



COMMUNITY DEVELOPMENT • 115 Executive Parkway, Suite 400 • Hudson, Ohio 44236 • (330) 342-1790

DATE: August 3, 2016

TO: City of Hudson Planning Commission for August 8, 2016 meeting

FROM: Greg Hannan, City Planner
Mark Richardson, Community Development Director

SUBJECT: Site Plan Review for 200 Laurel Lake Drive
Laurel Lake Retirement Community – Indoor pool addition

ZONING: District 3 – Outer Village Residential Neighborhood

PC Case No: 2016-21

Project Introduction

Application has been received for a proposed addition to the Commons Building at the Laurel Lake Retirement Community. The project includes a 4,450 square foot addition located within an internal courtyard of the campus. The improvements would accommodate a relocated and expanded indoor pool facility and some landscaping enhancements within the courtyard. The subject property and adjacent development are located within District 3. The proposed improvements are located within the interior of the main building which is and setback 800 feet from Boston Mills Road. Single family residential development is to the north across Boston Mills Road.

The following information is attached to this report.

1. Site Plan submittal from Perspectus Architects, received June 27, 2016.
2. Site improvement plans from Wohlend Engineering Group received July 13, 2016.
3. Letter from Thom Sheridan, City Engineer, dated July 19, 2016.
4. Preliminary comment letter from Greg Hannan, City Planner, dated July 18, 2016.

Applicable Zoning District Standards, Section 1205.06

Staff compared the proposal to zoning district standards and found the proposal to be in compliance with applicable standards.

Applicable Use Regulations, Section 1206

The existing continuing care retirement community is permitted as a conditional use in District 3. In addition to the general conditional use standards, several specific standards related to facility licensing, parking, and emergency access are applicable to continuing care retirement communities. Staff finds the proposal to be in compliance with the applicable standards.

- (1) *The use is consistent with the policies and intent of the Comprehensive Plan.*
- (2) *The use is physically and operationally compatible with the surrounding neighborhood.*

- (3) The use can generally be accommodated on the site consistent with any architectural and design standards set forth in the applicable district regulations of this Code.*
- (4) Access points are located as far as possible from intersections and adequate sight distances are maintained.*
- (5) On-site and off-site traffic circulation patterns shall not adversely impact adjacent uses.*
- (6) The use will be adequately served by public facilities and services*
- (7) The use provides adequate off-street parking on the same property as the use.*
- (8) The use will be screened with fencing and/or landscaping in excess of what is required in of this Code if the use may otherwise result in an adverse impact.*
- (9) The use is proposed at a density consistent with that of the existing neighborhood.*

Applicable Zoning Development and Site Plan Standards, Section 1207

Staff compared the proposal to zoning development and site plan standards. We comment on the following:

Landscaping/Buffering: The project area is 800 feet from Boston Mills Road and within an interior courtyard of the campus. No landscaping or buffering requirements are applicable.

Stormwater Management/Drainage/Erosion: City Engineer Thom Sheridan has completed a review and submitted correspondence dated July 19, 2016. Stormwater management is not anticipated for the minimal increase in impervious surface coverage.

Off-Street Parking and Loading Requirements: Alterations have not been proposed to the existing parking capacity as the project is not intended to increase the number of residents.

Findings:

The staff finds that the application complies with the purposes and intent of the code and community plans, regulations that minimize land disturbance and protect environmental features, and other applicable development regulations as specified in Section 1204.04 except as discussed above and recommended below.

Required PC Action, Chapter 1203.09(g)(3)

The PC shall consider the development application, the staff report, and then take final action. PC shall approve, approve with conditions, or deny the application based on its compliance with the appropriate review standards. All decisions of the Commission shall be based on findings of fact related to the relevant standards of the Code.

Recommendation

Approve the application for site plan approval for Laurel Lake Retirement Community at 200 Laurel Lake Drive per Case No. 2016-21 according to plans submitted June 27 and July 13, 2016 with the following conditions:

1. The City Engineer must approve the final plans.
2. The applicant shall install silt fencing and/or polypropylene fencing to mark and protect the approved limits of disturbance, which shall be maintained by the applicant.
3. Satisfaction of the above conditions prior to scheduling of a preconstruction meeting with City Officials and no clearing or construction of any kind shall commence prior to the issuance of a Zoning Certificate.



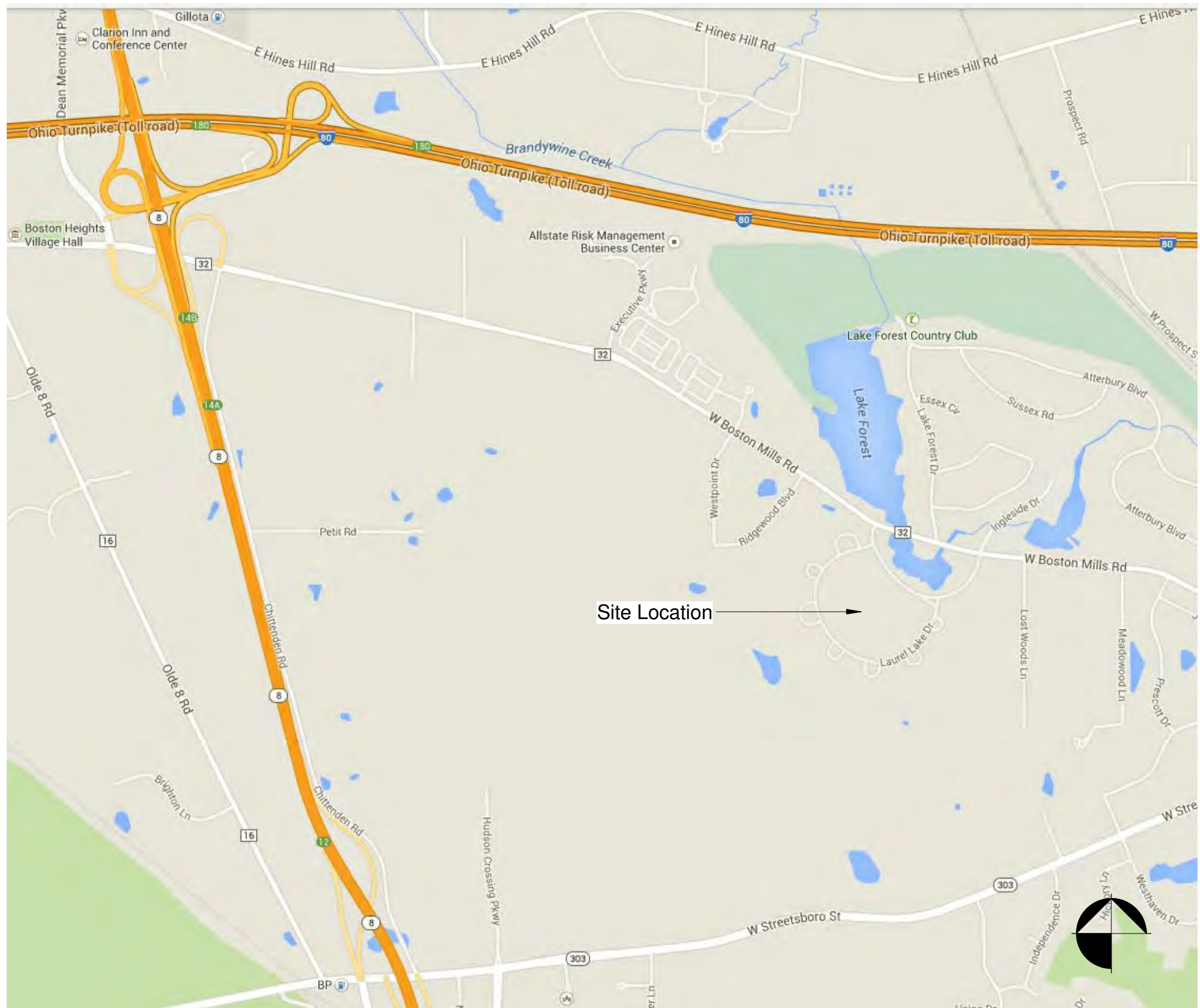
Pool Addition - Phase 3
Laurel Lake Retirement Community
200 Laurel Lake Drive - Hudson, Ohio 44236

Planning Commission Submission - 27 June 2016

Drawing Index

- PR-01 Cover Sheet
- PR-02 Existing Survey
- PR-03 Site Plan - Demolition
- PR-04 Site Plan - New Work

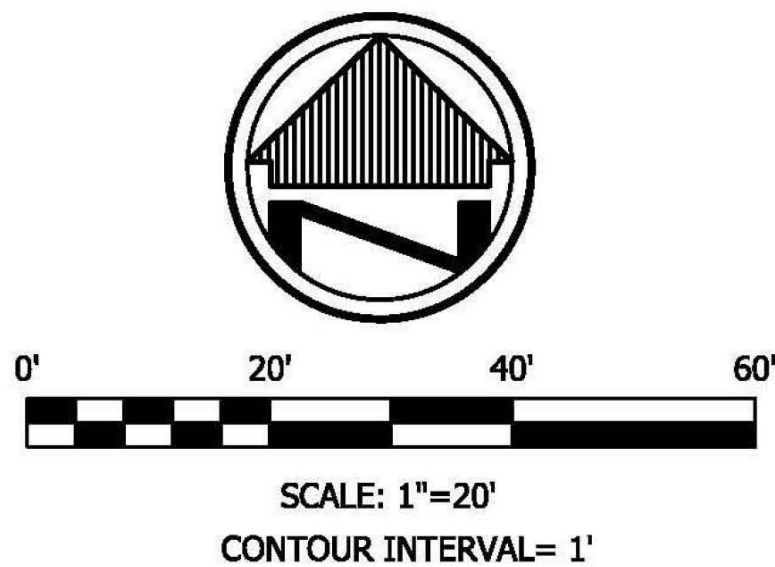
Site Location Map



Aerial Map



STATE OF OHIO, COUNTY OF SUMMIT, CITY OF HUDSON,
LAUREL LAKE RETIREMENT COMMUNITY



BENCH MARK - BM

"O" IN OPEN ON EXISTING HYDRANT

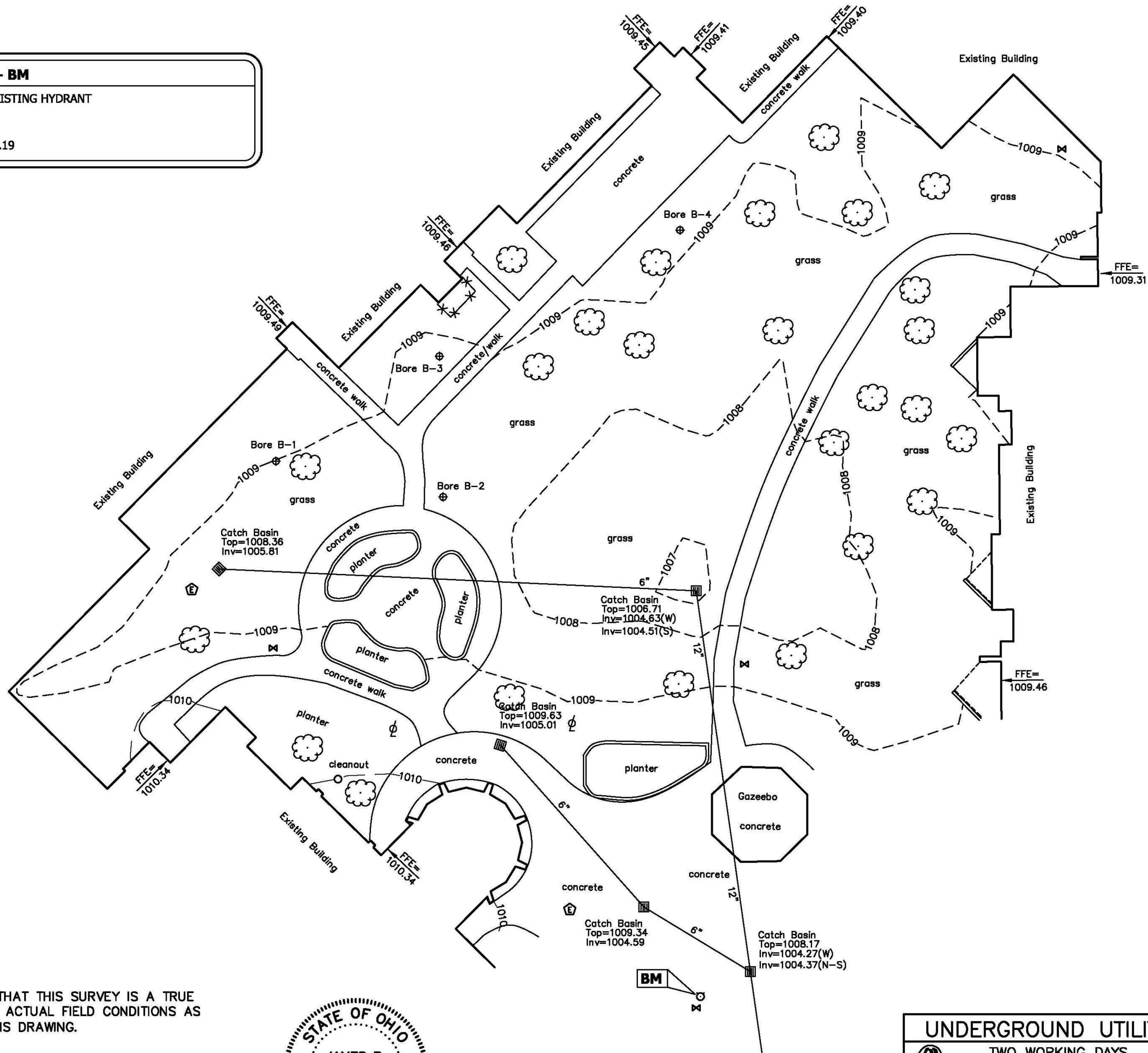
ELEVATION = 1012.19

BASIS OF BEARINGS

THE BASIS FOR BEARINGS IS GRID NORTH OF THE OHIO STATE
PLANE COORDINATE SYSTEM, NORTH ZONE, NAD83 (2011).

LEGEND

- LIGHT POLE
- TELEPHONE POLE
- ELECTRIC METER
- ELECTRIC LINE MARKER
- VAULT
- HYDRANT
- CATCH BASIN
- WATER METER
- WATER VALVE
- SANITARY MANHOLE
- STORM MANHOLE
- GAS VALVE
- GAS METER
- GAS LINE MARKER
- CENTERLINE
- R/W - RIGHT-OF-WAY
- FLAGPOLE
- FENCE
- POST
- SIGN
- EX. CONTOURS
- EX. SPOT ELEVATION



I HEREBY DECLARE THAT THIS SURVEY IS A TRUE
REPRESENTATION OF ACTUAL FIELD CONDITIONS AS
OF THE DATE OF THIS DRAWING.

