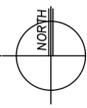


SITE PLAN  
1"=20'-0"



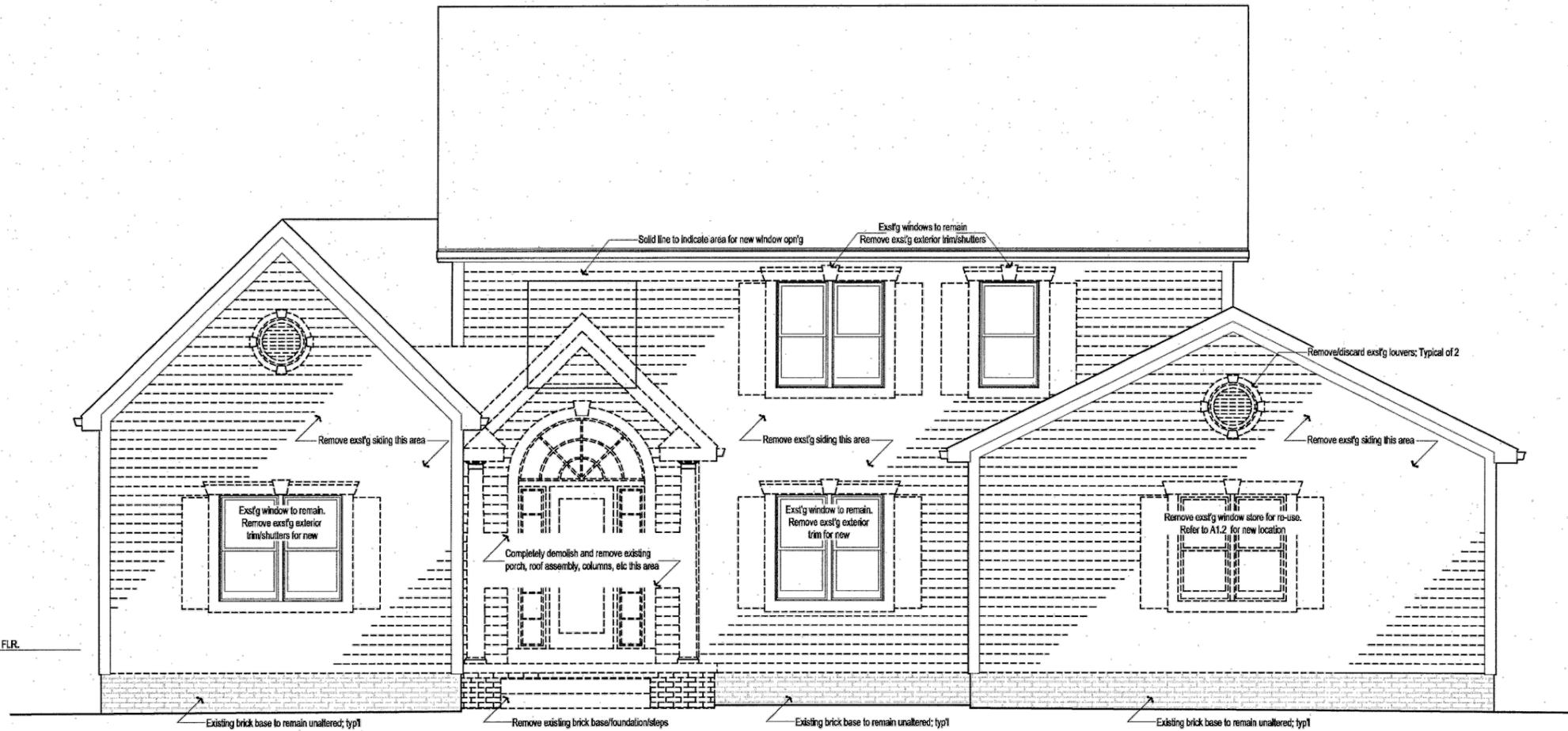
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1-11-19
DRAWN BY:
BLD/JZ
ISSUED FOR:
3-5-19
SQUARE FEET:

PROPOSED NEW FRONT PORCH
LOCATION : 101 Blackberry Drive Hudson, Ohio 44236
CUSTOMER: Doman Residence

