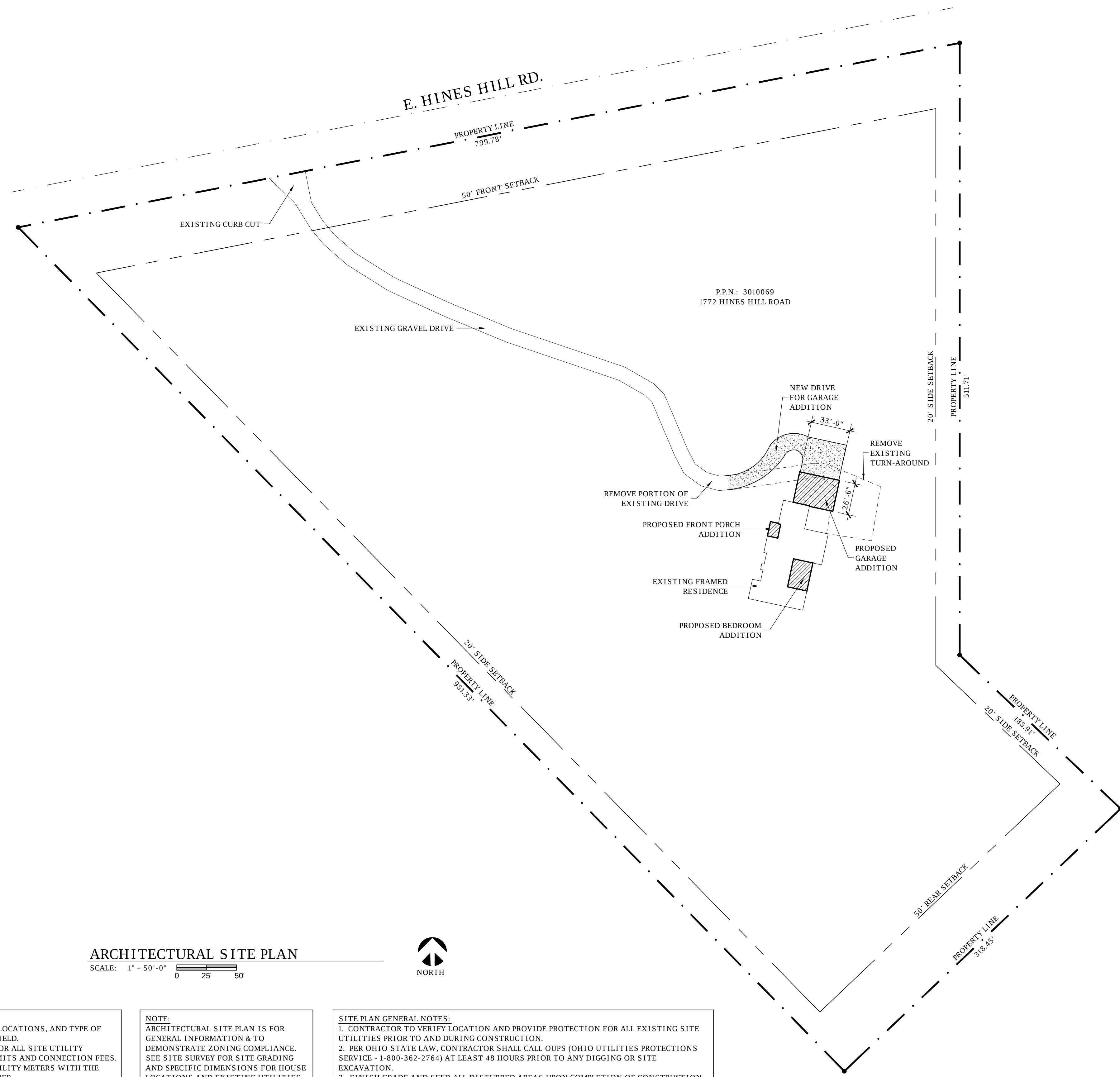


Ridley Renovation

1772 Hines Hill Road
Hudson, Ohio



ARCHITECTURAL SITE PLAN
SCALE: 1" = 50'-0"



SITE UTILITY NOTES:
1. CONTRACTOR TO VERIFY DEPTH, LOCATIONS, AND TYPE OF EXISTING CONNECTIONS IN THE FIELD.
2. CONTRACTOR IS RESPONSIBLE FOR ALL SITE UTILITY CONNECTIONS & ASSOCIATED PERMITS AND CONNECTION FEES.
3. COORDINATE LOCATIONS OF UTILITY METERS WITH THE UTILITY COMPANIES AND THE OWNER.

