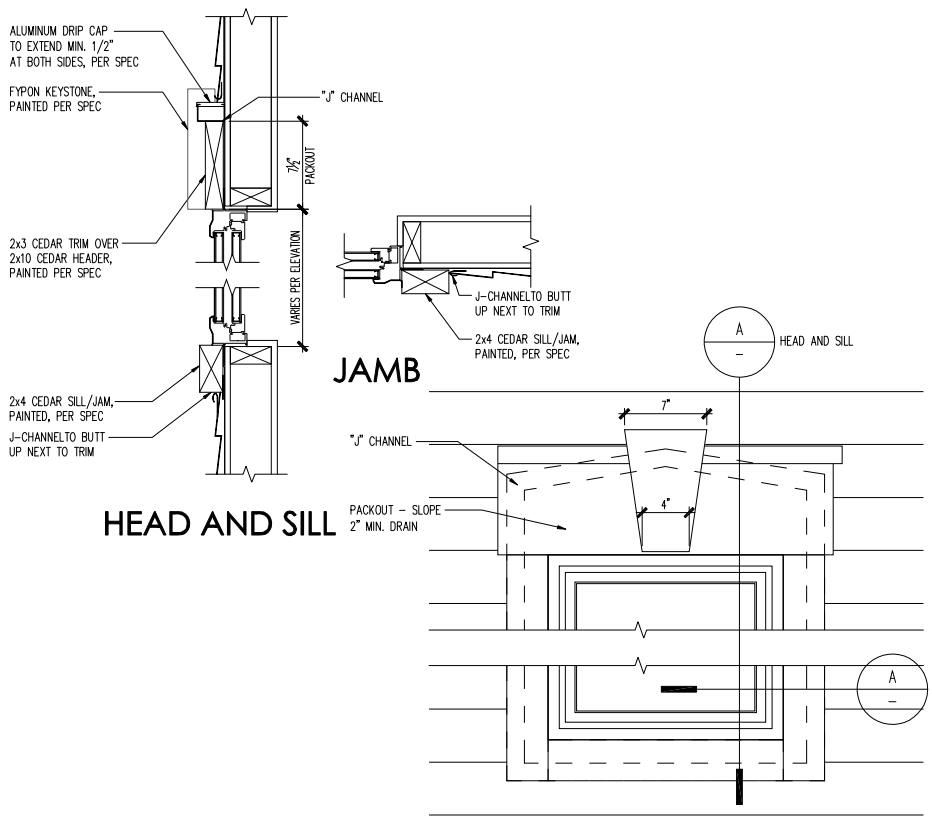
| HORIZ. SCALE | | VERT. SCALE | |
|--------------|--|-------------|--|
| 1" = 20' | | 1" = 20' | |
| DRAWN BY | | DATE | |
| KEG | | 8-30-2018 | |
| CHECKED BY | | DRAWING NO | |
| SRL | | Site-Plans | |
| JOB NO | | SHEET | |
| 20142977-3 | | 1 OF 1 | |

PLOTTED: August 22, 2018 / Rudolph Sanchez / PLAN-3295-R0-EL01.DWG

B WNDW TRIM DETAIL
SCALE: 1 1/2"=1'-0"



A WNDW TRIM DETAIL
SCALE: 1 1/2"=1'-0"



ENGINEER OF RECORD: MULHERN & KULP, ENGINEERS
ARCHITECT OF RECORD: GODOUCO DESIGN - ARCHITECTS

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

(c) Copyright PulteGroup, Inc. - 2013

SHEET
7.03a2

LEGACY PLAN NUMBER / NAME
PLAN 3295

SPECIFICATION LEVEL
TBD

COMMUNITY NAME
RIVER OAKS LOT 123
LAWSON COMMUNITY ID

PROJECT TYPE
SINGLE FAMILY

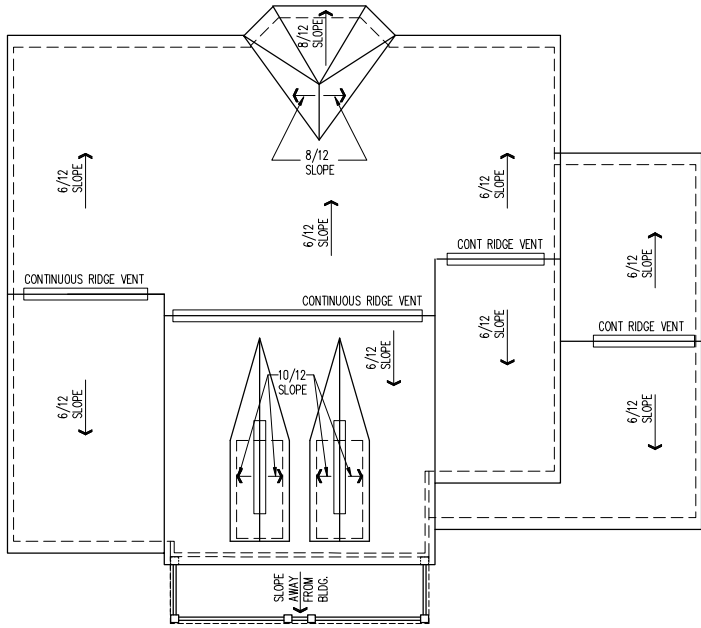
| | |
|----------------------------------|--------------------|
| PRODUCTION MANAGER | |
| Jamey Heinzman | |
| CURRENT RELEASE DATE: 08/22/2018 | |
| REV # | DATE / DESCRIPTION |
| △ | |
| △ | |
| △ | |
| △ | |
| △ | |
| △ | |
| △ | |
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Elevation - #3
Front and Rear Elevations

Pulte Homes

Cleveland Division
387 Medina Rd. Suite 1700
Medina, OH 44256

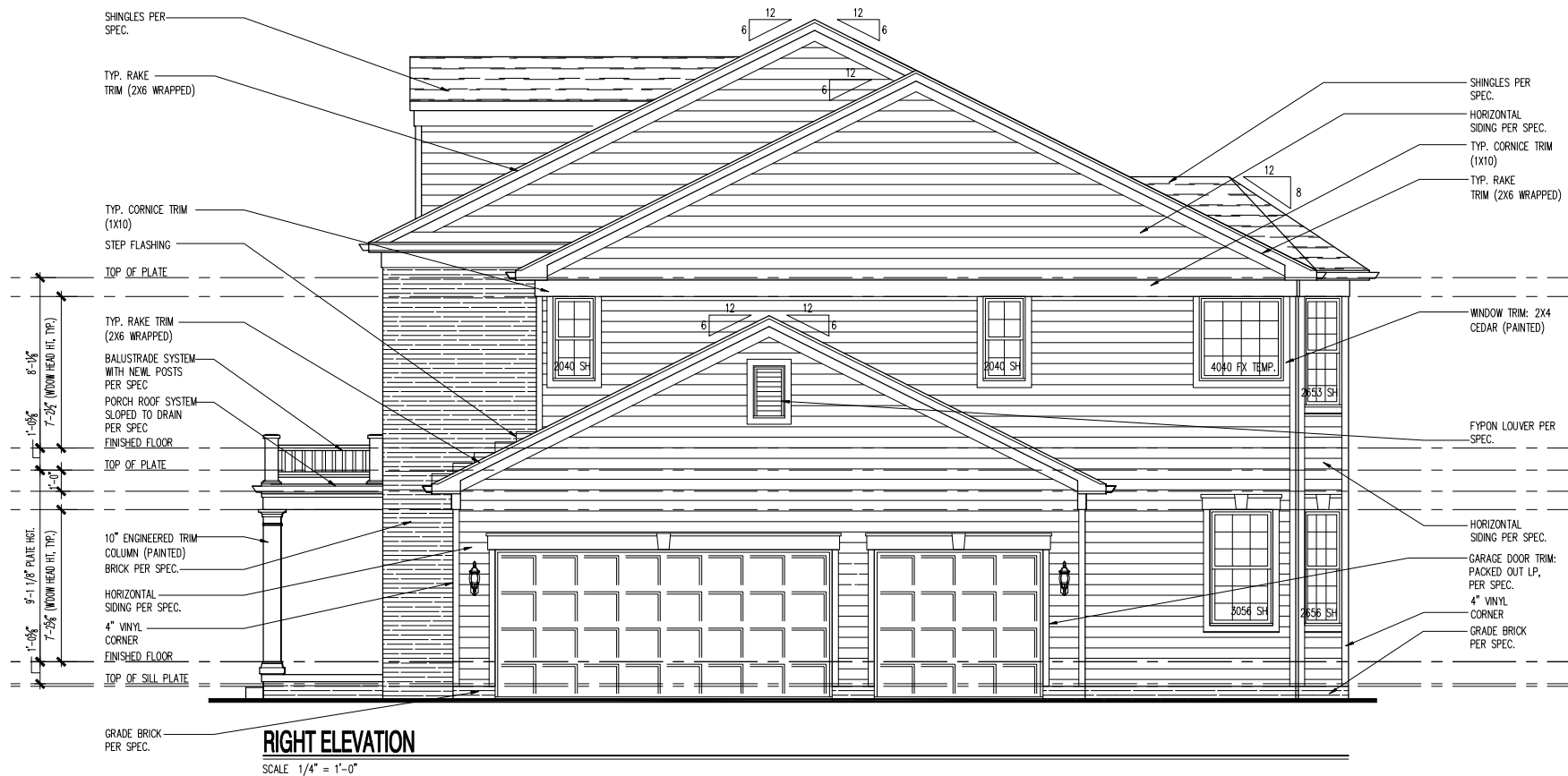
| ATTIC VENTILATION SCHEDULE | | | | | | | | | | | | | |
|----------------------------|----------------|------|-------|------|----------------|-------|-------|-------------|-------|------|------|-------|------|
| 3 ELEVATION | 1ST FLOOR ROOF | | | | 2ND FLOOR ROOF | | | GARAGE ROOF | | | | | |
| | LOC | AREA | REQ'D | SUPP | AREA | REQ'D | SUPP | AREA | REQ'D | SUPP | AREA | REQ'D | SUPP |
| | RISE | | | | 2030 | 3.39 | 5.88 | 455 | 0.38 | 1.56 | | | |
| | EAVE | | | | | 3.39 | 6.00 | | 0.38 | 2.25 | | | |
| | TOTAL | | | | | 6.77 | 11.88 | | 0.76 | 3.81 | | | |