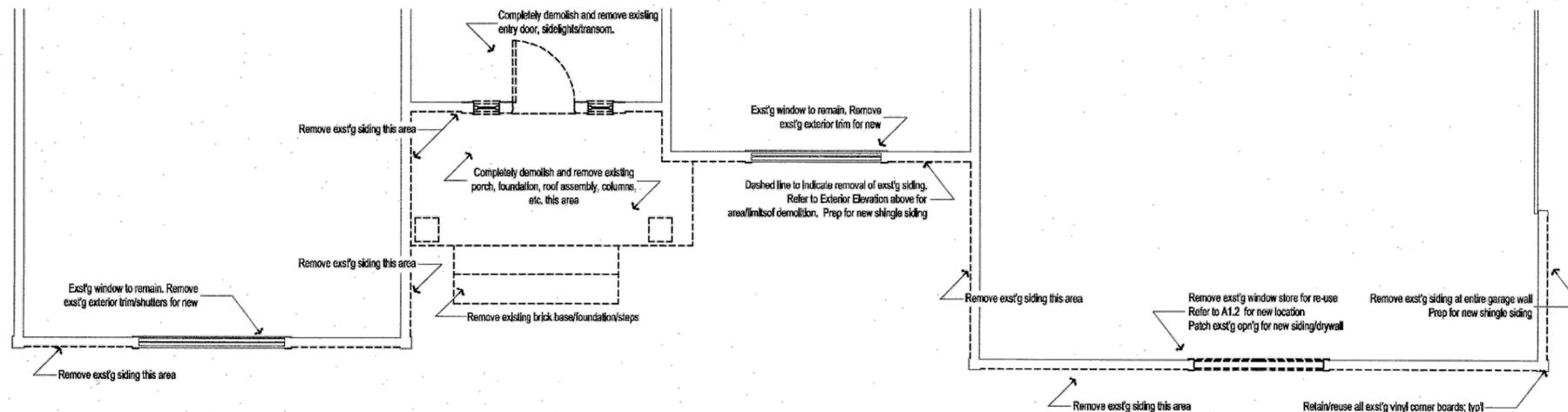
Brandywine Construction LLC 7679 Brandywine Road Boston Heights, Ohio 44236 OFFICE: 216.410.1340 FAX: 330.528.3653
--------------------------------------------------------------------------------------------------------------------------------

SHEET NO.
A3

# EXISTING & DEMO



Existing Conditions -Demolition South ( Front) Elevation



Existing Conditions-Demolition Plan

DATE

1-11-19

DRAWN BY:

BLD/JZ

ISSUED FOR:

SQUARE FEET:

PROPOSED NEW FRONT PORCH

LOCATION : 101 Blackberry Drive Hudson, Ohio 44236

CUSTOMER: Doman Residence

Brandywine Construction LLC  
7679 Brandywine Road  
Boston Heights, Ohio 44236

FAX: 330.528.3653

OFFICE: 216.410.1340

SHEET NO.

D1

DATE  
1-11-19

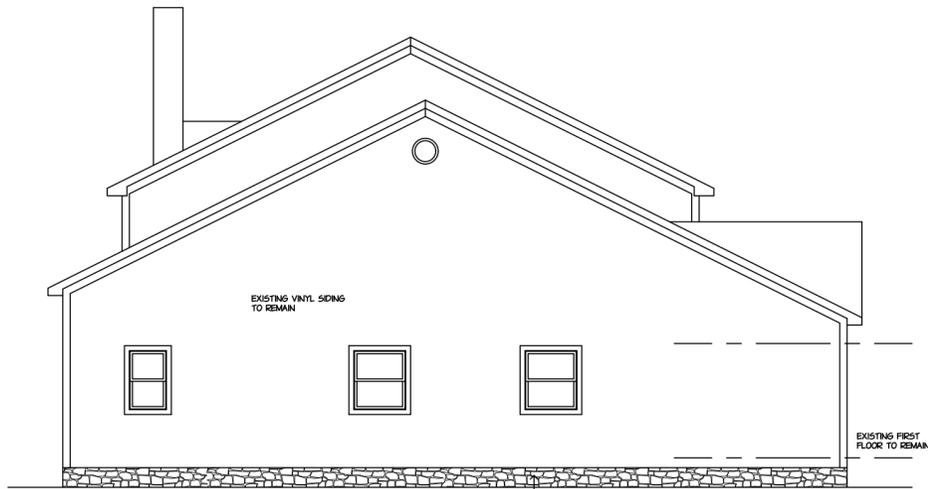
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3-5-19

