



COMMUNITY DEVELOPMENT • 115 Executive Parkway, Suite 400 • Hudson, Ohio 44236 • (330) 342-1790

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DATE: June 8, 2016

TO: City of Hudson Planning Commission for June 13, 2016 Meeting

FROM: Greg Hannan, City Planner  
Mark Richardson, Community Development Director

SUBJECT: Site Plan Review for 88 North Main Street

ZONING: District 5 – Village Core District

PC Case No: 2016-14

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### **Project Introduction**

Application has been received for a proposed enclosure of the existing patio at Kepners Tavern. The project includes a pitched roof structure over the existing outdoor patio, bar, and walk-in cooler. The structure would have side-wall glass panels which can tilt up creating an open air setting during good weather. The applicant has stated the roof structure would be constructed in 2016 with the possibility of the wall panels installed as a second phase in 2017. A 162 square foot storage building and exterior access stairway are proposed abutting the west end of the existing patio. The subject property and adjacent development are located within District 5 Village Core District. The subject property is located midblock along North Main Street and is adjacent to Hudson's Restaurant and 72 North Main to the south and Suburban Sit to the north.

The following information is attached to this report.

1. Site plan prepared by Apex Land Surveying, received June 1, 2016.
2. Architectural floor plan and elevations prepared by J. Kapela Designs, received June 1, 2016.
3. Preliminary comment letter prepared by City Planner Greg Hannan, dated May 19, 2016.
4. Preliminary comment letter prepared by City Engineer Thom Sheridan dated May 18, 2016.
5. Existing condition site and aerial photographs.

### **Applicable Zoning District Standards, Section 1205**

Staff compared the proposal to zoning district standards and found the proposal to be in compliance with applicable standards. We note the following:

Use: The existing bar/tavern use is permitted by right.

Lot dimensional standards and proposed setbacks are acceptable. Staff notes the enclosure is proposed at a zero setback to the side yard and the storage structure is proposed at a 10 foot rear yard setback.

**Structure Height:** The District 5 regulations state no façade or portion of a building shall exceed a height such that it would be visible above the height of the existing facades fronting North Main Street when viewed from the Village Green. The proposed enclosure contains a shallow pitched roof setback 60 feet from the Main Street façade. Staff does not anticipate the improvements would be visible from the Village Green; however, the applicant must submit a sightline study to demonstrate such.

**Applicable Zoning Development and Site Plan Standards, Section 1207**

Staff compared the proposal to zoning development and site plan standards and comments on the following:

**Parking:** The project does not propose to increase the seating capacity of the existing patio. The District 5 regulations allow existing public parking within 300 feet to apply towards applicable parking requirements.

**Engineering:** City Engineer Thom Sheridan has submitted a review letter dated May 18, 2016. Mr. Sheridan indicates the need to connect the downspouts to the existing floor drain and remove the proposed roof overhang encroachments. The revised plans on June 1, 2016 address the above comments and have been forwarded to the Engineering Department for review.

**Findings:**

The staff finds that the application is in substantial compliance with the use, zoning development site plan, and other governmental regulations, and land disturbance and grading review contained in Section 1204.04.

**Required PC Action, Chapter 1203.09(g)(3)**

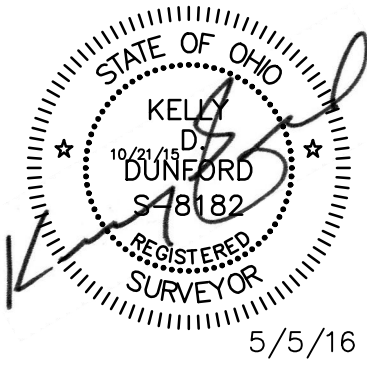
The PC shall consider the development application, the staff report, and then take final action. PC shall approve, approve with conditions, or deny the application based on its compliance with the appropriate review standards.

All decisions of the Commission shall be based on findings of fact related to the relevant standards of the Code.

**Recommendation**

Approve the site plan in Case 2016-14 for the proposed enclosure of the existing patio at 88 North Main Street according to plans received June 1, 2016 with the following conditions:

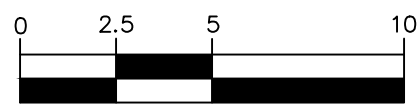
1. Submit a sightline study depicting the roof heights of the existing Main Street façade and the proposed improvements viewed from the Village Green.
2. Subject to the approval of City Engineer Thom Sheridan.
3. Satisfaction of the above conditions prior to scheduling of a preconstruction meeting with City Officials and no construction of any kind shall commence prior to the issuance of a Zoning Certificate.



