

general notes

General Contractor shall be responsible for the purchase of all permits and pay all fees and charges required to complete the work.

Construction from these plans should not be attempted without the assistance of an experienced construction professional. Minor revisions to these plans can be performed by qualified builders, designers, engineers or architects. The purchaser and/or builder of this plan releases 'bwk design', it's owners, officers and employees from any claims or law suits that may arise during construction of this structure or anytime thereafter. 'bwk design' does not assume liability for any changes or modifications made to these plans by others.

The builder/general contractor & sub-contractors will warrant that all construction and installation work will be performed in accordance with the requirements of all local, county, state and federal laws and codes having jurisdiction in addition to the owners requirements and/or specifications not specified herein.

Builder/Contractor must verify all site conditions prior to the commencement of construction.

Calculated dimensions always take precedent over scaled dimensions within the drawings.

All construction materials, specifications, and details shown within these documents can be modified or replaced by an approved alternate construction method if approved by the owner, and meet all code/law conformance.

If electrical, plumbing, and hvac system specifications & layouts are not included in these drawings, consult a qualified contractor or engineer to ensure that all work is sized correctly and complies with specific regional codes and climate conditions.

Windows are ultimately the owners choice of manufacture. Approximate size and type may be shown within these drawings. Exact size and type and requirements of all codes to be determined by owner, builder or window specialist. Field verify all window locations. Install all skylites per manufacturers requirements and specifications.

These drawings do not indicate every consideration in absolute detail. The intention of this document is to provide sufficient detail and information necessary for permitting, contracting and construction. Therefore, various routine finish specifications, trim details and interior elevations may not be provided. Consult with the building contractor, local suppliers or building centers for cabinets, fixtures and other related specifications, shop drawings and/or details not included within these documents.

All sleeping room windows must comply with these emergency egress requirements, or code requirements having jurisdiction. Unless otherwise required. All egress windows must have a minimum net clear opening of 5.7 sq. ft. The minimum net clear height opening dimension shall be 24 inches. The minimum net clear opening width dimension shall be 20 inches.

Smoke detectors shall be installed outside of separate sleeping areas and on each additional story of the dwelling, including the basement. Smoke detectors shall be wired directly to the main power source of the building with a secondary battery back up.

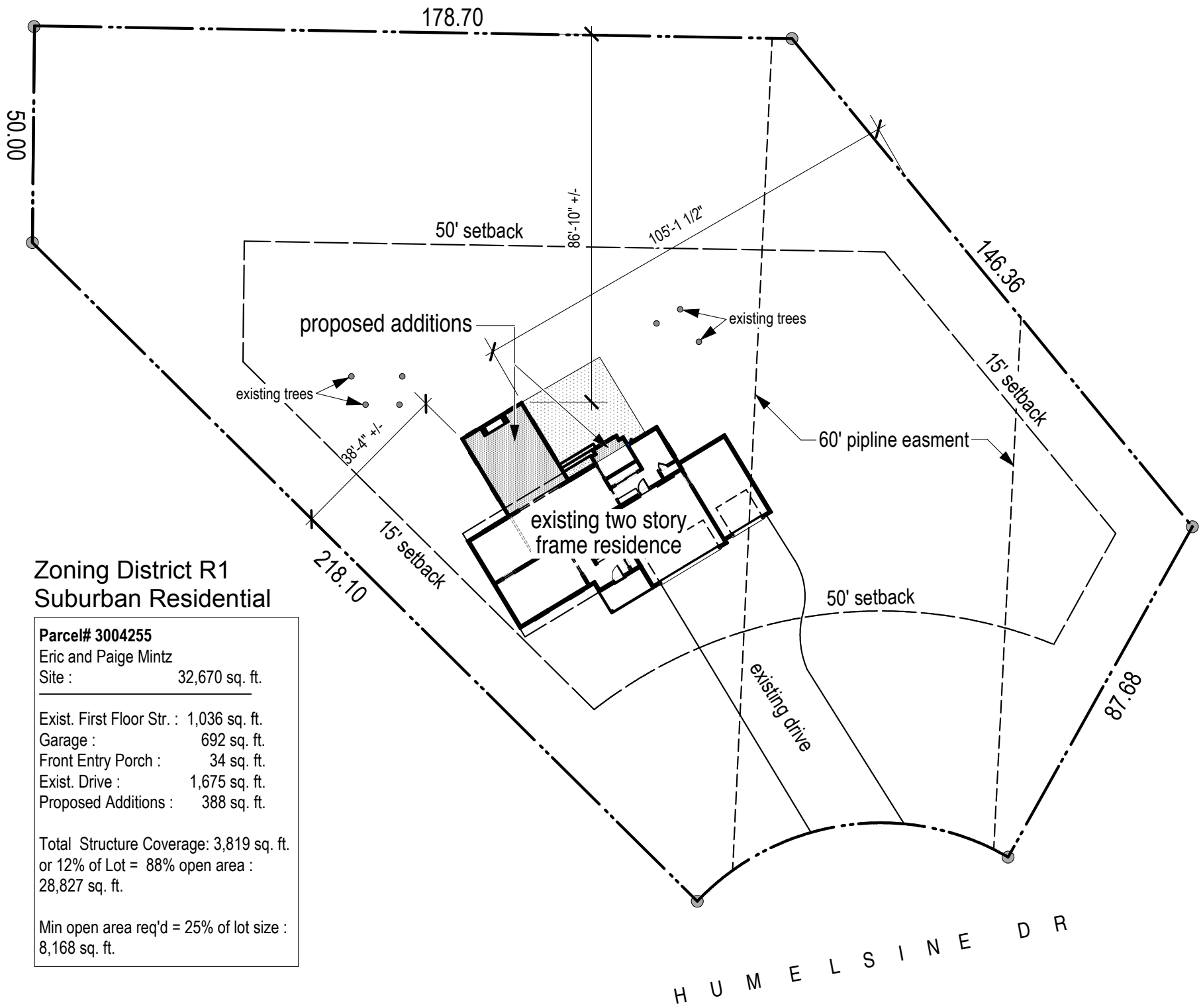
All structural framing members indicated are based on species of lumber that satisfy the span. Contractor to confirm size, spacing and species of all structural members and must verify measurements on job site. Any structural member not indicated on this plan to be sized by contractor.