ROOF PLAN
SCALE 1/8" = 1'-0"



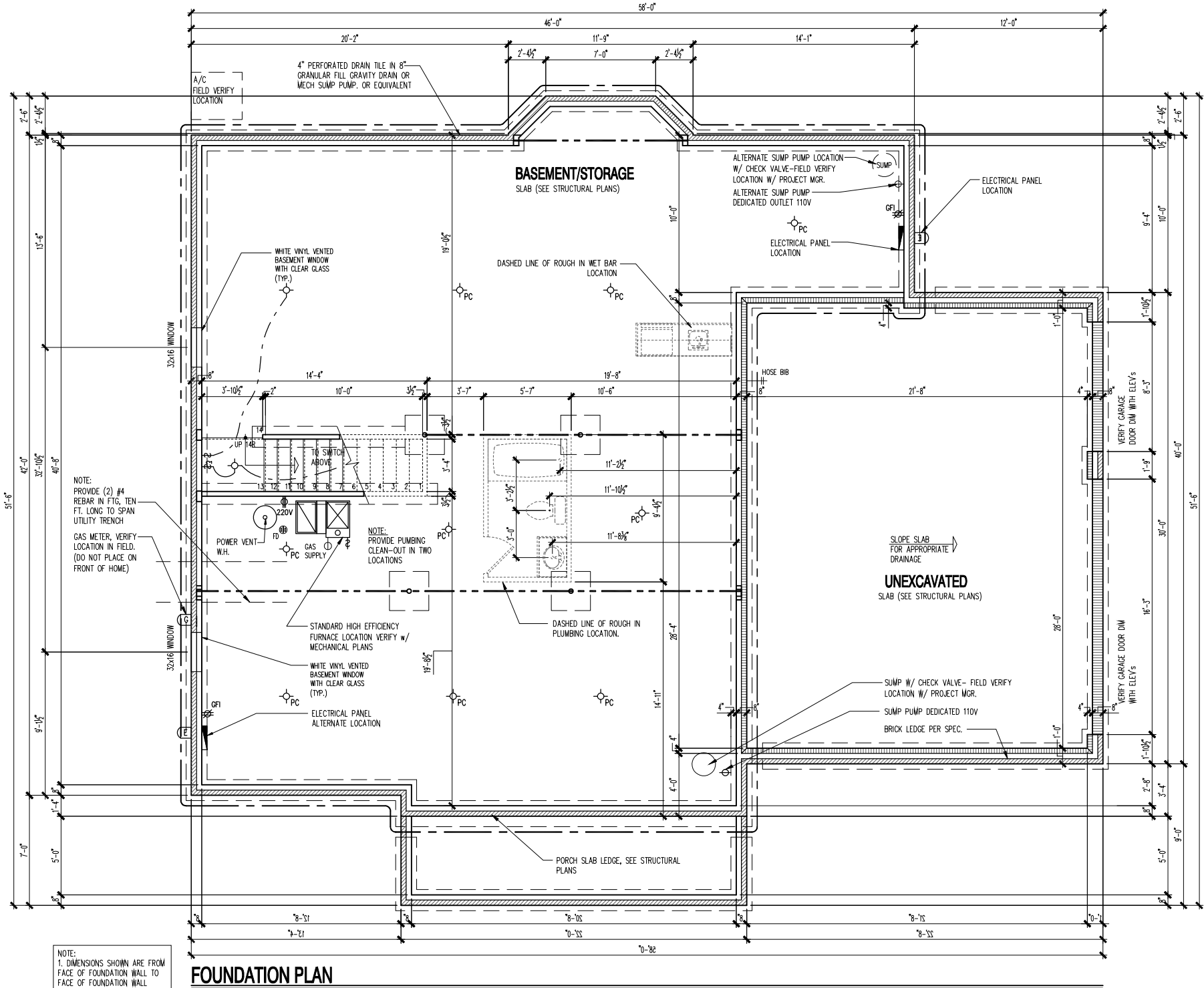
LEFT ELEVATION
SCALE 1/4" = 1'-0"

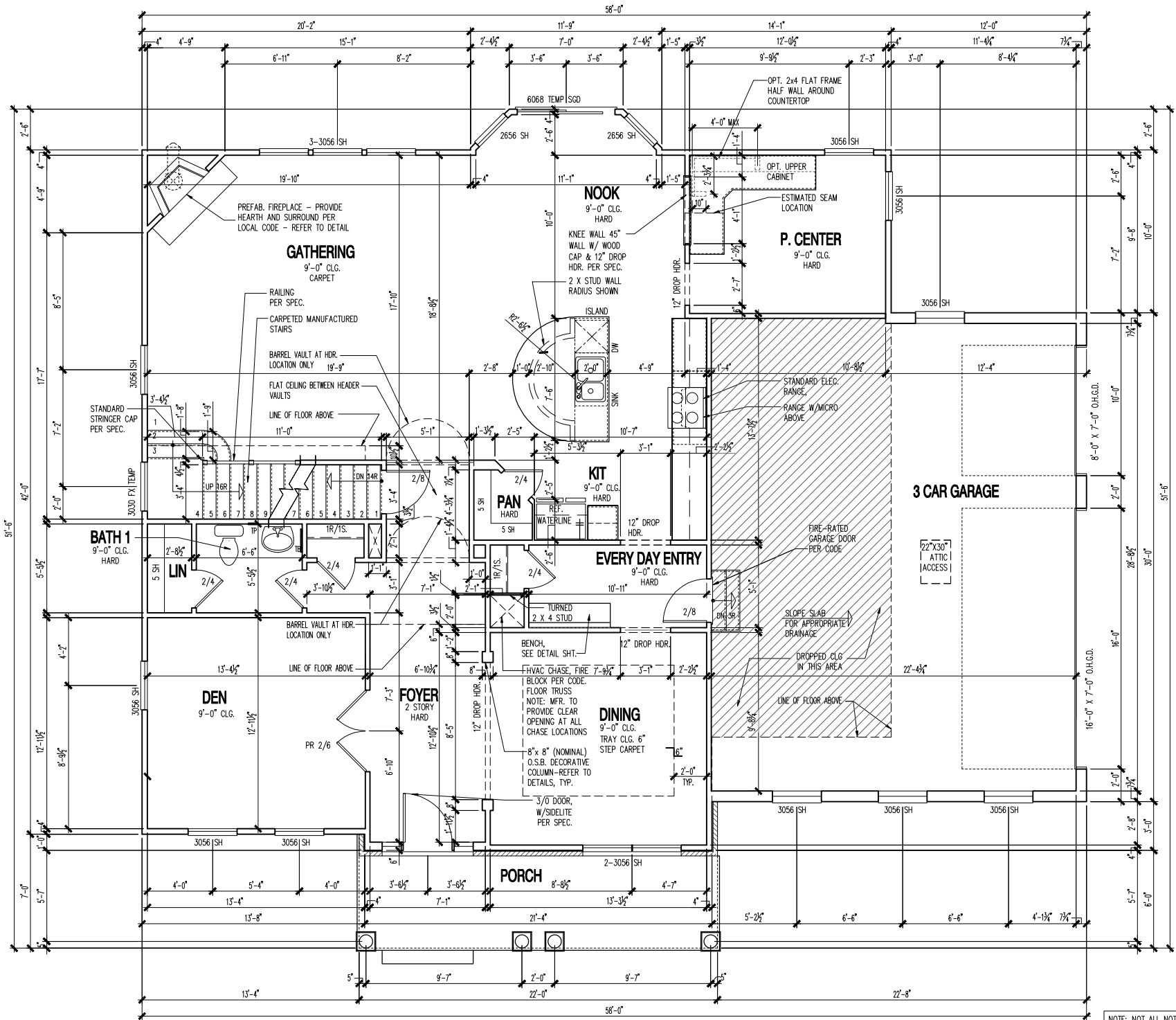


RIGHT ELEVATION
SCALE 1/4" = 1'-0"