# PLOT PLAN for Kepners Tavern

88 N. Main St., Hudson, OH

Situated in the City of Hudson, County of Summit and State of Ohio: And known as being part of Lot 55, Original Township, T-4N, R-10W.



SCALE: 1" = 5'

DATUM:

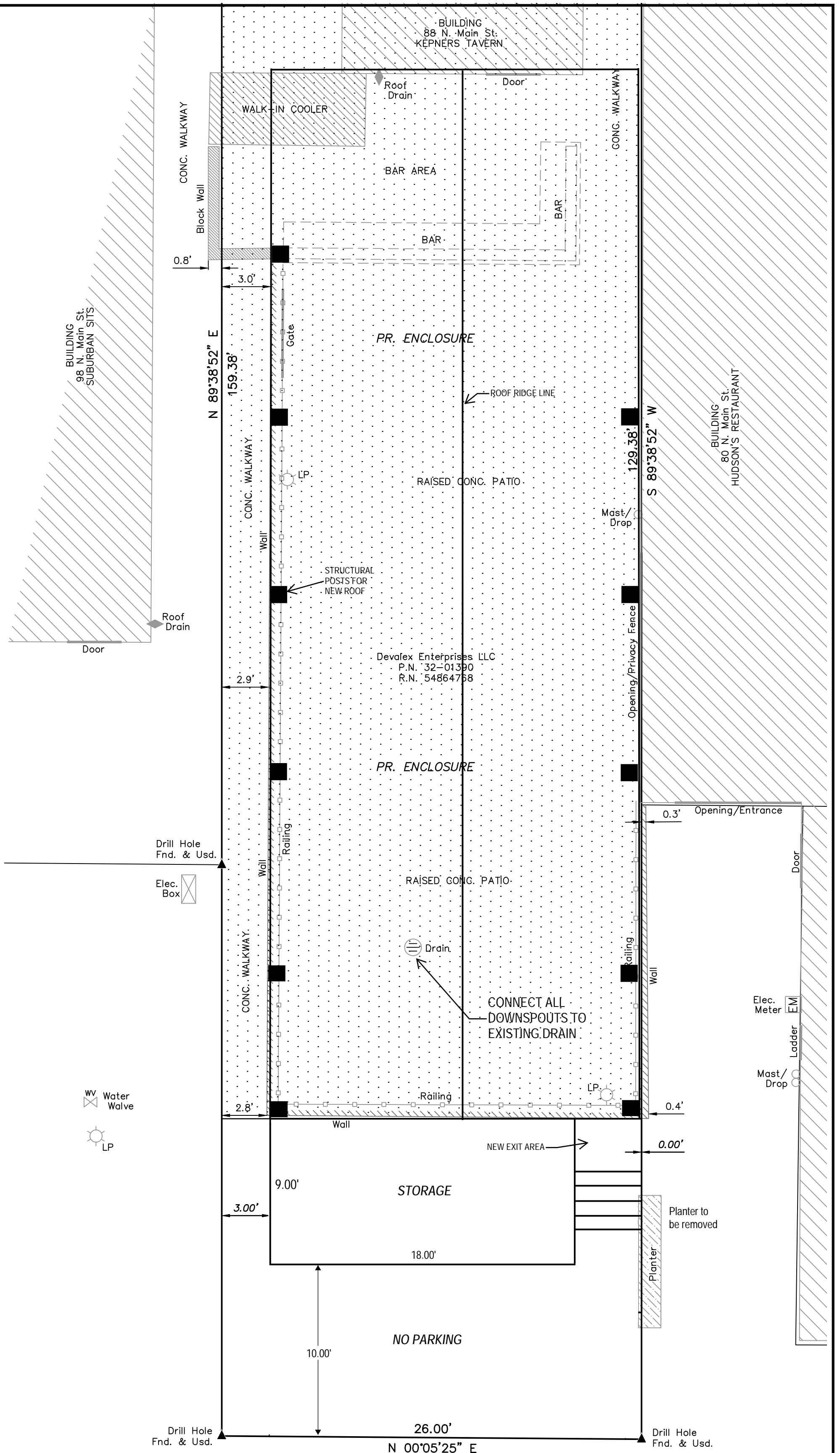
B.O.B.: PLAT (GRID NORTH)

### LEGEND

- - 5/8" Rebar Set
- - Iron Pin Fnd.
- ⊙ - Iron Pipe Fnd.
- - Mon. Fnd.
- ▲ - Drill Hole Fnd.
- Ex. = Existing
- PR. = PROPOSED



Know what's below.  
Call before you dig.