Builder/contractor to verify bearing conditions at all walls, columns, posts, etc. will carry loads through all levels of structure and terminate to properly sized structural member, foundation and/or footing.

Live loads, dead loads, wind loads and snow loads to be verified before construction by contractor and adjustments and/or made accordingly as necessary. See local building official for load data concerning the particular region.

Mintz Residence

Square Footage (Square Feet)	
Exist. First Floor	1,036 s.f. (Living Only)
Exist. Second Floor	1,322 s.f.
Proposed Additions	388 s.f. (Additions)
Total	2,746 s.f.



Zoning District R1
Suburban Residential

Parcel# 3004255
Eric and Paige Mintz
Site : 32,670 sq. ft.

Exist. First Floor Str. : 1,036 sq. ft.
Garage : 692 sq. ft.
Front Entry Porch : 34 sq. ft.
Exist. Drive : 1,675 sq. ft.
Proposed Additions : 388 sq. ft.

Total Structure Coverage: 3,819 sq. ft.
or 12% of Lot = 88% open area :
28,827 sq. ft.

Min open area req'd = 25% of lot size :
8,166 sq. ft.

site plan

Site plan based on a survey by Cambell & Assoc. Surveyors and Engineers obtained by the Owner on May 5th 2003

scale 1" = 30'-0"

color & finish schedule

	Finish	Color
Siding	New Dbl 9" Vinyl Siding	Alside 'Coastal Gage'
Roof	Asphalt Based Shingles	Match Exist. As Close As Possible
Brick	NA	NA
Stone	NA	NA
Trim/Columns	Wrapped Aluminum	White
Shutters	NA	NA
Soffit	Vented Vinyl	White

baseline structural criteria

Framing Lumber (Minimum): E = 1,600,000 psi Fb = 1200 psi Fv = 90 psi	Live Loads: Roof = 30 psf Floor = 40 psf Ceilings = 20 psf Attic = 30 psf Decks = 50 psf Balconies (Exterior) = 60 psf	Soil Bearing Capacity (Min.): 2500 psf
Microlam (LVL): E = 2,000,000 psi Fb = 2800 psi Fv = 285 psi	Dead Loads: Roof = 15 psf Ceilings = 10 psf Floor = 10 psf	Allowable Deflection: Rafters = L/280 Ceilings = L/360 Floors = L/360 Beams & Headers = L/360 (L = Span Length)
Steel: ASTM A-36 E = 29,000,000 psi Fb = 22 ksi Fv = 14.5 ksi	Concrete: Interior = 3000 psi Exterior = 4000 psi	Truss Data (Min.): Top Chord: LL= 30 psf DL= 15 psf Bottom Chord: LL= 20 psf DL= 10 psf

The above specifications are a suggested baseline and should be verified prior to the commencement of construction. The building contractor should adjust these values as required to meet local codes or building conditions.

bwkdesign

residential design & construction management

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proposed alterations and addition:

Mintz Residence

5674 Humelsine Drive Hudson, Ohio

revisions
ARB/Permit
3/02/2017
Revision 1
4/07/2017

project number

0816

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foundation notes

8" CONCRETE BLOCK WALLS TYP.

8" H. X 16" W. REINF CONCRETE FOOTING
FOR 8" W. CONC. WALLS W/ (2) #5 REBAR CONTINUOUS
VERIFY FOOTING SIZE WITH SOIL CONDITIONS

PROVIDE (1) #4 VERTICAL STEEL REINFORCING BAR
@ 36" O.C. 6" INTO FTG. OR POURED KEY

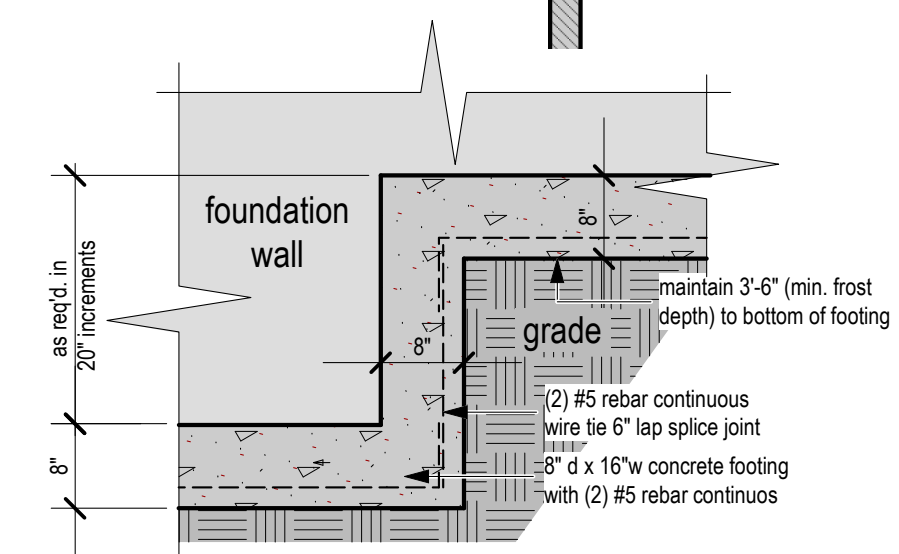
VERIFY ALL FOUNDATION WALL REINFORCING WITH SITE/SOIL
CONDITIONS AND ADJUST AS REQUIRED PER LOCAL CODE