NOTE:
ARCHITECTURAL SITE PLAN IS FOR GENERAL INFORMATION & TO DEMONSTRATE ZONING COMPLIANCE. SEE SITE SURVEY FOR SITE GRADING AND SPECIFIC DIMENSIONS FOR HOUSE LOCATIONS AND EXISTING UTILITIES.

SITE PLAN GENERAL NOTES:
1. CONTRACTOR TO VERIFY LOCATION AND PROVIDE PROTECTION FOR ALL EXISTING SITE UTILITIES PRIOR TO AND DURING CONSTRUCTION.
2. PER OHIO STATE LAW, CONTRACTOR SHALL CALL OUPS (OHIO UTILITIES PROTECTIONS SERVICE - 1-800-362-2764) AT LEAST 48 HOURS PRIOR TO ANY DIGGING OR SITE EXCAVATION.
3. FINISH GRADE AND SEED ALL DISTURBED AREAS UPON COMPLETION OF CONSTRUCTION.

NOTES:



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Ridley Renovation

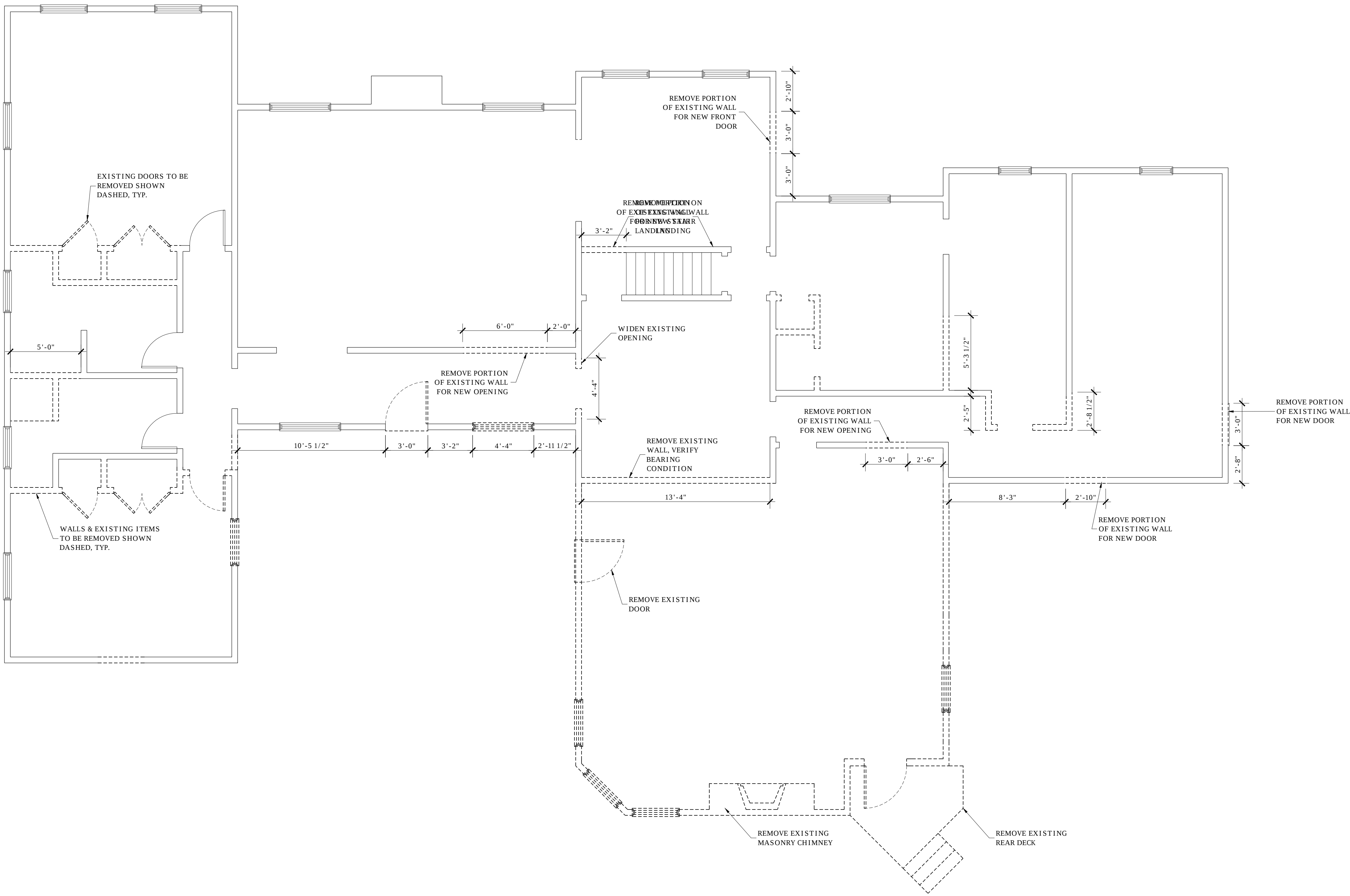
SHEET DESCRIPTION:
ARCHITECTURAL SITE PLAN