### NOTES:

- 1.) NO underground utilities are shown hereon ONLY above ground appurtenances found during the course of the survey.
- 2.) There was no search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that a title search may disclose.

SURVEYED BY:



TITLE: PLOT PLAN - KEPNERS TAVERN

DATE: MAY 2016

CLIENT: J. KAPELA

PROJ.: 2016046

SCALE: 1" = 5'

FILE: 2016046.dwg

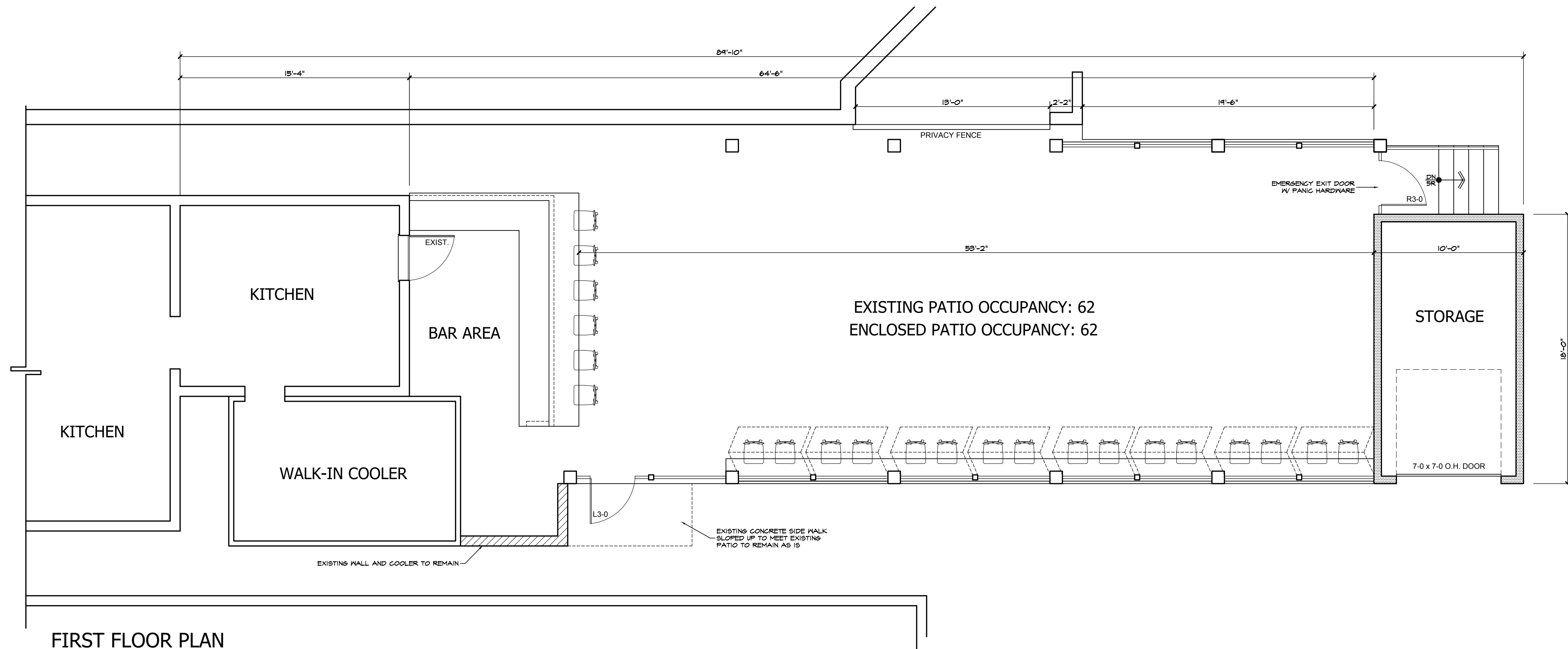
DRAWN BY: KDD

CHECKED BY: KDD

CREW: KDD

SHEET: 1 OF 1

SHEET SIZE: 17" X 22"