SEE TOPO BY OTHERS FOR ALL GRADES AND SPOT ELEVATIONS

STEP FOOTINGS AS REQ'D TO MAINTAIN 3'-6" MIN. FROST DEPTH
& PROVIDE CONTINUOUS REINFORCED CONC. FOOTINGS AT ALL STEPS

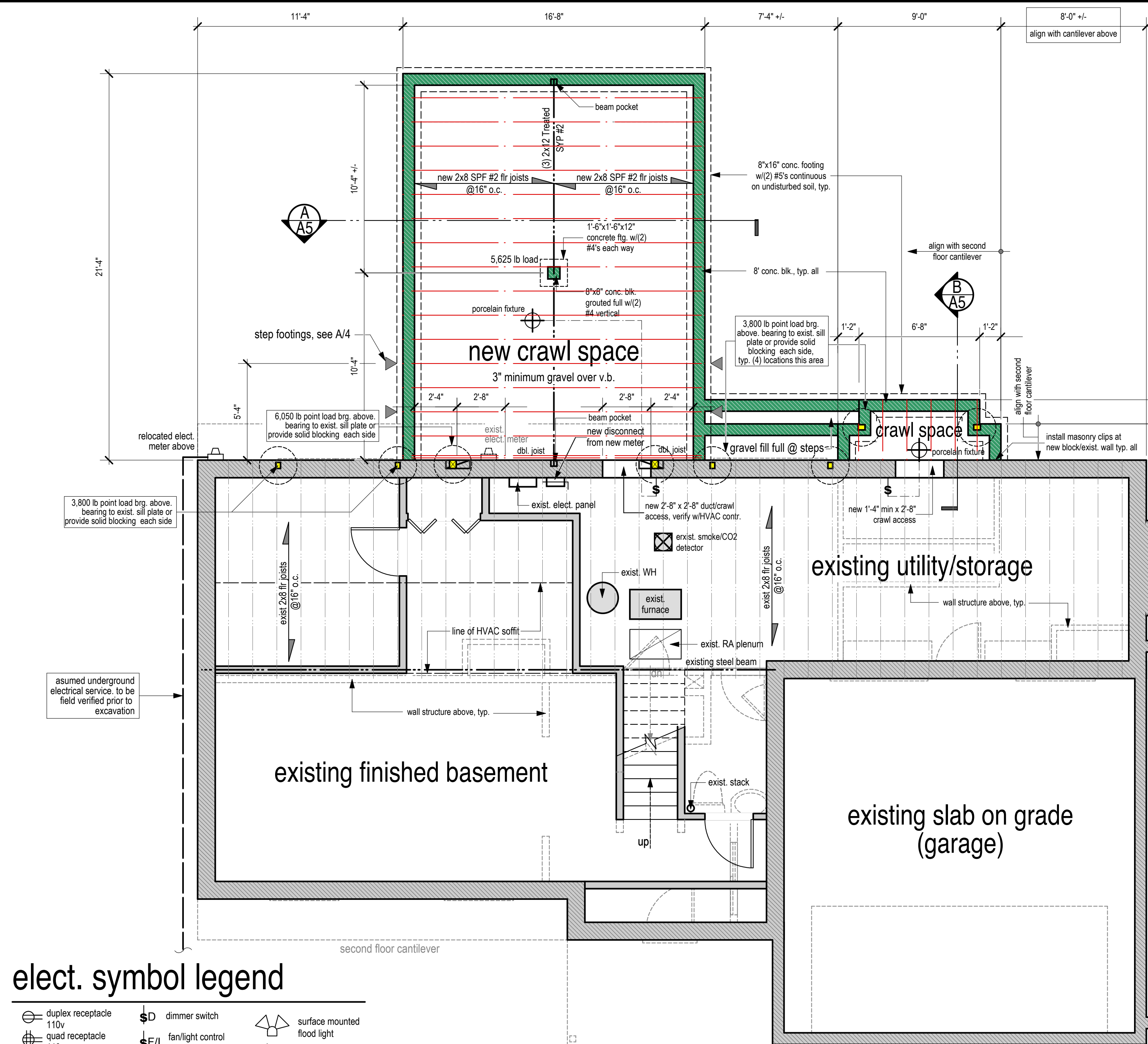
PROVIDE SOLID BLOCKING BETWEEN JOISTS TO FOUND. WALL
OR BEAM UNDER ALL POINT LOADS FROM ABOVE