| PRODUCTION MANAGER | |
|----------------------------------|--------------------|
| Jamey Heinzman | |
| CURRENT RELEASE DATE: 08/22/2018 | |
| REV # | DATE / DESCRIPTION |
| △ | |
| △ | |
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| PROJECT TYPE | |
|---------------------------|--|
| SINGLE FAMILY | |
| COMMUNITY NAME | |
| RIVER OAKS LOT 123 | |
| LAWSON COMMUNITY ID | |
| --- | |
| GARAGE HANDING | |
| GARAGE RIGHT | |
| SPECIFICATION LEVEL | |
| TBD | |
| PLAN NAME | |
| ATWATER | |
| NPC PLAN NUMBER | |
| 1642 | |
| LAWSON PLAN ID | |
| --- | |
| LEGACY PLAN NUMBER / NAME | |
| PLAN 3295 | |
| SHEET | |
| 7.03a3 | |





FIRST FLOOR PLAN

1/4" = 1'-0"

NOTE: NOT ALL NOTES APPLY.
1. DIMENSIONS SHOWN ARE FROM FACE
OF STUD WALL TO FACE OF STUD WALL.

First Floor Plan

| PRODUCTION MANAGER | |
|----------------------------------|--------------------|
| Jamey Heinzman | |
| CURRENT RELEASE DATE: 08/22/2018 | |
| REV # | DATE / DESCRIPTION |
| △ | |
| △ | |
| △ | |
| △ | |
| △ | |
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| △ | |
| △ | |

PROJECT TYPE
SINGLE FAMILY

COMMUNITY NAME
RIVER OAKS
LOT 123
LAWSON COMMUNITY ID

GARAGE HANDING
GARAGE RIGHT

SPECIFICATION LEVEL
TBD

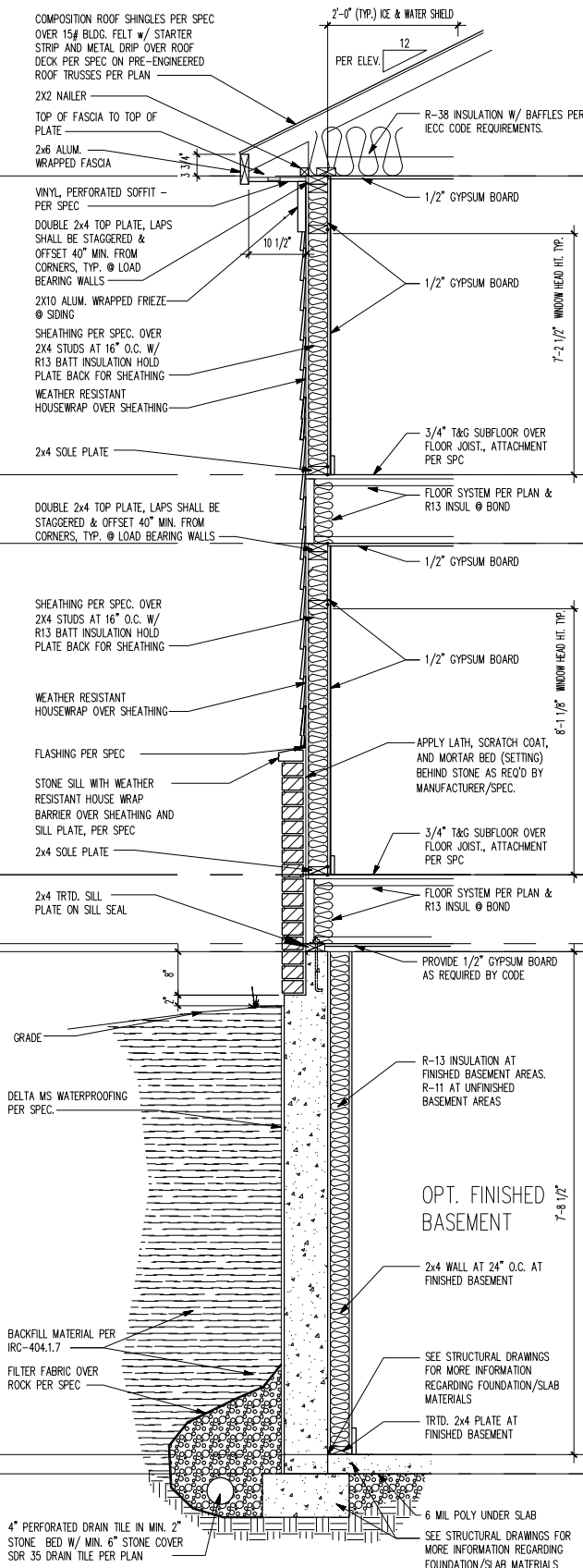
PLAN NAME
ATWATER
NPC PLAN NUMBER
1642
LAWSON PLAN ID

LEGACY PLAN NUMBER / NAME
PLAN 3295

SHEET
2.10a

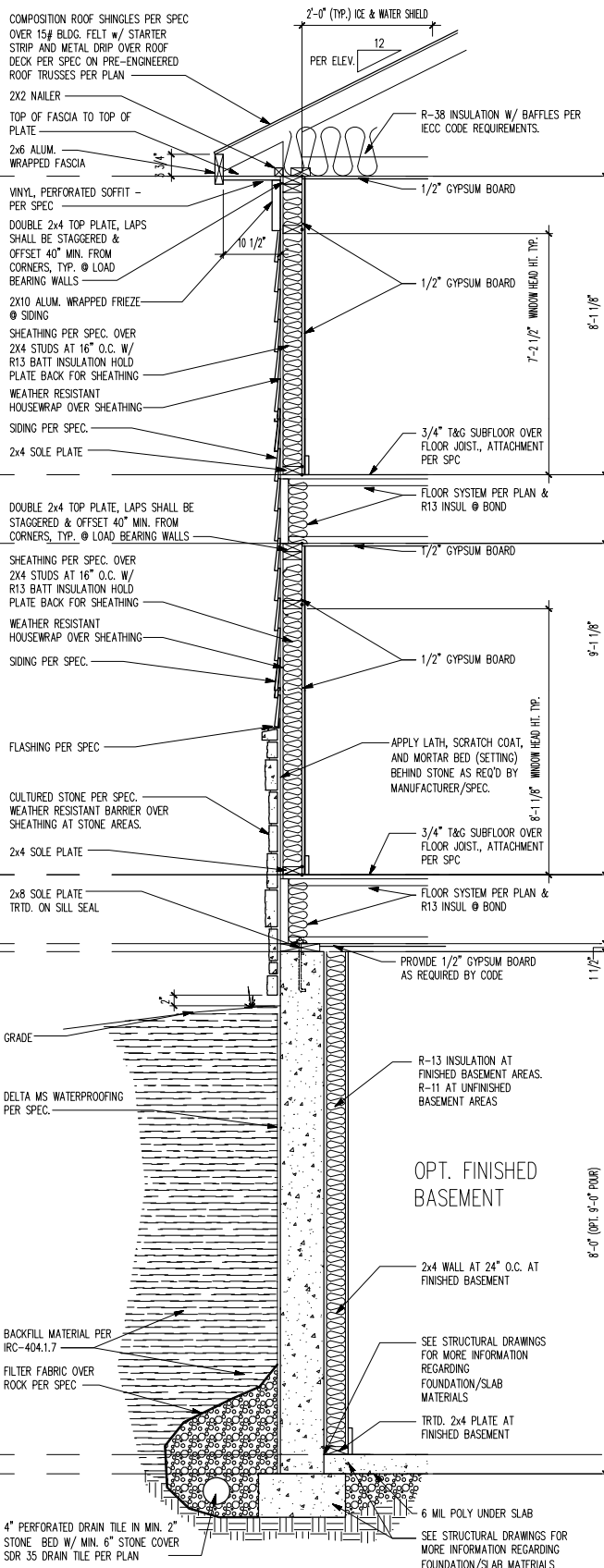

$$1/4'' = 1' - 0''$$

NOTE:
1. DIMENSIONS SHOWN ARE FROM FACE OF STUD
WALL TO FACE OF STUD WALL.