JAMES P. YURKSCHATT
CAMPBELL & ASSOCIATES, INC.
REG. NO. 7809
DATE 05/03/2016



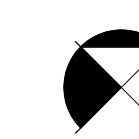
UNDERGROUND UTILITIES

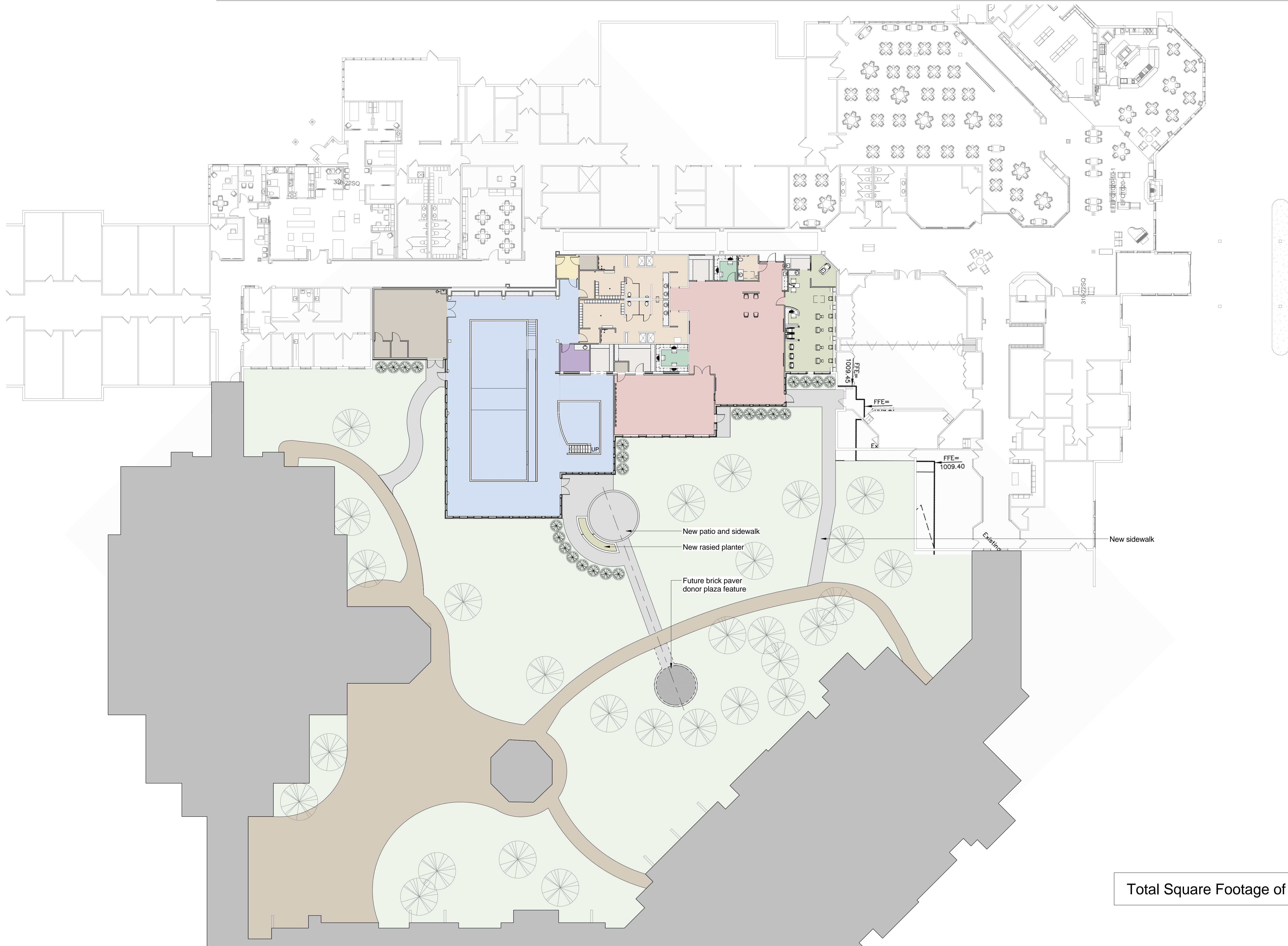
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CALL 1-800-362-2764 (TOLL FREE)
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TOPOGRAPHIC SURVEY

LAUREL LAKE RETIREMENT COMMUNITY
HUDSON, OHIO 44236

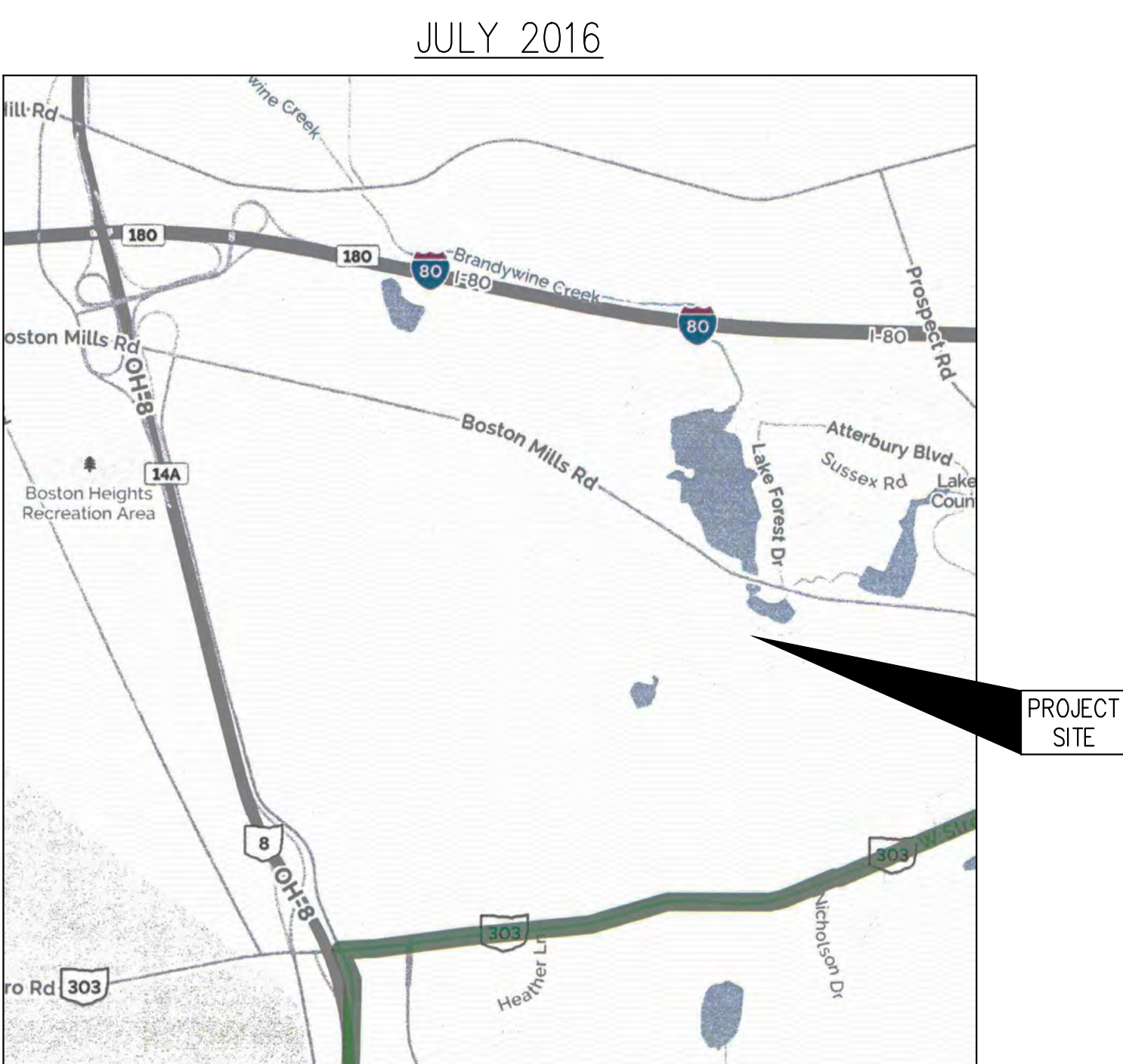
Revisions	Date
CAMPBELL & ASSOCIATES, INC. Surveying (330) 945-4117 3485 Fortuna Drive Suite 100 Akron, Ohio 44312	
Date: MAY 2016 By: DLG Scale: 1"= 20' Job: 20150213_2016 Sheet 1 of 1	





Total Square Footage of Addition: 4550 sq. ft.

LAUREL LAKE RETIREMENT COMMUNITY
PROPOSED POOL AND SPA - PHASE 3
200 LAUREL LAKE DRIVE
CITY OF HUDSON, COUNTY OF SUMMIT, OHIO
SITE IMPROVEMENT AND SWPPP PLAN



VICINITY MAP
Not To Scale

INDEX OF SHEETS:

TITLE SHEET	C-TS
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SITE & UTILITY PLAN	C-2
GRADING & SWPPP PLAN	C-3
SWPPP NOTES AND DETAILS	C-4
CONSTRUCTION NOTES AND DETAILS	C-5

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Surveying • Engineering
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Akron, Ohio 44312
(330) 945-4117
www.campbellsurvey.com

Date:
07-12-2016

Drawn By:
JJF

Checked By:
MJW

Revisions

Date

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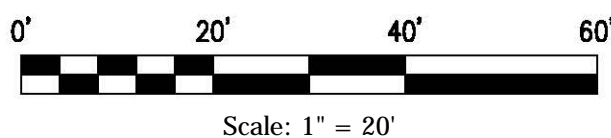
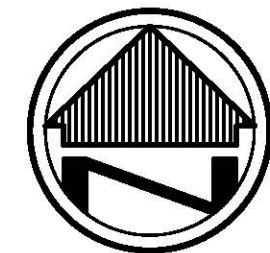
JOB NO.
20150081

SHEET: C-TS

TITLE SHEET

LAUREL LAKE RETIREMENT COMMUNITY-PHASE 3
200 LAUREL LAKE DRIVE
CITY OF HUDSON, SUMMIT COUNTY, OH

STATE OF OHIO, COUNTY OF SUMMIT, CITY OF HUDSON,
LAUREL LAKE RETIREMENT COMMUNITY



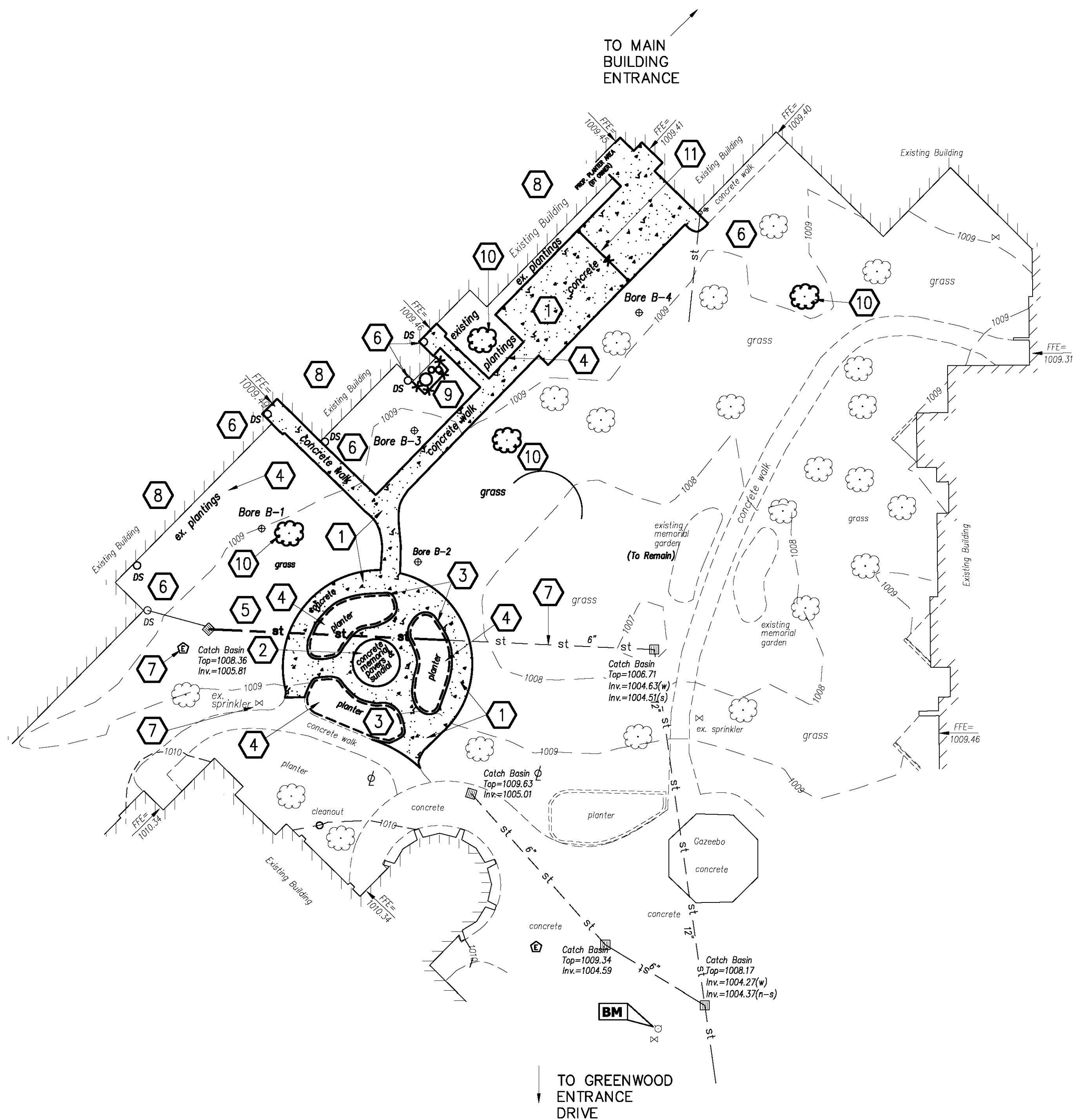
BASIS OF BEARINGS

THE BASIS FOR BEARINGS IS GRID NORTH OF THE OHIO STATE
PLANE COORDINATE SYSTEM, NORTH ZONE, NAD83 (2011).