PROVIDE SIMPSON 'HW' OR EQUAL BEAM HANGERS @ ALL
UPSET WOOD BEAM HANGER CONDITIONS



stepped footing detail

scale 3/4" = 1'-0"
see elevation sheet A4 for profiles



elect. symbol legend

- | | | |
|------------------------------------|----------------------------------|--|
| ⊕ duplex receptacle 110v | \$D dimmer switch | ⬆ surface mounted flood light |
| ⊕ quad receptacle 110v | \$F/L fan/light control switch | ⬆ telephone outlet |
| ⊕ receptacle 220v | ⊠ damp proof exhaust fan/light | ⬆ cable tv outlet |
| ⊕ gfi duplex recept. | ⊠ exhaust fan | ⊠ smoke/CO2 detector w/ battery backup |
| ⊕ floor mounted duplex recept. | ⊠ recessed ceiling light fixture | ⬆ surface mnt LED |
| ⊕ weather proof gfi duplex recept. | ⊕ ceiling mounted light fixture | ⬆ clg. fan/light |
| ⊕ junction box | ⊕ wall mounted light fixture | |
| \$ single pole switch | | |
| \$3 three way switch | | |

foundation plan

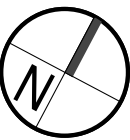
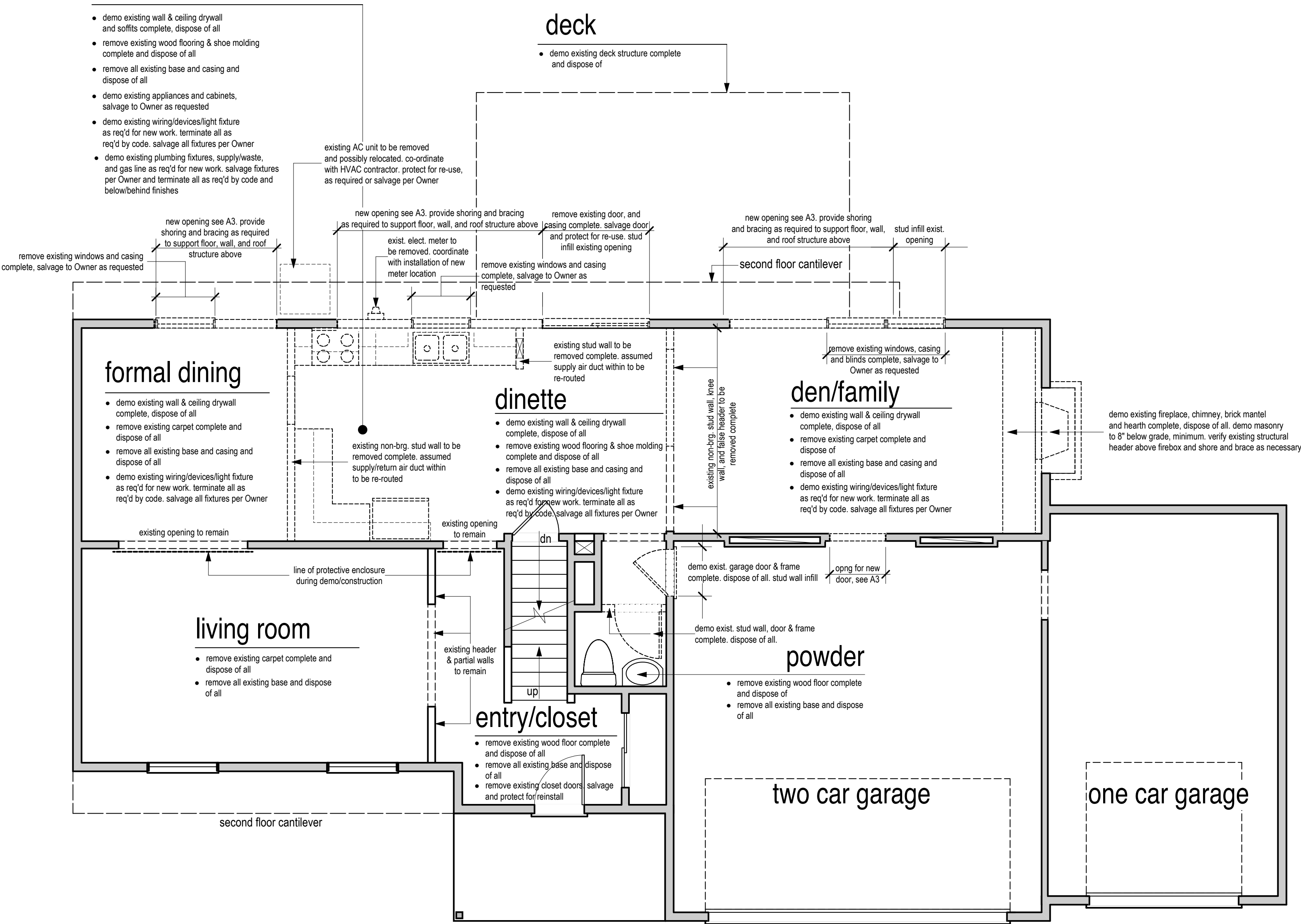
scale 1/4" = 1'-0"

kitchen

- demo existing wall & ceiling drywall and soffits complete, dispose of all
- remove existing wood flooring & shoe molding complete and dispose of all
- remove all existing base and casing and dispose of all
- demo existing appliances and cabinets, salvage to Owner as requested
- demo existing wiring/devices/light fixture as req'd for new work. terminate all as req'd by code. salvage all fixtures per Owner
- demo existing plumbing fixtures, supply/waste, and gas line as req'd for new work. salvage fixtures per Owner and terminate all as req'd by code and below/behind finishes

deck

- demo existing deck structure complete and dispose of



first floor demo plan

scale 1/4" = 1'-0"