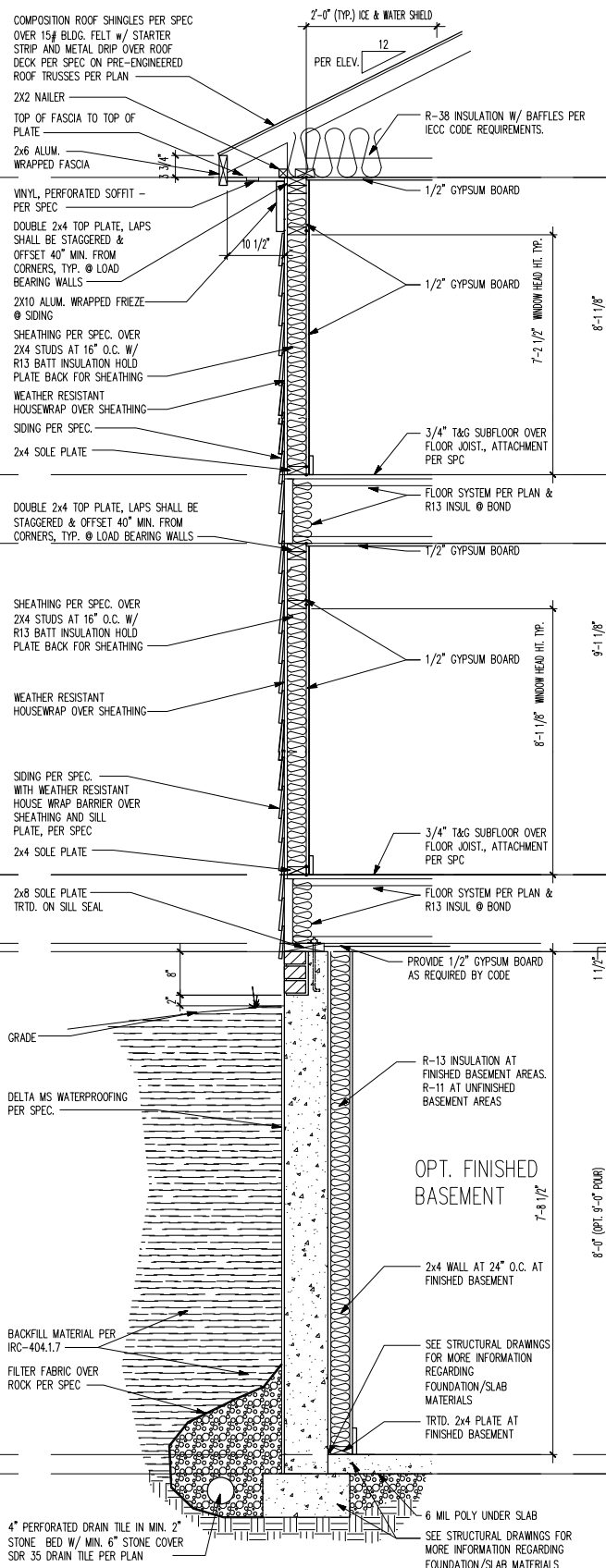
TYPICAL WALL SECTION - w/ brick wainscoat

SCALE $1/2" = 1'-0"$



TYPICAL WALL SECTION - w/ stone wainscot

SCALE 1/2" = 1'-0"



TYPICAL WALL SECTION - sides & rear

SCALE $1/2'' = 1'-0''$

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Cleveland Division
387 Medina Rd. Suite 1700
Medina, OH 44256



Typical Wall Sections

[illegible]

PROJECT TYPE
SINGLE FAMILY

COMMUNITY NAME
RIVER OAKS
LOT 123
LAWSON COMMUNITY ID

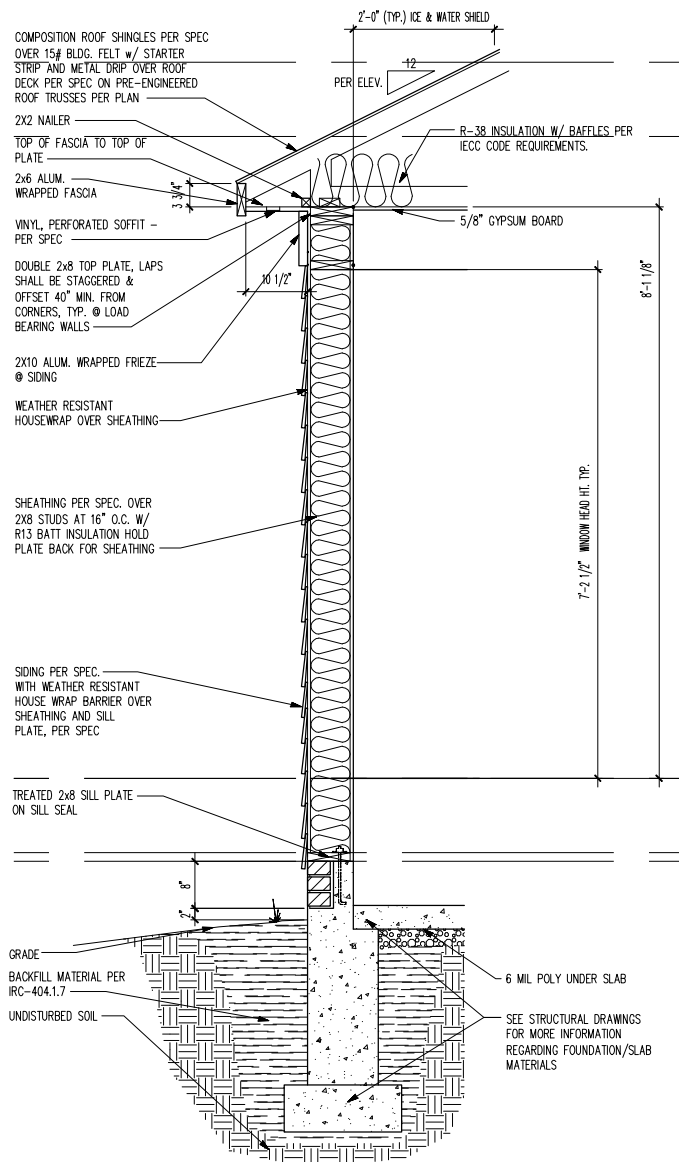
**GARAGE HANDING
GARAGE RIGHT**

SPECIFICATION LEVEL
TBD

| | |
|---------------------------|-----------|
| PLAN NAME | ATWATER |
| NPC PLAN NUMBER | 1642 |
| LAWSON PLAN ID | ***** |
| LEGACY PLAN NUMBER / NAME | PLAN 3295 |

