

NOTE:
PURCHASER TO INSTALL
MINIMUM OF 3 TREES
PER MUNICIPAL REQUIREMENTS

PERCENTAGE OF
LOT COVERAGE = 33.1%

HOUSE COVERAGE = 1,656 SQ.FT.
DRIVEWAY COVERAGE = 732 SQ.FT.
WALKWAY COVERAGE = 125 SQ.FT.
TOTAL COVERAGE = 2,513 SQ.FT.

SUBLOT 1
PP#3009674
7,588 SQ.FT.
0.174 AC.
SIMON WESTBURY LLC

NOTE:
PURCHASER TO INSTALL LANDSCAPING PER CITY
OF HUDSON LANDSCAPING REQUIREMENTS.

NOTE:
ALL PROPOSED FOOTERS WILL REQUIRE SURVEY
CERTIFICATION ONCE SET AND PRIOR TO THE
COMPLETION OF HOME CONSTRUCTION

NOTE:
FINAL LOCATION OF (3) TREES
TO BE DETERMINED AND INSTALLED
BY PURCHASER IN COMPLIANCE
WITH CITY OF HUDSON LAND
DEVELOPMENT CODE (1207.04J).

NOTES:
DOWNSPOUTS TO BE
CONNECTED TO STORM
SEWER CONNECTION. SUMP
PUMP REQUIRED FOR
FOOTER DRAINS.

I CERTIFY THAT THIS PLAN WAS PREPARED
BY ME AND IS CORRECT TO THE BEST OF
MY KNOWLEDGE AND BELIEF

[Signature] 1-31-2020
STAN R. LOCH P.E. #63332 DATE

*****NOTE A*****
PROP 6"Hx12"W
WINDOW TO BE
INSTALLED ON NORTH
SIDE OF CB @ ELEV
1089.00

DATE OF SURVEY
NOVEMBER 13th, 2019

- ① = EX WAT CONN
- ② = EX 6" SAS LAT
- ③ = EX 6" STS LAT
- ④ = PROP WAT CONN
- ⑤ = PROP 6" PVC SAS CONN @ 1.0% MIN 10% MAX
- ⑥ = PROP 6" PVC STS CONN @ 1.0% MIN 10% MAX
- ⑦ = EX 5' CONC WALK TO BE REPLACED

REFERENCES:
WOODLAND ESTATES PLAT
DOC#55187995
WOODLANDS ESTATES SUBDIVISION
IMPROVEMENT PLANS - ASBUILT
DATED OCT 2005

****PRIMARY BENCHMARK****
TOC/BOC @ P/L
BETWEEN SUBLOT 1/PARCEL "A"
ELEV = 1086.65

****SECONDARY BENCHMARK****
TOP STEM OF HYDRANT
ACROSS FROM PARCEL "A"
ELEV = 1088.45

LEGEND

- = PROPOSED TREE
- = MONUMENT BOX
- ⊙ = IRON PIN SET 5/8"x30" REBAR CAPPED "AZTECH 8249"
- ⊙ = SANITARY MANHOLE
- ⊙ = STORM MANHOLE
- ☼ = FIRE HYDRANT
- = CATCH BASIN
- ▬ = CURB INLET
- ⊙ = LIGHT POLE
- = TREE
- ⊙ = ELECTRIC BOX
- ⊙ = TELEPHONE PEDESTAL
- ⊙ = CABLE PEDESTAL

E = ELECTRIC HOOK UP
G = GAS HOOK UP
△ = OFFSET HUB
MB = MAILBOX
LSB = LANDSCAPE BED
SP = SUMP PUMP
□ = PROP INLET PROTECTION
∞ = SILT FENCE/FILTER SOCK
~ = TREE LINE
← = FLOW DIRECTION
~ = SWALE
— = EXISTING GRADE
- - - = PROPOSED GRADE
CO = CLEANOUT

STATE OF OHIO
STAN R. LOCH
8249
REGISTERED PROFESSIONAL SURVEYOR

GRAPHIC SCALE

(IN FEET)
1 inch = 20 ft.

TYPE OF HOUSE: (DOYL-46)
PLAN #: ASHTON
ELEVATION: E
GARAGE: 2 CAR SIDE RIGHT
BASEMENT: 9' FULL
OPTIONS: 2' REAR EXTENSION, 20' HOUSE SETBACK, DRIVE AT LEAST 12' WIDE & TO CONTINUE, BEYOND END OF GARAGE APPROX 10'

****THE CONTRACTOR MUST CHECK THE BENCHMARK WITH THE EOP GRADES PRIOR TO DIGGING THE FOUNDATION.****

**BUILDER: DREES HOMES
CLEVELAND DIVISION
6860 W. SNOWVILLE ROAD
SUITE 105, BRECKSVILLE, OH 44141-3242
440-746-6426**

HORIZ. SCALE: 1"=20'	VERT. SCALE:
DRAWN BY: LNE	DATE: 11-26-2019
CHECKED BY: SRL	DRAWING NO.: 20193514
JOB NO.: 20193514	SHEET: 1 OF 1

5425 WARNER ROAD - SUITE 12
VALLEY VIEW, OHIO 44125
440-602-9071 FAX 216-369-0259

AZTECH
ENGINEERING + SURVEYING
Civil Engineering + Land Surveying

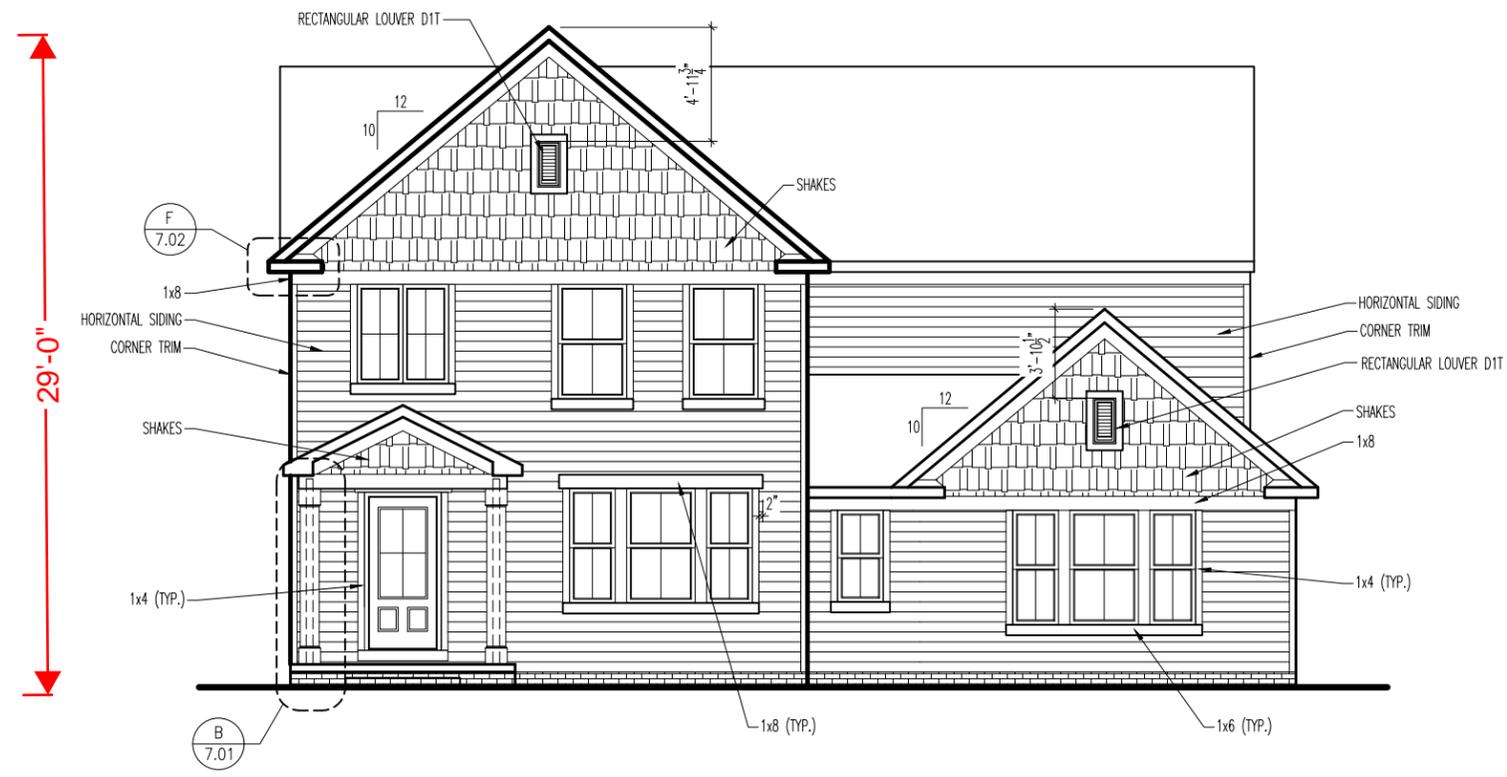
SITE PLAN FOR
DREES HOMES
7599 WOODLAND AVENUE
SUBLOT 1 IN THE
WOODLANDS ESTATES
SUBDIVISION
CITY OF HUDSON
SUMMIT COUNTY
STATE OF OHIO

NO.	DATE	DESCRIPTION	BY
2	1/20	HOUSE CHANGE	LE
1	1/20	HOUSE CHANGE	LE



NOTE:
EXTERIOR ELEVATIONS DO NOT SHOW
9'1" FIRST FLOOR WALL HEIGHT

TYPICAL TRIM:
6" FASCIA
(ALL SIDES)
8" FRIEZE
(FRONT ONLY, UNLESS OTHERWISE NOTED)



REISSUED: 02/10/2020

General Notes
- REFER TO SHEET ON.1 FOR GENERAL NOTES.
- ROOFING PER SPECIFICATIONS/SELECTIONS.