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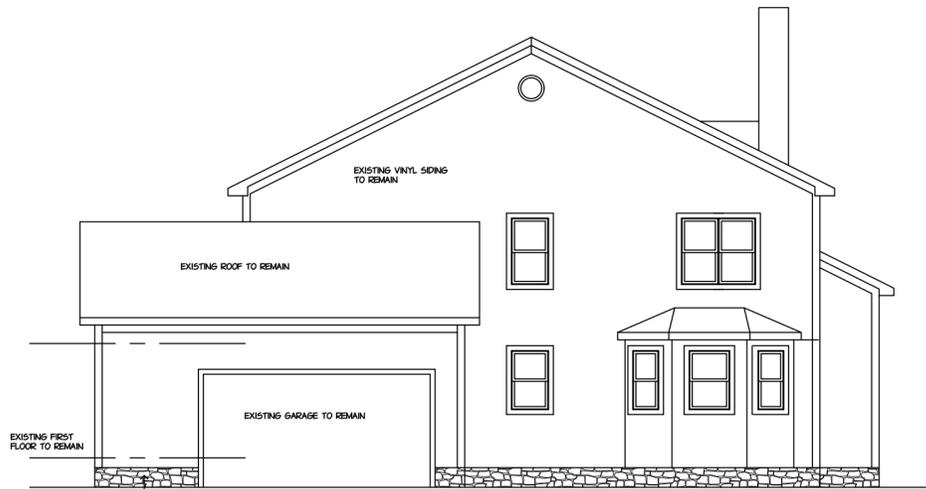
PROPOSED NEW FRONT PORCH  
LOCATION : 101 Blackberry Drive Hudson, Ohio 44236  
CUSTOMER: Doman Residence

Brandywine Construction LLC  
7679 Brandywine Road  
Boston Heights, Ohio 44236  
OFFICE: 216.410.1340 FAX: 330.528.5653

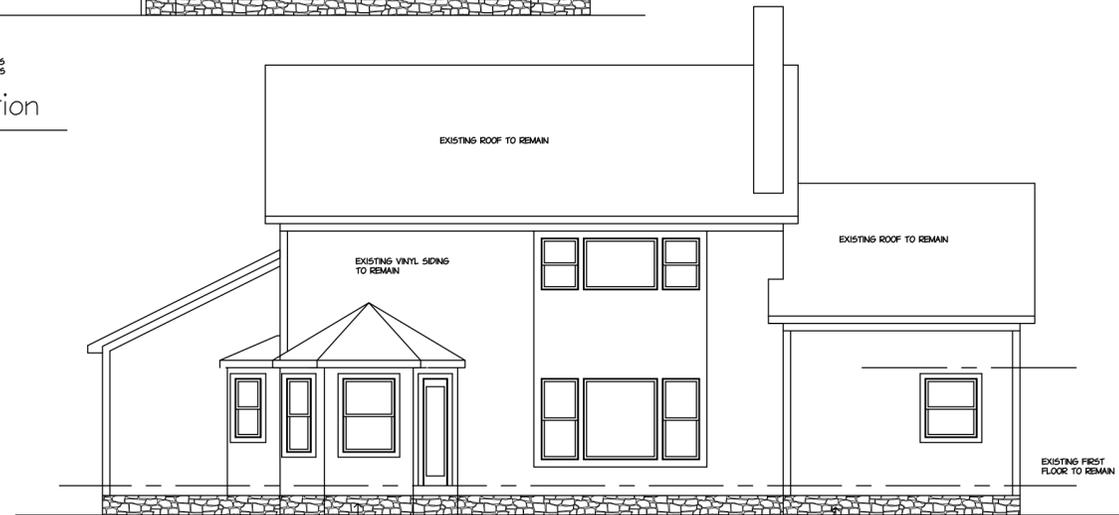
SHEET NO.  
A1



West Elevation  
1/8" = 1'-0"