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Mintz Residence

5674 Humelsine Drive Hudson, Ohio

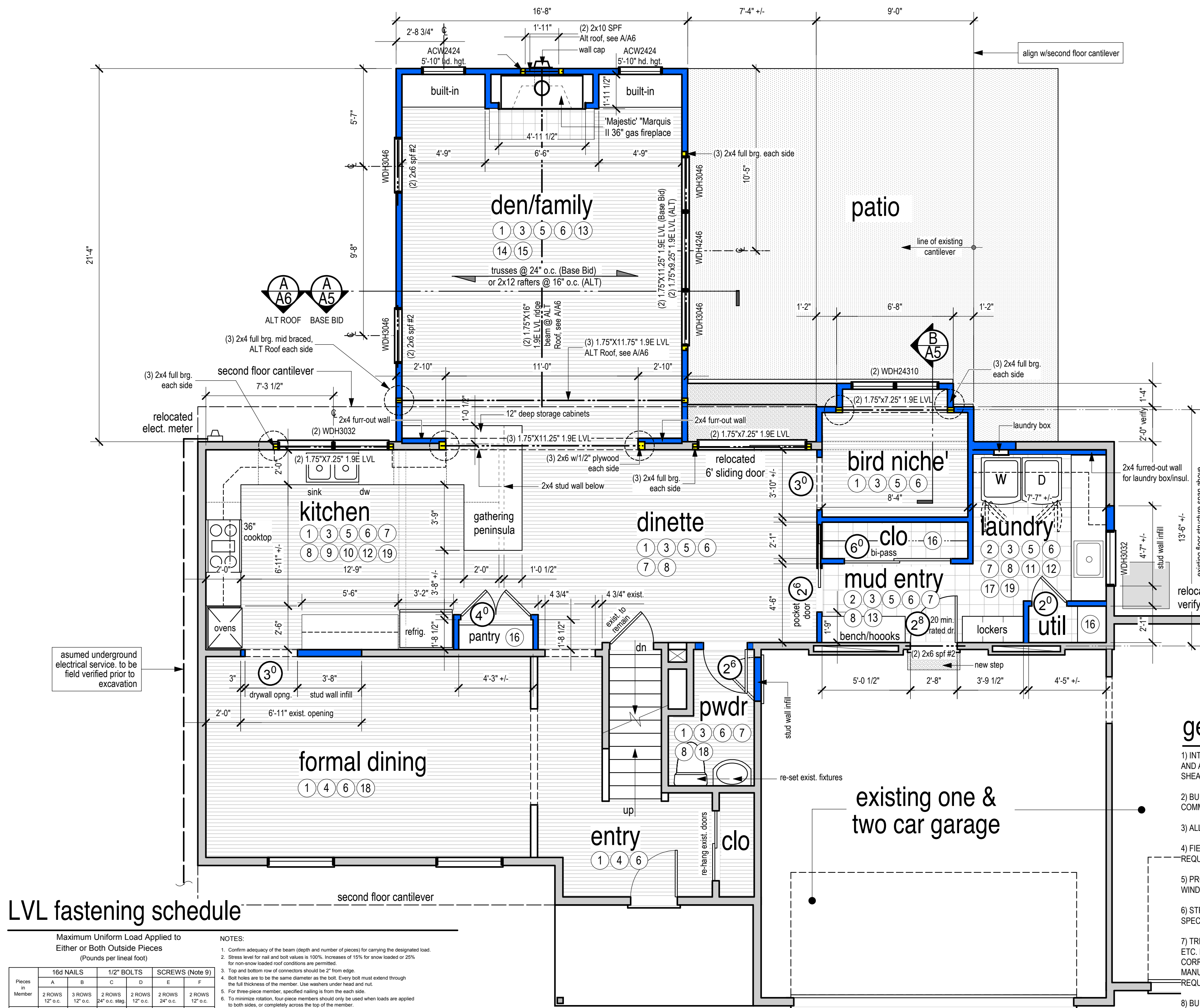
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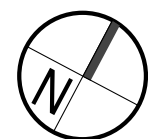
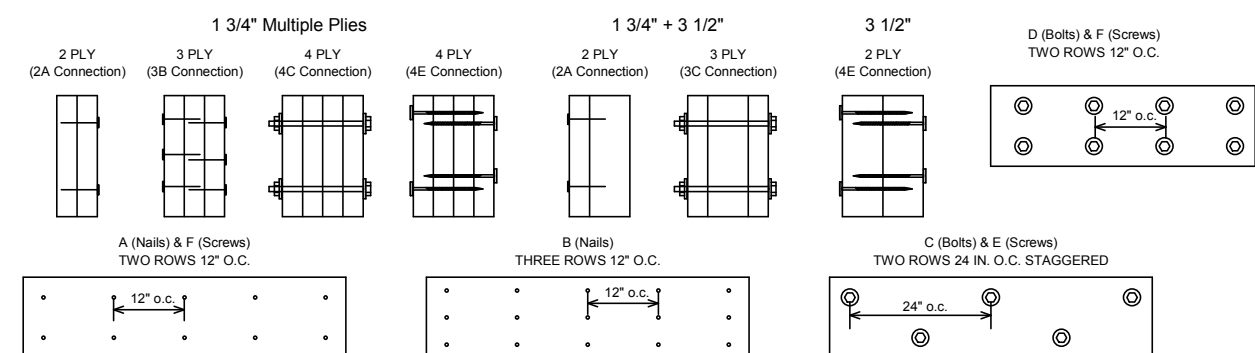
LVL fastening schedule