Key Notes

1	--
2	--
3	--
4	--
5	--
6	--
7	--
8	--
9	--
10	--
11	--

BRICK and STONE LINTEL SCHEDULE

	SPAN	36" HIGH	48" HIGH	LINTEL SIZE	WINDOW ABOVE
*BRICK	Up to 6'-0"	---	---	L3 1/2 x 3 1/2 x 1/4	---
	Up to 8'-3"	---	---	L5 x 3 1/2 x 5/16	---
	Up to 9'-3"	---	---	L6 x 4 x 3/8	L7 x 4 x 3/8
	Up to 16'-3"	L7 x 4 x 3/8	L8 x 4 x 1/2	L8 x 4 x 1/2	**per Design
*STONE	Up to 6'-0"	---	---	L4 x 3 1/2 x 1/4	---
	Up to 8'-3"	---	---	L5 x 3 1/2 x 5/16	---
	Up to 9'-3"	---	L6 x 4 x 3/8	L7 x 4 x 3/8	**per Design
	Up to 16'-3"	---	L8 x 4 x 1/2	**per Design	**per Design

All Lintels: 4" Minimum bearing required each end
* Brick is based on 40psf and Stone is based on 60psf
** Any lintels not described by the above parameters shall be specifically designed.



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House: **ASHTON**
Series: _____ Plan No.: **0247**

Std. Drawn By: JRT
Std. Chk. By: ARC
Std. Date: 8/19/10
Rev. Date: 02/12/18 WJS

Sheet Description: **FRONT & REAR ELEVATIONS ELEVATION "E" STD. FRAMEWRAP OPT. 9'1" FIRST FLOOR CEILING**
SCALE: 1/8" = 1'-0"

Contract Drawn By: _____
Phone #: _____
Coordinator's Name: **MELISSA PINGEL-HYATT**
Coordinator's Phone #: **859-578-4290**

Original Site Specific Dwg. Date: **10/22/19**

DOYL-0046-00.dwg Feb 10, 2020 - 9:23am

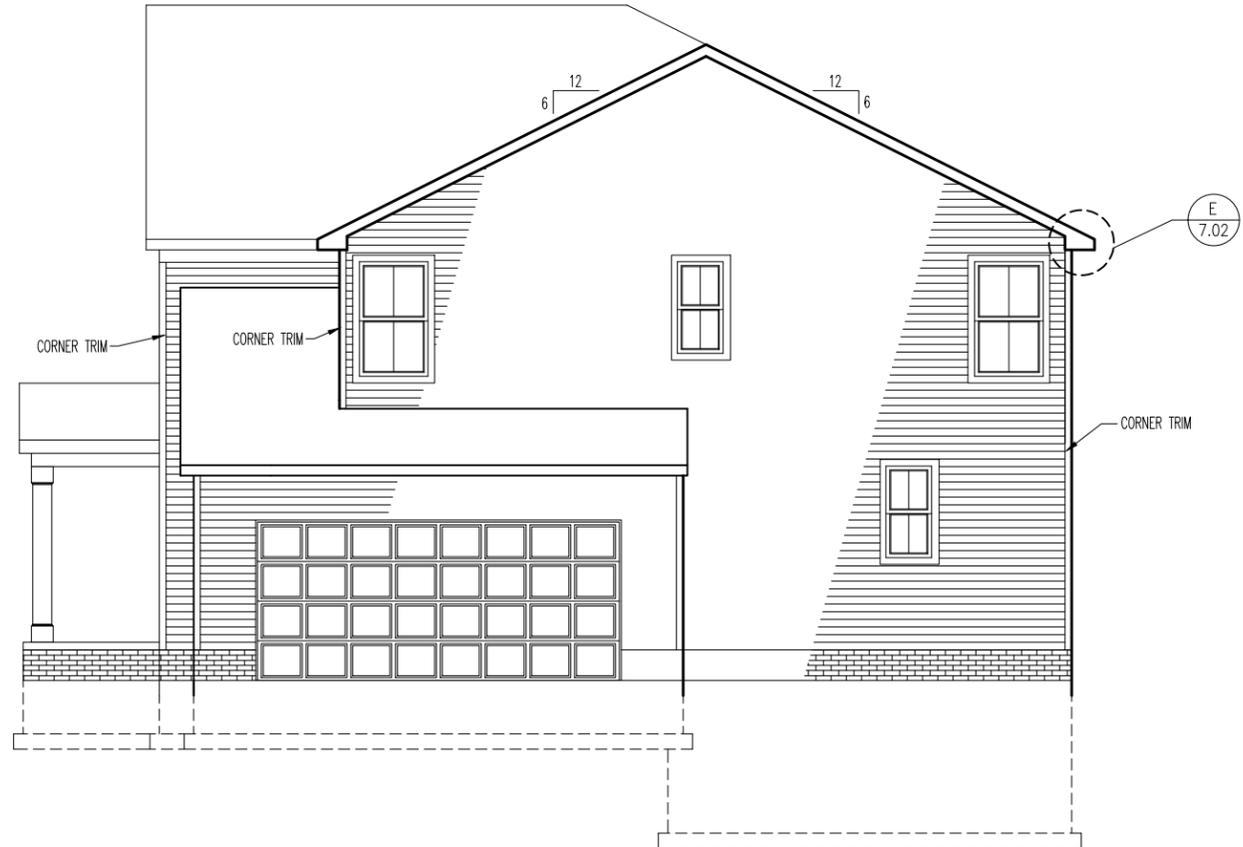
Subdivision: **DREES ON YOUR LOT**
Job #: **DOYL-0046-00**
Customer Name: **HRITZ**
Job Address: **7599 WOODLAND AVENUE**

Sheet No.: **6.01**

REISSUED: 02/10/2020

NOTE:
EXTERIOR ELEVATIONS DO NOT SHOW
9'1" FIRST FLOOR WALL HEIGHT

TYPICAL TRIM:
6" FASCIA
(ALL SIDES)
8" FRIEZE
(FRONT ONLY, UNLESS OTHERWISE NOTED)



General Notes
- REFER TO SHEET ON.1 FOR GENERAL NOTES.
- ROOFING PER SPECIFICATIONS/SELECTIONS.

Key Notes

1	
2	--
3	--
4	--
5	--
6	--
7	--
8	--
9	--
10	--
11	--

BRICK and STONE LINTEL SCHEDULE

	SPAN	36" HIGH	48" HIGH	LINTEL SIZE	WINDOW ABOVE
*BRICK	Up to 6'-0"	---	---	L3 1/2 x 3 1/2 x 1/4	---
	Up to 8'-3"	---	---	L5 x 3 1/2 x 3/16	---
	Up to 9'-3"	---	---	L6 x 4 x 5/16	L7 x 4 x 3/8
	Up to 16'-3"	L7 x 4 x 3/8	L8 x 4 x 1/2	L8 x 4 x 1/2	**per Design
*STONE	Up to 6'-0"	---	---	L4 x 3 1/2 x 1/4	---
	Up to 8'-3"	---	---	L5 x 3 1/2 x 3/16	---
	Up to 9'-3"	---	L6 x 4 x 3/8	L7 x 4 x 3/8	**per Design
	Up to 16'-3"	---	L8 x 4 x 1/2	**per Design	**per Design

All Lintels: 4" Minimum bearing required each end
* Brick is based on 40psf and Stone is based on 60psf
** Any lintels not described by the above parameters shall be specifically designed.



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House: **ASHTON**
Series: Plan No.: **0247**

Std. Drawn By: JRT
Std. Chk. By: ARC
Std. Date: 8/19/10
Rev. Date: 02/12/18 WJS

Sheet Description: **SCALE: 1/8" = 1'-0"**
SIDE ELEVATIONS ELEVATION "E"
STD. FRAMEWRAP OPT. 9'1" FIRST FLOOR CEILING

Contract Drawn By: ---
Phone #: ---
Coordinator's Name: **MELISSA PINGEL-HYATT**
Coordinator's Phone #: **859-578-4290**

Original Site Specific Dwg. Date: **10/22/19**

Subdivision: **DREES ON YOUR LOT**
Job #: **DOYL-0046-00**
Customer Name: **HRITZ**
Job Address: **7599 WOODLAND AVENUE**

Sheet No.: **6.02**



Square Footage	
FINISHED LOWER LEVEL (NET)	532
FIRST FLOOR (NET)	1227
SECOND FLOOR (GROSS)	1503
- VOLUME SPACE (GROSS)	0
SECOND FLOOR (NET)	1503
TOTAL LIVING (NET)	3262
UNFINISHED BASEMENT	706
UNFINISHED ATTIC STORAGE	0
GARAGE	442
COVERED FRONT PORCH	59
COVERED REAR PATIO	0
REAR DECK	0

Division: Cleveland	
Building Code: 2019 Residential Code of Ohio	
Index to the Drawings	
Sheet No.	Sheet Name
0C.1	Cover Sheet
0N.1	General Notes
1.01	Foundation Plan
1.02	Basement Framing Plan
1.03	Basement Mechanical Plan
2.01F	First Floor Framing Plan
2.01S	First Floor Structural Plan
2.02F	Second Floor Framing Plan
2.02S	Second Floor Structural Plan
2.04	Roof Plan
3.01	First Floor Subfloor Plan
3.02	Second Floor Subfloor Plan
4.01	First Floor Mechanical Plan
4.02	Second Floor Mechanical Plan
5.01	Building Section
6.01	Front and Rear Elevation
6.02	Side and Garage Side Elevation
7.01	House Specific Details
7.02	House Specific Details
7.03	House Specific Details

PER ANSI Z765-2003

Redraws

Plan Review: 11/19/19
REVISE TO GARAGE RIGHT, CHANGE BRICK AT FRONT ELEVATION TO STONE

Plan Review: 01/16/20
REVISE PLANS FOR STUDY/ARB CHANGES

Plan Review: 01/17/20
REVISE STRUCTURE AT STAIRS
REVISE WINDOW AT OWNER'S W.I.C.