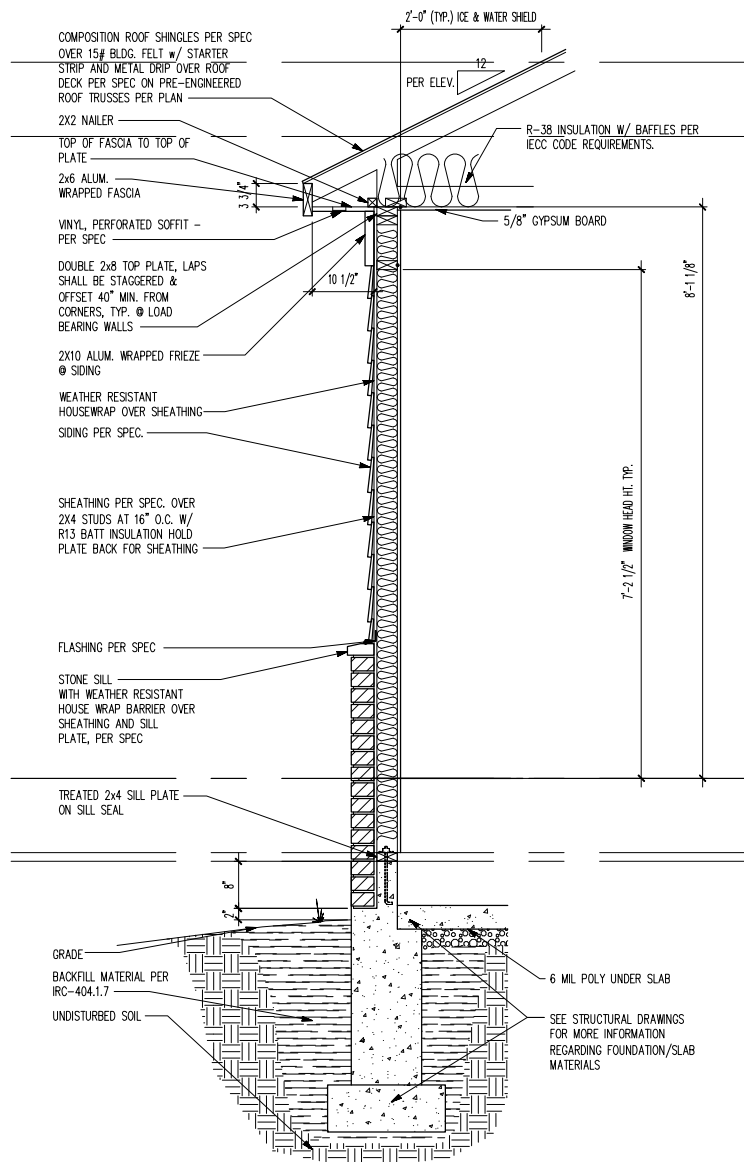
SHEET

3.31a



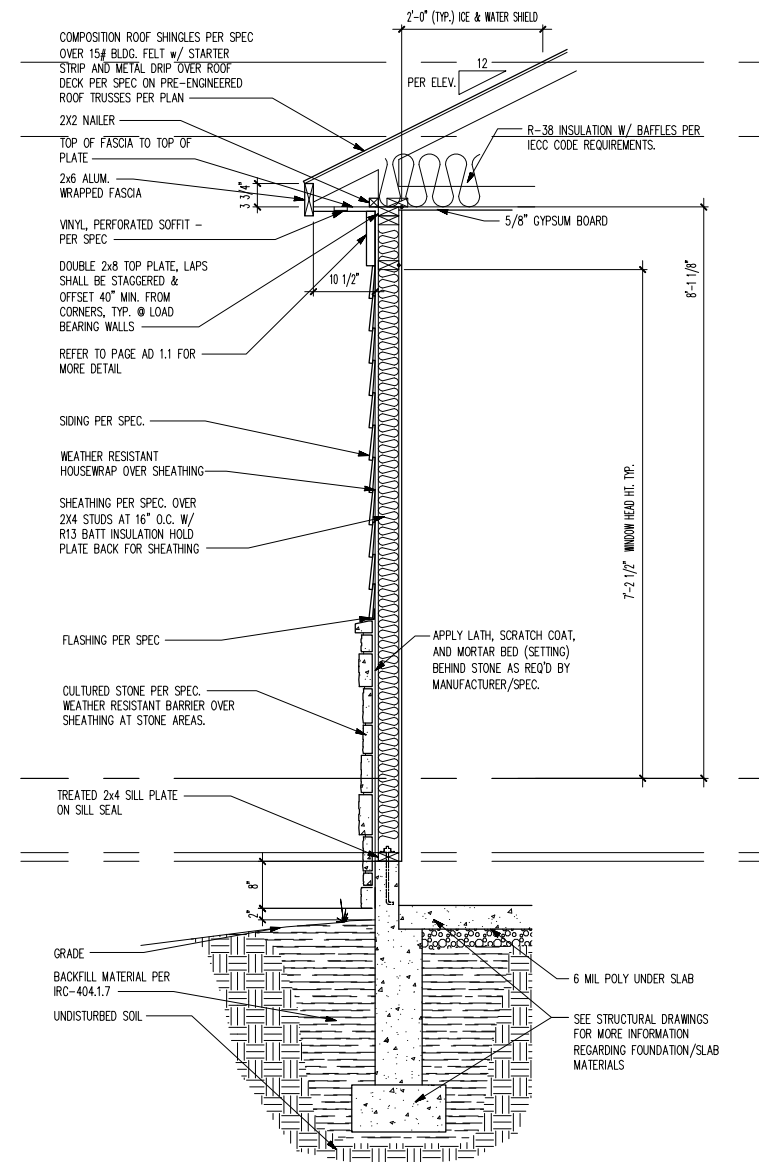
TYPICAL WALL SECTION - garage

SCALE 1/2" = 1'-0"



TYPICAL WALL SECTION - garage w/ 2x4 wall w/ brick wainscot

SCALE 1/2" = 1'-0"



TYPICAL WALL SECTION - garage w/ 2x4 wall w/ stone wainscot

SCALE 1/2" = 1'-0"