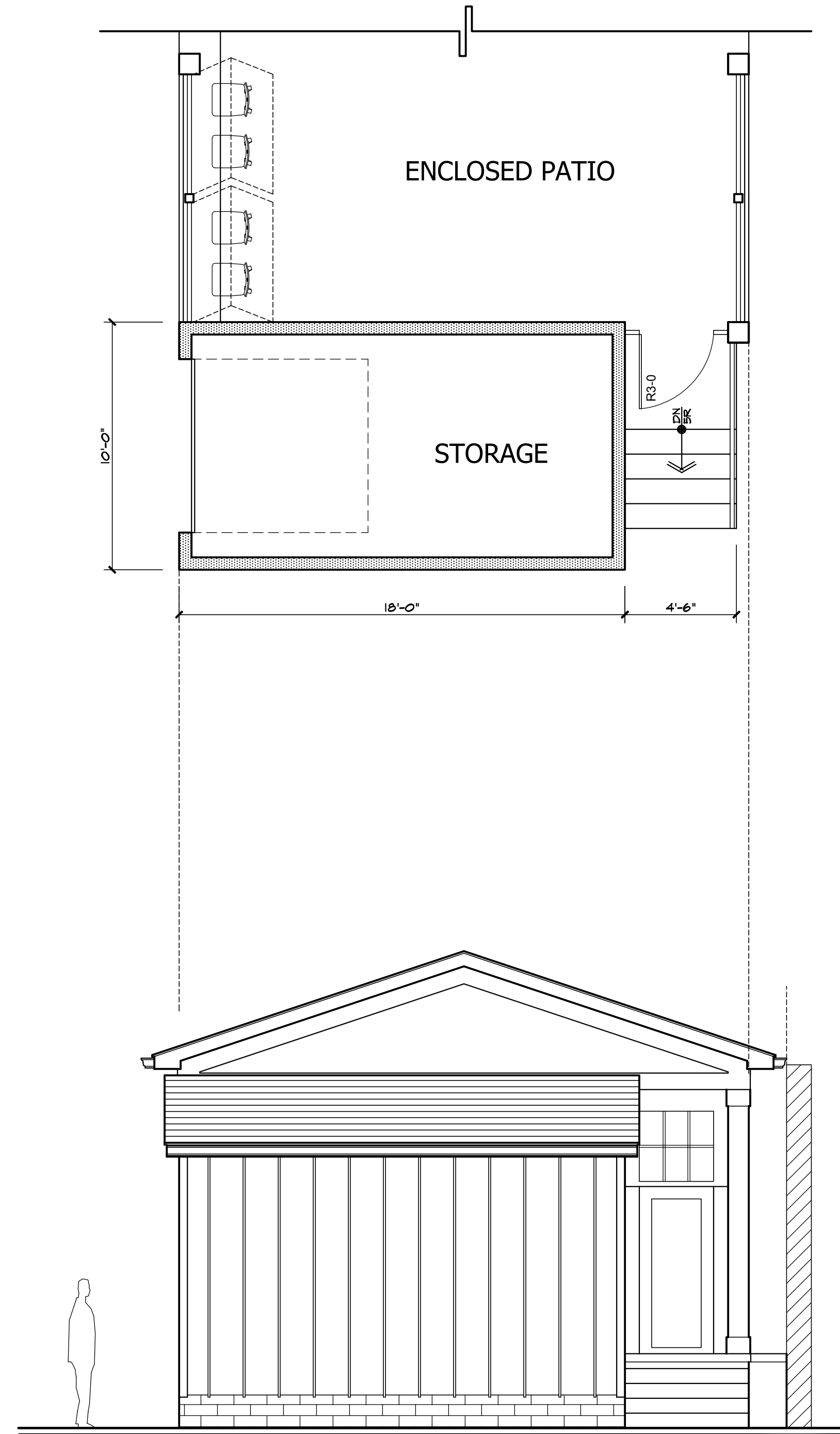
**FIRST FLOOR PLAN**  
S: 1/4" = 1'-0"