Plan Review: 1/30/20
- MOVED REAR WALL 4" FORWARD
- MOVED GARAGE WALL BACK 1"
- MOVED FRONT WALL BACK 1"
- REENTERED FIREPLACE AND WINDOWS

Plan Review: 02/10/20
WINDOW GRIDS, BRICK LEDGE, SOFFIT REVISION

RESIDENCE FOR:
HRITZ
7599 WOODLAND AVENUE
DREES ON YOUR LOT

Job Number: DOYL-0046-00	Drawing Date: 10/23/19	Coord Name: MELISSA H.	Coord Phone: 859.578.4290
-----------------------------	---------------------------	---------------------------	------------------------------

Architecture Plan Review: No Comments See Comments Items drawn on any drawings and not written in the contract sections **WILL NOT** be included in the site specific drawings.

Customer Request:	Design Solution:	Reason For Modification:	Comments:
1. Xxxxx	1. Xxxxx	1. Xxxxx	1. Xxxxx
2. Xxxxx	2. Xxxxx	2. Xxxxx	2. Xxxxx
3. Xxxxx	3. Xxxxx	3. Xxxxx	3. Xxxxx
4. Xxxxx	4. Xxxxx	4. Xxxxx	4. Xxxxx

Customer Plan Review Signature

I understand that my new Drees home will be built in general conformance to the plans, specifications, selections and the Purchase Agreement, all of which I have reviewed and approved. This set of plans may not reflect the elevations or options for my house. Drees draws the standard plans complete with the most common options. The subcontractor's sets will show only the options I selected in my selection sheets. I have reviewed the plot plan for my house and understand that there may be some field adjustments as to the exact location of the house on the lot. I further understand that my home will not be built exactly like any other Drees home or Model and that some minor variations from my plans and specifications may occur since every home that is built has it's own set of unique construction problems that must be dealt with as the home is being built.

Customer: _____ Date: _____
Customer: _____ Date: _____

the ASHTON

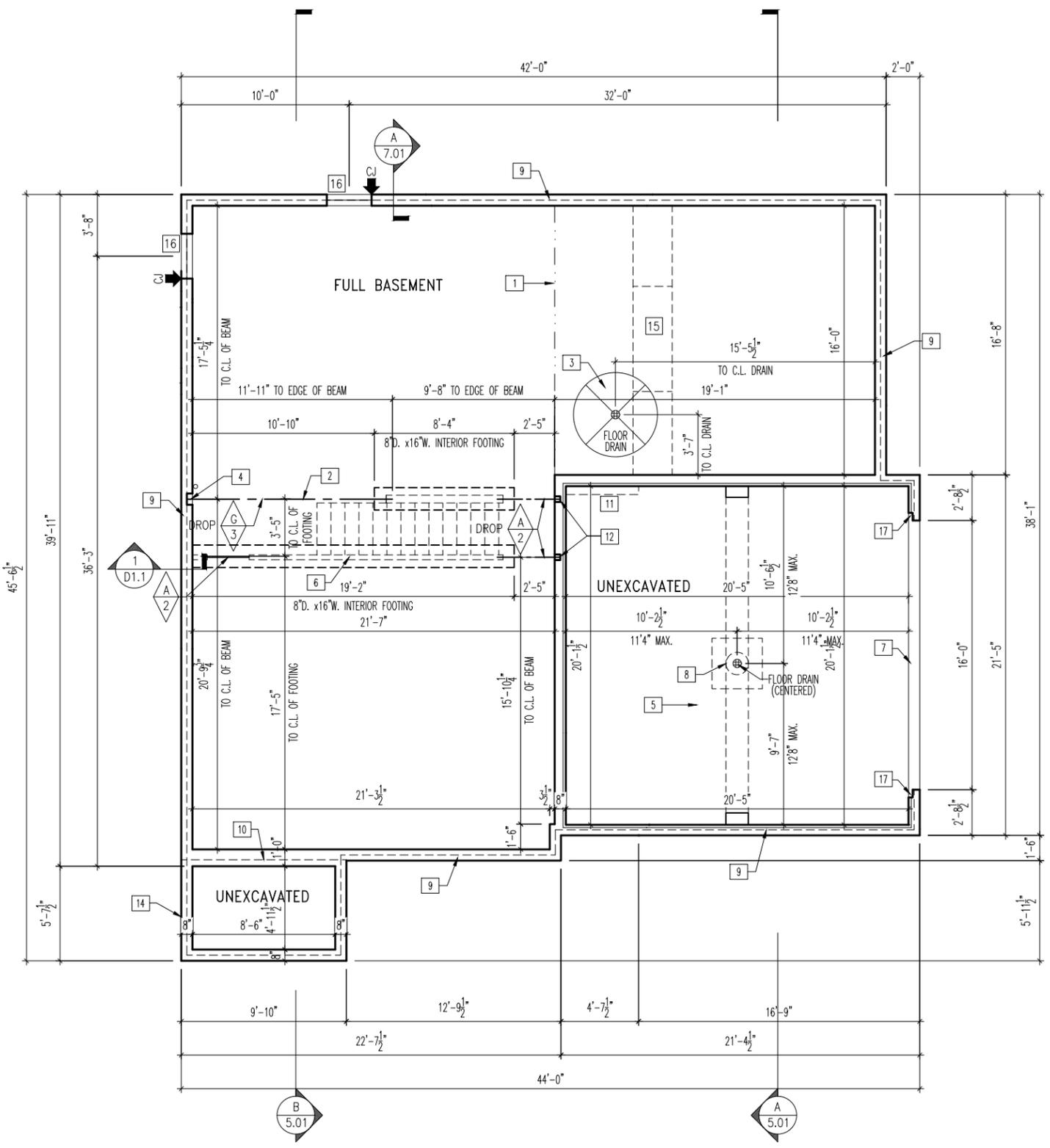
Drees HOMES
SM

8860 WEST SNOWVILLE ROAD, SUITE 150, BRECKSVILLE, OH 44141
PHONE: [440] 717-9670

0C.1
Cover Sheet
Elevation "E"

Sheet Information

House Name:	Drawn By: MRPH
Series:	Plan No.:



STRUCTURAL HEADER CHART		LUMBER SIZE	# OF PLYS	FLUSH/DROP	
A	2 x 6	E	1-3/4" x 7-1/4" LVL	K	1-3/4" x 16" LVL
B	2 x 8	F	1-3/4" x 9-1/4" LVL	L	1-3/4" x 18" LVL
C	2 x 10	G	1-3/4" x 11-1/4" LVL	M	1-3/4" x 20" LVL
D	2 x 12	H	1-3/4" x 11-7/8" LVL	N	1-3/4" x 24" LVL
		J	1-3/4" x 14" LVL		

General Notes

- REFER TO SHEET ON.1 FOR GENERAL NOTES.
- ALL FOUNDATION WALLS 8" THICK UNLESS OTHERWISE NOTED.
- OVERALL FOUNDATION WALL HEIGHT MAY VARY UP TO 1".
- SEE SHEET ON.1 FOR VERTICAL FOUNDATION WALL CONTROL JOINT LOCATIONS.

- Key Notes**
- 1 SLAB CONTROL JOINT
 - 2 SLAB CONTROL JOINT TO BE LOCATED DIRECTLY UNDER BEAM/STAIR WALL
 - 3 5'-0" DIAMETER AREA SLOPED TO DRAIN WITH 2" LOWER THAN TOP OF SLAB
 - 4 6"Wx12"Hx4"D BEAM POCKET
 - 5 GARAGE SLAB TO BE HELD A MINIMUM OF 4" BELOW TOP OF FOUNDATION AND IS TO SLOPE 4" TOWARDS GARAGE DOOR.
 - 6 OUTLINE OF STAIRS TO BASEMENT
 - 7 CONTINUOUS FOOTING AND FOUNDATION-DROP TO BE FIELD DETERMINED.
 - 8 REFER TO STANDARD DETAIL SHEET S-1A FOR GARAGE SLAB DETAILS
 - 9 DROP BRICK LEDGE
 - 10 LINE OF STUD WALL/PORCH SLAB ABOVE, SEE TYPICAL SECTION THROUGH PORCH SLAB C/7.01
 - 11
 - 12 4"Wx6"Hx4"D BEAM POCKET
 - 13
 - 14 SEE SPECIFICATION MANUAL DETAIL FOR PORCH CONSTRUCTION
 - 15 DOUBLE EVERY OTHER JOIST UNDER KITCHEN ISLAND MIN. (2) INSTANCES
 - 16 STD. BASEMENT WINDOW PER DIVISION SPECS. WINDOW HEADER TO BE HELD FLUSH IN SUBFLOOR: 2x10 HDR. w/2x10 FLOOR SYSTEM or 1-3/4" x 11-7/8" LVL HDR. w/TJIs.
 - 17 3"x5 1/2" NOTCH FOR GARAGE DOOR TRACK. DROP TO BE FIELD DETERMINED TO CATCH GARAGE SLAB. REFER TO SPECIFICATION MANUAL FOR DETAILS.
 - 18
 - 19

REISSUED: 02/10/2020



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House: **ASHTON**
 Series: Plan No.: **0247**

Std. Drawn By: JRT
 Std. Chk. By: ARC
 Std. Date: 8/19/10
 Rev. Date: 02/12/18 WJS