OHIO DIVISION -LOT 123

River Oake

Atwater

| 1 - GENERAL BUILDING & DESIGN REQUIREMENTS | 8 - DOORS AND WINDOWS | FRAMING: | SQUARE FOOTAGE INDEX: | | | | | |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------|-------------|--------------|------------|-----------|-------|
| 1) THE ATTACHED PLANS & SPECIFICATIONS ARE THE SOLE PROPERTY OF PULTE HOMES INC. ANY UNAUTHORIZED USE OF THESE PLANS WITHOUT PRIOR WRITTEN CONSENT OF PULTE HOMES INC. IS STRICTLY PROHIBITED. 2) PULTE HOMES INC. DESIGNS & BUILDS HOUSING AS SET FORTH BY THE FORMAT AND PROVISIONS OF THE RESIDENTIAL CODE OF OHIO (RCO), AND THE NATIONAL ELECTRIC CODE (NEC). ANY NON-CONFORMING DOCUMENTS DISCOVERED BY THE CONTRACTOR OR HIS AGENTS SHALL BE CALLED TO THE IMMEDIATE ATTENTION OF PULTE HOMES INC. BY CALLING (651) 452-5200. 3) THESE PLANS ARE SUBJECT TO MODIFICATIONS TO MEET CODE REQUIREMENTS AND/OR TO FACILITATE MECHANICAL/ ELECTRICAL/ PLUMBING INSTALLATION AND/ OR TO IMPLEMENT DESIGN IMPROVEMENTS. ANY INTENTION TO MODIFY THESE PLANS MUST BE APPROVED IN WRITING BY PULTE HOMES INC. 4) CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AFFECTING CONTRACTOR'S PRODUCTS, INSTALLATIONS, OR FABRICATIONS IN THE FIELD PRIOR TO EXPEDITING THE CONSTRUCTION OF SUCH WORK. FIELD VERIFY ALL DIMENSIONS - DO NOT SCALE DRAWINGS!! CONTRACTOR IS RESPONSIBLE FOR SURVEYING THE PROJECT AND BECOMING FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK INCLUDING BUT NOT LIMITED TO SITE AND SOIL BEARING CONDITIONS. 5) ERRORS AND OMISSIONS WHICH MAY OCCUR IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, IN WRITING, AND WRITTEN INSTRUCTION SHALL BE OBTAINED PRIOR TO PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY ERRORS, DISCREPANCIES, OR OMISSIONS FOR WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT PRIOR TO CONSTRUCTION AND/ OR FABRICATION OF THE WORK. | 1) WINDOW CALL OUT PER WINDOW SCHEDULE. VERIFY WINDOW MANUFACTURER WITH PROJECT MANAGER 2) REVIEW ALL WINDOW HDR HEIGHTS PER PLATE HT. AND VERIFY W/ ELEVATIONS AND CORNICE DETAILS 3) TEMPERED GLASS SHALL BE USED IN ALL HAZARDOUS AREAS 4) FRONT DOOR WIDTH AS REQUIRED BY CODE 5) GARAGE DOOR AS REQUIRED BY CODE 6) EMERGENCY - SLEEPING ROOMS SHALL HAVE AT LEAST ONE EGRESS OPENING OF NOT LESS THAN 5.7 SF AND A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR. | 1) ALL FRAMING DIMENSIONS TO FACE OF MEMBER/SHEATING. 2) ALL BEARING HEADERS TO BE 2x8 SPF #2 OR EQUAL UNLESS NOTED OTHERWISE. 3) ALL 2x10 & 2x12 HEADERS TO BE SPF #2 UNLESS NOTED OTHERWISE. 4) ALL 2x8 HEADERS TO BE SPF #2 UNLESS NOTED OTHERWISE. 5) PROVIDE 1x BLOCKING UNDER ALL EXTERIOR SLIDING DOORS. 6) ALL BEAMS & HEADERS SHALL HAVE A MINIMUM OF (1) 2x JACK STUD & (1) 2x KING STUD. THE NUMBER OF STUDS LABELED ON PLANS INDICATES THE NUMBER OF JACK STUDS ONLY (UNLESS NOTED OTHERWISE). 7) TWO-PLY CONVENTIONAL BEAMS TO BE FACE-NAILED W/2 ROWS 16d COMMON NAILS STAGGERED @16" O.C. UNLESS NOTED OTHERWISE. THREE-PLY CONVENTIONAL BEAMS TO BE NAILED AS ABOVE FROM EACH SIDE. MULTIPLE PLIES OF ENGINEERED LUMBER TO BE ASSEMBLED PER MANUF. RECOMM. 8) JOIST HANGERS, WHERE REQUIRED, SHALL BE USED WITHOUT ANGLES. 9) INSTALL FIRE STOPPING AND/ OR DRAFT STOPPING AS REQUIRED. | DESCRIPTION OF AREA | | AREA | | | |
| 2 - SITE CONSTRUCTION | 15 - MECHANICALS | ROOF: | ELEVATION 3 | | | | | |
| 1) SOIL BEARING CALCULATIONS BASED ON 2000 PSF MIN 2) BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS. 3) BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS BACKFILL TO NOT DAMAGE THE FOUNDATION WALLS OR ANY WATERPROOFING/ DAMPPROOFING MATERIALS. | 1) FACTORY BUILT CHIMNEYS AND FIREPLACES SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS, AND ARE SUBJECT TO MECHANICAL INSPECTION 2) PROVIDE EXTERIOR AIR INTAKE FOR COMBUSTION AIR. | 1) HIP AND VALLEY RAFTERS SHALL BE SUPPORTED AT RIDGE DOWN TO BEARING PARTITION. CUT ENDS OF RAFTERS SHALL BE FULLY SUPPORTED WALL AND RIDGE. 2) SHOP DRAWINGS FOR ANY AND ALL ENGINEERED ROOF TRUSS SYSTEMS TO BE SUBMITTED TO ARCHITECT TO REVIEW IN CONFORMANCE WITH THESE CONSTRUCTION DOCUMENTS. WHERE THE CONSTRUCTION DOCUMENTS DO NOT ADDRESS METHODOLOGY, CONTRACTOR TO BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS. | FIRST FLOOR | | 1628 SQ. FT. | | | |
| 3 - CONCRETE | 16 - ELECTRICAL | LIGHT & VENT CALCULATIONS: | SECOND FLOOR | | 1772 SQ. FT. | | | |
| 1) ALL CONCRETE EXPOSED TO EXTERIOR ELEMENTS SHOULD BE AIR ENTRAINED 4-6%. 2) SLOPE ON DRIVE SHALL BE NO LESS THAN 2% OR 1/4" PER FOOT- PREFERABLY 4% OR 1/2" PER FOOT. THE FRONT STOOP SHALL HAVE SLOPE EQUAL TO 1" PER FOOT. THE RAISED WALK IN GARAGE SHALL HAVE A 1/2" PER FOOT SLOPE AND DRIVE SLAB SHALL BE SLOPED MIN. 1/4" PER FOOT. 3) SOME COLUMN DIMENSIONS ARE FROM CENTER OF COLUMN TO EXTERIOR FACE OF BASEMENT WALL. 4) BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS. 5) BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS TO NOT DAMAGE THE FOUNDATION WALLS OR WATERPROOFING / DAMPPROOFING MATERIALS. 6) MUD SILLS SHALL BE TREATED MEMBERS AND SECURED BY ANCHOR BOLTS AND/OR STRAPS AS SPECIFIED IN THE DRAWINGS, DETAILS, AND SPECIFICATIONS. 7) CALCULATIONS FOR COLUMN PADS BASED ON 2000 PSF SOIL BEARING. 8) FOUNDATION WALLS & FOOTER DEPTH TO BE VERIFIED IN FIELD. | 1) ALL ELECTRICAL INSTALLATION SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRIC CODE (NEC). ALL MATERIAL AND EQUIPMENT SHALL BEAR THE LABEL OF APPROVAL OF THE UNDERWRITERS LABORATORIES, INC. 2) ELECTRICAL CONTRACTOR SHALL VERIFY SPACE REQUIRED FOR METER INSTALLATION BEFORE CONSTRUCTION AND SHALL NOTIFY GENERAL CONTRACTOR OF ANY DISCREPANCIES. 3) VERIFY LOCATION OF ALL RECEPTACLES FOR APPLIANCES WITH MANUFACTURER SPECIFICATIONS. 4) GROUND FAULT INTERRUPTS SHALL BE LOCATED PER THE NEC. 5) ALL SWITCHES SHALL BE INSTALLED AT 3'-2" ABOVE FINISHED FLOOR TO CENTERLINE OF SWITCH UNLESS NOTED OTHERWISE. 6) ALL CONVENIENCE OUTLETS SHALL BE INSTALLED W/ CENTERLINE OF OUTLET LOCATED 1'-3" ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE. 7) ALL CONVENIENCE OUTLETS WITH SWITCHES TO BE SWITCH AT TOP ONLY. 8) ALL EXTERIOR WALL BRACKET FIXTURES SHALL BE INSTALLED AT 5'-6" ABOVE ADJACENT DOOR SILL HEIGHT TO CENTERLINE OF FIXTURE. 9) APPROVED SMOKE DETECTORS SHALL BE LOCATED ON EVERY STORY OF THE DWELLING UNIT AS PER CODE (SEE SHEET 6.XXX FOR LOCATIONS). WHERE MORE THAN ONE DETECTOR IS REQUIRED THEY SHALL BE INTERCONNECTED. POWER SOURCE SHALL BE BUILDING POWER W/ BATTERY BACKUP. | 1) ROOM | SQ. FT. | LIGHT REQ'D | LIGHT SUPP | VENT REQ'D | VENT SUPP | NOTES |
| 4 - MASONRY | GENERAL FRAMING SPECS AND CONSTRUCTION NOTES STAIRS: | FIRST FLOOR | | | | | | |
| 1) ALL EXTERIOR BRICK MUST MEET ASTM C-216 FOR "SW" CONDITIONS 2) MASONRY VENEER SHALL BE ATTACHED TO SUPPORTING WALLS w/ 22GA x 7/8" CORRUGATED METAL TIES AT 24" O.C. 3) FLASHING BEHIND MASONRY SHALL BE 14# BUILDING PAPER OR FELT OR APPROVED EQUAL ATTACHED TO THE SHEATHING TO PREVENT MOISTURE PENETRATION. 4) WEEPHOLES SHALL BE PROVIDED ALONG THE OUTSIDE WYTHE OF EXTERIOR MASONRY WALLS AT 33" O.C. MAX. SHALL BE A MIN. OF 3/16" IN DIAMETER, AND LOCATED IMMEDIATELY ABOVE THE FLASHING | 1) THE MAXIMUM RISER HEIGHT SHALL BE 7 3/4 INCHES (210 MM) AND THE MINIMUM TREAD DEPTH SHALL BE 10 INCHES (229 MM). 2) HANDRAILS HAVING MINIMUM AND MAXIMUM HEIGHTS OF 34 INCHES AND 38 INCHES SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS. 3) HANDRAIL AND BALUSTRADE (WHERE PRESENT) SHALL BE CONSTRUCTED PER CODE 4) ALL REQUIRED HAND RAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS W/ 2 OR MORE RISERS FROM A POINT ABOVE THE THE TOP RISER OF A FLIGHT TO A POINT ABOVE THE LOWEST RISER OF THE FLIGHT. ENDS SHALL BE RETURNED OR SHALL TERMINATE AT NEWEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1.5" BETWEEN THE WALL AND HAND RAIL. | PLANNING CENTER | 115 | 9.2 | 24.80 | 4.60 | 10.60 | |
| 5 - METALS | WALLS: | GATHERING ROOM | 367 | 29.36 | 49.60 | 14.68 | 21.20 | |
| 6 - WOOD AND PLASTICS | FLOORS: | KITCHEN/NOOK | 331 | 26.48 | 46.94 | 13.24 | 22.72 | |
| 7 - THERMAL & MOISTURE PROTECTION | 1) STRUCTURAL FLOOR MEMBERS SHALL NOT BE CUT, BORED, OR NOTCHED IN EXCESS OF THE LIMITATIONS SPECIFIED PER CODE 2) THE ENDS OF EACH JOIST, BEAM, OR GIRDER SHALL HAVE NOT LESS THAN 1.5 INCHES (38MM) OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3 INCHES (76MM) ON MASONRY OR CONCRETE OR AS OTHERWISE SPECIFIED PER CODE 3) ANY CONVENTIONAL FLOOR JOISTS SHOWN DOUBLED ON PLANS TO BE GLUED AT INSTALLATION AND NAILED W/ 3-16d NAILS @ 16" O.C. MULTIPLE PLIES OF ENGINEERED LUMBER TO BE ASSEMBLED PER MANUF. RECOMM. 4) SHOP DRAWINGS FOR ANY AND ALL ENGINEERED FLOOR SYSTEMS TO BE SUBMITTED TO ARCHITECT TO REVIEW IN CONFORMANCE WITH THESE CONSTRUCTION DOCUMENTS. WHERE THE CONSTRUCTION DOCUMENTS DO NOT ADDRESS METHODOLOGY, CONTRACTOR TO BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS. | DINING ROOM | 161 | 12.88 | 24.80 | 6.44 | 10.60 | |
| | | DEN | 173 | 14.08 | 37.20 | 7.04 | 15.90 | |
| | | POWDER ROOM | 35 | N/A | N/A | 1.12 | 50.00 | |
| | | SECOND FLOOR | | | | | | |
| | | GAME ROOM | 299 | 23.92 | 46.80 | 11.96 | 19.60 | |
| | | OWNER'S SUITE | 282 | 22.64 | 40.80 | 11.32 | 17.20 | |
| | | BEDROOM 2 | 131 | 10.48 | 26.80 | 5.24 | 11.90 | |
| | | BEDROOM 3 | 159 | 12.16 | 23.40 | 6.08 | 9.80 | |
| | | BEDROOM 4 | 152 | 12.16 | 35.17 | 6.08 | 14.70 | |
| | | OWNER'S BATH | 111 | N/A | 24.80 | 118.8 | 120.00 | |
| | | TOILET ENCLOSURE | 16 | N/A | N/A | 20.9 | 50.00 | |
| | | BATH 3 | 48 | N/A | N/A | 59.40 | 60.00 | |
| | | BATH 4 | 37 | 2.96 | 5.20 | 1.48 | 50.00 | |
| | | OPT. BEDROOM 5 | 273 | 21.84 | 46.80 | 10.92 | 19.60 | |
| | | OPT. SUNROOM | 110 | 8.80 | 62.00 | 4.40 | 26.50 | |
| | | OPT. GUEST SUITE | 153 | 12.24 | 35.10 | 6.12 | 14.70 | |
| | | OPT. BEDROOM 6 | 226 | 21.84 | 23.85 | 10.92 | 12.40 | |
| | | OPT. BSMT. BATH | 44 | N/A | N/A | 1.48 | 50.00 | |
| | | BATH 1 | 35 | N/A | N/A | 37.40 | 50.00 | |
| | | OPT. BATH 2 | 48 | N/A | N/A | 59.40 | 60.00 | |
| | | APPLICABLE CODES: | | | | | | |
| | | 2009 INTERNATIONAL RESIDENTIAL CODE (SECTION 602) 2012 INTERNATIONAL RESIDENTIAL CODE 2013 RESIDENTIAL CODE OF OHIO 2011 INTERNATIONAL PLUMBING CODE 2011 INTERNATIONAL MECHANICAL CODE 2011 NATIONAL ELECTRIC CODE 2011 INTERNATIONAL FIRE CODE 2009 INTERNATIONAL ENERGY CONSERVATION CODE | | | | | | |