BENCH MARK - BM

"O" IN OPEN ON EXISTING HYDRANT

ELEVATION = 1012.19



KEYED NOTES

- 1 - REMOVE EX. CONC. PAVEMENT, WALKS, AND SLABS PER ODOT ITEM 202. EXCAVATION AND/OR BACKFILL FOR NEW PAVEMENT SHALL BE PERFORMED ACCORDING TO ODOT ITEM 203. SEE DEMO NOTE 1.
- 2 - REMOVE EXISTING MEMORIAL PAVERS AND BASE, AND SUNIAL PER ODOT ITEM 202. STACK REMOVED PAVERS ON PALLETS AND RELOCATE TO OWNER STORAGE. TURN OVER SUNIAL TO OWNER.
- 3 - REMOVE EXISTING PLANTER WALLS PER ODOT ITEM 202. COORDINATE WORK WITH OWNER AND STORE BRICKS FROM PLANTER WALLS AT ONSITE LOCATION AS DIRECTED BY OWNER.
- 4 - REMOVE EXISTING PLANTS, TREES AND SHRUBS IN THIS AREA.
- 5 - REMOVE EXISTING 6" DOWNSPOUT DRAIN TO THE LIMITS SHOWN PER ODOT ITEM 202. SEE DEMO NOTES FOR BACKFILLING OF EXCAVATIONS. EX. STORM STRUCTURES TO REMAIN. SEE SHEET C-2 FOR UTILITY RECONNECTIONS.
- 6 - EXACT LOCATION OF EX. DS DRAINS IS UNKNOWN. SNAKE AND/OR REROUTE ALL EX. DS DRAINS ENCOUNTERED DURING CONSTRUCTION AND RECONNECT INTO THE EX./PROP. STORM SEWER. ADDITIONALLY, CONNECT ALL NEW DS INTO THE EX./PROP. STORM SEWER SYSTEM. COORDINATE FINAL DS LOCATIONS WITH ARCH./PLUMBING PLANS. ALL DS/DRAINS SHALL BE CONNECTED USING 6" SDR 35 PVC PIPE AT A MIN. SLOPE OF 1.0% UNO.
- 7 - THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES TO REMAIN AND SHALL MAINTAIN ACCESS TO THE EXISTING BUILDING AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE THE EXISTING SPINKLER SYSTEM AS REQUIRED WHEN ENCOUNTERED DURING PERFORMANCE OF THIS WORK.
- 8 - SEE ARCH PLANS FOR BUILDING AND ROOF DRAIN DEMOLITION IN THIS AREA.
- 9 - REMOVE EXISTING WOOD FENCE PER ODOT ITEM 202. COORDINATE RELOCATION OF CHLORINE/STORAGE TANKS WITH ARCH/PLUMBING PLANS.
- 10 - REMOVE EXISTING TREES PER ODOT ITEM 201 AS REQUIRED TO PERFORM THE WORK. COORDINATE ALL REMOVALS WITH THE OWNER. PROTECT ALL TREES TO REMAIN BY INSTALLING CONSTRUCTION FENCE AT THE TREE DRIP LINE AND PERFORMING NO WORK IN THE FENCED AREA.
- 11 - REMOVE EX. TENNIS NET AND POSTS PER ODOT ITEM 202. RETURN TO OWNER.

LEGEND

- REC. - RECORD DISTANCE OR ANGLE
CALC. - CALCULATED DISTANCE OR ANGLE
OBS. - OBSERVED DISTANCE OR ANGLE
T.P.O.B. - TRUE PLACE OF BEGINNING
P.O.B. - PLACE OF BEGINNING
■ - MONUMENT BOX
● - MONUMENT FOUND, SIZE & TYPE AS INDICATED.
○ - 5/8" REBAR, 30 INCHES IN LENGTH, WITH C.&A. I.D. CAP SET
△ - P.K.(MASONRY) NAIL
B.O.B. - BASIS OF BEARINGS
(XX'XX"XX" XX'XX") - RECORD BEARING & DISTANCE
⊙ - LIGHT POLE
⊕ - TELEPHONE POLE
⊞ - ELECTRIC METER
⊡ - ELECTRIC LINE MARKER
□ - VAULT
⊗ - HYDRANT
⊞ - CATCH BASIN
⊞ - WATER METER
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⊞ - GAS METER
⊞ - GAS LINE MARKER
⊞ - CENTERLINE
R/W - RIGHT-OF-WAY
⊞ - FLAGPOLE
X - FENCE
• - POST
- - - - - SIGN
- - - - - EX. CONTOURS
1000' x - EX. SPOT ELEVATION

DEMOLITION NOTES

1. BACKFILL ANY EXCAVATIONS RESULTING FROM REMOVALS, INCLUDING BASEMENTS, ACCORDING TO ODOT ITEM 203 - EXCAVATION AND EMBANKMENT WITH GRANULAR BACKFILL MEETING ODOT ITEM 304.
2. REMOVE AND ABANDON, AS REQUIRED, ALL EXISTING UTILITY SERVICES (ELECTRIC, TELEPHONE AND CABLE) TO THE RIGHT-OF-WAY IN ACCORDANCE WITH THE LOCAL REGULATIONS OF EACH RESPECTIVE UTILITY COMPANY.
3. ANY AND ALL UTILITY MAINS THAT NEED TO BE REMOVED OR RELOCATED BY THE RESPECTIVE UTILITY COMPANIES ARE TO BE COORDINATED BY THE GENERAL CONTRACTOR.
4. THE EXISTING UNDERGROUND UTILITIES AS SHOWN ARE OBTAINED FROM A COMBINATION OF FIELD LOCATION AND RECORD INFORMATION OBTAINED FROM THE RESPECTIVE UTILITY COMPANIES, WHERE PROVIDED. THESE UTILITIES, THEIR LOCATION AND THEIR ACTIVE OR INACTIVE STATUS, SHOULD BE VERIFIED BY CONTACTING THE OHIO UTILITY PROTECTION SERVICE (O.U.P.S.), PRIOR TO CONSTRUCTION. LOCATION, SIZE, DEPTH, AND STATUS OF USE ARE SHOWN AS ACCURATE AS POSSIBLE WITH THE AVAILABLE DATA.
5. ALL MATERIALS TO BE REMOVED SHALL BE DISPOSED OF IN A PROPER MANNER IN COMPLIANCE WITH ALL APPLICABLE CODES & LAWS.
6. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS TO PERFORM CONSTRUCTION, INCLUDING WORK WITHIN THE RIGHT-OF-WAY, AND SHALL MAINTAIN 2-WAY TRAFFIC AT ALL TIMES DURING CONSTRUCTION ON ALL PUBLIC ROADS PER ODOT ITEM 614 AND CITY OF HUDSON STANDARDS.
7. CONTRACTOR SHALL RESTORE ALL OFFSITE AREAS DISTURBED BY CONSTRUCTION TO A CONDITION THAT IS EQUAL OR BETTER THAN THE CONDITIONS THAT EXISTED PRIOR TO CONSTRUCTION.
8. ALL PAVEMENT, CURB AND SIDEWALK TO BE REMOVED SHALL BE SAW CUT FULL DEPTH AT EXISTING CONSTRUCTION JOINTS. ALL SAW CUTTING MUST BE DONE WET TO CONFORM TO THE OHIO EPA'S FUGITIVE DUST ACT.

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EXISTING CONDITIONS AND DEMOLITION PLAN

LAUREL LAKE RETIREMENT COMMUNITY-PHASE 3
200 LAUREL LAKE DRIVE
CITY OF HUDSON, SUMMIT COUNTY, OH

Date:	Revisions	Date
07-12-2016		
Drawn By:		
JJF		
Checked By:		
M.J.W		

wohlwend
engineering group

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JOB NO.
20150081

SHEET: C-1

NOTES:

- THE EXISTING UNDERGROUND UTILITIES AS SHOWN ARE OBTAINED FROM A COMBINATION OF FIELD LOCATION AND RECORD INFORMATION OBTAINED FROM THE RESPECTIVE UTILITY COMPANIES. WHERE PROVIDED, THESE UTILITIES, THEIR LOCATION AND THEIR ACTIVE OR INACTIVE STATUS, SHALL BE VERIFIED BY THE CONTRACTOR BY CALLING THE OHIO UTILITIES PROTECTION SERVICE (O.U.P.S.), PRIOR TO CONSTRUCTION. LOCATION, SIZE, DEPTH AND STATUS OF USE ARE SHOWN AS ACCURATE AS POSSIBLE WITH THE AVAILABLE EXISTING DATA.
- CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS.

STORM SEWER NOTES

- ALL STORM SEWER MATERIALS AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE CURRENT RULES AND REGULATIONS OF THE CITY OF HUDSON AND ODOT ITEM 611.
- ALL PIPE SHALL BE HIGH DENSITY POLYETHYLENE (HDPE) PIPE PER ODOT 707.33 OR BETTER, UNLESS OTHERWISE NOTED. ROOF DRAIN COLLECTOR PIPES SHALL BE SDR 35 PVC INSTALLED A 1.0% MIN SLOPE.
- ALL STORM SEWER TO HAVE ODOT TYPE 2 BEDDING.
- PROVIDE STORM SEWER JOINTS THAT ARE GASKETED AND SILT TIGHT.
- ALL HOLES IN PROPOSED STRUCTURES, INCLUDING DOWNSPOUT AND UNDERDRAIN CONNECTIONS, SHALL BE CAST AT TIME OF PRECAST MANUFACTURE.

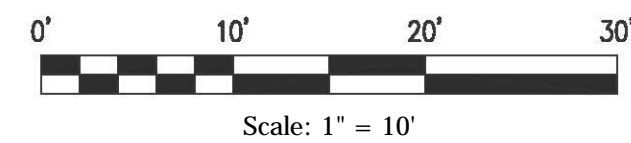
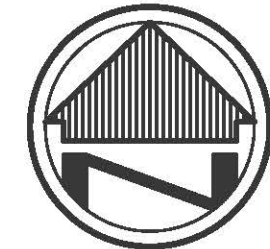
BASIS OF BEARINGS

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BENCH MARK - BM

"O" IN OPEN ON EXISTING HYDRANT

ELEVATION = 1012.19



KEYED NOTES

- INSTALL CONCRETE WALK/PATIO PER ODOT ITEM 608, CONSISTING OF 4" OF CLASS 'QC-1' CONCRETE OVER 4" OF COMPACTED ODOT ITEM 304 AGGREGATE LESTONE BASE ON COMPACTED SUBGRADE. PROVIDE EXPANSION MATERIAL BETWEEN NEW WALK AND VERTICAL CONCRETE FACES. PROVIDE JOINTS AT 5' SPACING (MIN.) ALONG WALK AND AS SHOWN IN PLAZA AREAS.
- INSTALL FROST SLAB. COORD. WITH STRUCTURAL DRAWINGS FOR FROST SLAB DETAIL.
- EXACT LOCATION OF EX. DS DRAINS IS UNKNOWN. SNAKE AND/OR REROUTE ALL EX. DS DRAINS ENCOUNTERED DURING CONSTRUCTION AND RECONNECT INTO THE EX./PROP. STORM SEWER. ADDITIONALLY, CONNECT ALL NEW DS INTO THE EX./PROP. STORM SEWER SYSTEM. COORDINATE FINAL DS LOCATIONS WITH ARCH./PLUMBING PLANS. ALL DS/DRAINS SHALL BE CONNECTED USING 6" SDR 35 PVC PIPE AT A MIN. SLOPE OF 1.0%, UNO.
- USING WALL BRICKS/BLOCKS REMOVED AND STOCKPILED FROM EXISTING PLANTER WALLS, CONSTRUCT NEW 3' HIGH PLANTER WALL. MATCH CONSTRUCTION OF EXISTING WALL REMOVED PER KEYED NOTE 3 ON SHEET C-1 AND DETAIL SHEET C-5.
- INSTALL BRICK PAVER STRIP W/ CONCRETE BASE PER DETAIL SHEET C-5. PROVIDE CUT SHEETS AND COLOR SAMPLES OF BRICK TO ARCH/OWNER FOR APPROVAL.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES TO REMAIN AND SHALL MAINTAIN ACCESS TO THE EXISTING BUILDING AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE THE EX. SPRINKLER SYSTEM AS REQUIRED WHEN ENCOUNTERED DURING PERFORMANCE OF THIS WORK.
- INSTALL APPROX. 72 LF 6" SDR 35 PVC PIPE @ THE SLOPE INDICATED. CONNECT TO EXISTING STRUCTURE UPSTREAM AND EXISTING 6" PIPE DOWNSTREAM. RECONNECT ANY/ALL EX. ROOF DRAIN LEADERS ENCOUNTERED DURING PERFORMANCE OF THE WORK INTO THE NEW STORM SEWER. ALSO, CONNECT ALL NEW DOWNSPOUT LEADERS INTO THE PROPOSED STORM SEWER. ALL STORM PIPE SHALL BE 6" SDR 35 PVC @ 1.0% SLOPE MIN., UNO. SEE ARCH./PLUMBING PLANS FOR TREATMENT OF EX. ROOF DRAINS AT ROOF LINE AND TO COORDINATE FINAL DS LOCATIONS.
- REVEGETATE ALL AREAS DISTURBED BY CONSTRUCTION IN ACCORDANCE WITH ODOT ITEM 659. CONTACT/CONFIRM WITH OWNER TO DETERMINE SEED TYPE.

LEGEND

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(xx'xx'xx" xx'xx") - RECORD BEARING & DISTANCE
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⊥ - GAS METER
⊥ - GAS LINE MARKER
⊥ - CENTERLINE
R/W - RIGHT-OF-WAY
⊥ - FLAGPOLE
-X-X- - FENCE
• - POST
- - SIGN
---100--- - EX. CONTOURS
1000 x - EX. SPOT ELEVATION

NOTES

- ALL DIMENSIONS SHOWN ARE TO EDGE OF BUILDING, FACE OF CURB, OR EDGE OF PAVEMENT, UNLESS OTHERWISE SHOWN.
- VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL AND FOUNDATION PLAN.

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SITE & UTILITY PLAN

LAUREL LAKE RETIREMENT COMMUNITY-PHASE 3
200 LAUREL LAKE DRIVE
CITY OF HUDSON, SUMMIT COUNTY, OH

Date:	Revisions	Date
07-12-2016		
Drawn By:		
JJF		
Checked By:		
MJW		

wohlwend
engineering group

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KENT, OH 44240
(330) 673-2400

JOB NO.
20150081
SHEET: C-2

DISTURBED AREA = 0.23 AC.
NO OHIO EPA NOI REQUIRED

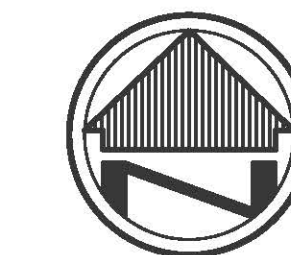
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PLANE COORDINATE SYSTEM, NORTH ZONE, NAD83 (2011).

BENCH MARK - BM

"O" IN OPEN ON EXISTING HYDRANT

ELEVATION = 1012.19



LEGEND

- - MONUMENT FOUND, SIZE & TYPE AS INDICATED.
- - 5/8" REBAR, 30 INCHES IN LENGTH, WITH I.D. CAP C&A SET.
- △ - P.K.(MASONRY) NAIL SET
- C — CENTERLINE
- P — PROPERTY LINE
- R/W - RIGHT-OF-WAY
- ⊗ - EX. CATCH BASIN
- ⊙ - EX. STORM MANHOLE
- ⊙ - PROP. CATCH BASIN
- ⊙ - PROP. STORM MANHOLE
- 1098 — - PROP. CONTOUR ELEV.
- 1105 — - EX. CONTOUR
- ▲ TW 1045.0
BW 1035.0 - TOP OF WALL
- ★ 1030.00
1028.50 - * BOTTOM OF CURB

SWP3 LEGEND

- 1076 — - PROPOSED CONTOUR
- 1076 — - EXISTING CONTOUR
- SF - SILT FENCE
- IP - INLET PROTECTION
- WC - TEMPORARY CONCRETE WASH OUT
- CRS - CONSTRUCTION ENTRANCE
- RF - REFUELING AREA
- TS - TOPSOIL STOCKPILE
- MA - CHEMICAL MIXING AREA
- ■ ■ ■ - LIMITS OF EARTH DISTURBING ACTIVITIES

GRADING NOTES

- UNLESS OTHERWISE SHOWN IN THE LEGEND OR ON THE PLAN, ALL SPOT ELEVATIONS ARE FINAL PAVEMENT/SIDEWALK GRADE OR TOPSOIL GRADE.
- ALL EARTHWORK TO BE PERFORMED PER ODOT ITEM 203 AND GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
- THE CONTRACTOR SHALL SCHEDULE A PRECONSTRUCTION MEETING WITH THE CITY OF HUDSON PRIOR TO COMMENCING ANY EARTH DISTURBING ACTIVITIES.
- CONTRACTOR TO VERIFY IMPORT/HAUL-OFF QUANTITY TO ACHIEVE PLAN GRADING AND INCLUDE IN BID.
- IF IMPORT MATERIAL IS REQUIRED, IT MUST COME FROM A PERMITTED SITE. IF MATERIAL MUST BE HAUL-OFF, IT MUST BE DELIVERED TO A PERMITTED SITE. A "PERMITTED SITE" IS A SITE COVERED BY AN OHIO EPA NPDES PHASE II PERMIT.
- ADJUST TO GRADE/COORD. ADJ. TO GRADE OF ALL COVERS, GRATES, UTILITY BOXES, ETC TO REMAIN.