Maximum Uniform Load Applied to
Either or Both Outside Pieces
(Pounds per lineal foot)

Pieces in Member	16d NAILS				1/2" BOLTS				SCREWS (Note 9)			
	A	B	C	D	E	F	G	H	I	J	K	L
2	505	790	505	1015	500	995						
3	380	570	380	760	375	745						
4	Not Permitted	340	675	330	665							

NOTES:

- Confirm adequacy of the beam (depth and number of pieces) for carrying the designated load.
- Stress level for nail and bolt values is 100%. Increases of 15% for snow loaded or 25% for non-snow loaded roof conditions are permitted.
- Top and bottom row of connectors should be 2" from edge.
- Bolt holes are to be the same diameter as the bolt. Every bolt must extend through the full thickness of the member. Use washers under head and nut.
- For three-piece member, specified nailing is from the each side.
- To minimize rotation, four-piece members should only be used when loads are applied to both sides, or completely across the top of the member.
- Four-piece members must be bolted or attached with 6" screws from both sides.
- Floor joists must be attached with approved metal hangers.
- Screws are USP WS series or Simpson Strong-Tie SDS installed per manufacturer instructions.
- Screws for 3-ply and 4-ply members must be from both sides of beam.



first floor plan

scale 1/4" = 1'-0"

finish notes

- new 2 1/4" strip oak floor, sanded and finished per Allowance by G.C.
- new tile flooring on 3/8" 'durock' substrate per Allowance by G.C.
- new stock painted colonial base and case; match existing. provide and install shoe mold.
- new stock painted colonial base; match existing. provide and install shoe mold.
- new 1/2" gyp. board @ walls and ceiling. smooth textured ceilings or per Owner
- paint all walls and ceiling
- doors to be 'Masonite'/'Craftmaster' 6-panel. all to be solid.
- door hardware per Allowance by G.C.
- kitchen cabinets by Owner. install by G.C.
- kitchen appliances by Owner. install by G.C.
- Laundry cabinets by Owner. install by G.C.
- countertops/backsplash per Allowance by G.C.
- custom built-ins per Allowance by G.C.
- fireplace mantel per Allowance by G.C.
- fireplace hearth & surround per Allowance by G.C.
- shelving/rods per Allowance by G.C.
- washer & dryer by Owner. Install by G.C.
- gyp. bd. patch
- new plumbing fixtures per Allowance by G.C.

general plan notes

- INTERIOR WOOD FRAMED WALLS ARE DIMENSIONED AT 3 1/2" ROUGH AND ALL EXTERIOR WALLS ARE DIMENSIONED TO THE OUTSIDE OF 1/2" SHEATHING UNLESS OTHERWISE NOTED.
- BUILDING CONTRACTOR MUST VERIFY ALL SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL WALL ANGLES ARE 45 DEGREES UNLESS OTHERWISE NOTED.
- FIELD VERIFY ALL WINDOW LOCATIONS & ROUGH OPENINGS AS REQUIRED WITH WINDOW MANUFACTURERS SPECIFICATIONS.
- PROVIDE SAFETY GLASS FOR WINDOW GLAZING < 18" A.F.F. OR ADJUST WINDOW SIZE TYP.
- STRUCTURAL AND FRAMING MEMBERS INDICATED ARE SIZED BASED ON SPECIES OF LUMBER THAT SATISFY THE SPAN.
- TREATED WOOD NOTICE: ALL ANCHORS, CONNECTORS, FASTENERS ETC. MUST BE OF SUITABLE MATERIAL TO RESIST REACTION OR CORROSION WITH THE TREATED LUMBER. CONSULT WITH MANUFACTURER OR MATERIAL SUPPLIER FOR PROPER FASTENERS REQUIRED.
- BUILDING CONTRACTOR TO VERIFY ALL MATERIALS, FINISHES AND SIZES PRIOR TO CONSTRUCTION.
- WINDOW DESIGNATIONS ARE REFERENCED AS 'ANDERSEN' WINDOW NUMBERS
- ALL HEADER SUPPORTS NOT SPECIFICALLY MARKED ARE TO BE (1) 2x4 JACK & (1) 2x4 KING STUD

proposed alterations and addition:

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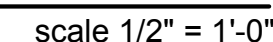
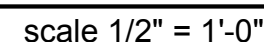
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Hudson, Ohio