| PLAN SHEET INDEX | | |
|------------------|-----------------------------------------------|--|
| SHT. | DESCRIPTION | |
| 0.00 | COVER SHEET | |
| 1.30a | FULL BASEMENT FOUNDATION PLAN | |
| 2.10a | FIRST FLOOR PLAN | |
| 2.11a | PLAN DETAILS | |
| 2.11b | PLAN DETAILS | |
| 2.11c | PLAN DETAILS | |
| 2.20a | SECOND FLOOR PLAN | |
| 3.30a | TYPICAL BUILDING SECTIONS | |
| 3.31a | TYPICAL WALL SECTIONS | |
| 3.31b | TYPICAL WALL SECTIONS | |
| AD 3.7 | ARCHITECTURAL DETAILS | |
| 6.10 | FIRST FLOOR ELECTRICAL PLAN | |
| 6.11 | SECOND FLOOR ELECTRICAL PLAN | |
| 7.03a2 | ELEVATION "3" - FRONT AND REAR ELEVATIONS | |
| 7.03a3 | ELEVATION "3" - SIDE ELEVATIONS AND ROOF PLAN | |
| S-1.0 | 1ST FLOOR FRAMING PLAN | |
| S-1.1 | 1ST FLOOR FRAMING PLAN | |
| S-1.2 | 1ST FLOOR FRAMING PLAN | |
| S-1.3 | 1ST FLOOR FRAMING PLAN | |
| S-1.4 | 1ST FLOOR FRAMING PLAN | |
| S-1.5 | 1ST FLOOR FRAMING PLAN | |
| S-1.6 | 1ST FLOOR FRAMING PLAN | |
| S-2.0 | 2ND FLOOR FRAMING PLAN | |
| S-2.1 | 2ND FLOOR FRAMING PLAN | |
| S-2.2 | 2ND FLOOR FRAMING PLAN | |
| S-2.3 | 2ND FLOOR FRAMING PLAN | |
| S-3.0 | ROOF FRAMING PLAN | |
| S-3.1 | ROOF FRAMING PLAN | |
| S-3.2 | ROOF FRAMING PLAN | |
| S-3.3 | ROOF FRAMING PLAN | |
| SD.01 | TYPICAL FOUNDATION DETAILS | |
| SD.02 | TYPICAL FOUNDATION DETAILS | |
| SD.03 | TYPICAL FOUNDATION DETAILS | |