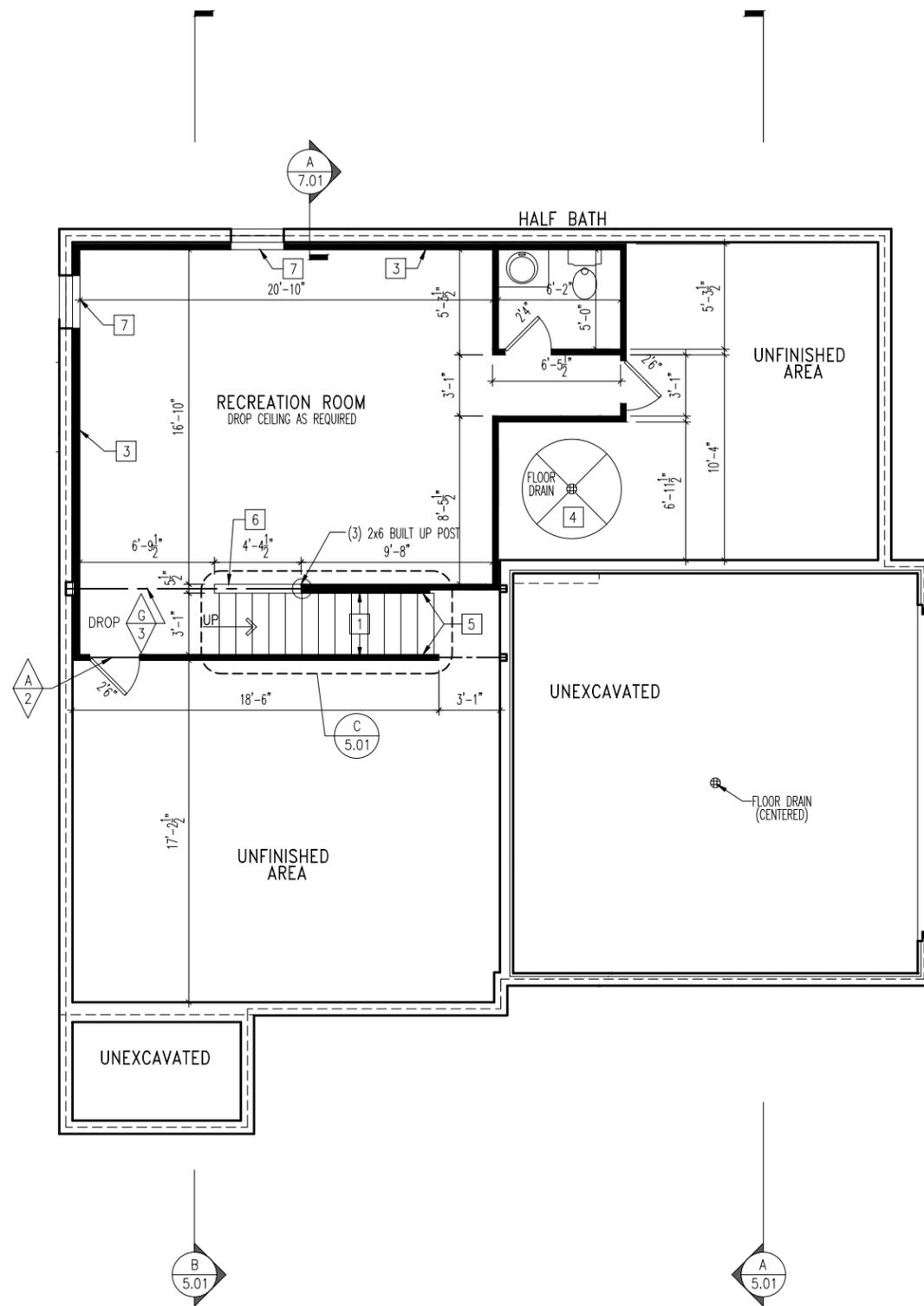
Sheet Description:
**FOUNDATION PLAN
 ELEVATION "E"
 STD. FRAMEWRAP**

Contract Drawn By: --
 Phone #: --
 Coordinator's Name: **MELISSA PINGEL-HYATT**
 Coordinator's Phone #: **859-578-4290**

Original Site Specific Dwg. Date:
10/22/19

Subdivision: **DREES ON YOUR LOT**
 Job #: **DOYL-0046-00**
 Customer Name: **HRITZ**
 Job Address: **7599 WOODLAND AVENUE**

Sheet No.:
1.01



General Notes

- REFER TO SHEET ON.1 FOR GENERAL NOTES.
- ALL FOUNDATION WALLS 8" THICK UNLESS OTHERWISE NOTED.

Key Notes

- STAIRS TO BE ENCLOSED WITH FULL HEIGHT STUDS @ 16" O.C. AND DRYWALLED ON INTERIOR STAIRWELL ONLY TO BOTTOM OF THE RUN
-
- 2x4 STUDS HELD 1" FROM FOUNDATION WALL WITH 3-1/2" BAT INSULATION.
- 5'-0" DIAMETER AREA SLOPED TO DRAIN WITH 2" LOWER THAN TOP OF SLAB
- BEARING WALL
- 36" HIGH WALL AND WOOD CAP, SLOPED WITH STAIR STRINGER.
- RIPPED 1x WOOD SILL
-
-
-
-
-

STRUCTURAL HEADER CHART		LUMBER SIZE	# OF PLYS	FLUSH/DROP	
A X	2 x 6	E X	1-3/4" x 7-1/4" LVL	K X	1-3/4" x 16" LVL
B X	2 x 8	F X	1-3/4" x 9-1/4" LVL	L X	1-3/4" x 18" LVL
C X	2 x 10	G X	1-3/4" x 11-1/4" LVL	M X	1-3/4" x 20" LVL
D X	2 x 12	H X	1-3/4" x 11-7/8" LVL	N X	1-3/4" x 24" LVL
		J X	1-3/4" x 14" LVL		

REISSUED: 02/10/2020



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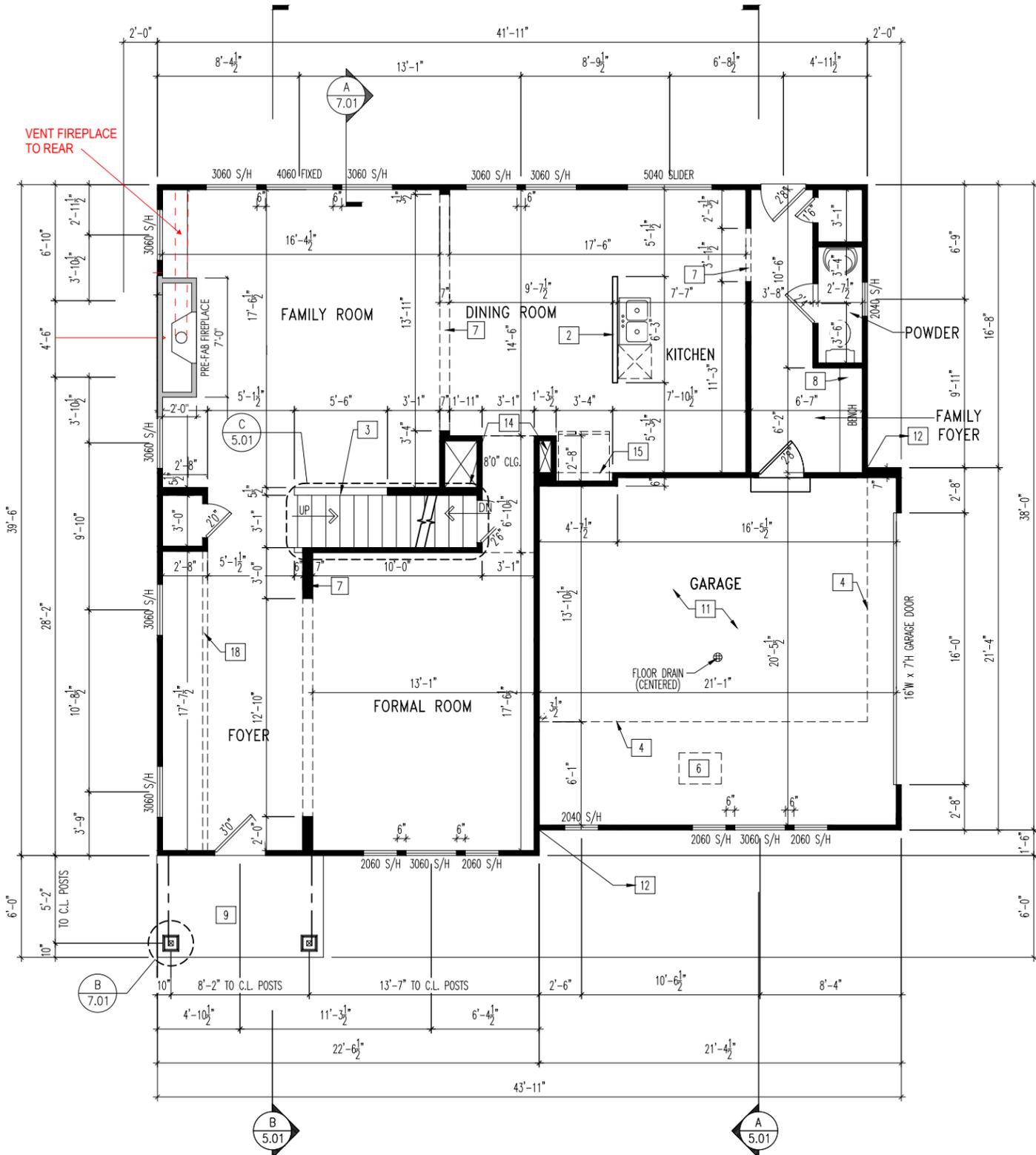
Sheet Description: **SCALE: 1/8" = 1'-0"**
LOWER LEVEL FRAMING PLAN
ELEVATION "E"
STD. FRAMEWRAP

Contract Drawn By: --
 Phone #: --
 Coordinator's Name: **MELISSA PINGEL-HYATT**
 Coordinator's Phone #: **859-578-4290**

Original Site Specific Dwg. Date: **10/22/19**

Subdivision: **DREES ON YOUR LOT**
 Job #: **DOYL-0046-00**
 Customer Name: **HRITZ**
 Job Address: **7599 WOODLAND AVENUE**

Sheet No.: **1.02**



General Notes

- REFER TO SHEET ON.1 FOR GENERAL NOTES.
- ALL FIRST FLOOR WALLS TO BE 9'1" ABOVE SUBFLOOR UNLESS OTHERWISE NOTED.
- FRAME FIRST FLOOR WINDOWS @ 1'0-1/4" BELOW TOP PLATE, UNLESS OTHERWISE NOTED.
- ALL DROPPED INTERIOR HEADERS TO BE DROPPED 1'-0" FROM CEILING UNLESS OTHERWISE NOTED.