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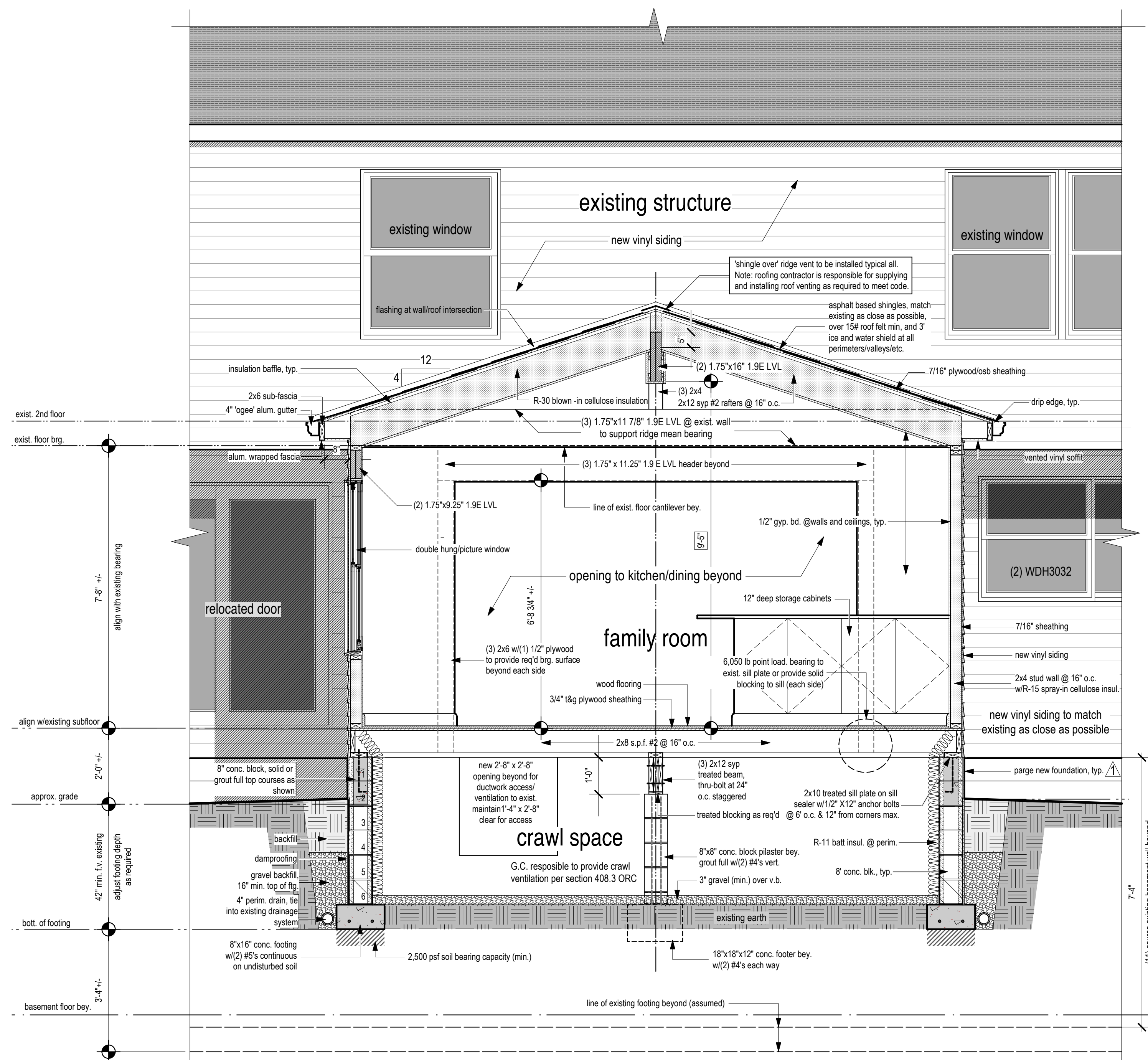
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A building section - ALT roof/clg structure

scale 1/2" = 1'-0"