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GRADING & SWPPP PLAN

LAUREL LAKE RETIREMENT COMMUNITY-PHASE 3
200 LAUREL LAKE DRIVE
CITY OF HUDSON, SUMMIT COUNTY, OH

Date:	Revisions	Date
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Drawn By:		
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Checked By:		
MJW		

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engineering group

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JOB NO.
20150081

SHEET: C-3

GRADING NOTES

- ALL EARTHWORK TO CONFORM TO ODOT ITEM 203 AND TO BE PERFORMED IN STRICT ACCORDANCE WITH THE GEOTECHNICAL ENGINEERS REPORT BY TERRACON DATED 04/06/2015. ALL EARTHWORK IN AREAS BEARING THE PROPOSED BUILDING TO BE SUPERVISED AND DIRECTED BY A GEOTECHNICAL ENGINEER REGISTERED IN THE STATE OF OHIO. CONTRACTOR SHALL REVIEW GEOTECHNICAL REPORT TO ASCERTAIN THE AMOUNT OF ANY UNDERCUTTING REQUIRED TO CONSTRUCT THE SITE.
- ADJUST TO GRADE/COORD. ADJUSTMENT TO GRADE OF ALL COVERS, GRATES, UTILITY BOXES ETC. TO REMAIN.
- ALL SIDEWALKS SHALL HAVE A MAX. LONGITUDINAL SLOPE OF NOT MORE THAN 5% AND A MAX. CROSS-SLOPE OF NOT MORE THAN 2%.

AT
GREENWOOD
DRIVE
ENTRANCE

TEMPORARY SEEDING SPECIES SELECTION				
SEEDING DATES	SPECIES	LB/1000ft.		PER ACRE
MARCH 1 TO AUGUST 15	OATS	3	4	BUSHEL
	TALL FESCUE	1	40	LB.
	ANNUAL RYEGRASS	1	40	LB.
	PERENNIAL RYEGRASS	1	40	LB.
	TALL FESCUE	1	40	LB.
	ANNUAL RYEGRASS	1	40	LB.
AUGUST 16 TO NOVEMBER 1	RYE	3	2	BUSHEL
	TALL FESCUE	1	40	LB.
	ANNUAL RYEGRASS	1	40	LB.
	WHEAT	3	2	BUSHEL
	TALL FESCUE	1	40	LB.
	ANNUAL RYEGRASS	1	40	LB.
	PERENNIAL RYEGRASS	1	40	LB.
	TALL FESCUE	1	40	LB.
ANNUAL RYEGRASS	1	40	LB.	
NOVEMBER 1 TO SPRING SEEDING	USE MULCH ONLY, SODDING PRACTICES OR DORMANT SEEDING			
NOTE: OTHER APPROVED SEED SPECIES MAY BE SUBSTITUTED.				

- STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSION AND SEDIMENT TRAPS SHALL BE INSTALLED AND STABILIZED WITH TEMPORARY SEEDING PRIOR TO GRADING THE REST OF THE CONSTRUCTION SITE.
- TEMPORARY SEED SHALL BE APPLIED DURING CONSTRUCTION OPERATIONS ON SOIL THAT WILL NOT BE GRADED OR REWORKED FOR 14 DAYS OR MORE. THESE IDLE AREAS SHOULD BE SEEDED AS SOON AS POSSIBLE AFTER GRADING OR SHALL BE SEEDED WITHIN 7 DAYS. SEVERAL APPLICATIONS OF TEMPORARY SEEDING ARE NECESSARY ON TYPICAL CONSTRUCTION PROJECTS.
- THE SEEDBED SHOULD BE PULVERIZED AND LOOSE TO ENSURE THE SUCCESS OF ESTABLISHING VEGETATION. HOWEVER, TEMPORARY SEEDING SHALL NOT BE POSTPONED IF IDEAL SEEDBED PREPARATION IS NOT POSSIBLE.

MULCHING TEMPORARY SEEDING

- APPLICATIONS OF TEMPORARY SEEDING SHALL INCLUDE MULCH WHICH SHALL BE APPLIED DURING OR IMMEDIATELY AFTER SEEDING. SEEDINGS MADE DURING OPTIMUM SEEDING DATES AND WITH FAVORABLE SOIL CONDITIONS AND ON VERY FLAT AREAS MAY NOT NEED MULCH TO ACHIEVE ADEQUATE STABILIZATION.
- MATERIALS
 - STRAW-IF STRAW IS USED, IT SHALL BE UNROTTED SMALL-GRAIN STRAW APPLIED AT THE RATE OF 2 TONS/AC. OR 90 LB./1000 SQ. FT. (TWO TO THREE BALES). THE MULCH SHALL BE SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THE SOIL SURFACE IS COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1000 SQ.-FT. SECTIONS AND SPREAD TWO 45 LB. BALES OF STRAW IN EACH SECTION.
 - HYDROSEEDERS-IF WOOD CELLULOSE FIBER IS USED, IT SHALL BE USED AT 2000 LB./AC. OR 48LB./1000 SQ. FT.
 - OTHER-OTHER ACCEPTABLE MULCHES INCLUDE MULCH MATTINGS APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS OR WOOD CHIPS APPLIED AT 6 TONS/AC.
- STRAW MULCH SHALL BE ANCHORED IMMEDIATELY TO MINIMIZE LOSS BY WIND OR WATER. ANCHORING METHODS:
 - MECHANICAL-A DISK, CRIMPER, OR SIMILAR TYPE TOOL SHALL BE SET STRAIGHT TO PUNCH OR ANCHOR THE MULCH MATERIAL INTO THE SOIL. STRAW MECHANICALLY ANCHORED SHALL NOT BE FINELY CHOPPED BUT, GENERALLY, BE LEFT LONGER THAN 6 IN.
 - MULCH NETTINGS-NETTINGS SHALL BE USED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. NETTING MAY BE NECESSARY TO HOLD MULCH IN PLACE IN AREAS OF CONCENTRATION RUNOFF AND ON CRITICAL SLOPES.
 - ASPHALT EMULSION-ASPHALT SHALL BE APPLIED AS RECOMMENDED BY THE MANUFACTURER OR AT THE RATE OF 160 GAL./AC.
 - SYNTHETIC BINDERS-SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (ACRI-TAC), DCA-70, PETROSET, TERRA TACK, OR EQUAL MAY BE USED AT RATES RECOMMENDED BY THE MANUFACTURER.
 - WOOD CELLULOSE FIBER-WOOD-CELLULOSE FIBER BINDER SHALL BE APPLIED AT A NET DRY WEIGHT OF 750 LB./AC. THE WOOD-CELLULOSE FIBER SHALL BE MIXED WITH WATER AND THE MIXTURE SHALL CONTAIN A MAXIMUM OF 50 LB./GAL.

PERMANENT SEEDING			
SEED MIX	SEEDING RATE		NOTES:
	LB./AC.	LB./1000 FT. ²	
GENERAL USE			
CREEPING RED FESCUE	20-40	1/2-1	
DOMESTIC RYEGRASS	10-20	1/4-1/2	
KENTUCKY BLUEGRASS	10-20	1/4-1/2	
TALL FESCUE	40	1	
DWARF FESCUE	40	1	
STEEP BANKS OR CUT SLOPES			
TALL FESCUE	40	1	
CROWN VETCH	10	1/4	DO NOT SEED LATER THAN AUGUST
TALL FESCUE	20	1/2	
FLAT PEA	20	1/2	DO NOT SEED LATER THAN AUGUST
TALL FESCUE	20	1/2	
ROAD DITCHES AND SWALES			
TALL FESCUE	40	1	
DWARF FESCUE	90	2 1/4	
KENTUCKY BLUEGRASS	5		
LAWNS			
KENTUCKY BLUEGRASS	60	1 1/2	
PERENNIAL RYEGRASS	60	1 1/2	
KENTUCKY BLUEGRASS	60	1 1/2	FOR SHADED AREAS
CREEPING RED FESCUE	60	1 1/2	
NOTE: OTHER APPROVED SEED SPECIES MAY BE SUBSTITUTED.			

SITE PREPARATION

- A SUBROLLER, PLOW OR OTHER IMPLEMENT SHALL BE USED TO REDUCE SOIL COMPACTION AND ALLOW MAXIMUM INFILTRATION. (MAXIMIZING INFILTRATION WILL HELP CONTROL BOTH RUNOFF RATE AND WATER QUALITY.) SUBSOILING SHOULD BE DONE WHEN THE SOIL MOISTURE IS LOW ENOUGH TO ALLOW THE SOIL TO CRACK OR FRACTURE. SUBSOILING SHALL NOT BE DONE ON SLIP-PRONE AREAS WHERE SOIL PREPARATION SHOULD BE LIMITED TO WHAT IS NECESSARY FOR ESTABLISHING VEGETATION.
- THE SITE SHALL BE GRADED AS NEEDED TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION AND SEEDING.
- RESOI SHALL BE APPLIED WHERE NEEDED TO ESTABLISH VEGETATION.

SEEDBED PREPARATION

- LIME - AGRICULTURAL GROUND LIMESTONE SHALL BE APPLIED TO ACID SOIL AS RECOMMENDED BY A SOIL TEST. IN LIEU OF A SOIL TEST, LIME SHALL BE APPLIED AT THE RATE OF 100LB./1000 SQ.FT. OR 2 TONS/AC.
- FERTILIZER - FERTILIZER SHALL BE APPLIED AS RECOMMENDED BY A SOIL TEST. IN LIEU OF A SOIL TEST, FERTILIZER SHALL BE APPLIED AT A RATE OF 12 LB./1000 SQ.FT. OR 500 LB./AC. OF 10-10-10 OR 12-12-12 ANALYSIS.
- THE LIME AND FERTILIZER SHALL BE WORKED INTO THE SOIL WITH A DISK HARROW, SPRING-TOOTH HARROW, OR OTHER SUITABLE FIELD IMPLEMENT TO A DEPTH OF 3 IN. ON SLOPING LAND, THE SOIL SHALL BE WORKED ON THE CONTOUR.

SEEDING DATES AND SOIL CONDITIONS

SEEDING SHOULD BE DONE MARCH 1 TO MAY 31 OR AUGUST 1 TO SEPTEMBER 30. THESE SEEDING DATES ARE IDEAL BUT, WITH THE USE OF ADDITIONAL

MULCH AND IRRIGATION, SEEDINGS MAY BE MADE ANY TIME THROUGHOUT THE GROWING SEASON. TILLAGE/SEEDBED PREPARATION SHOULD BE DONE WHEN THE SOIL IS DRY ENOUGH TO CRUMBLE AND NOT FORM RIBBONS WHEN COMPRESSED BY HAND. FOR WINTER SEEDING, SEE FOLLOWING SECTION ON DORMANT SEEDING.

DORMANT SEEDINGS

- SEEDINGS SHALL NOT BE PLANTED FROM OCTOBER 1 THROUGH NOVEMBER 20. DURING THIS PERIOD, THE SEEDS ARE LIKELY TO GERMINATE BUT PROBABLY WILL NOT BE ABLE TO SURVIVE THE WINTER.
- THE FOLLOWING METHODS MAY BE USED FOR "DORMANT SEEDING":
 - FROM OCTOBER 1 THROUGH NOVEMBER 20, PREPARE THE SEEDBED, ADD THE REQUIRED AMOUNTS OF LIME AND FERTILIZER, THEN MULCH AND ANCHOR. AFTER NOVEMBER 20, AND BEFORE MARCH 15, BROADCAST THE SELECTED SEED MIXTURE. INCREASE THE SEEDING RATES BY 50% FOR THIS TYPE OF SEEDING.
 - FROM NOVEMBER 20 THROUGH MARCH 15, WHEN SOIL CONDITIONS PERMIT, PREPARE THE SEEDBED, LIME AND FERTILIZER, APPLY THE SELECTED SEED MIXTURE, MULCH AND ANCHOR. INCREASE THE SEEDING RATES BY 50% FOR THIS TYPE OF SEEDING.
 - APPLY SEED UNIFORMLY WITH A CYCLONE SEEDER, DRILL, CULTIPACKER SEEDER, OR HYDRO-SEEDER (SLURRY MAY INCLUDE SEED AND FERTILIZER) ON A FIRM, MOIST SEEDBED.
 - WHERE FEASIBLE, EXCEPT WHEN A CULTIPACKER TYPE SEEDER IS USED, THE SEEDBED SHOULD BE FIRMED FOLLOWING SEEDING OPERATIONS WITH A CULTIPACKER, ROLLER, OR LIGHT DRAG. ON SLOPING LAND, SEEDING OPERATIONS SHOULD BE ON THE CONTOUR WHERE FEASIBLE.

GENERAL

- SEDIMENT PONDS/TRAPS AND PERIMETER CONTROLS SHALL BE IMPLEMENTED AS A FIRST STEP OF GRADING WITHIN 7 DAYS FROM THE START OF GRUBBING AND SHALL CONTINUE TO FUNCTION UNTIL UPLAND AREAS HAVE BEEN STABILIZED.
- DISTURBED AREAS MORE THAN 50 FT FROM A STREAM WHICH WILL REMAIN UNWORKED FOR A PERIOD OF 21 DAYS OR MORE, SHALL BE STABILIZED WITH SEEDING AND MULCHING OR OTHER OTHER APPROPRIATE MEANS WITHIN 7 DAYS.
- DISTURBED AREAS WITHIN 50 FT OF A STREAM WHICH WILL REMAIN UNWORKED FOR A PERIOD OF 21 DAYS OR MORE, SHALL BE STABILIZED WITH SEEDING AND MULCHING OR OTHER OTHER APPROPRIATE MEANS WITHIN 2 DAYS.
- DITCHES WITH GRADES GREATER THAN 1.5% SHALL HAVE EROSION CONTROL BLANKETS/MATINGS INSTALLED AS PART OF STABILIZATION MEASURES.
- EROSION CONTROL BLANKETS SHALL BE USED TO AD IN VEGETATION ESTABLISHMENT ON ALL DISTURBED SLOPES GREATER THAN 6%.
- SLOPES OF THE ROADS AND DRIVES SHALL BE SEEDED AND BLANKETED IMMEDIATELY UPON THEIR COMPLETION.
- OFF-SITE VEHICLE TRACKING SEDIMENT SHALL BE MINIMIZED. CONSTRUCTION VEHICLES ARE LIMITED TO THE CONSTRUCTION ACCESS ROAD(S) NOTED ON PLAN.