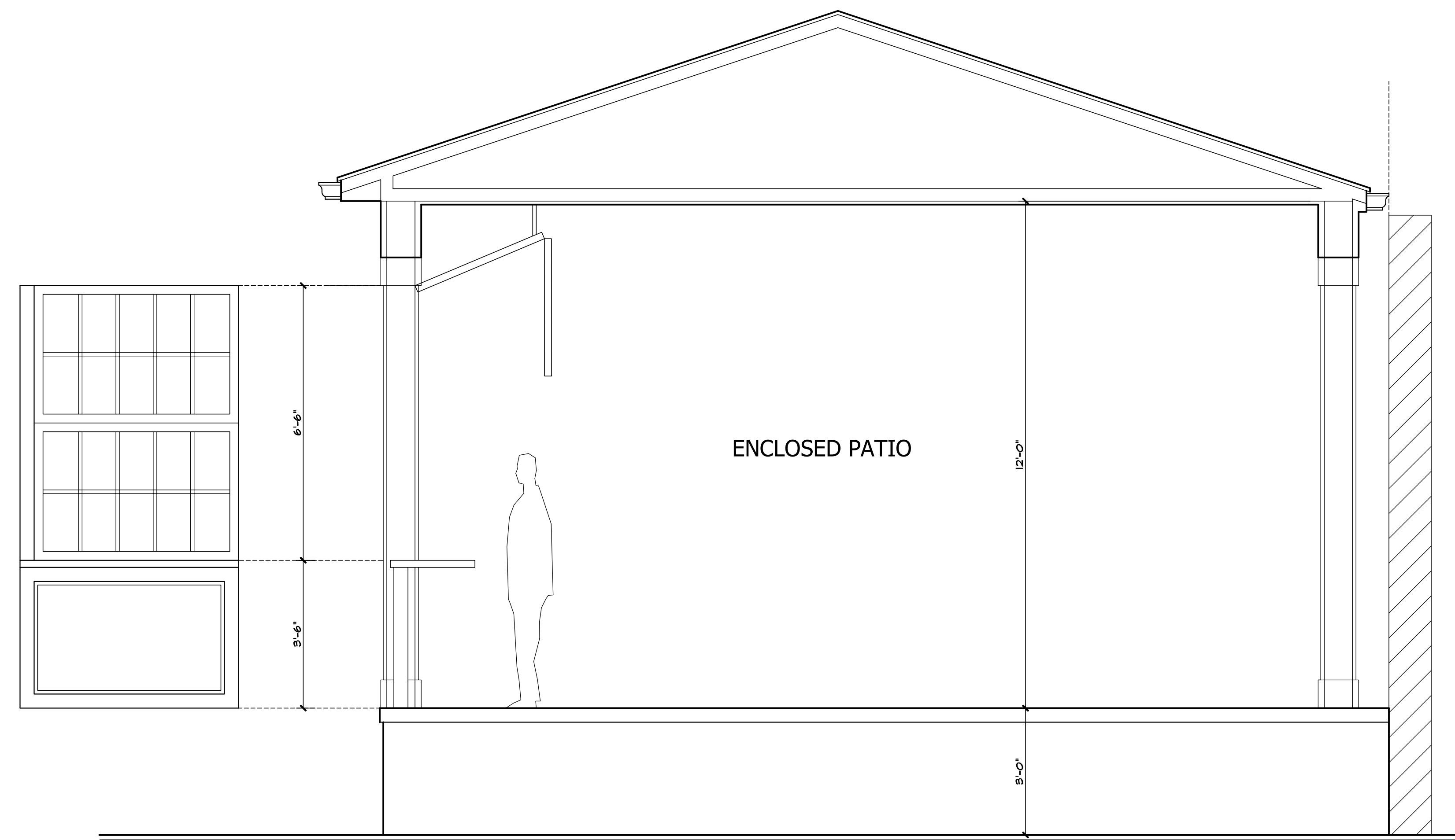
**LEFT SIDE ELEVATION**  
S: 1/4" = 1'-0"