ISSUE DATE:
3-14-17 ZONING REVIEW
3-29-17 CLIENT REVIEW
3-30-17 ARCHITECTURE REVIEW

SHEET NUMBER:

AS1.00

17018



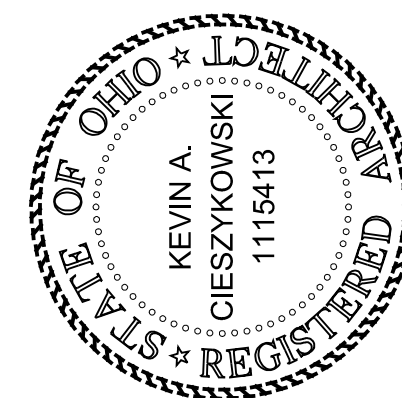
FIRST FLOOR DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

DEMOLITION NOTES:

- SEE FLOOR PLANS FOR EXTEND OF DEMOLITION. COORDINATE DIMENSIONS OF OPENINGS ON PLANS W/ AREAS TO BE DEMOLISHED. SHORE UP ALL STRUCTURAL ELEMENTS BEFORE DEMOLISHING OR REMOVING EQUIPMENT, WALLS, ETC. TO ASSURE A SAFE WORKPLACE.
- PROTECT INTERIOR OF BUILDING FROM WEATHER DAMAGE DURING AND AFTER DEMOLITION HAS BEEN COMPLETED.
- DO NOT REMOVE OR CUT ANY PORTION OF THE STRUCTURE WHICH WOULD RENDER THE BUILDING STRUCTURALLY UNSAFE. CONSULT THE ARCHITECT.
- ALL SHORING TO REMAIN IN PLACE UNTIL NEW STRUCTURE IS IN PLACE.
- REMOVE ALL ELECTRICAL WIRING ASSOCIATED WITH DEMOLISHED WALLS IF ANY IS ENCOUNTERED. DO NOT ALLOW WIRING TO REMAIN LOOSE OR EXPOSED. INCORPORATE WIRING INTO NEW SYSTEM WHERE POSSIBLE.
- ALL WALLS OR ELEMENTS TO BE DEMOLISHED ARE SHOWN WITH A DASHED LINE.
- CONTRACTOR TO NOTIFY ARCHITECT OF UNFORESEEN CONDITIONS BEFORE PROCEEDING WITH THE WORK.
- PLUMBING, ELECTRICAL, AND HVAC CONTRACTORS TO REMOVE AND RELOCATE ALL ITEMS INCLUDING BUT NOT LIMITED TO: CONDUIT, WIRING, DUCTS, PIPING, AND EQUIPMENT WHICH ARE TO BE REUSED AND THAT INTERFERE WITH OR ARE IN THE AREA OF THE DEMOLITION. CUT AND PATCH ALL FLOORS / WALLS, ETC. AS REQUIRED FOR INSTALLATION OF NEW WORK.
- CONTRACTOR TO SEAL OPENINGS WEATHER TIGHT IN EXTERIOR WALLS AND ROOF UNTIL NEW CONSTRUCTION IS IN PLACE.