ALL EROSION AND SEDIMENTATION CONTROL PRACTICES MUST MEET THE STANDARDS AND SPECIFICATIONS OF THE OHIO'S RAWWATER AND LAND DEVELOPMENT MANUAL (2006 EDITION).

- OTHER EROSION AND SEDIMENT CONTROL ITEMS MAY BE NECESSARY DUE TO ENVIRONMENTAL CONDITIONS.
- EROSION AND SEDIMENT CONTROL PRACTICES NOT ALREADY SPECIFIED ON THIS PLAN MAY BE NECESSARY DUE TO UNFORESEEN ENVIRONMENTAL CONDITIONS AND/OR CHANGES IN DRAINAGE PATTERN CAUSED BY EARTH-MOVING ACTIVITY.
- A FULL LOT SEEDING AND MULCHING SHALL BE APPLIED TO ALL BARE AREAS IMMEDIATELY AFTER THE CONSTRUCTION OF THE STREETS ARE COMPLETED.
- NOTICE OF INTENT (NOI) MUST BE SUBMITTED TO OHIO EPA FOR NPDES PERMIT 45 DAYS PRIOR TO THE START OF CLEARING AND OR GRADING.
- CONSTRUCTION MUST COMPLY WITH ALL LOCAL EROSION AND SEDIMENT CONTROL REGULATIONS.
- NO SOLID OR LIQUID WASTE SHOULD BE DISCHARGED STORM WATER RUNOFF.
- SWPPP MUST SHOW COMPLIANCE WITH LOCAL WASTE DISPOSAL, SANITARY, AND HEALTH REGULATIONS.
- IF MUD, SOIL, OR OTHER DEBRIS IS DEPOSITED ON ADJACENT STREETS, ROADS OR OTHER PROPERTY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF SUCH AS DIRECTED BY THE CITY OR ITS ENGINEER AT THE END OF EACH WORK DAY.

- DISTURBED AREAS ARE NOT CONSIDERED STABILIZED UNTIL VEGETATIVE GROWTH IS AT LEAST 70% OR EQUIVALENT.
- TRENCH DEWATERING MUST PASS THROUGH A FILTER BAG.

MAINTENANCE AND INSPECTION

PERMANENT RECORDS OF MAINTENANCE AND INSPECTION MUST BE MAINTAINED A MINIMUM OF ONCE EVERY SEVEN DAYS AND AFTER STORM EVENTS GREATER THAN 0.5 INCH IN A 24 HOUR PERIOD. NAME OF INSPECTOR, MAJOR OBSERVATIONS, DATE OF INSPECTION, CERTIFICATION OF COMPLIANCE, CORRECTIVE MEASURES TAKEN. RECORDS MUST BE MAINTAINED FOR 2 YEARS AFTER NOTICE OF INTENT PER OHIO EPA NPDES PERMIT.

REPAIRS

ANY EROSION CONTROL MEASURES, STRUCTURES, DEVICES, OR RELATED ITEMS IN NEED OF REPAIR WILL BE MADE WITHIN FIFTEEN DAYS.

GENERAL NOTES

WINTERIZATION

ANY DISTURBED AREA THAT IS NOT GOING TO BE WORKED FOR 21 DAYS OR MORE MUST BE SEEDED AND MULCHED BY NOVEMBER 1 OR MUST HAVE DORMANT SEEDING OR MULCH COVER APPLIED BETWEEN NOVEMBER 1 AND MARCH 1.

MULCHING

- MULCH MATERIAL SHALL BE APPLIED IMMEDIATELY AFTER SEEDING. SEEDINGS MADE DURING OPTIMUM SEEDING DATES AND WITH FAVORABLE SOIL CONDITIONS AND ON VERY FLAT AREAS MAY NOT NEED MULCH TO ACHIEVE ADEQUATE STABILIZATION. DORMANT SEEDING SHALL BE MULCHED.

MATERIALS

- STRAW - IF STRAW IS TO BE USED IT SHALL BE UNROTTED SMALL-GRAIN STRAW APPLIED AT THE RATE OF 2 TONS/AC. OR 90 LB./1000 SQ.FT. (TWO TO THREE BALES). THE MULCH SHALL BE SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THE SOIL SURFACE IS COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1000 SQ.FT. SECTIONS AND SPREAD TWO 45 LB. BALES OF STRAW IN IN EACH SECTION.
- HYDROSEEDERS - IF WOOD CELLULOSE FIBER IS USED, IT SHALL BE USED AT 2000 LB./AC. OR 48 LB./1000 SQ.FT.
- OTHER - OTHER ACCEPTABLE MULCHES INCLUDE MULCH MATTINGS APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS OR WOOD CHIPS APPLIED AT 6 TONS/AC.

STRAW MULCH ANCHORING METHODS

- STRAW MULCH SHALL BE ANCHORED IMMEDIATELY TO MINIMIZE LOSS BY WIND OR WATER.
- MECHANICAL - A DISK, CRIMPER, OR SIMILAR TYPE TOOL SHALL BE SET STRAIGHT TO PUNCH OR ANCHOR THE MULCH MATERIAL INTO THE SOIL. STRAW MECHANICALLY ANCHORED SHALL NOT BE FINELY CHOPPED BUT, GENERALLY, BE LEFT LONGER THAN 6 IN.
- MULCH NETTINGS - NETTINGS SHALL BE USED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. NETTING MAY BE NECESSARY TO HOLD MULCH IN PLACE IN AREAS OF CONCENTRATED RUNOFF AND ON CRITICAL SLOPES.
- ASPHALT EMULSION - ASPHALT SHALL BE APPLIED AS RECOMMENDED BY THE MANUFACTURER OR AT THE RATE OF 160 GAL./AC.
- SYNTHETIC BINDERS - SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (ACRI-TAC), DCA-70, PETROSET, TERRA TACK, OR EQUAL MAY BE USED AT RATES RECOMMENDED BY THE MANUFACTURER.
- WOOD CELLULOSE FIBER - WOOD CELLULOSE FIBER SHALL BE APPLIED AT A NET DRY WEIGHT OF 750 LB./AC. THE WOOD CELLULOSE FIBER SHALL BE MIXED WITH WATER AND THE MIXTURE SHALL CONTAIN A MAXIMUM OF 50 LB./100 GAL. OF WOOD CELLULOSE FIBER.

IRRIGATION

- PERMANENT SEEDING SHALL INCLUDE IRRIGATION TO ESTABLISH VEGETATION DURING DRY OR HOT WEATHER OR ON ADVERSE SITE CONDITIONS AS NEEDED FOR ADEQUATE MOISTURE FOR SEED GERMINATION AND PLANT GROWTH.
- EXCESSIVE IRRIGATION RATES SHALL BE AVOIDED AND IRRIGATION MONITORED TO PREVENT EROSION AND DAMAGE FROM RUNOFF.

PERMANENT SEEDING

- DISTURBED AREAS REMAINING DORMANT FOR OVER A YEAR AND AT FINAL GRADE SHALL HAVE THE PERMANENT LANDSCAPING COVER INSTALLED PER LANDSCAPING PLAN.
- DISTURBED AREAS WITHIN 50 FEET OF A STREAM MUST HAVE A PERMANENT COVER APPLIED WITHIN 2 DAYS OF REACHING FINAL GRADE.

EXCAVATION DEWATERING

ALL WATER PUMPED FROM UTILITY TRENCHES DURING CONSTRUCTION SHALL BE PASSED THROUGH A FILTER BAG THAT IS ATTACHED TO THE OUTLET HOSE OF THE PUMP AND PLACED ON A GRASS OR GRAVEL SURFACE.

SEQUENCE OF CONSTRUCTION

- SCHEDULE AND HOLD A PRECONSTRUCTION MEETING WITH SUMMIT SOIL AND WATER CONSERVATION DISTRICT AND THE CITY OF HUDSON ENGINEERING DEPARTMENT PRIOR TO COMMENCING CONSTRUCTION.
- INSTALL CONSTRUCTION DRIVE, TEMPORARY SEDIMENT TRAP, SILT FENCE & CATCH BASIN PROTECTION FOR EXISTING CATCH BASINS. TEMPORARY SEDIMENT TRAPS ARE TO BE INSTALLED WITHIN 7 DAYS OF EARTH DISTURBING ACTIVITIES. SEE GENERAL NOTES THIS SHEET.
- ESTABLISH REFUELING AREA.
- BEGIN ROUGH GRADING. THE CONTRACTOR SHALL BRING THE FILL AREAS TO GRADE AS SOON AS POSSIBLE. ALL SLOPE AREAS SHALL BE PROVIDED WITH PERMANENT SLOPE STABILIZATION AS SOON AS FINAL GRADES ARE REACHED.
- CONSTRUCT CONCRETE WASHOUT AREA.
- CONSTRUCT STORM SEWER & INSTALL PROPOSED UTILITIES. INSTALL PROPOSED CATCH BASIN PROTECTION AS EACH CATCH BASIN IS INSTALLED AND PLACED INTO SERVICE.
- FINISH PROPOSED GRADING.
- FINISH REMAINING SITE WORK AND STABILIZE THE SITE.
- ONCE SITE IS STABILIZED, REMOVE REMAINING EROSION AND SEDIMENT CONTROLS.
- CONSTRUCTION IS ESTIMATED TO BEGIN ON JULY 30, 2016 AND BE COMPLETED BY OCTOBER 31, 2016.

NON-SEDIMENT POLLUTANT CONTROLS

1. Construction personnel, including subcontractors who may use or handle hazardous or toxic materials, shall be made aware of the following general guidelines regarding disposal and handling of hazardous and construction wastes:

- DO'S
 - Prevent spills
 - Use products up
 - Follow label directions for disposal
 - Remove lids from empty bottles and cans when disposing in trash
 - Recycle wastes whenever possible
- DON'T'S
 - Don't pour into waterways, storm drains or onto the ground
 - Don't pour down the sink, floor drain or septic tanks
 - Don't bury chemicals or containers
 - Don't burn chemicals or containers
 - Don't mix chemicals together

- Containers shall be provided for the proper collection of all waste material including construction debris, trash, petroleum products and any hazardous materials used on-site. Containers shall be covered and not leaking. All waste material shall be disposed of at facilities approved for that material. Construction Demolition and Debris (CD&D) waste must be disposed of at an Ohio EPA approved CD&D landfill.

- No construction related waste materials are to be buried on-site. By exception, clean fill (bricks, diesel fuel, hydraulic fluid, antifreeze, etc. are spilled, leaked, or released onto the soil, the soil should be dug up and disposed of at licensed sanitary landfill or other approved petroleum contaminated soil remediation facility. (not a construction/demolition debris landfill). Note that storm water run off associated with contaminated soils are not be authorized under Ohio EPA's General Storm Water Permit associated with Construction Activities.

- Handling Construction Chemicals. Mixing, pumping, transferring or other handling of construction chemicals such as fertilizer, lime, asphalt, concrete drying compounds, and all other potentially hazardous materials shall be performed in an area away from any watercourse, ditch or storm drain.

- Equipment Fueling and Maintenance, oil changing, etc., shall be performed away from watercourses, ditches or storm drains, in an area designated for that purpose. The designated area shall be equipped for recycling oil and catching spills. Secondary containment shall be provided for all fuel oil storage tanks. These areas must be inspected every seven days and within 24 hrs. of a 0.5 inch or greater rain event to ensure there are no exposed materials which would contaminate storm water. Site operators must be aware that Spill Prevention Control and Countermeasures (SPCC) requirements may apply. An SPCC plan is required for sites with one single above ground tank of 660 gallons or more, accumulative above ground storage of 1330 gallons or more, or 42,000 gallons of underground storage. Contaminated soils must be disposed of in accordance with Item 8.

- Concrete Wash Water shall not be allowed to flow to streams, ditches, storm drains, or any other water conveyance. A sump or pit with no potential for discharge shall be constructed if needed to contain concrete wash water. Field tile or other subsurface drainage structures within 10 ft. of the sump shall be cut and plugged. For

small projects, truck chutes may be rinsed away from any water conveyances.

- Spill Reporting Requirements: Spills on pavement shall be absorbed with sawdust or kitty litter and disposed of with the trash at a licensed sanitary landfill. Hazardous or industrial wastes such as most solvents, gasoline, oil-based paints, and cement curing compounds require special handling. Spills shall be reported to Ohio EPA (1-800-282-8378). Spills of 25 gallons or more of petroleum products shall be reported to Ohio EPA, the local fire department, and the Local Emergency Planning Committee within 30 min. of the discovery of the release. All spills which contact waters of the state must be reported to Ohio EPA.

- Contaminated Soils. If substances such as oil, diesel fuel, hydraulic fluid, antifreeze, etc. are spilled, leaked, or released onto the soil, the soil should be dug up and disposed of at licensed sanitary landfill or other approved petroleum contaminated soil remediation facility. (not a construction/demolition debris landfill). Note that storm water run off associated with contaminated soils are not be authorized under Ohio EPA's General Storm Water Permit associated with Construction Activities.

- Open Burning. No materials containing rubber, grease, asphalt, or petroleum products, such as tires, autoparts, plastics or plastic coated wire may be burned (OAC 3745-19). Open burning is not allowed in restricted areas, which are defined as: 1) within corporation limits; 2) within 1000 feet outside a municipal corporation having a population of 1000 to 10,000; and 3) a one mile zone outside of a corporation of 10,000 or more. Outside of restricted areas, no open burning is allowed within a 1000 feet of an inhabited building on another property. Open burning is permissible in a restricted area for: heating tar, welding, smudge pots and similar occupational needs, and heating for warmth or outdoor barbecues. Outside of restricted areas, open burning is permissible for landscape or land-clearing wastes (plant material, with prior written permission from Ohio EPA), and agricultural wastes, excluding buildings.

- Dust Control or dust suppressants shall be used to prevent nuisance conditions, in accordance with the manufacturer's specifications and in a manner, which prevent a discharge to waters of the state. Sufficient distance must be provided between applications and nearby bridges, catch basins, and other waterways. Application (excluding water) may not occur when rain is imminent as noted in the short term forecast. Used oil may not be applied for dust control.

- Air Permitting Requirements: Certain activities associated with construction will require air permits including but not limited to: mobile concrete batch plants, mobile asphalt plants, concrete crushers, large generators, etc. These activities will require specific Ohio EPA Air Permits for installation and operation. Operators must seek authorization from the corresponding district of Ohio EPA. For demolition of oil commercial sites, a Notification for Restoration and Demolition must be submitted to Ohio EPA to determine if asbestos

corrective actions are required.