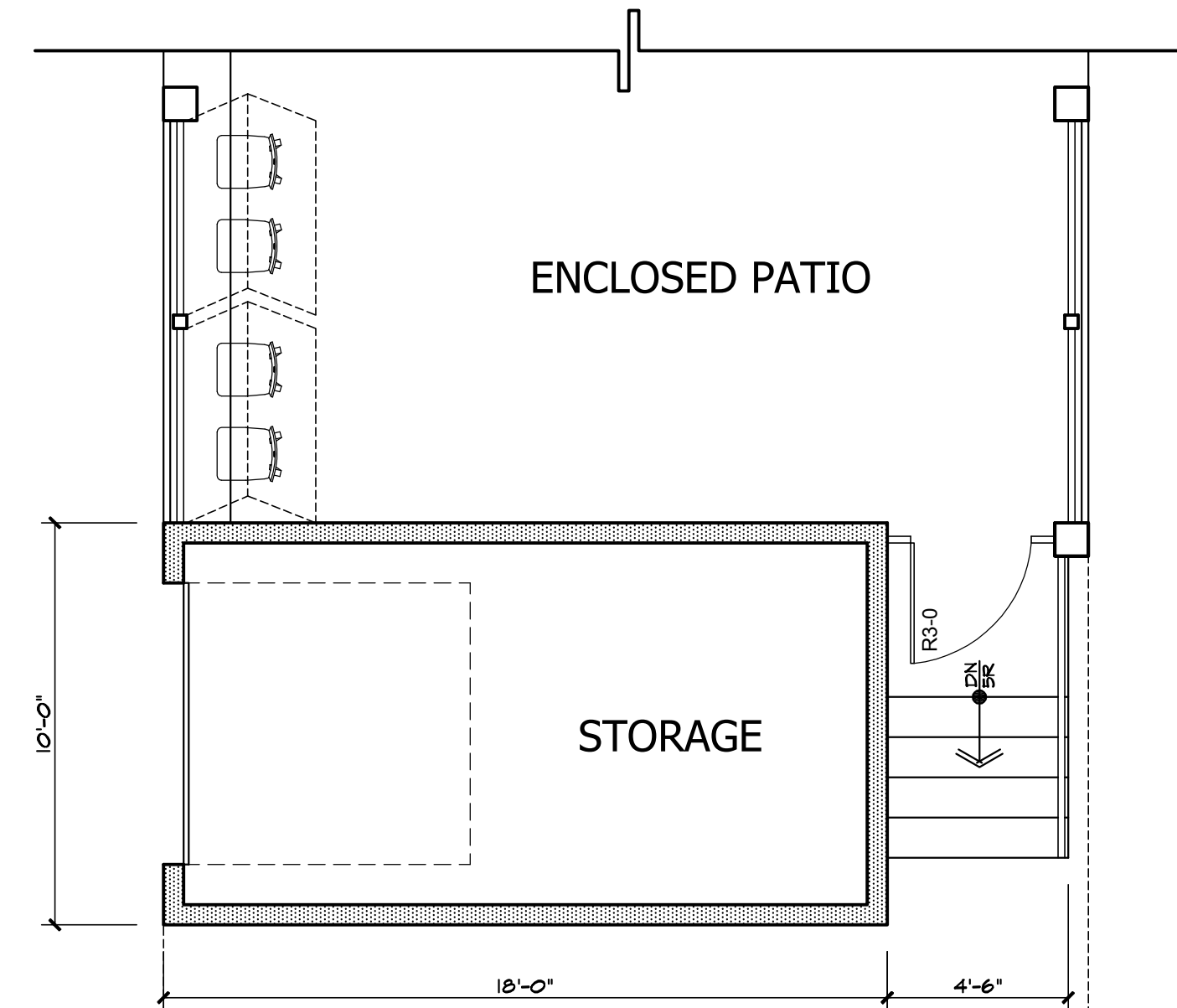
**RIGHT SIDE ELEVATION**  
S: 1/4" = 1'-0"



**REAR ELEVATION**  
S: 1/4" = 1'-0"



**BUILDING SECTION**  
S: 1/2" = 1'-0"



— O H I O —  
**HUDSON** 

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May 19, 2016

Justin Kapela  
J. Kapela Designs  
44 Clinton Street  
Hudson, Ohio 44236

RE: PC 2016-14: Site Plan review for patio enclosure at 88 North Main Street

Mr. Kapela:

Thank you for your submission of the site plan application for the proposed enclosure of the existing dining patio at Kepner's Tavern, 88 N Main Street. The application has been scheduled for the Planning Commission (PC) agenda for the June 13, 2016 meeting. In preparation for such, I am forwarding preliminary comments related to compliance with the Land Development Code (LDC). In addition to these comments, engineering design related comments will be forwarded under separate cover. We will revise the comments accordingly for the staff report scheduled to be issued on June 8, 2016. Additionally I am available to meet and review the comments at your convenience.

**Submittal Requirements:**

The following additional information must be submitted to complete the application:

1. A site plan based on the boundary survey must be submitted to depict the proposed improvements and how they are accommodated within the existing site conditions.

**Chapter 1203 Development Review and Administrative Procedures**

1. PC must approve of the site plan (scheduled for June 13, 2016 mtg.)
2. AHBR will complete design review of the proposed structure (June 22, 2016 mtg. suggested if PC approves the site plan June 13, 2016)
  - a. Submittal to include three sets of architectural elevations, floor plan, and site plan.
  - b. Zoning Application - <http://www.hudson.oh.us/DocumentCenter/View/947>
  - c. Application fee of \$140
3. Engineering Department must approve the site plan before we may issue a zoning certificate.