East Elevation  
1/8" = 1'-0"



North Elevation  
1/8" = 1'-0"

**PROPOSED**

ALTHOUGH EVERY ATTEMPT HAS BEEN MADE FOR ACCURACY OF THESE DRAWINGS, THE BUILDER OR DRAFTER CANNOT BE RESPONSIBLE FOR DIMENSIONS OF FIELD CONDITIONS. BUILDER RESERVES THE RIGHT TO ADJUST ANY DIMENSION PLUS OR MINUS ACCORDINGLY. THE BUILDER MUST VERIFY ALL THE DESIGN SPECIFICATIONS SHOWN ON THESE DRAWINGS PER THEIR CONTRACT WITH OWNER. DRAFTER ASSUMES NO RESPONSIBILITY FOR DESIGN LOADS, ETC. BUILDER ASSUMES ALL RESPONSIBILITY FOR SIZES OF LVLS, STEEL BEAMS, FLOOR JOISTS, ROOF RAFTERS, CEILING JOISTS ETC.

THESE PLANS GENERALLY MEET FEDERAL STANDARDS AND CODE REQUIREMENTS. DRAFTER DOES NOT GUARENTEE INDIVIDUAL OR LOCAL INTERPRETATIONS OF SUCH REQUIREMENT. THE BUILDER IS SOLELY RESPONSIBLE FOR ANY MODIFICATIONS OR CHANGES NECESSARY TO MEET SUCH INTERPRETATIONS. THESE DRAWINGS DO NOT PROVIDE SPECIFIC DETAIL IN AREAS INCLUDING BUT NOT LIMITED TO NAILING, CAULKING, FLASHING, PAINTING AND WATERPROOFING SOFFIT AND ROOF / CEILING VENTILATION. BUILDER TO CONFIRM PROPER VENTILATION FOR ALL CONDITIONS ATTIC, CEILING, VAULTED, SLOPED CEILINGS, SOFFIT'S, END GABLES ETC. BUILDER IS RESPONSIBLE TO PROVIDE PROPER SUPERVISED WORKMANSHIP.



South Elevation  
1/4" = 1'-0"

DATE

1-11-19

DRAWN BY:

BLD/ZZ

ISSUED FOR:

3/1/19

SQUARE FEET:

Porch Area  
191.0 SQ. FT.