- Process Waste Water/Leachate Management. Ohio EPA's Construction General Permit only allows the discharge of storm water and does not include other waste streams/discharges such as vehicle and/or equipment washing, on-site septic leachate concrete wash outs, which are considered process wastewaters. All process wastewaters must be collected and properly disposed at an approved disposal facility. In the event, leachate or seepage is discharged, it must be isolated for collection and proper disposal and corrective actions taken to eliminate the source of waste water.

- A Permit To Install (PTI) is required prior to the construction of all centralized sanitary systems, including sewer extensions, and sewerage systems (except those serving one, two, and three family dwellings) and potable water lines. Plans must be submitted and approved by Ohio EPA. Issuance of an Ohio EPA Construction General Storm Water Permit does not authorize the installation of any sewerage system where Ohio EPA has not approved a PTI.

- Manufacturer's recommended methods for spill clean-up will be posted and site personnel made aware of the procedures and the location of the information and cleanup supplies.

- Materials and equipment necessary for spill cleanup will be kept in the material storage area on site. Equipment and materials will include, but not be limited to brooms, dustpans, mops, rags, gloves, goggles, cat litter, sand, sawdust, and plastic and metal trash containers specifically designated for this purpose.

- All spills will be cleaned up immediately after discovery.

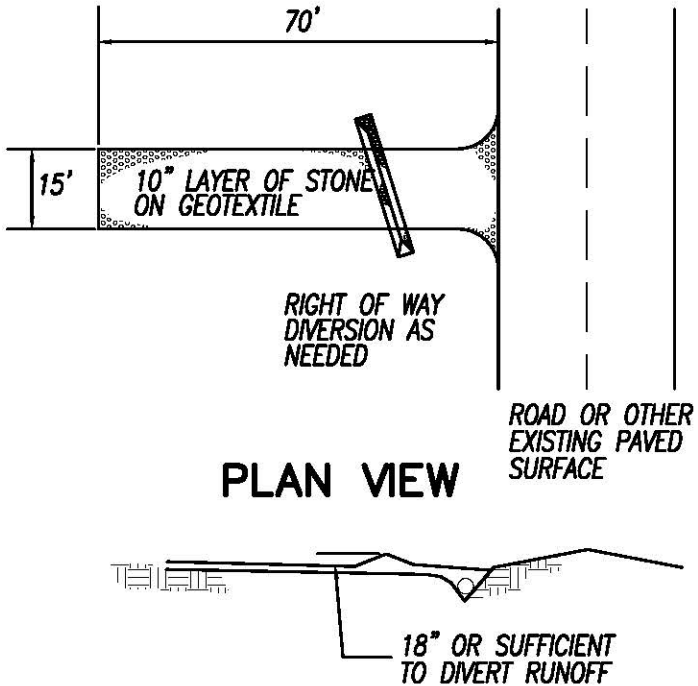
- The spill area will be kept well-ventilated and personnel will wear appropriate protective clothing to prevent injury from contact with a hazardous substance.

- Spills of toxic or hazardous materials will be reported to the appropriate State or Local government agency, regardless of the size.

- The spill prevention plan will be adjusted to include measures to prevent this type of spill from reoccurring and how to clean up the spill if there is another one. A description of the spill, what caused it, and the cleanup measures will also be included.

- The site superintendent responsible for the day-to-day operations will be the spill prevention and cleanup coordinator. He/She will designate site personnel who will receive spill prevention and cleanup training. These individuals will each become responsible for a particular phase of prevention and cleanup. The names of responsible spill personnel will be posted in the material storage area and in the office trailer on site.

CONTRACTOR TO COMPLY WITH THE OHIO RAINWATER OHIO LAND DEVELOPMENT MANUAL.



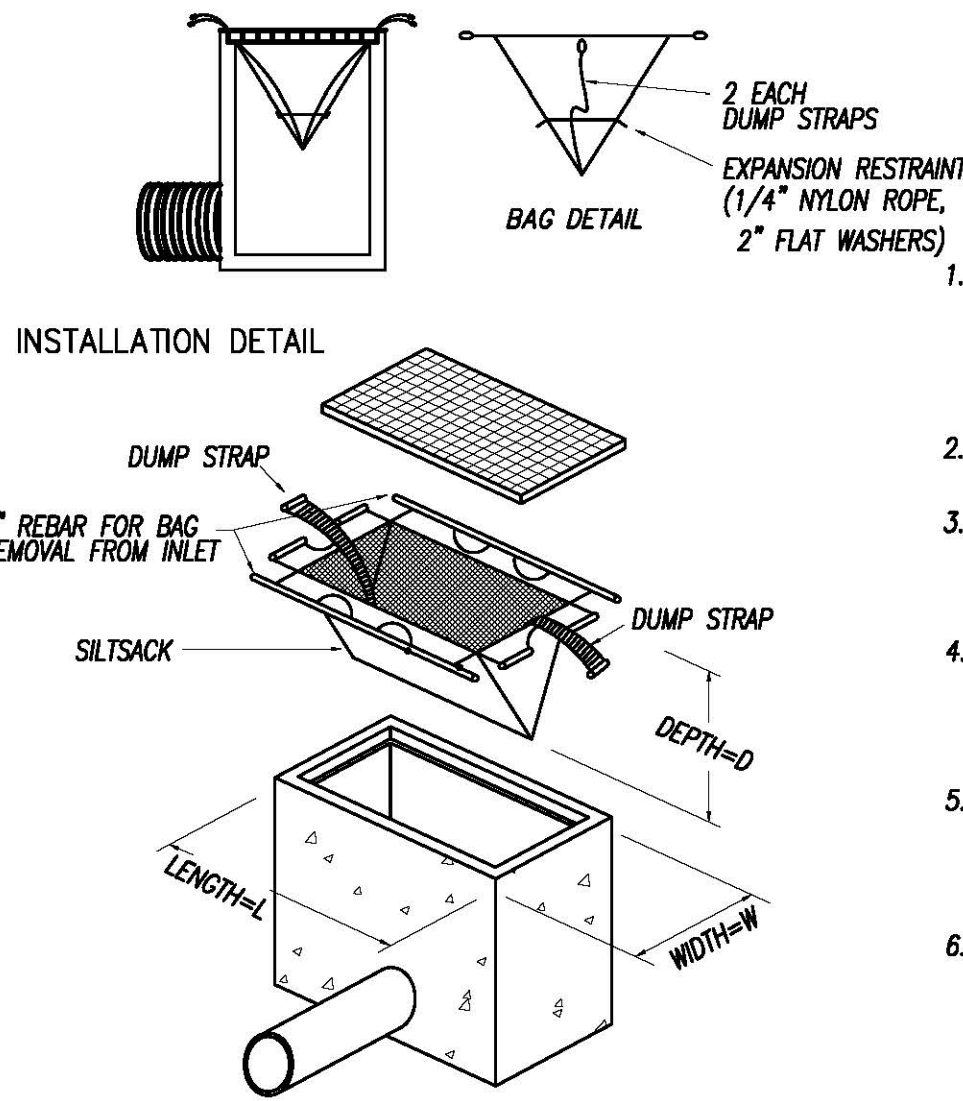
TEMPORARY CONSTRUCTION DRIVE NOTES:

- STONE SHALL BE NO. 2 STONE OR RECYCLED CONCRETE.
- LENGTH- THE CONSTRUCTION ENTRANCE SHALL BE AS LONG AS REQUIRED TO STABILIZE HIGH TRAFFIC AREAS BUT NOT LESS THAN 70 FEET.
- THICKNESS- THE STONE LAYER SHALL BE AT LEAST 10 INCHES THICK.
- WIDTH- THE ENTRANCE SHALL BE AT LEAST 15 FEET WIDE.
- BEDDING- A GEOTEXTILE SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. IT SHALL HAVE A GRAB TENSILE STRENGTH OF AT LEAST 200 LBS. AND A MULLEN BURST STRENGTH OF AT LEAST 190 LBS.
- CULVERT- A PIPE OR CULVERT SHALL BE CONSTRUCTED UNDER THE ENTRANCE IF NEEDED TO PREVENT SURFACE WATER FLOWING ACROSS THE ENTRANCE FROM BEING DIRECTED OUT ONTO PAVED SURFACES.
- MAINTENANCE - DRIVE SHALL BE TOP DRESSED WITH CLEAN STONE WHEN DIRECTED BY THE CITY.

TEMPORARY CONSTRUCTION DRIVE

N.T.S.

CRS



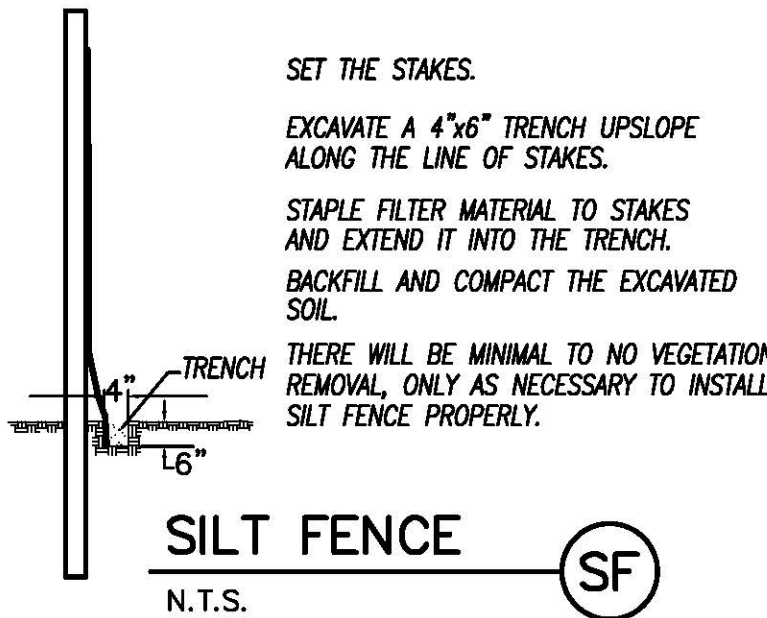
INLET PROTECTION

N.T.S.

CONSTRUCTION SEQUENCE

- INSTALL THE SILTSACK IN A CATCH BASIN, REMOVE THE GRATE AND LOWER THE SILTSACK INTO THE OPENING. LEAVE APPROXIMATELY SIX INCHES ABOVE THE FRAME. THIS IS THE AREA OF THE LIFTING LOOPS. REPLACE THE GRATE TO HOLD THE SILTSACK IN PLACE.
- THE SILTSACK IS CONSIDERED FULL AND SHOULD BE EMPTIED WHEN THE RESTRAINING STRAP IS NO LONGER VISIBLE.
- TO REMOVE THE SILTSACK, TAKE TWO PIECES OF 1" DIAMETER REBAR AND PLACE THROUGH THE LIFTING LOOPS ON THE LONG SIDE OF THE SILTSACK. ATTACH LIFTING CABLES TO THE REBAR AND LIFT OUT.
- TO EMPTY THE SILTSACK, PLACE IT WHERE YOU WANT THE SEDIMENT. PLACE THE LIFTING REBAR THROUGH THE DUMP STRAPS AND TURN THE SILTSACK INSIDE OUT. CLEAN WITH A SHOVEL OR RINSE THE FABRIC. RETURN THE SILTSACK TO ITS ORIGINAL SHAPE AND REINSTALL IN THE CATCH BASIN.
- THE SILTSACK IS REUSABLE. ONCE THE CONSTRUCTION PROJECT IS COMPLETE AND IT IS NO LONGER NEEDED FOR SEDIMENT CONTROL, REMOVE THE SILTSACK FROM THE CATCH BASIN AND STORE OUT OF THE SUNLIGHT UNTIL NEEDED ON THE NEXT PROJECT.
- THE PAYMENT FOR ANY SILTSACK USED DURING THE CONSTRUCTION IS TO BE INCLUDED IN THE BID OF THE OVERALL EROSION AND SEDIMENT CONTROL PLAN UNLESS A UNIT PRICE IS REQUESTED. MAINTENANCE OF THE SILTSACK IS ALSO INCLUDED IN THIS PRICE.

IP



SILT FENCE

N.T.S.