- Key Notes**
- 1
 - 2 34-1/2" HIGH WALL
 - 3 SLOPE WALL W/ STAIR STRINGER
 - 4 SECOND FLOOR LINE ABOVE
 - 5
 - 6 ATTIC ACCESS (22 1/2" X 30"), FIELD DETERMINE LOCATION
 - 7 FALSE HEADER
 - 8 BENCH W/ STORAGE AND HOOKS
 - 9 CARPENTER TO DROP ELECTRICAL WIRE THROUGH PORCH CEILING FOR LIGHTS
 - 10
 - 11 FRAME WALLS @ 10'-3 1/8" HIGH
 - 12 FRAME WALLS @ 8'-9 1/8" HIGH
 - 13
 - 14 HVAC CHASE
 - 15 FUR DOWN TO 6'-4" A.F.F.
 - 16
 - 17
 - 18 ARCH OPENING: HOLD TOP OF ARCH 1'0" DOWN FROM CLG. W/ 6" SPRING
 - 19

REISSUED: 01/30/2020



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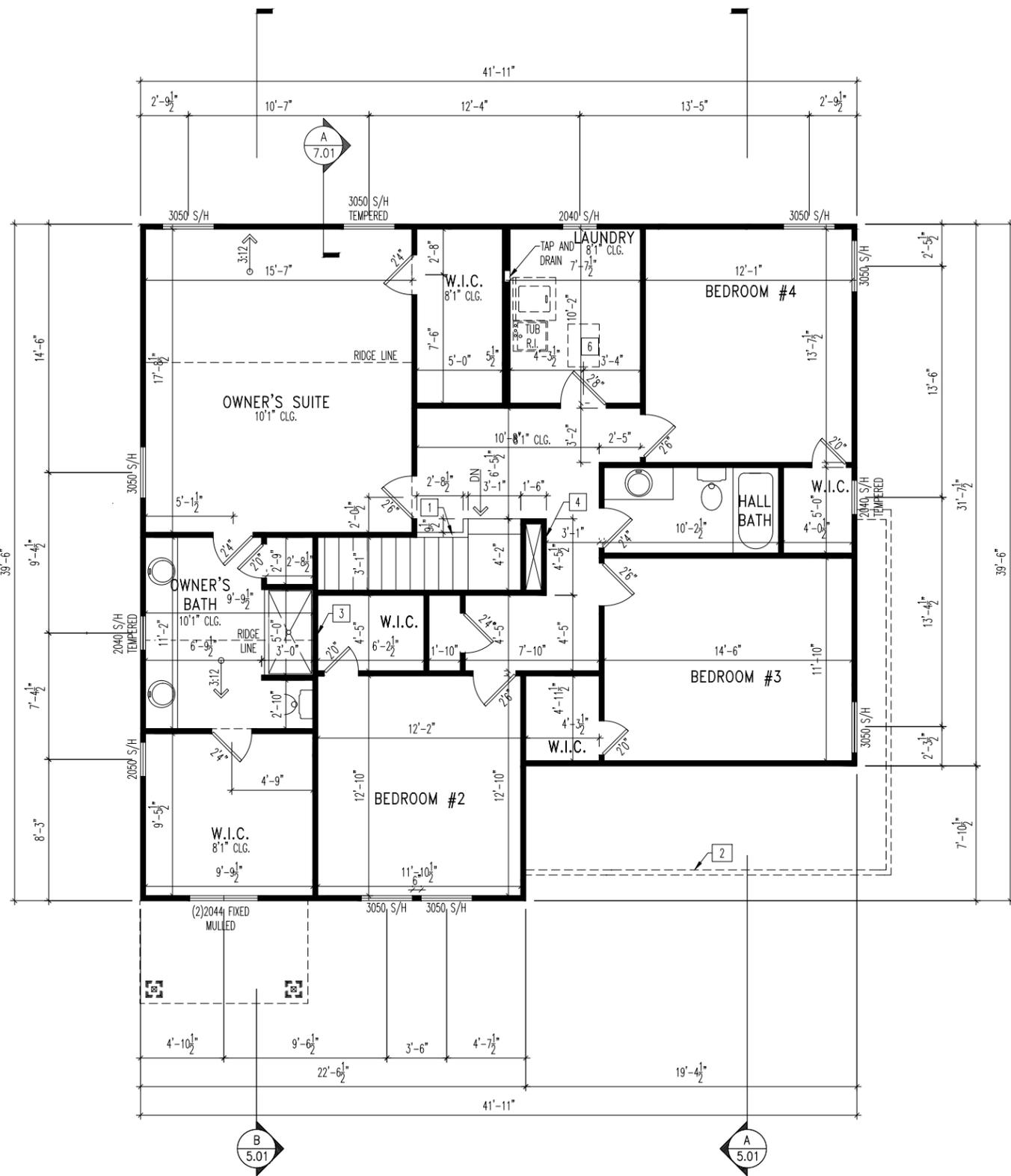
Std. Drawn By: JRT Sheet Description: SCALE: 1/8" = 1'-0"
 Std. Chk. By: ARC **FIRST FLOOR FRAMING PLAN**
 Std. Date: 8/19/10 **ELEVATION "E"**
 Rev. Date: 02/12/18 WJS **STD. FRAMEWRAP**
OPT. 9'1" FIRST FLOOR CEILING

Contract Drawn By: ---
 Phone #: ---
 Coordinator's Name: **MELISSA PINGEL-HYATT**
 Coordinator's Phone #: **859-578-4290**

Original Site Specific Dwg. Date: **10/22/19**

Subdivision: **DREES ON YOUR LOT**
 Job #: **DOYL-0046-00**
 Customer Name: **HRITZ**
 Job Address: **7599 WOODLAND AVENUE**

Sheet No. **2.01**
FRAMING



REISSUED: 01/30/2020

General Notes

- REFER TO SHEET ON.1 FOR GENERAL NOTES.
- SECOND FLOOR CEILING TO BE 8'-1" ABOVE SUBFLOOR UNLESS OTHERWISE NOTED.
- FRAME TOP OF ALL WINDOWS AT 1'-0-1/4" BELOW THE TOP PLATE UNLESS OTHERWISE NOTED.
- ALL DROPPED, INTERIOR HEADERS (FALSE AND BEARING) ARE DROPPED 1'-0" FROM CEILING UNLESS CALCULATIONS REQUIRE LARGER HEADERS.

- Key Notes**
- 1 36" HIGH WALL.
 - 2 OUTLINE OF GARAGE OR FIRST FLOOR WALL BELOW.
 - 3 DO NOT LOCATE TRUSS ABOVE PLUMBING WALL.
 - 4 HVAC CHASE
 - 5
 - 6 ATTIC ACCESS (22 1/2" X 30")
 - 7
 - 8
 - 9 --
 - 10 --
 - 11 --
 - 12 --
 - 13 --
 - 14 --
 - 15 --
 - 16 --
 - 17 --
 - 18 --
 - 19 --



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 Series: Plan No.: **0247**

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 Std. Chk. By: ARC
 Std. Date: 8/19/10
 Rev. Date: 02/12/18 WJS

Sheet Description: **SCALE: 1/8" = 1'-0"**
SECOND FLOOR FRAMING PLAN
ELEVATION "E"
STD. FRAMEWRAP
STD. 8' 2ND FLR. CEILING

Contract Drawn By: --
 Phone #: --
 Coordinator's Name: **MELISSA PINGEL-HYATT**
 Coordinator's Phone #: **859-578-4290**

Original Site Specific Dwg. Date: **10/22/19**

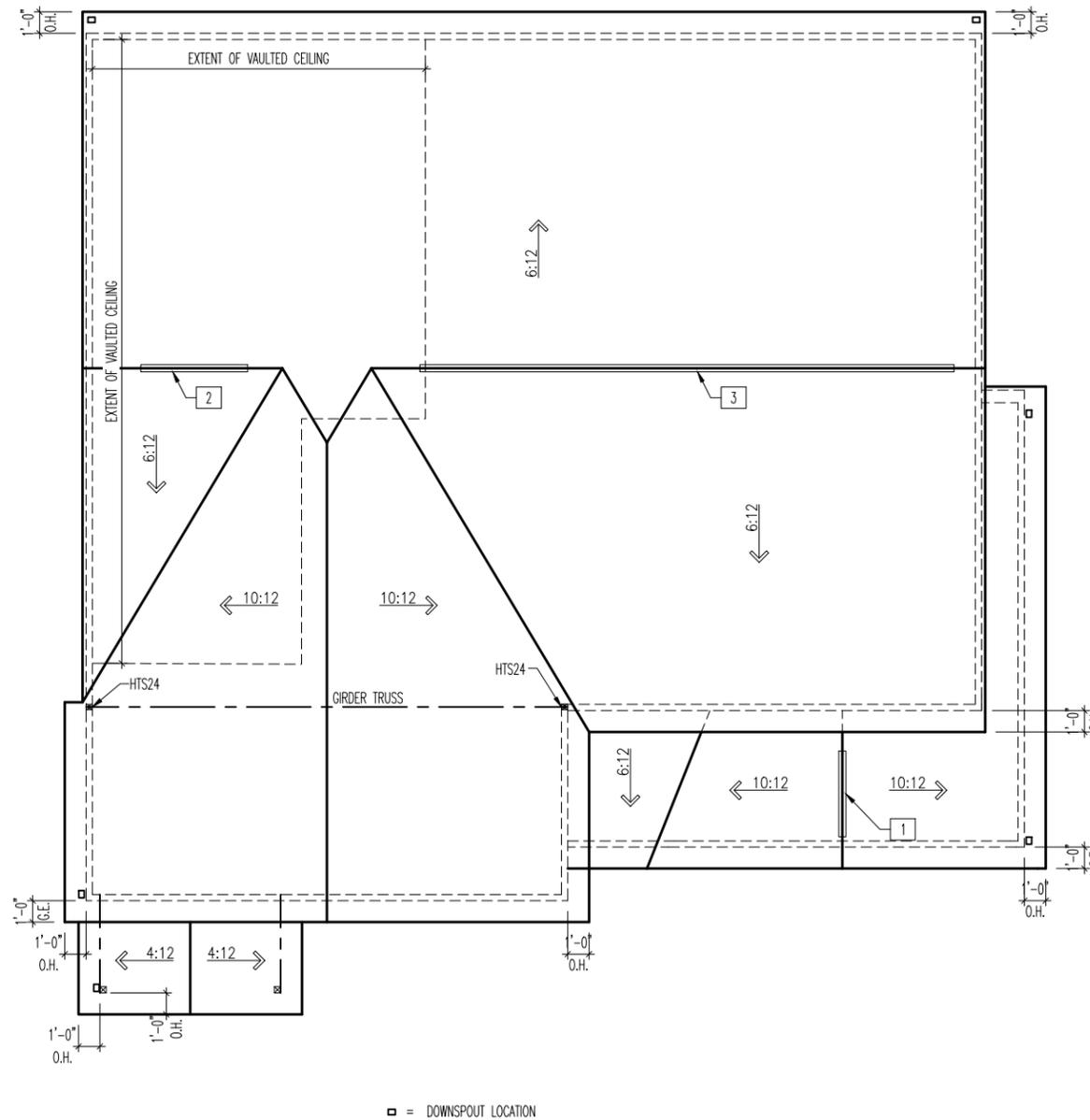
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 Job #: **DOYL-0046-00**
 Customer Name: **HRITZ**
 Job Address: **7599 WOODLAND AVENUE**