PROPOSED NEW FRONT PORCH

LOCATION : 101 Blackberry Drive Hudson, Ohio 44236

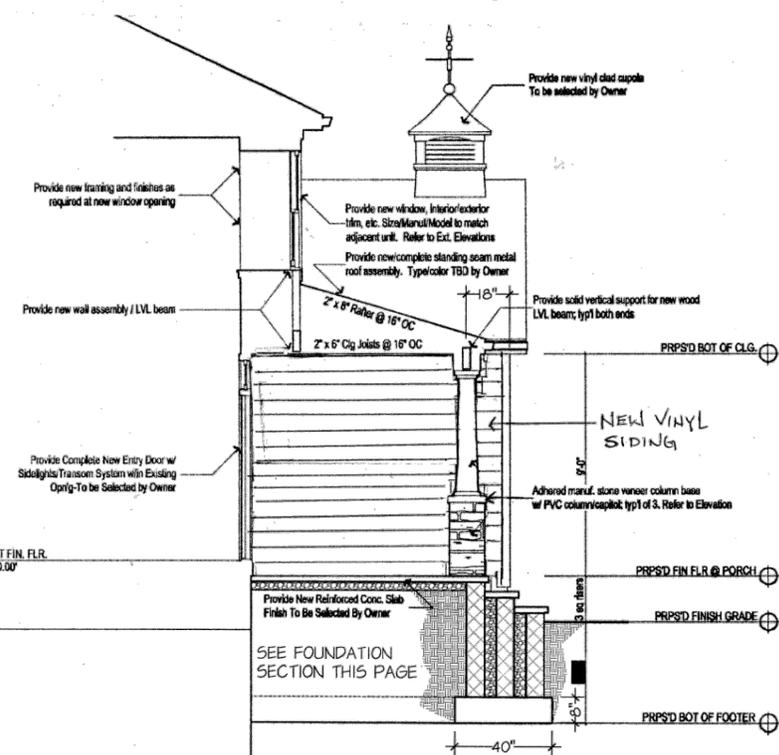
CUSTOMER: Doman Residence

Brandywine Construction LLC  
7679 Brandywine Road  
Boston Heights, Ohio 44236

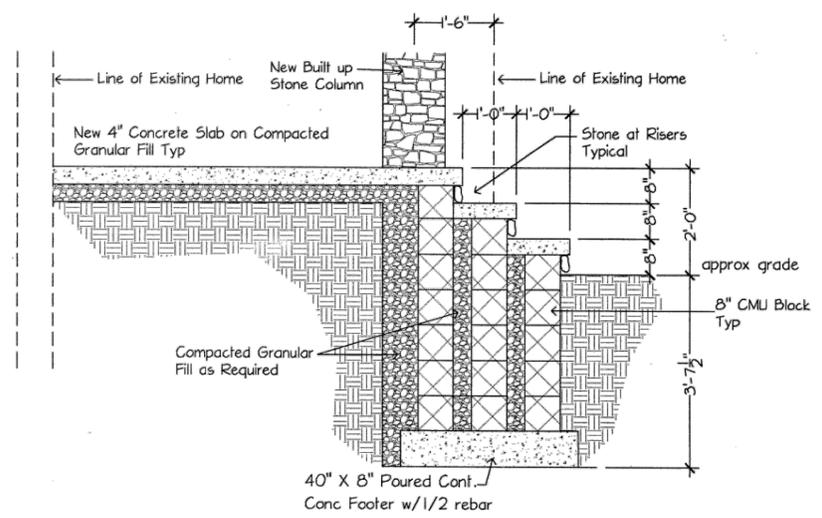
OFFICE: 216-410-1340  
FAX: 330-528-3653

SHEET NO.

A1



Wall Section



WALL SECTION @ FOUNDATION

1/2"=1'-0"

ALTHOUGH EVERY ATTEMPT HAS BEEN MADE FOR ACCURACY OF THESE DRAWINGS, THE BUILDER OR DRAFTER CANNOT BE RESPONSIBLE FOR DIMENSIONS OF FIELD CONDITIONS. BUILDER RESERVES THE RIGHT TO ADJUST ANY DIMENSION PLUS OR MINUS ACCORDINGLY.

THE BUILDER MUST VERIFY ALL THE DESIGN SPECIFICATIONS SHOWN ON THESE DRAWINGS PER THEIR CONTRACT WITH OWNER.

DRAFTER ASSUMES NO RESPONSIBILITY FOR DESIGN LOADS, ETC BUILDER ASSUMES ALL RESPONSIBILITY FOR SIZES OF LVLS STEEL BEAMS, FLOOR JOISTS, ROOF RAFTERS, CEILING JOISTS ETC.

THESE PLANS GENERALLY MEET FEDERAL STANDARDS AND CODE REQUIREMENTS. DRAFTER DOES NOT GUARENTEE INDIVIDUAL OR LOCAL INTERPRETATIONS OF SUCH REQUIREMENT. THE BUILDER IS SOLEY RESPONSIBLE FOR ANY MODIFICATIONS OR CHANGES NECESSARY TO MEET SUCH INTERPRETATIONS.

THESE DRAWINGS DO NOT PROVIDE SPECIFIC DETAIL IN AREAS INCLUDING BUT NOT LIMITED TO NAILING CAULKING FLASHING PAINTING AND WATERPROOFING SOFFIT AND ROOF / CEILING VENTILATION BUILDER TO CONFIRM PROPER VENTILATION FOR ALL CONDITIONS ATTIC, CEILING, VAULTED, SLOPED CEILINGS, SOFFITS, END GABLES ETC. BUILDER IS RESPONSIBLE TO PROVIDE PROPER SUPERVISED WORKMANSHIP.



SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION





WEST ELEVATION