SF

SWPPP NOTES AND DETAILS

LAUREL LAKE RETIREMENT COMMUNITY-PHASE 3

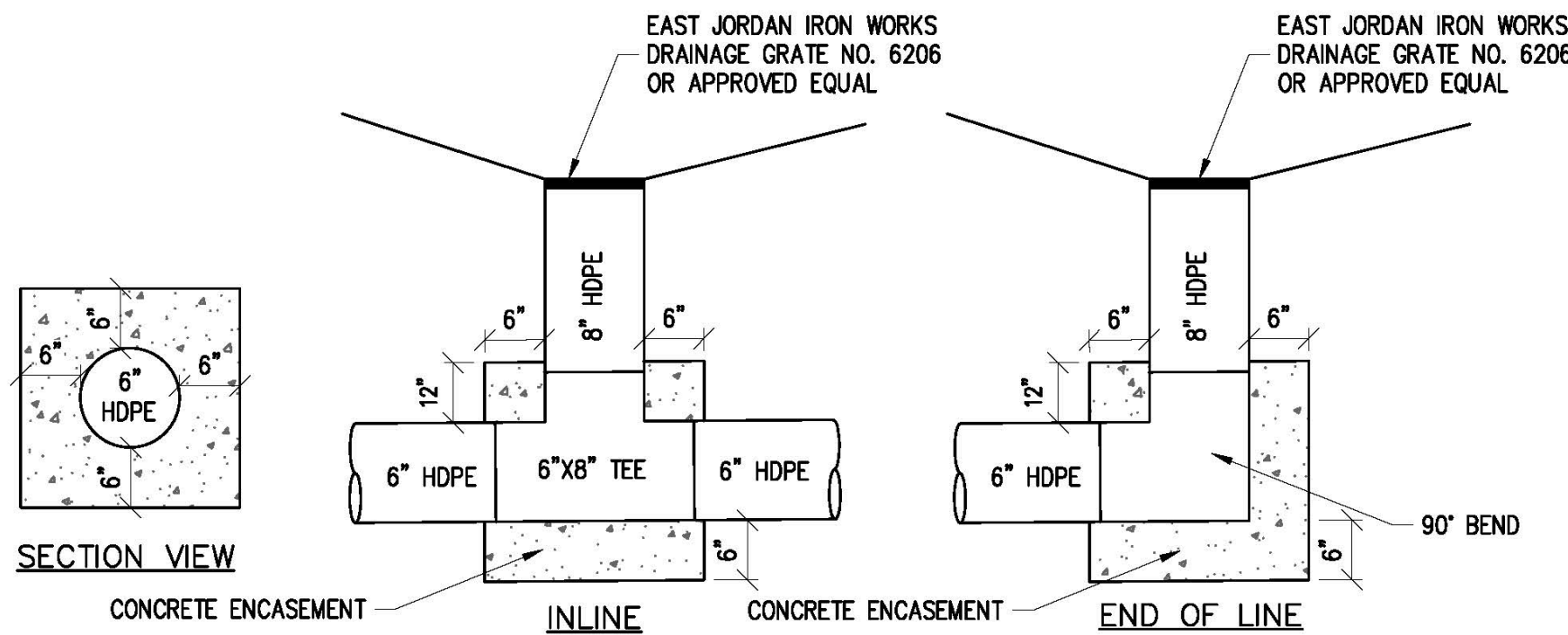
200 LAUREL LAKE DRIVE

CITY OF HUDSON, SUMMIT COUNTY, OH

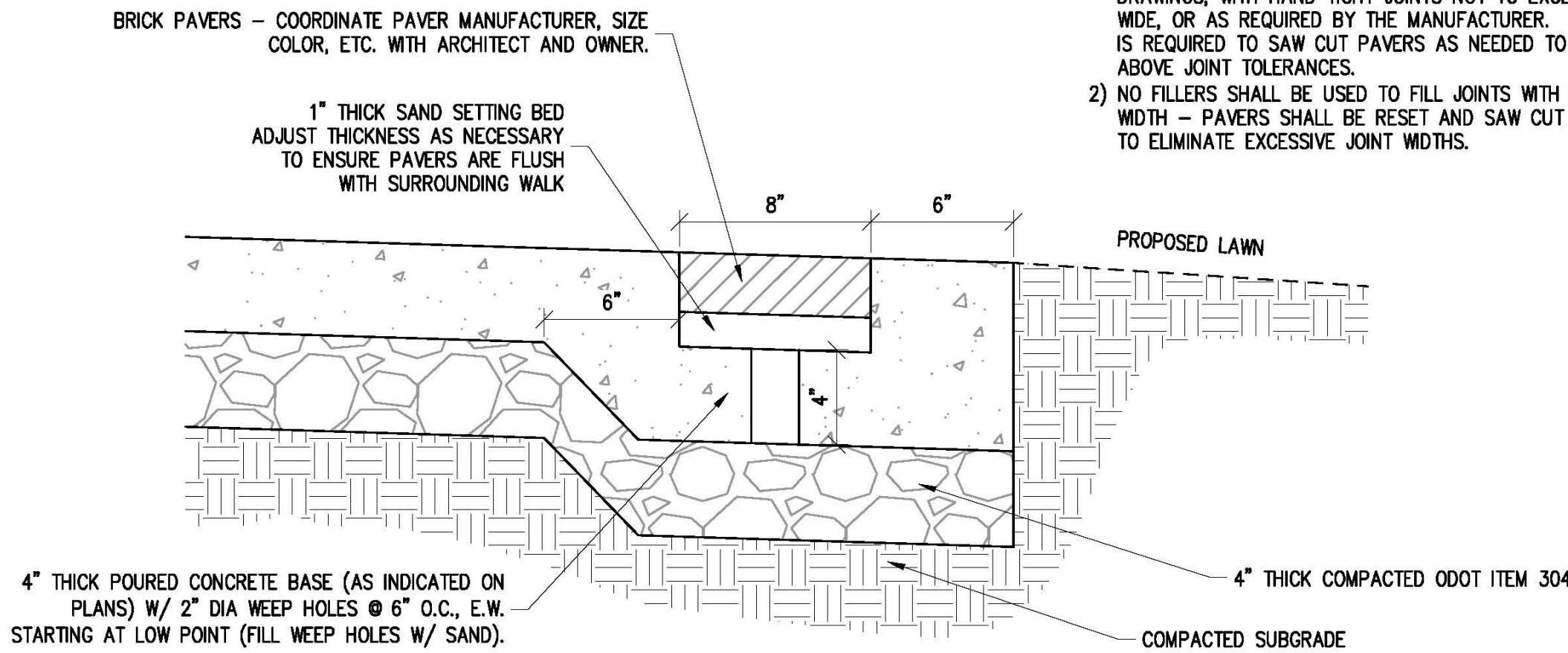
Date:	Revisions	Date
07-12-2016		
Drawn By:		
JJF		
Checked By:		
MJW		

GENERAL NOTES

1. LOCAL GOVERNMENT REQUIREMENTS TOGETHER WITH THE LATEST EDITION OF THE STATE OF OHIO, DEPT. OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS (CMS) SHALL GOVERN ALL CONSTRUCTION ITEMS THAT ARE A PART OF THIS PLAN, UNLESS OTHERWISE NOTED. IF THERE ARE ANY DISCREPANCIES, THE CITY REQUIREMENTS SHALL GOVERN. ALL FIELD TESTING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR (MATERIAL COMPOSITION, MATERIAL COMPACTION, CONCRETE TESTING, ETC.).
2. ANY MODIFICATION TO THE SPECIFICATIONS OR CHANGES TO THE WORK AS SHOWN ON THESE DRAWINGS MUST HAVE PRIOR WRITTEN APPROVAL OF THE CITY ENGINEER.
3. THE CONTRACTOR AND SUBCONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL, STATE, AND LOCAL SAFETY REQUIREMENTS, TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT IS ALSO THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTOR TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS, AND PROGRAMS IN CONNECTION WITH THE WORK.
4. THE CONTRACTOR SHALL NOTIFY THE CITY AT LEAST TWO (2) WORKING DAYS PRIOR TO COMMENCING CONSTRUCTION.
5. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS, PRIOR TO CONSTRUCTION. EXISTING UTILITIES SHOWN ARE FROM BEST AVAILABLE RECORDS AND FIELD INVESTIGATION, AND ARE NOT NECESSARILY COMPLETE OR EXACT. THE CONTRACTOR IS RESPONSIBLE FOR THE INVESTIGATION, LOCATION, SUPPORT, PROTECTION, AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES WHETHER SHOWN ON THESE PLANS OR NOT. THE CONTRACTOR SHALL EXPOSE ALL UTILITIES OR STRUCTURES PRIOR TO CONSTRUCTION TO VERIFY THE VERTICAL AND HORIZONTAL EFFECT ON THE PROPOSED CONSTRUCTION, AND SHALL MAKE ADJUSTMENTS IN ELEVATIONS TO PROVIDE SUFFICIENT CLEARANCE BETWEEN THE PROPOSED AND EXISTING UTILITIES. THE CONTRACTOR SHALL CALL THE OHIO UTILITIES PROTECTION SERVICE (1-800-362-2784) THREE WORKING DAYS PRIOR TO WORK.
7. ANY PROPERTY CORNER PINS OR PERMANENT SURVEY MARKINGS DISTURBED DURING CONSTRUCTION SHALL BE RESET BY A REGISTERED SURVEYOR AT THE CONTRACTOR'S EXPENSE.
8. THE TRACKING OR SPILLAGE OF MUD, DIRT, OR DEBRIS UPON STREETS IS PROHIBITED AND ANY SUCH OCCURRENCE SHALL BE CLEANED UP IMMEDIATELY BY THE CONTRACTOR. IF THE CONTRACTOR FAILS TO KEEP THE WORK AREA CLEAN OF DEBRIS, OR FAILS TO CLEAN MUD OR DIRT OFF OF STREETS, THE CITY MAY TAKE ACTION AND ASSESS THE DEVELOPER FOR THE COSTS THAT ARE INCURRED.
9. NO NON-RUBBER TIRE VEHICLE SHALL BE MOVED ON STREETS. EXCEPTIONS MAY BE GRANTED WHERE SHORT DISTANCES AND SPECIAL CIRCUMSTANCES ARE INVOLVED. GRANTING OF EXCEPTIONS MUST BE IN WRITING AND ANY RESULTING DAMAGE MUST BE REPAIRED TO THE SATISFACTION OF THE CITY ENGINEER.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING MAIL SERVICE IN THE CONSTRUCTION AREA.
11. ALL ITEMS OF WORK CALLED FOR ON THE PLANS FOR WHICH NO SPECIFIC METHOD OF PAYMENT IS PROVIDED SHALL BE PERFORMED BY THE CONTRACTOR AND THE COST OF SAME SHALL BE INCLUDED IN THE PRICE BID FOR THE VARIOUS RELATED ITEMS.
12. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN EXCAVATING IN THE VICINITY OF EXISTING TREES TO REMAIN, TAKING ALL MEASURES POSSIBLE TO PROTECT AND PRESERVE THEM. THE CONTRACTOR SHALL BE GOVERNED BY THE PROVISIONS OF HIS CONTRACT WITH THE OWNER.
13. ALL FIELD TILE BROKEN DURING EXCAVATION SHALL BE REPLACED TO ITS ORIGINAL CONDITION OR CONNECTED TO THE STORM SEWER SYSTEM AS DIRECTED BY THE CITY ENGINEER.
14. APPROVAL OF THESE PLANS IS CONTINGENT ON ALL EASEMENTS REQUIRED FOR THE CONSTRUCTION OF THE WORK BEING SECURED AND SUBMITTED TO THE CITY FOR RECORDING PRIOR TO COMMENCEMENT OF THE WORK, AND NO WORK WHICH REQUIRES AN EASEMENT WILL BE ALLOWED TO PROCEED UNTIL THIS HAS BEEN DONE.
15. ALL TRAFFIC CONTROL DEVICES SHALL BE FURNISHED, ERECTED, MAINTAINED, AND REMOVED BY THE CONTRACTOR IN ACCORDANCE WITH THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES PART 7 CONSTRUCTION AND MAINTENANCE OPERATIONS. COPIES OF WHICH ARE AVAILABLE FROM THE OHIO DEPARTMENT OF TRANSPORTATION, BUREAU OF TRAFFIC, 25 SOUTH FRONT STREET, COLUMBUS, OHIO 43215.
16. STEADY-BURNING, TYPE "C" LIGHTS SHALL BE REQUIRED ON ALL BARRICADES DRUMS AND SIMILAR TRAFFIC DEVICES IN USE AT NIGHT. CONES ARE NOT PERMITTED TO BE USED FOR NIGHT WORK.
17. ALL TRENCHES SHALL BE BACKFILLED OR SECURELY PLATED DURING NON WORKING HOURS.
18. ALL AREAS WITHIN THE PUBLIC RIGHT-OF-WAY THAT ARE DISTURBED BY THIS PROJECT SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION, PER CMS ITEM 659 (SEEDING AND MULCHING) OR OTHER APPLICABLE SPECIFICATIONS.
19. AT ALL UTILITY CROSSINGS WHERE THE EXISTING UTILITY IS EXPOSED IN THE TRENCH, THE BACKFILL SHALL CONSIST OF COMPACTED GRANULAR MATERIAL IN ACCORDANCE WITH CMS ITEM 803 BETWEEN THE DEEPER AND SHALLOWER PIPE. WHERE PROPOSED UTILITIES OR SERVICES CROSS PROPOSED OR EXISTING PAVEMENT AREAS, BACKFILL SHALL BE COMPACTED GRANULAR MATERIAL IN ACCORDANCE WITH CMS ITEM 803 EXTENDING AT LEAST 3 FEET BEYOND THE BACK OF CURB OR EDGE OF PAVEMENT. COST IS TO BE INCLUDED IN THE PRICE BID FOR RELATED PIPE.
20. WHERE NECESSARY TO DISTURB PAVEMENTS OR DRIVES, THE PAVEMENT SHALL BE SAW CUT IN NEAT, STRAIGHT LINES. THE DEPTH OF SAW CUT SHALL BE AT LEAST 2 INCHES.
21. THE CITY ENGINEER WILL NOT BE RESPONSIBLE FOR MEANS, METHODS, PROCEDURES, TECHNIQUES, OR CONSEQUENCES OF CONSTRUCTION THE CITY ENGINEER WILL NOT BE RESPONSIBLE FOR SAFETY ON THE JOB SITE, OR FOR FAILURE BY THE CONTRACTOR TO PERFORM WORK ACCORDING TO CONTRACT DOCUMENTS.
22. THE CONTRACTOR SHALL RESTRICT CONSTRUCTION ACTIVITY TO PUBLIC RIGHT-OF-WAY IN THE LIMITS OF THE WORK AREA AND THE PROJECT SITE.
23. THE CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS TO EQUAL OR BETTER CONDITION THAT EXISTED BEFORE CONSTRUCTION. DRAINAGE DITCHES OR WATER COURSES THAT ARE DISTURBED BY CONSTRUCTION SHALL BE RESTORED TO THE GRADES AND CROSS SECTIONS THAT EXISTED BEFORE CONSTRUCTION.
24. ALL SIGNS, LANDSCAPING, STRUCTURES, OR OTHER APPURTENANCES DISTURBED OR DAMAGED DURING CONSTRUCTION SHALL BE REPLACED OR REPAIRED TO THE SATISFACTION OF THE CITY ENGINEER. THE COST OF SUCH WORK SHALL BE PAID FOR BY THE CONTRACTOR.
25. PERMITS TO CONSTRUCT IN THE RIGHT-OF-WAY OF EXISTING STREETS MUST BE OBTAINED FROM THE CITY BEFORE COMMENCING CONSTRUCTION. WHEN OPEN-CUTTING OF EXISTING PAVEMENT IS PERMITTED, CONTROLLED DENSITY BACKFILL MAY BE USED IN PLACE OF COMPACTED GRANULAR BACKFILL. ASPHALT SURFACES SHALL BE HEAT WELDED.
26. WHEN UNKNOWN OR INCORRECTLY LOCATED UNDERGROUND UTILITIES ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND THE CITY ENGINEER.
27. BEFORE RELOCATING ANY MAILBOXES, THE CONTRACTOR SHALL CONTACT THE U.S. POSTAL SERVICE AND RELOCATE MAILBOXES ACCORDING TO THE REQUIREMENTS OF THE POSTAL SERVICE.
28. ALL BENCHMARKS ARE BASED ON UNITED STATES GEOLOGICAL SURVEY (USGS) DATUM.
29. CONTRACTOR AND OWNER SHALL ENSURE FIRE DEPARTMENT ACCESS AND WATER SUPPLY TO THE TEMPORARY AND PERMANENT FACILITIES AT ALL TIMES DURING CONSTRUCTION.

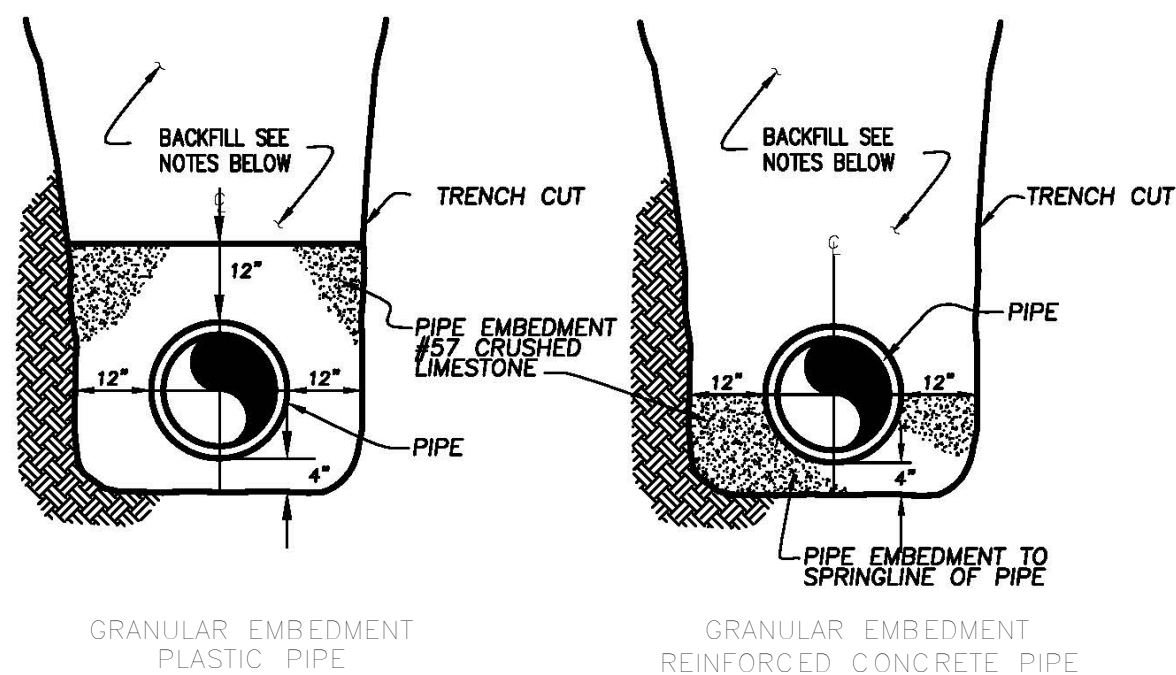


YARD INLET DETAILS
N. T. S.