Cleveland Division

387 Medina Rd. Suite 1700

Medina, OH 44256



Cover Sheet

Specifications & General Notes

PRODUCTION MANAGER

Janey Heinzman

CURRENT RELEASE DATE: 08/22/2018

REV # | DATE | DESCRIPTION

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PROJECT TYPE

SINGLE FAMILY

COMMUNITY NAME

RIVER OAKS LOT 123

LAWSON COMMUNITY ID

—

GARAGE HANDING

GARAGE RIGHT

SPECIFICATION LEVEL

TBD

PLAN NAME

ATWATER

NPC PLAN NUMBER

1642

LAWSON PLAN ID

—

LEGACY PLAN NUMBER / NAME

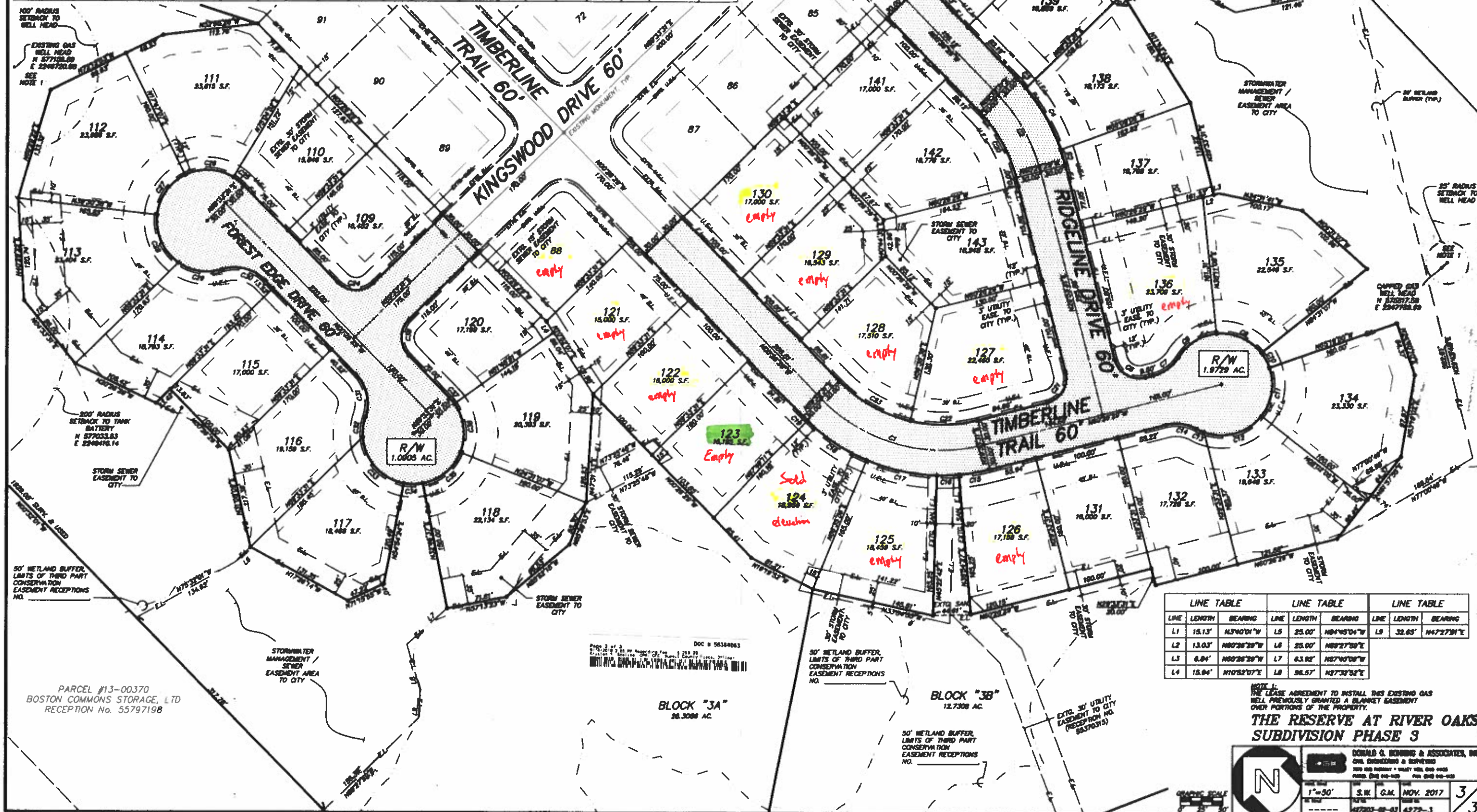
PLAN 3295

SHEET

0.00

| CURVE TABLE | | | | | | CURVE TABLE | | | | | | CURVE TABLE | | | | | |
|-------------|---------|---------|---------|---------|-------------|-------------|-------|---------|--------|---------|--------|-------------|-----------|-------|---------|--------|---------|
| CURVE | RADIUS | LENGTH | TANGENT | CHORD | BEARING | DELTA | CURVE | RADIUS | LENGTH | TANGENT | CHORD | BEARING | DELTA | CURVE | RADIUS | LENGTH | TANGENT |
| C1 | 200.00' | 208.44' | 115.47' | 200.00' | N30°26'29"W | 60°00'00" | C11 | 60.00' | 60.00' | 32.76' | 57.53' | N57°19'02"E | 57°17'45" | C21 | 30.00' | 47.12' | 30.00' |
| C2 | 200.00' | 194.72' | 83.89' | 103.53' | N14°33'31"E | 30°00'00" | C12 | 60.00' | 78.17' | 43.42' | 70.35' | N52°08'41"W | 71°08'48" | C22 | 170.00' | 80.36' | 48.85' |
| C3 | 230.00' | 17.82' | 0.82' | 17.82' | N01°45'43"E | 4°30'25" | C13 | 60.00' | 9.89' | 4.89' | 9.89' | N21°40'38"W | 5°09'10" | C23 | 170.00' | 87.66' | 50.82' |
| C4 | 230.00' | 83.62' | 42.28' | 83.16' | N14°24'30"E | 30°00'00" | C14 | 60.00' | 37.82' | 18.82' | 38.83' | N32°08'14"W | 43°28'30" | C24 | 30.00' | 47.12' | 30.00' |
| C5 | 230.00' | 18.89' | 0.89' | 18.89' | N27°11'33"E | 4°43'47" | C15 | 230.00' | 37.83' | 18.81' | 37.48' | N32°08'14"W | 43°28'30" | C25 | 60.00' | 18.16' | 7.62' |
| C6 | 30.00' | 47.12' | 30.00' | 42.43' | N13°28'28"W | 60°00'00" | C16 | 230.00' | 25.88' | 13.00' | 25.88' | N17°51'25"W | 5°28'15" | C26 | 60.00' | 60.00' | 32.76' |
| C7 | 60.00' | 37.82' | 18.82' | 38.83' | N52°08'41"W | 43°28'30" | C17 | 230.00' | 63.19' | 43.08' | 64.70' | N34°00'41"W | 51°13'14" | C27 | 60.00' | 60.00' | 32.76' |
| C8 | 60.00' | 94.42' | 28.24' | 82.88' | N77°47'38"W | 51°08'01" | C18 | 230.00' | 85.19' | 43.08' | 84.70' | N13°47'27"W | 51°13'14" | C28 | 60.00' | 94.01' | 38.04' |
| C9 | 60.00' | 60.00' | 32.76' | 57.53' | N23°10'00"W | 57°17'45" | C19 | 230.00' | 8.98' | 3.48' | 8.98' | N01°18'28"W | 1°44'30" | C29 | 60.00' | 94.36' | 28.21' |
| C10 | 60.00' | 60.00' | 10.14' | 30.00' | N18°04'31"E | 18°11'17" | C20 | 170.00' | 88.01' | 45.88' | 88.01' | N14°33'31"E | 30°00'00" | C30 | 60.00' | 84.85' | 30.62' |

| CURVE TABLE | | | | | |
|-------------|--------|--------|---------|--------|-------------|
| CURVE | RADIUS | LENGTH | TANGENT | CHORD | BEARING |
| C31 | 60.00' | 64.88' | 30.62' | 63.82' | N57°19'02"E |
| C32 | 60.00' | 24.14' | 12.83' | 23.87' | N50°09'08"E |
| C33 | 60.00' | 78.09' | 48.88' | 72.88' | N02°12'36"E |
| C34 | 60.00' | 23.17' | 11.73' | 23.05' | N48°08'20"W |
| C35 | 60.00' | 60.00' | 32.76' | 57.53' | N50°09'08"E |
| C36 | 60.00' | 60.00' | 32.76' | 57.53' | N30°00'00"E |
| C37 | 60.00' | 9.83' | 4.83' | 9.83' | N03°18'15"E |
| C38 | 30.00' | 47.12' | 30.00' | 42.43' | N44°33'31"E |



88



121

121



122

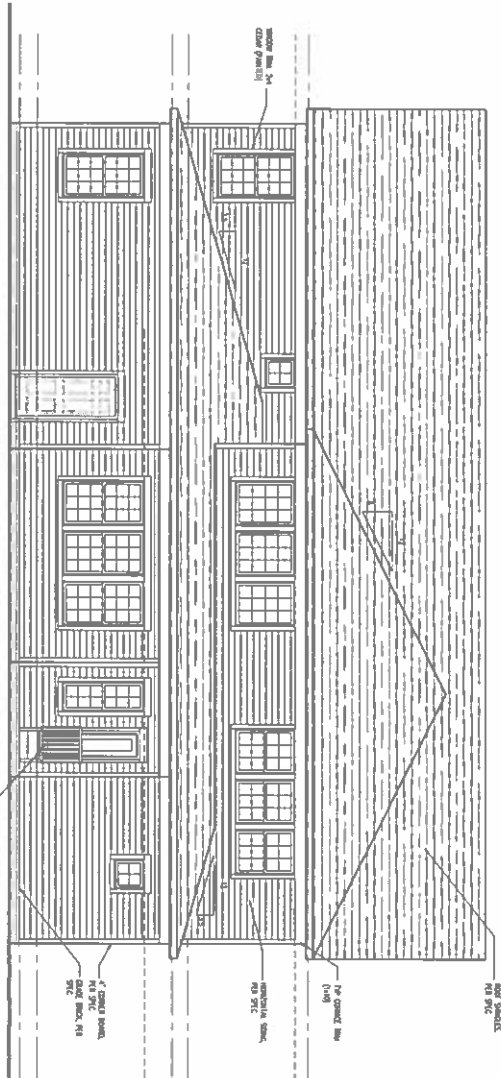


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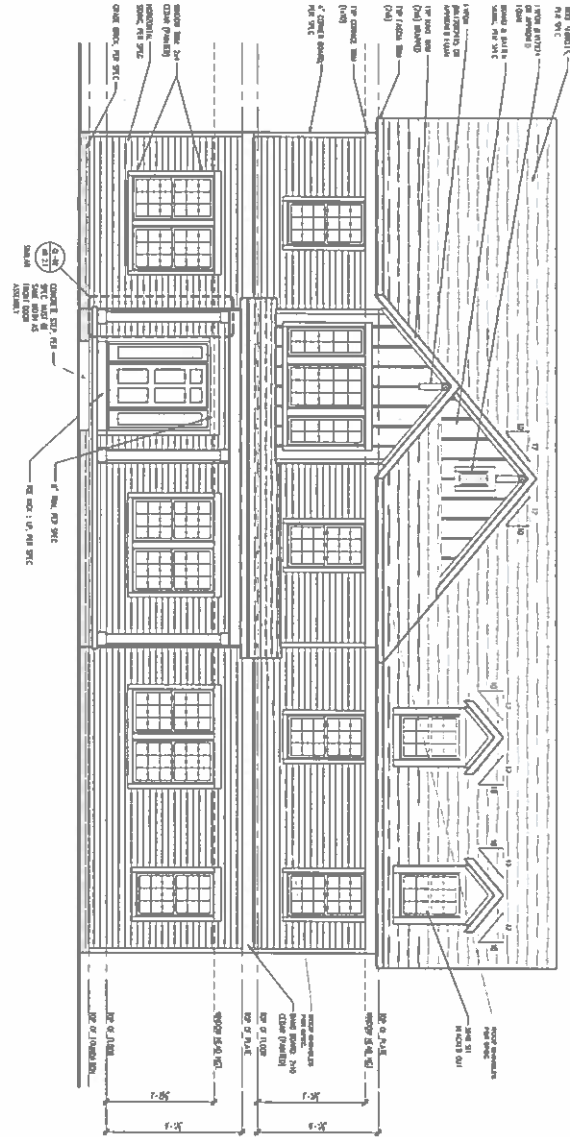
123



REAR ELEVATION
1/2" = 1'-0"



FRONT ELEVATION
1/2" = 1'-0"



NOTE: SCALES SHOWN ON DRAWINGS RELATE TO FULL SIZE PLANS ON 2304 SHEETS - 1/4" = 1'-0" SHEETS REPRESENT 1/2" SCALE PLANS

| NO. | DATE | BY | CHKD. | DESCRIPTION |
|-----|--------|--------|-------|-------------|
| 1 | 7/6/18 | ASH/IA | 388.1 | 388.1 |

Elevation Farmhouse 1A
3 Car Side Entry
Front, Side and Rear Elevations, Roof Plan and Ventilation Schedule

Pulte
HOMES

Midwest Zone Office
1900 E. Golf Road, Suite 300
Schaumburg, Illinois 60173

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12a



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