Sheet No. **2.02**
FRAMING

CONNECTION SPECIFICATIONS (TYP. U.N.O.)

NOTE: 10d NAIL = 3" x 0.131" GUN NAIL

JOIST TO SOLE PLATE	(3) 10d TOENAILS
SOLE PLATE TO JOIST/BLK'G.	10d NAILS @ 6" o.c.
STUD TO SOLE PLATE	(3) 10d TOENAILS
TOP OR SOLE PLATE TO STUD	(3) 10d NAILS
RIM TO TOP PLATE	10d TOENAILS @ 6" o.c.
BLK'G. BTWN. JOISTS TO TOP PL.	(3) 10d TOENAILS
RAFTER/TRUSS TO TOP PLATE	(3) 10d TOENAILS + (1) SIMPSON H2.5A
GAB. END TRUSS TO DBL. TOP PL.	10d TOENAILS @ 8" o.c.
R.T. w/ HEEL HT. 9 1/4" TO 12"	2x10 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE w/ 10d TOENAILS @ 6" O.C.
R.T. w/ HEEL HT. 12" TO 16"	2x12 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE w/ 10d TOENAILS @ 6" O.C.
R.T. w/ HEEL HT. UP TO 24"	LAP WALL SHTG. w/ DBL. TOP PL. & INSTALL ON TRUSS VERT. - FASTEN w/ 8d NAILS @ 6" O.C.
R.T. w/ HEEL HT. 24" TO 48"	LAP WALL SHTG. w/ DBL. TOP PL. & INSTALL ON TRUSS VERT. - FASTEN w/ 8d NAILS @ 6" O.C. PROVIDE 2x BLK @ EA. BAY AT TOP OF HEEL
DOUBLE STUD	10d NAILS @ 24" o.c.
DOUBLE TOP PLATE	10d NAILS @ 24" o.c.
DOUBLE TOP PLATE LAP SPLICE	(10) 10d NAILS IN LAPPED AREA
TOP PLATE LAP @ CORNERS & INTERSECTING WALLS	(2) 10d NAILS
WALL TO FOUNDATION	WALL SHTG. LAP w/ SILL PL. & FASTENED PER SHEAR WALL FASTENING SPEC.



HEEL CUT STANDARDS

	OVERHANG	
	1'-0"	2'-0"
4:12	3-3/4"	7-3/4"
5:12	4-3/4"	9-3/4"
6:12	5-3/4"	11-3/4"
7:12	6-3/4"	13-3/4"
8:12	7-3/4"	N/A
9:12	8-3/4"	N/A
10:12	9-3/4"	N/A
12:12	11-3/4"	N/A
14:12	13-3/4"	N/A

General Notes

- REFER TO SHEET ON.1 FOR GENERAL NOTES.

Key Notes

- 1 4'-0" OF RIDGE VENT
- 2 5'-0" OF RIDGE VENT
- 3 25'-0" OF RIDGE VENT
- 4 --
- 5 --
- 6 --
- 7 --
- 8 --
- 9 --
- 10 --
- 11 --
- 12 --
- 13 --
- 14 --
- 15 --
- 16 --

REISSUED: 01/30/2020

ROOF VENTILATION		
CITY/SERIES:	CLEVELAND	
	MAIN HOUSE	GARAGE
TOTAL ATTIC AREA:	1,639	210
REQUIRED NET FREE VENTILATION (ATTIC AREA/300):	5.46	0.70
ACTUAL NET FREE VENTILATION (UPPER + LOWER):	5.55	1.20
DOWNSPOUT CALCULATION		
	MAIN HOUSE	GARAGE
TOTAL DRAINABLE ROOF AREA:	2130.7	273
MINIMUM # OF DOWNSPOUTS:	4	1



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House: **ASHTON**
 Series: _____ Plan No.: **0247**

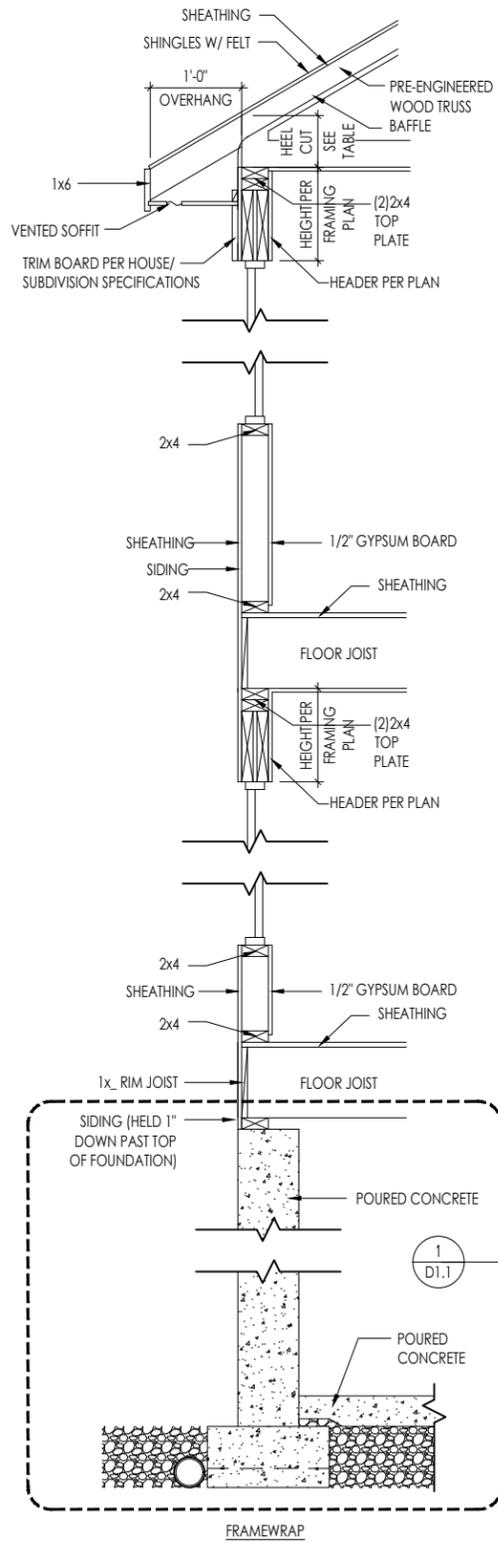
Std. Drawn By: JRT
 Std. Chk. By: ARC
 Std. Date: 8/19/10
 Rev. Date: 02/12/18 WJS

Sheet Description: **SCALE: 1/8" = 1'-0"**
ROOF PLAN ELEVATION "E"
STD. FRAMEWRAP
OPT. 9'1" FIRST FLOOR CEILING

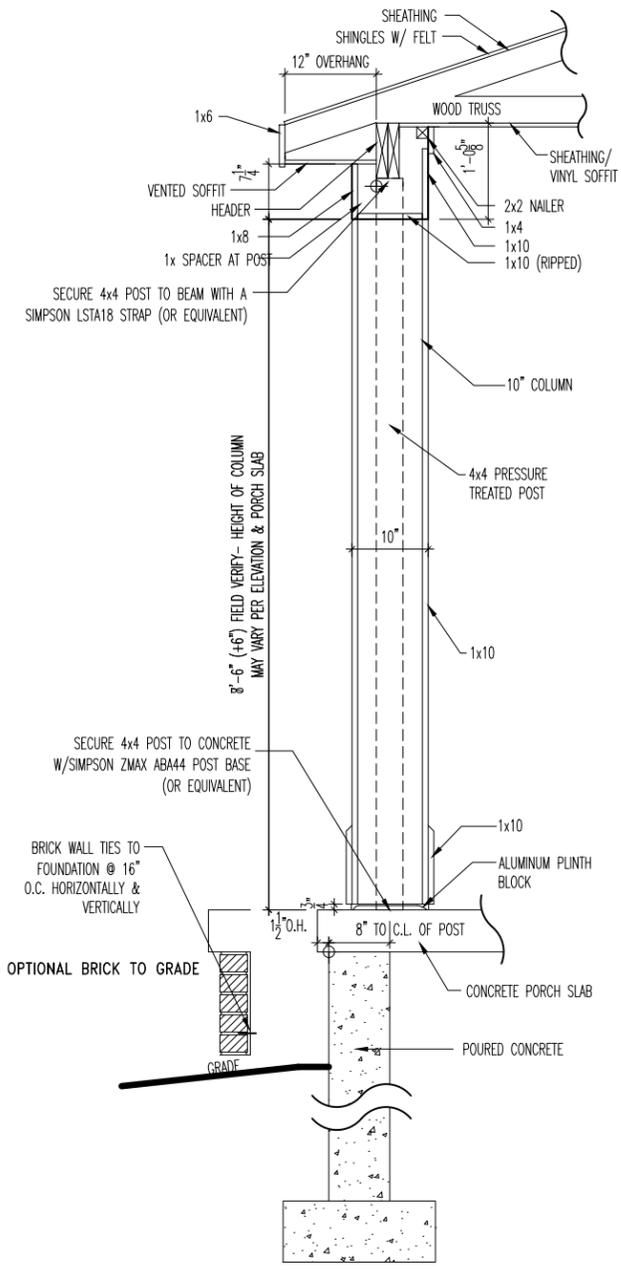
Contract Drawn By: --
 Phone #: --
 Coordinator's Name: **MELISSA PINGEL-HYATT**
 Coordinator's Phone #: **859-578-4290**