## **Chapter 1205 – District Regulations**

### **1205.08 District 5: Village Core District**

Use: The existing restaurant/tavern use is a permitted use by right.

Setbacks: Minimum 10 foot rear yard and zero foot sideyard are required. The submitted boundary survey depicts portions of the existing improvements encroaching over the side property lines. All proposed improvements must be located on the subject property unless authorized by the adjacent property owner. The proposed access ramp north of the patio, the storage building, and the roof overhangs appear to encroach over the property lines. Staff additionally notes the proposed storage building does not meet the minimum 10 foot rear yard setback.

Impervious surface: The impervious surface coverage may be no more than 80% of the total gross lot area. The existing impervious surface coverage is presently 100% with no alteration to the impervious surface coverage proposed.

Parking: Plans must indicate the seating capacity of the current and proposed patio layouts.

### **Section 1207 Zoning Development and Site Plan Standards**

#### **Section 1207.07 Stormwater Management/Drainage/Erosion**

Stormwater management will be reviewed by the Engineering Department with comments issued under separate cover. Staff notes the proposed downspouts and their connection to the stormwater system have not been depicted on a site plan.

#### **Section 1207.12 Off-Street Parking and Loading Requirements**

Information related to the existing and proposed seating capacity of the patio must be submitted. A private parking space is depicted to the west of the storage building; however, this area does not comply with applicable dimensional, screening, and access standards.

#### **Section 1207.14 Exterior Lighting**

A lighting plan, including a photometric layout and fixture cut sheets, will need to be submitted for any proposed exterior lighting.

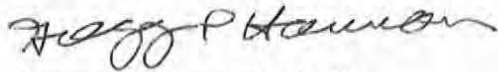
#### **Summary:**

Listed below is a summary of the items discussed above. As the submittal to date does not incorporate a site plan and the proposed improvements encroach onto adjacent parcels, staff is requesting a full submittal be forwarded by May 25, 2016 to remain on the June 13, 2016 agenda:

1. A site plan based on the boundary survey must be submitted.
2. The design must be revised so all proposed improvements are located on the subject property.
3. The storage building must be revised to comply with a 10 foot rear yard setback.

4. The proposed downspouts and their connection to the stormwater system have not been depicted on a site plan.
5. Information related to the existing and proposed capacity of the patio must be submitted.
6. Remove the private parking note as this area does not comply with applicable dimensional, screening, and access standards.
7. The existing shared parking easement must be updated to reflect the proposed improvements at the site.
8. A lighting plan, including a photometric layout and fixture cut sheets, must be submitted for any proposed exterior lighting.

Please contact me for any assistance I can provide.  
Sincerely,



Gregory P. Hannan, AICP  
City Planner

CC: Mark Richardson, Community Development Director  
Thom Sheridan, City Engineer



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ENGINEERING • 115 Executive Parkway, Suite 400 • Hudson, Ohio 44236 • (330) 342-1770

**Date:** May 18, 2016

**To:** Greg Hannan, City Planner, Community Development

**From:** Thomas J. Sheridan, P.E., P.S., City Engineer

**Re:** **Keppers Tavern (Patio Enclosure)**

The City of Hudson Engineering Department has reviewed the plans submitted January 12, 2016.

Note: The City of Hudson Engineering Standards (Engineering Standards) and Land Development Code (LDC) are available online at the City of Hudson Website [www.hudson.oh.us](http://www.hudson.oh.us) under the Engineering Dept. and Community Development Department respectively. The standards are also available in print for a fee. Please contact our office (330-342-1770) if you would like a cost for the printed version.

The City of Hudson Engineering Department has the following comments:

**Approvals will be needed prior to the City of Hudson Engineering Acceptance include:**

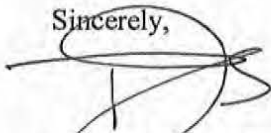
1. Summit County Building Standards shall review the building structures

**Overall plan review:**

1. Proposed roof and gutter along SW wall appears to be encroaching upon private property. Provide an easement or remove encroachment.
2. Show tie-in of roof drains into existing storm sewer system that current floor drain on patio discharges into.
3. Dimensional differences between "Plot Plan" and Architectural Drawing.
  - a. Proposed Storage unit is shown 14ft wide on architectural dwg. And 12ft on "Plot Plan"
  - b. Proposed parking is shown on "plot Plan" not on architectural dwg.