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1st FLR. DEMO. PLAN

ISSUE DATE:

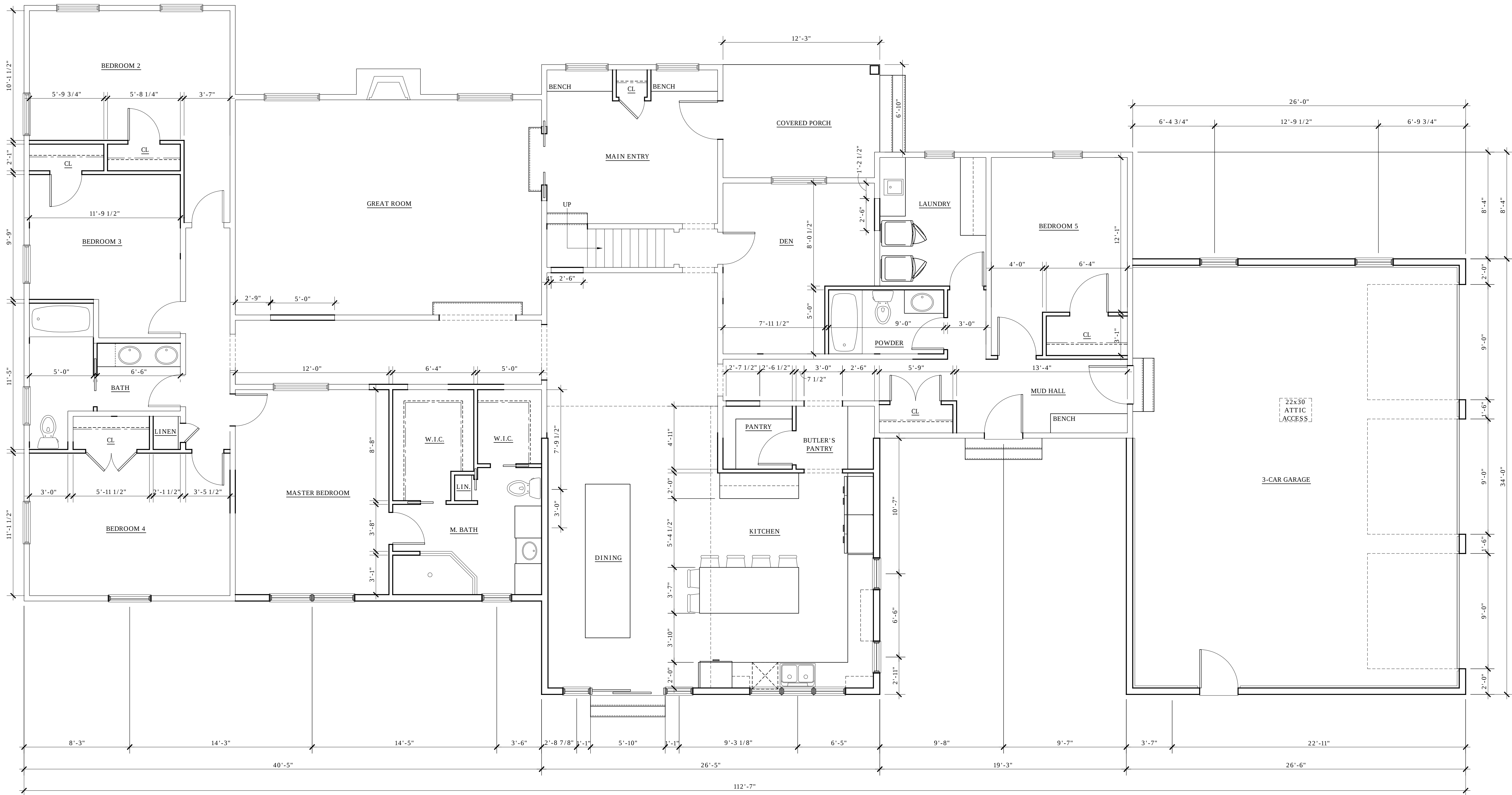
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3-30-17 ARCHITECTURE REVIEW

SHEET NUMBER:

A1.01

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FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

SQUARE FOOTAGE SUMMARY:

•EXISTING RESIDENCE TO BE RENOVATED	2,358 S.F.
•HOUSE ADDITION	988 S.F.
•PORCH ADDITION	107 S.F.
•GARAGE ADDITION	894 S.F.