Original Site Specific Dwg. Date: **10/22/19**

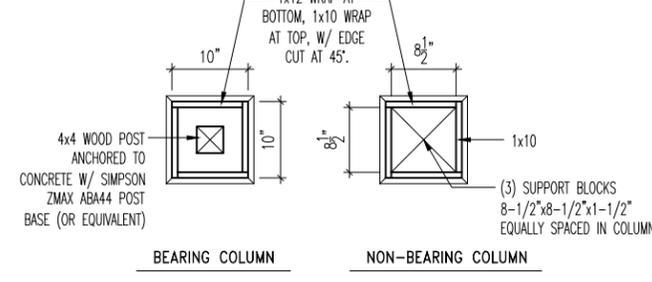
Subdivision: **DREES ON YOUR LOT** Sheet No. **2.04**
 Job #: **DOYL-0046-00**
 Customer Name: **HRITZ**
 Job Address: **7599 WOODLAND AVENUE**



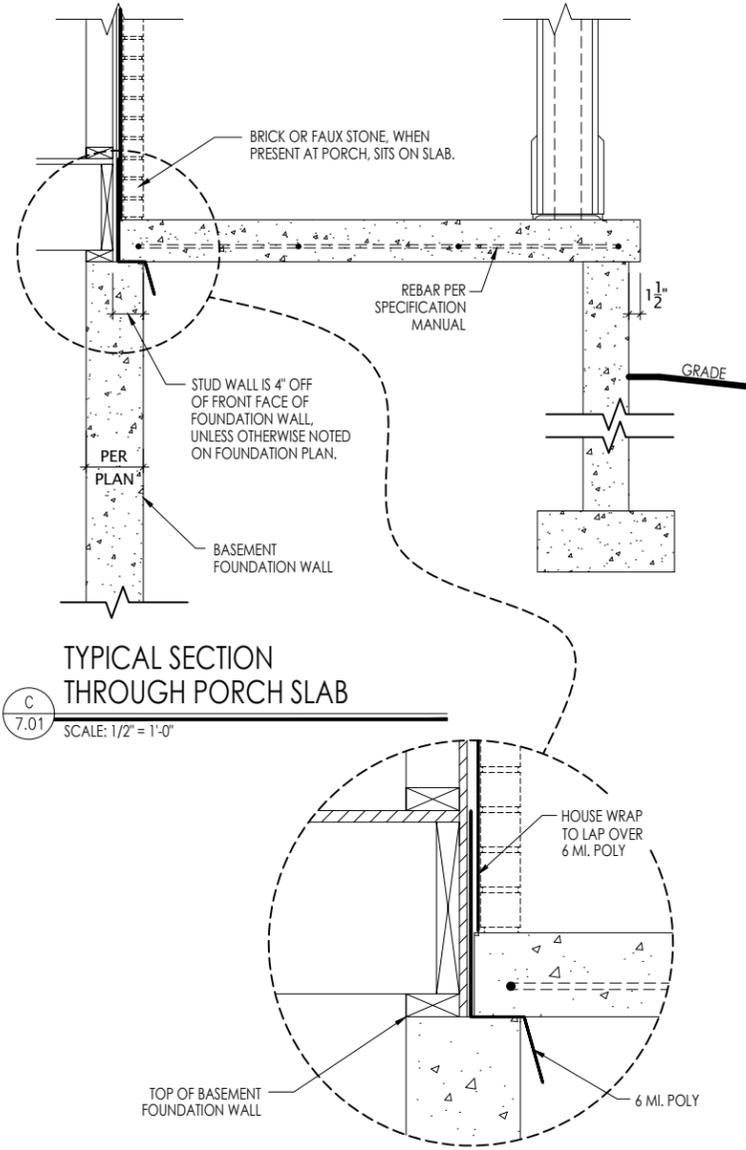
A
7.01
WALL SECTION
SCALE: 1/2" = 1'-0"



B
7.01
COLUMN SECTION/ 10" BOX COLUMN
SCALE: 1/2" = 1'-0"



10" BOX COLUMN DETAIL
SCALE: 1/2" = 1'-0"



C
7.01
TYPICAL SECTION THROUGH PORCH SLAB
SCALE: 1/2" = 1'-0"

REISSUED: 01/16/2020

General Notes
- REFER TO SHEET ON.1 FOR GENERAL NOTES.

Key Notes

1	--
2	--
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19	--



Drees Homes
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House:
ASHTON
Series:

Plan No.:
0247

Std. Drawn By: JRT
Std. Chk. By: ARC
Std. Date: 8/19/10
Rev. Date: 02/12/18 WJS

Sheet Description: **SCALE: 1/8" = 1'-0"**
DETAILS ELEVATION "E"
STD. FRAMEWRAP
OPT. 9'1" FIRST FLOOR CEILING

Contract Drawn By: --
Phone #: --
Coordinator's Name: **MELISSA PINGEL-HYATT**
Coordinator's Phone #: **859-578-4290**

Original Site Specific Dwg. Date:
10/22/19

Subdivision: **DREES ON YOUR LOT**
Job #: **DOYL-0046-00**
Customer Name: **HRITZ**
Job Address: **7599 WOODLAND AVENUE**

Sheet No.: **7.01**

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE	TANGENT
C1	25.00'	33.33'	35.00'	S45°44'37"E	90°00'12"	25.00'
C2	25.00'	39.21'	35.31'	N44°15'33"E	89°51'48"	24.94'
C3	60.00'	45.87'	44.76'	N71°13'39"E	43°42'54"	24.12'
C4	60.00'	60.00'	57.53'	N71°16'25"E	52°17'25"	32.26'
C5	60.00'	60.00'	57.53'	S50°55'51"E	37°17'45"	32.26'
C6	60.00'	38.97'	38.97'	S53°37'00"W	37°17'25"	29.20'
C7	60.00'	264.83'	96.57'	N54°13'20"W	25°25'34"	81.24'
C8	25.00'	11.11'	13.01'	S58°18'13"W	32°25'28"	7.26'
C9	25.00'	16.67'	17.41'	N19°53'00"W	50°00'45"	9.43'
C10	25.00'	31.81'	29.70'	S38°46'31"W	72°52'34"	18.46'
C11	25.00'	39.21'	35.31'	S85°40'11"E	30°00'00"	25.00'
C12	60.00'	65.27'	61.10'	S59°10'18"E	60°19'25"	32.26'
C13	60.00'	53.12'	51.45'	S02°52'08"E	50°46'32"	38.27'
C14	60.00'	102.45'	93.64'	S73°43'27"W	102°11'33"	24.86'
C15	60.00'	38.97'	38.97'	N08°02'50"W	37°17'25"	29.20'
C16	60.00'	264.83'	96.57'	N35°46'31"E	25°25'34"	81.24'
C17	25.00'	31.81'	29.70'	N54°13'20"W	72°52'34"	18.46'
C18	25.00'	39.21'	35.31'	S44°15'33"E	89°51'48"	24.94'

LINE	LENGTH	BEARING
L1	5.42'	S00°32'30"W
L2	4.00'	S88°52'59"E
L3	6.00'	S85°52'59"E
L4	24.66'	S61°30'19"E
L5	34.42'	S42°11'33"E
L6	6.52'	N52°12'32"E
L7	8.25'	N62°33'15"E
L8	21.95'	N62°33'15"E
L9	5.55'	S00°40'21"E
L10	48.13'	S00°05'22"E
L11	23.71'	N87°22'30"W

Monument Box
Iron Pin Found
Iron Pin Set
Capped S/8" Rebar
"S-8076"

17 Lots (1 thru 19) 3.322 Ac.
Block "A" 0.238 Ac.
Open Space Parcels "A" & "B" 7.108 Ac.
Right-of-Way in Woodland Est. 1.404 Ac. (Dedicated)
Right-of-Way in Middleton Rd 0.378 Ac. (Dedicated)
Total Area: 12.450 Ac.



COVENANTS
A twelve (12) foot wide easement is hereby reserved on the front of all lots and a five (5) foot wide easement is hereby reserved on the side and rear of all sublots in this subdivision, to the City of Hudson, County of Summit, Dominion East Ohio and any P.U.C.O. regulated utility for the purposes of construction, erection and/or maintenance of any transmission lines, pipes, conduits, cables, wires, swales or other appurtenances for the transmission of power, electricity, communications, storm water or sanitary sewer wastes, water and or any future developed public utility. These easements shall not exceed the minimum side yard distance required by the zoning in effect at the time of recording this plat. This easement gives all of the above mentioned utilities the right to remove trees and landscaping without liability as required to maintain, operate or construct these facilities.