If you have any questions, please contact our office.

Sincerely,



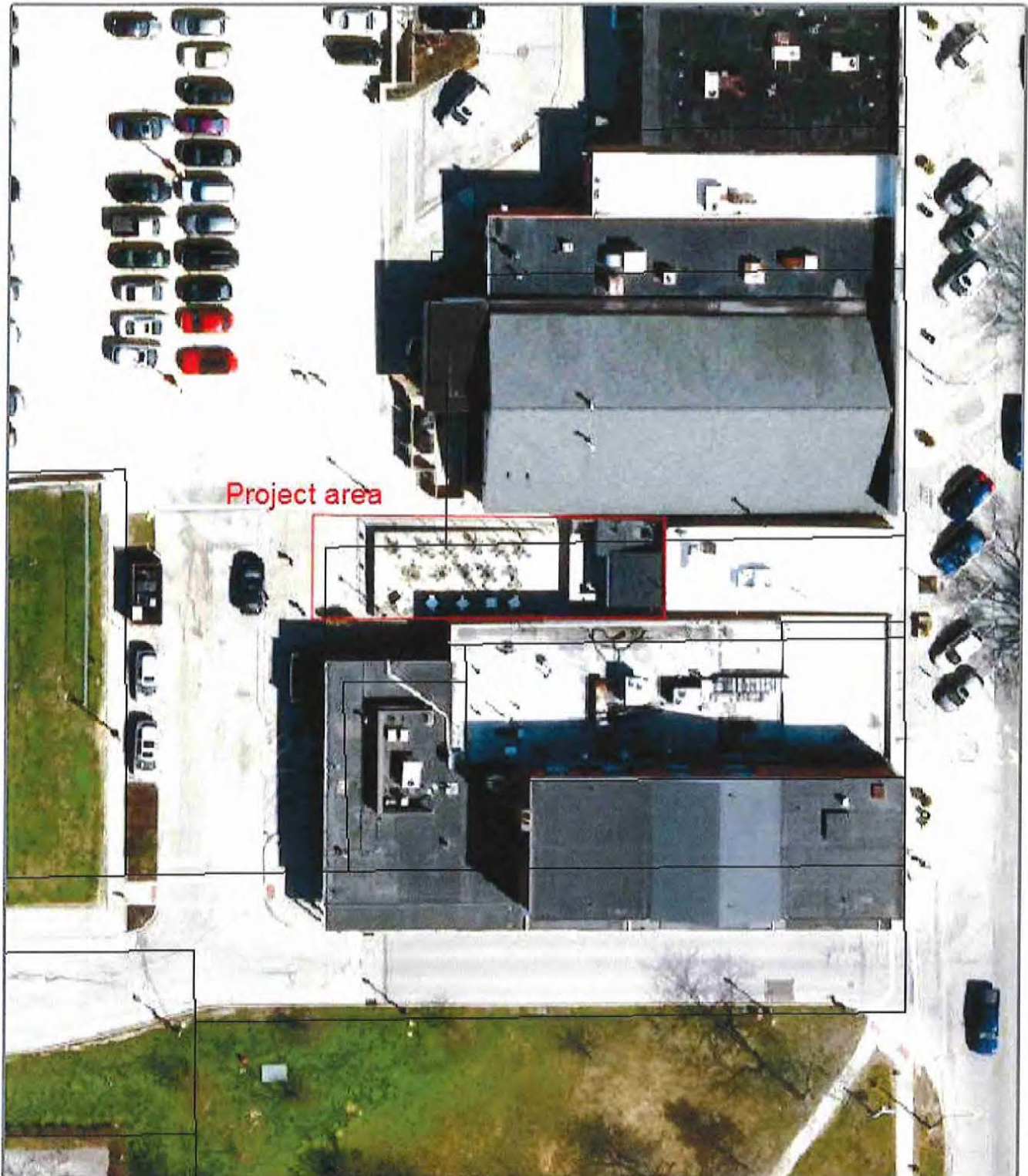
Thomas J. Sheridan, P.E., P.S.  
Hudson City Engineer

C: File.





City of Hudson, OH



*Disclaimer: Map and parcel data are believed to be accurate, but accuracy is not guaranteed. This is not a legal document and should not be substituted for a title search, appraisal, survey, or for zoning verification.*

Map Scale  
**1 inch = 40 feet**  
6/6/2016