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electrical notes

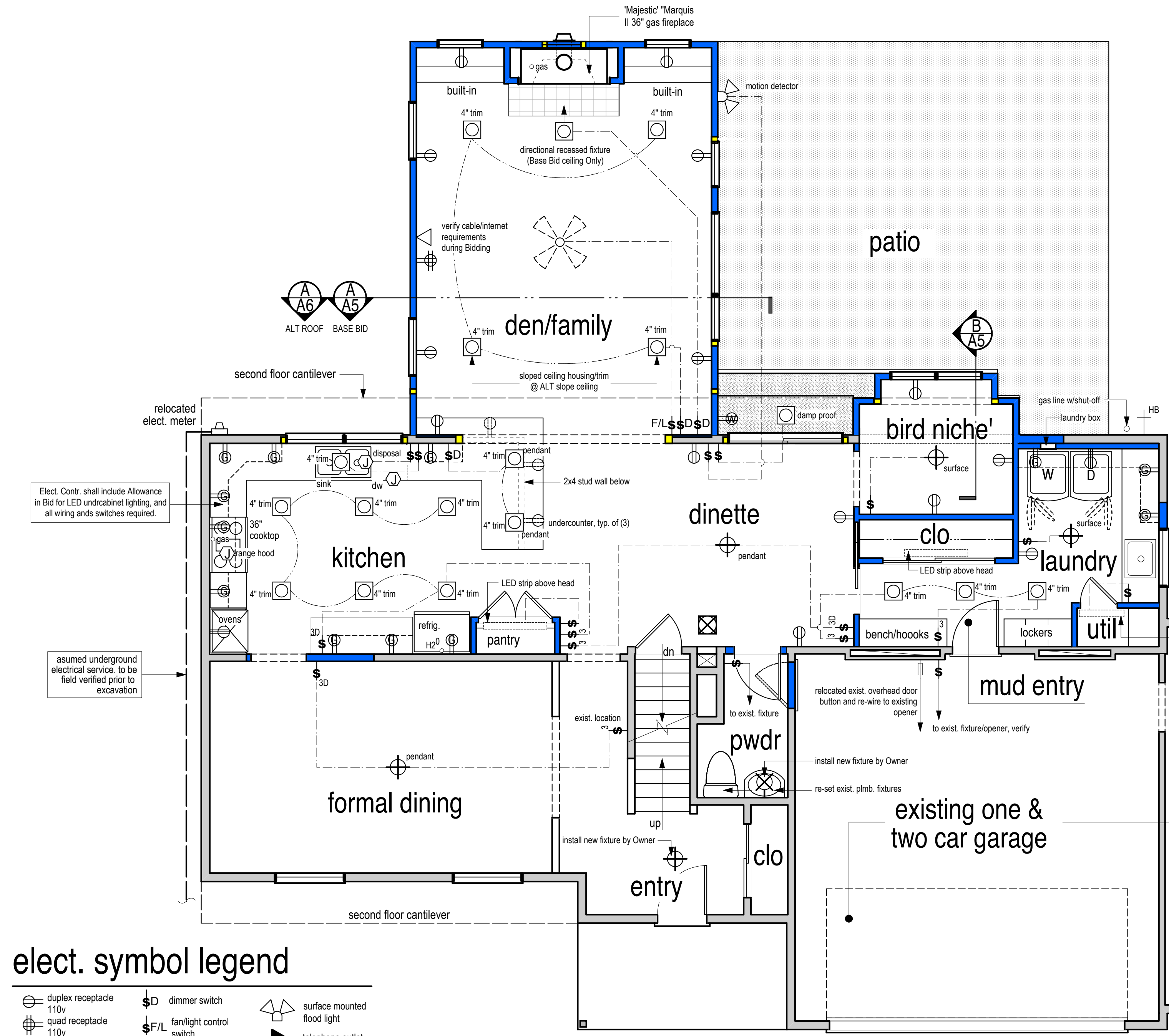
- 1) Electrical Contractor shall be responsible for the purchase of all permits and pay all fees and charges required to complete the work.
- 2) Contractor to design circuitry lay-outs and verify the existing system is adequate to handle the additional loads required for the new work. Contractor shall inform Builder/General Contractor if existing system is not adequate to handle the new electrical loads prior to submitting a Bid for the new work. Subcontractor shall include the additional work necessary to upgrade systems as necessary and include the additional scope of work in their final Bid (remodeling only).
- 3) The electrical drawings are schematic in nature, the Subcontractor shall verify all fixture and device locations in the field with the Owner, General Contractor, and 'bwk design' (If Contracted to do so), as necessary prior to installations.
- 4) Electrical Contractor shall install all connections to all HVAC equipment and Plumbing equipment as required.
- 5) Electrical Contractor shall furnish and install all components, wiring, devices, etc. required for the complete installation of the work.
- 6) Electrical Contractor shall confirm all telephone and cable requirements at time of Bidding and shall provide for the same in Bid.
- 7) Electrical Contractor to furnish and install light fixtures and equipment as noted on the Electrical Schedule, and/or include Allowances in Bid as specified in the Schedule or if Schedule is not included..
- 8) Electrical Contractor shall be responsible for demolition and reworking of all existing fixtures, receptacles, switches, phone jacks, etc. affected by remodeling. Notify Builder/General Contractor of any structural framing demolition required prior to executing work.
- 9) All work shall be in accordance with all applicable local, state, and national codes. The Contractor shall notify the Builder/General Contractor, prior to the submission of the Bid, if the work necessary (as shown or not), constitutes a code violation.

plumbing notes

- 1) Plumbing Contractor shall be responsible for the purchase of all permits and pay all fees and charges required to complete the work.
- 2) All work shall be performed shall be accordance with all applicable local, state, and national codes and regulations.
- 3) Layout is Subcontractors responsibility. Co-ordinate with other trades and Builder/General Contractor as required.
- 4) All fixtures to be equipped with stop valves in accessible locations.
- 5) Provide gas piping and hook-ups for all HVAC equipment, appliances, water heaters, log lighters, etc. Refer to plans for locations and inform/contact the Builder/General Contractor of any discrepancies/verifications prior to submitting Bid.
- 6) Provide and install frost-proof hose bibs in all locations as/iff shown on drawings.
- 7) Plumbing Contractor shall be responsible for all demolition and relocation of existing plumbing drain and supply lines required to complete the work shown. Notify Builder/General Contractor of any structural framing demolition required prior to executing work.

hvac notes

- 1) HVAC Contractor shall be responsible for the purchase of all permits and pay all fees and charges required to complete the work.
- 2) All work shall be performed shall be accordance with all applicable local, state, and national codes and regulations.
- 3) HVAC Contractor to design heating and/or cooling system(s) with Builder/General Contractor, Owner, and 'bwk design' (If Contracted to do so), as necessary for approval prior to starting work. Co-ordinate with other trades and Builder/General Contractor as required.
- 4) HVAC Contractor to supply miscellaneous ductwork that is required to install exhaust fans for Bath fans, cooktop vents, and/or hood vents, ovens, water heaters, laundry chutes, and dryer vents. Verify with General Contractor/Owner prior to submitting Bid. Vent all to outside.
- 5) HVAC Contractor shall be responsible for all demolition and reworking of all existing ductwork, plenums, registers, grilles, etc. as affected and necessary for the new work. Notify Builder/General Contractor of any structural framing demolition required prior to executing work.



elect. symbol legend

- | | | |
|----------------------------------|--------------------------------|--------------------------------------|
| duplex receptacle 110v | dimmer switch | surface mounted flood light |
| quad receptacle 110v | fan/light control switch | telephone outlet |
| receptacle 220v | damp proof exhaust fan/light | cable tv outlet |
| gfi duplex recept. | exhaust fan | smoke/CO2 detector w/ battery backup |
| floor mounted duplex recept. | recessed ceiling light fixture | surface mnt LED |
| weather proof gfi duplex recept. | ceiling mounted light fixture | clg. fan/light |
| junction box | wall mounted light fixture | |
| single pole switch | | |
| three way switch | | |

first floor electrical plan

scale 1/4" = 1'-0"



Front Elevation



North Elevation