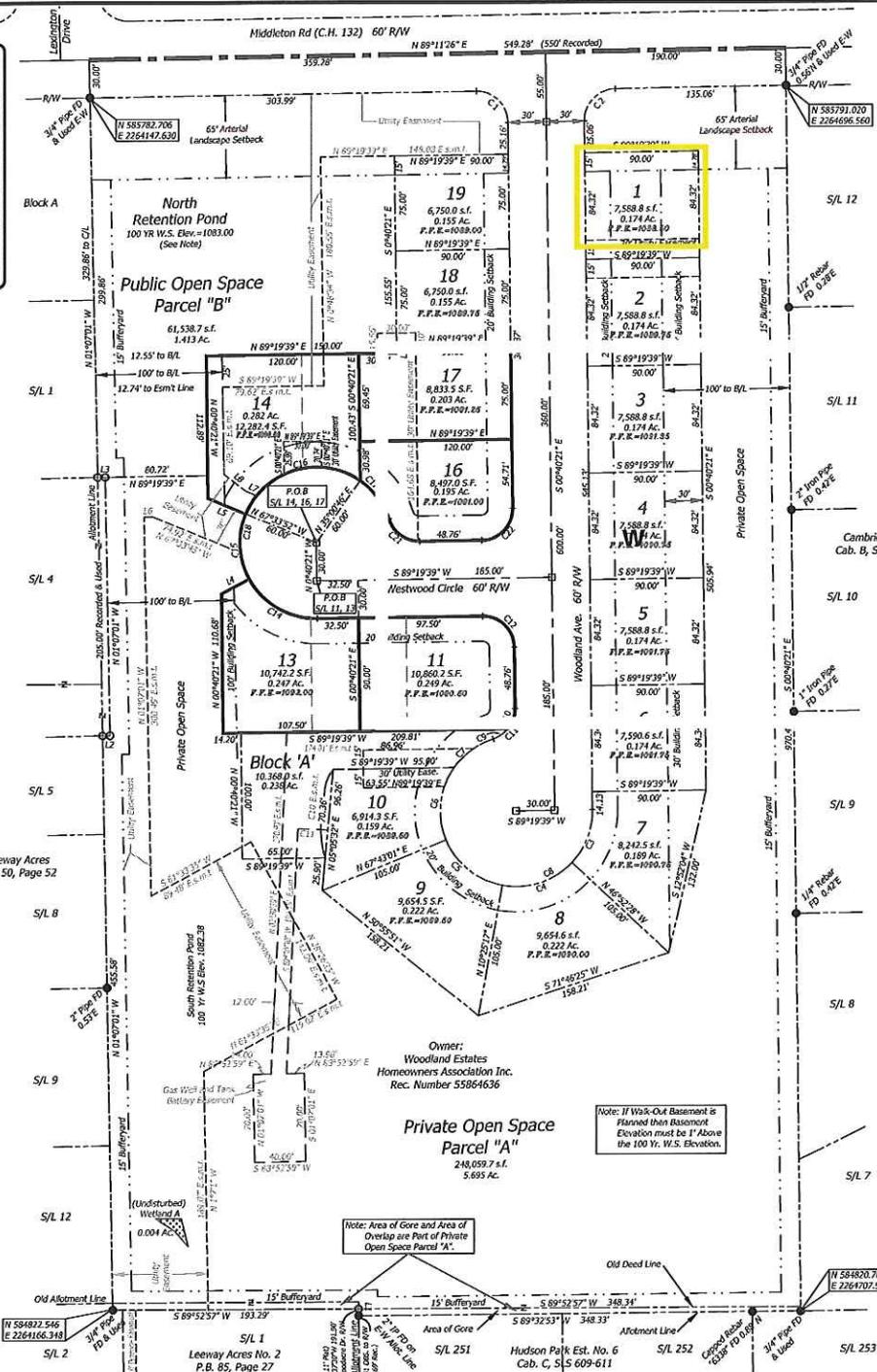
BLOCK "A" COVENANTS
The Smith Family Trust, Ohio Valley Energy Systems Corp., an Ohio Corporation, and its assigns shall retain all royalties, other benefits and rights to oil, gas and derivatives thereof extracted from Woodland Estates Hudson, Ohio and further identified on this plat as BLOCK "A".

Accordingly, no transfer of oil and gas rights shall transfer upon sale of sublots of Woodland Estates. All oil, gas and derivatives royalties and rights shall be retained by Smith Family Trust, Ohio Valley Energy Systems Corp. and its assigns and shall survive this plat and those rights shall not transfer to any public entity or homeowners association by filing this plat.

Smith Family Trust, Ohio Valley Energy Systems Corp., and its assigns retain rights to drill a gas and or oil well in the area of the plat as designated and to install all necessary equipment and appurtenances to extract oil, gas and derivatives. All necessary pipelines to transport gas shall be permitted to be installed in any utility easement to connect the well to Middleton Road. The well at all times shall be maintained in full compliance with all laws of the State of Ohio and all rights of access shall be granted for the operation of the well.

RETENTION BASIN MAINTENANCE
The proposed retention basins are to be owned and maintained by the Homeowners Association. The City of Hudson reserves the right to assess the Homeowners Association and or property owners for any necessary maintenance and or improvements that must be performed by the City.

RESTRICTIVE COVENANTS
The "Woodland Estates Declaration of Restrictions and Covenants" recorded for Woodland Estates Subdivision apply to this Subdivision. That document has been recorded with Summit County Recorders Office and may be found in Reception Number 55187996.



Notes:

If Walk-out Basement Is Planned, Then Basement Elevation Must Be 1" Above The 100 W.W.S. Elevation.

Deeds of Records
Simon Westbury LLC / Rec. No. 55841163
Parcel Nos 30-09874 (lot 1); 30-09876 (lot 3); 30-09887 (lot 14); 30-09888 (lot 15); 30-09889 (lot 16); 30-09890 (lot 17)
Simon Westbury LLC / Rec. No. 55842744
Parcel Nos 30-09882 (lot 9); 30-09883 (lot 10); 30-09884 (lot 11); 30-09885 (lot 12); 30-09886 (lot 13)
Woodland Estates Homeowners Association, Inc. Rec. No. 55864638
Parcel Nos 30-09693 (block A); 30-09694 (Open Space A); 30-09695 (Open Space B)

Reference Documents
Woodland Estates Plat, Doc. No. 55826818
Woodland Estates Plat, Doc. No. 55187995
Leeway Acres, P.B. 50, Page 52
Leeway Acres No. 2, P.B. 28, Page 27
Hudson Park Est. No. 6, Cab. C, S.S. 609-611
Cambridge Wood, Cab. B, S.S. 417-418
County Survey Book No. 835, Page 120

Basis Of Bearing
Ohio State Plane Coordinate System, Grid North NAD 83 (1989)

Building Setbacks
Lots 1-19 Inclusive Have A Ten Foot (10') Side Yard Setback Unless Noted Otherwise On This Subdivision Plat. Lots 7-19 Inclusive Have A Twenty-Five Foot (25') Rear Yard Setback.

Utility Easements
Twelve Foot (12') Utility Easement At Front Of All Lots 1-19, Block "A" and Middleton Rd.
Five Foot (5') Utility Easement at Side and Rear of All Lots 1-19 and Block "A"

Bench Mark (B.M.)
Summit County GIS 53 (G00055) Survey Dsk in Conc. Stamped 55 Located West Side of Hudson Park Dr., 150' +/- South of Leeway Dr.
Elevation 1058.265 NGVD89

Woodland Estates Subdivision

Consolidation of Lot No.s 11-17

(Lots 12 & 15 to be removed)

State of Ohio
County of Summit
City of Hudson
Being part of O.L. 87
(Former Hudson Township)

CERTIFICATE OF SURVEYOR
I DO HEREBY CERTIFY THAT I HAVE SURVEYED THE AREA AND PREPARED THE PLAT SHOWN HEREON, THAT SAID PLAT IS CORRECT AND ACCORDS WITH THE CORNER MONUMENTS AS SHOWN ARIE IN PLACE.

JAMES J. MAHONEY, P.S. # 8076

DECLARANT
WE (I) SIMON WESTBURY LLC, OWNER(S) OF THE LANDS INDICATED ON THIS PLAT DO HEREBY MANIFEST OUR APPROVAL OF THE SUBDIVISION AND DEDICATE THE STREETS AND LAND FOR OPEN SPACES AS SHOWN HEREON TO THE PUBLIC FOREVER. WE FURTHER CERTIFY THAT THE PLAT IS A SUBDIVISION OF PART OF THE LANDS CONVEYED BY SMITH FAMILY TRUST, & OHIO VALLEY ENERGY SYSTEMS, CORP. TO US (ME) BY DEEDS DATED 02/28/2012; & 03/05/2012 AND RECORDED IN RECORD NO. 55841163; & 55842744 OF THE SUMMIT COUNTY RECORD OF DEEDS AND THAT ALL MONUMENTS AS REQUIRED BY SUBDIVISION REGULATIONS WILL BE PLACED.

AS WITNESS OUR (MY) HAND(S) THIS _____ day of _____, 20____.

WITNESSES: _____ OWNERS: _____

STATE OF OHIO } BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY, PERSONALLY APPEARED THE ABOVE SIGNED PERSON(S) WHO }
SUMMIT COUNTY } 55 ACKNOWLEDGE THAT THEY ARE (HE OR SHE IS) THE OWNER(S) OF THE LAND SHOWN ON THE ACCOMPANYING SUBDIVISION }
AS SHOWN ABOVE, AND THAT THE SIGNING OF THE ABOVE CERTIFICATE IS THEIR (HIS OR HER) OWN FREE ACT AND DEED.

AS WITNESS HEREOF AND HAVE HERETO SET MY HAND AND AFFIXED MY OFFICIAL SEAL THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC

APPROVALS

APPROVED BY THE PLANNING COMMISSION OF THE CITY OF HUDSON THIS _____ DAY OF _____, 20____.

CHAIRMAN _____ SECRETARY _____

APPROVED BY THE CITY MANAGER OF THE CITY OF HUDSON THIS _____ DAY OF _____, 20____.

CITY MANAGER _____

APPROVED BY THE ENGINEER OF THE CITY OF HUDSON THIS _____ DAY OF _____, 20____.

ENGINEER _____

Handwritten notes:
H. Mahoney
H. Mahoney
Eugene

Sublot 2



Sublot 2



Sublot 3



Sublot 17



Sublot 18