BRICK PAVERS ON 4" THICK CONCRETE BASE

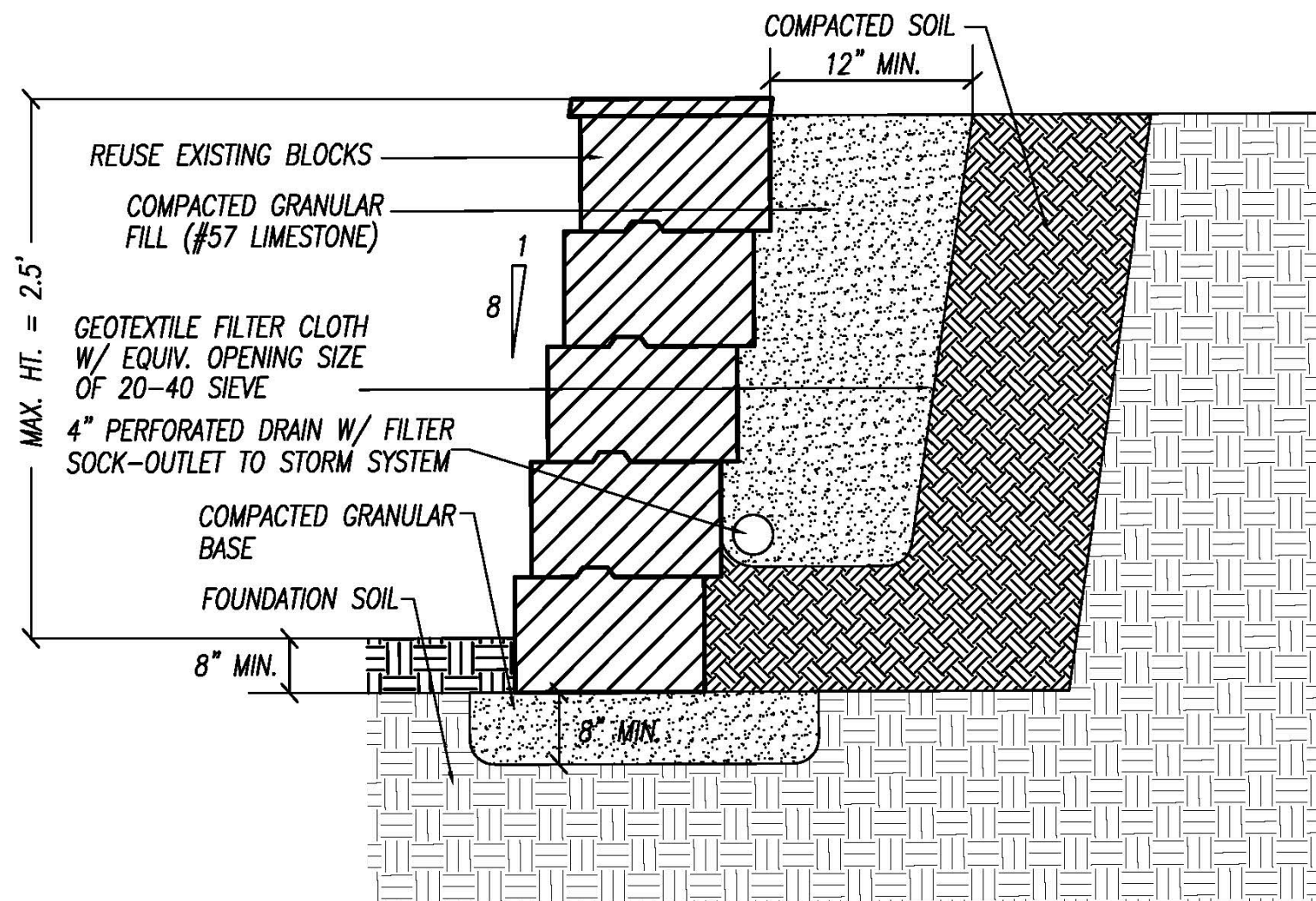
NOT TO SCALE



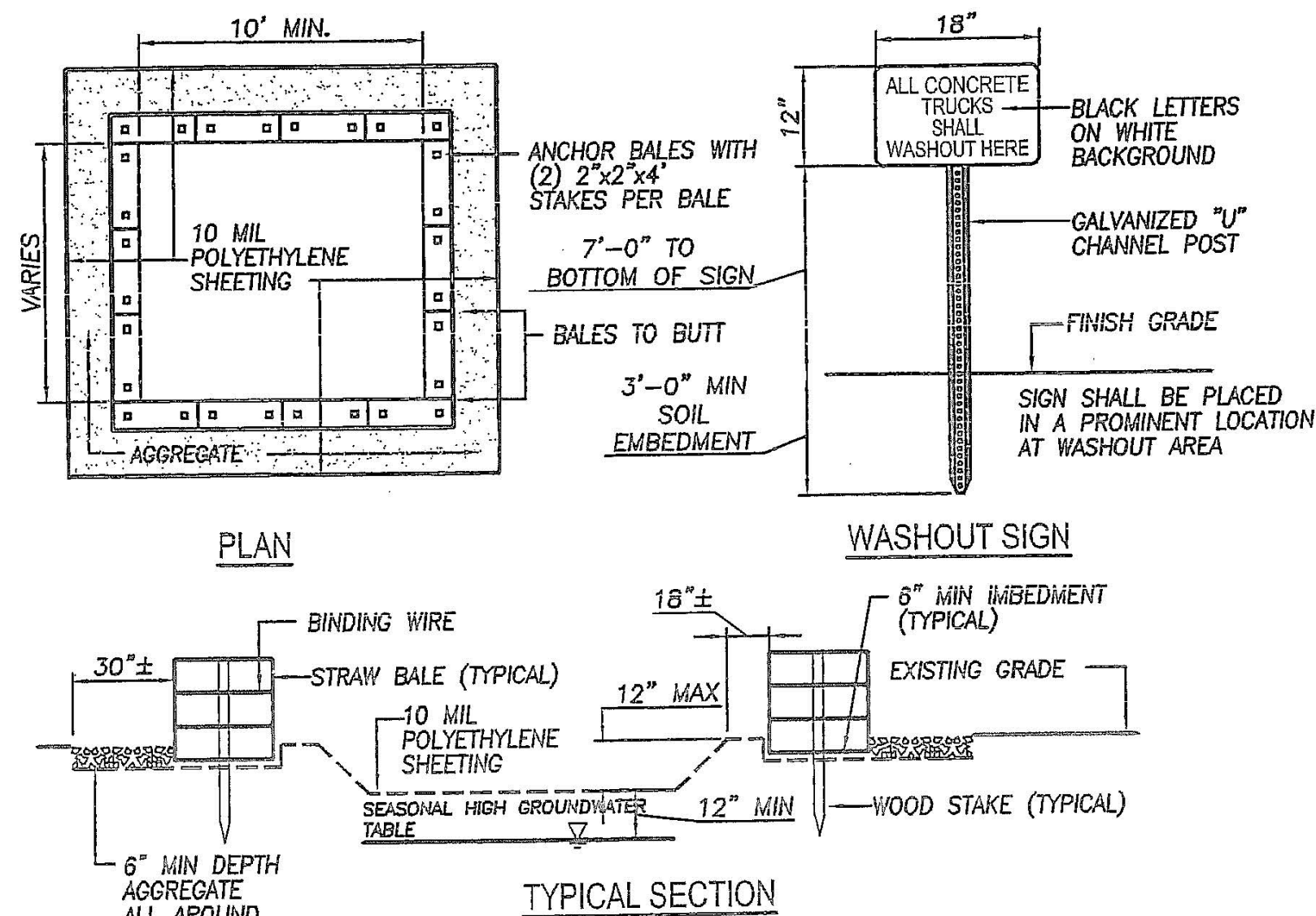
BACKFILL NOTES:

1. BACKFILL UNDER PAVEMENTS SHALL BE ODOT 304 AGGREGATE BASE UP TO THE TOP OF SUBGRADE.
2. BACKFILL UNDER NON-PAVEMENT AREAS SHALL CONFORM TO ODOT ITEM 203. MATERIAL EXCAVATED FROM TRENCHES MAY BE USED PROVIDED IT CONFORMED TO ODOT ITEM 203.

SEWER TRENCH DETAIL
N.T.S.



LANDSCAPE WALL DETAIL
N.T.S.



NOTES:

1. CONTAINMENT MUST BE STRUCTURALLY SOUND AND LEAK FREE AND CONTAIN ALL LIQUID WASTES.
2. CONTAINMENT DEVICES MUST BE OF SUFFICIENT QUANTITY OR VOLUME TO COMPLETELY CONTAIN THE LIQUID WASTES GENERATED.
3. WASHOUT MUST BE CLEANED OR NEW FACILITIES CONSTRUCTED AND READY TO USE ONCE WASHOUT IS 75% FULL.
4. WASHOUT AREA(S) SHALL BE INSTALLED IN A LOCATION EASILY ACCESSIBLE BY CONCRETE TRUCKS.
5. ONE OR MORE AREAS MAY BE INSTALLED ON THE CONSTRUCTION SITE AND MAY BE RELOCATED AS CONSTRUCTION PROGRESSES.
6. AT LEAST WEEKLY REMOVE ACCUMULATION OF SAND AND AGGREGATE AND DISPOSE OF PROPERLY.

CONCRETE WASHOUT AREA

CONSTRUCTION NOTES & DETAILS

LAUREL LAKE RETIREMENT COMMUNITY-PHASE 3
200 LAUREL LAKE DRIVE
CITY OF HUDSON, SUMMIT COUNTY, OH

Date:	Revisions	Date
07-12-2016		
Drawn By:	JJF	
Checked By:	MJW	

wohlwend
engineering group

4216 KARG INDUSTRIAL PKWY
KENT, OH 44240
(330) 673-2400

JOB NO.
20150081
SHEET: C-5

OHIO
HUDSON

ENGINEERING • 115 Executive Parkway, Suite 400 • Hudson, Ohio 44236 • (330) 342-1770

Date: July 19, 2016
To: Greg Hannan, City Planner, Community Development
From: Thomas J. Sheridan P.E., P.S, City Engineer.
Re: **Laurel Lake Pool and Spa**

The City of Hudson Engineering Department has reviewed the plans submitted July 13, 2016.

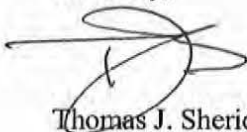
Note: The City of Hudson Engineering Standards (Engineering Standards) and Land Development Code (LDC) are available online at the City of Hudson Website www.hudson.oh.us under the Engineering Dept. and Community Development Department respectively. The standards are also available in print for a fee. Please contact our office (330-342-1770) if you would like a cost for the printed version.

The City of Hudson Engineering Department has the following review comments that shall be addressed and any necessary revisions resubmitted:

- Provide pre and post impervious surface area on plan sheet per Hudson Engineering Standards Section 1.7.
- Provide location on plans for proposed construction drive.

If you have any questions, please contact our office.

Sincerely,



Thomas J. Sheridan, P.E., P.S.
Hudson City Engineer

C: T. Calabro
File.



COMMUNITY DEVELOPMENT • 115 Executive Parkway, Suite 400 • Hudson, Ohio 44236 • (330) 342-1790

July 19, 2016

David Urbansky
Perspectus Architecture
13212 Shaker Square, Suite 204
Cleveland, Ohio 44120

RE: PC 2016-21- Site Plan review for Laurel Lake Retirement Community – Pool Addition

Mr. Urbansky -

Thank you for your submission of the site plan application for the proposed indoor pool addition at Laurel Lake Retirement Community at 200 Laurel Lake Drive. The application has been scheduled for the Planning Commission (PC) agenda for the August 8, 2016 meeting. In preparation for such, I am forwarding preliminary comments related to compliance with the Land Development Code (LDC). In addition to these comments, engineering design related comments will be forwarded under separate cover.

Chapter 1203 Development Review and Administrative Procedures

Section 1203.09 Site Plan Review

The application will be presented to the Planning Commission at the August 8, 2016 meeting. In contemplation of Planning Commission approval you may submit application to the Architectural and Historic Board of Review for compliance review with the adopted Architectural and Design Standards by August 2, 2016 for the August 10, 2016 meeting. Please review the application submittal requirements at:

<http://www.hudson.oh.us/DocumentCenter/View/81>

Chapter 1205 – District Regulations

1205.06 District 3: Suburban Residential Neighborhood The proposed dimensional standards for lot width, lot frontage, and setbacks are acceptable.

Section 1206 Use Regulations

The existing Continuing Care Retirement Facility is permitted as a conditional use within District 3. In addition to the general conditional use standards, the application is subject to compliance with the below site specific standards:

4. Where applicable, certification or licensing by the sponsoring state or federal governmental agency shall be a prerequisite to issuance of a zoning certificate by the City.

10. Adequate vehicle turning areas shall be provided on the site so that vehicles and equipment can be maneuvered on site without interrupting traffic flow or blocking public streets.

11. The parking area for the use shall be a minimum of 50 feet from adjacent properties used for residential purposes.

12. Safe areas for pick-up and discharge of persons shall be provided.

14. Adequate provisions shall be made for access by emergency medical and fire vehicles on two sides of the building.

Comment: Staff finds that the plan is in conformance with all applicable standards

Section 1207 Zoning Development and Site Plan Standards

Section 1207.04 Landscaping/Buffering The project is approximately 800 feet from Boston Mills Road and enclosed within an interior courtyard of the campus. No landscaping or buffering requirements are applicable to the project.

Section 1207.07 Stormwater Management/Drainage/Erosion Stormwater management will be reviewed by the Engineering Department with comments issued under separate cover.

Section 1207.12 Off-Street Parking and Loading Requirements Alterations have not been proposed to the existing parking capacity as the project is not intended to increase the number of residents.

Please contact me for any assistance I can provide.

Sincerely,

Gregory P. Hannan, AICP
City Planner

CC: Mark Richardson, Community Development Director
Thom Sheridan, City Engineer