GENERAL NOTES:

- FIRE STOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES AND BETWEEN STORIES AND ROOF.
- SMOKE DETECTORS SHALL BE INSTALLED INSIDE EACH BEDROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH FLOOR, INCLUDING THE BASEMENT. THE SMOKE DETECTORS SHALL BE HARDWIRED WITH BATTERY BACKUP AND CONNECTED TOGETHER.

FLOOR PLAN LEGEND:

- 2x4 OR 2x6 STUD WALL
- - - STEEL OR WOOD BEAM / HEADER
- S.B. SOLID BEARING DOWN TO FOUNDATION
- ⌘ S.B. SOLID BEARING ABOVE

FRAMING NOTES:

- TRUSS DATA SHEETS & SHOP DRAWINGS WITH AN OHIO REGISTERED ENGINEER'S STAMP MUST BE PROVIDED AT FRAMING INSPECTION.
- PROVIDE SOLID BEARING DOWN TO FOUNDATION AT ALL TRUSS AND BEAM BEARING LOCATIONS.
- DOUBLE FLOOR JOISTS AROUND STAIR OPENINGS AND UNDER ALL WALLS PARALLEL TO FLOOR JOISTS.
- INSTALL BLOCKING ALONG PARALLEL WALLS IN FLOOR JOISTS.

TEMPERED GLAZING:

- ALL GLAZING IN THE FOLLOWING LOCATIONS SHALL BE TEMPERED:
 - GLAZING IN SWINGING, SLIDING OR FIXED DOORS, INCLUDING FIXED PANELS AND SIDE LITES.
 - GLAZING FOR DOORS AND SURROUNDS OF WHIRLPOOLS, TUBS AND SHOWERS.
 - GLAZING WITHIN 24" OF ANY DOOR IN THE CLOSED POSITION.
 - GLAZING WITHIN 18" OF THE FINISH FLOOR.
 - GLAZING ADJACENT TO TUBS AND SHOWERS.

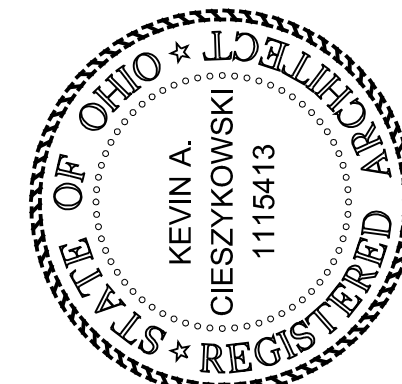
PLUMBING NOTE:

- ALL WASTE STACKS SHALL BE PVC PIPING. ALL WALL, FLOOR & CEILING CAVITIES BETWEEN THE STUDS & JOISTS WHERE THESE STACKS & VENTS OCCUR SHALL BE INSULATED WITH SOUND ATTENUATION BATTS.

FLOOR PLAN NOTES:

- ALL DIMENSIONS ARE TO THE OUTSIDE FACE OF SHEATHING OR ROUGH FRAMING UNLESS NOTED OTHERWISE. ALL DIMENSIONS TO STRUCTURAL POSTS ARE TO POST CENTERLINE.
- ALL DOORS SHALL BE 6" FROM ADJACENT WALLS UNLESS NOTED OTHERWISE. CLOSET DOORS TO BE CENTERED IN CLOSET UNLESS NOTED OTHERWISE.
- PROVIDE SOLID BEARING BETWEEN THE FLOOR JOISTS FROM THE TOP OF THE SILL PLATE AND/OR BEAM TOP PLATE TO THE UNDERSIDE OF THE SUBFLOOR AT EACH BEARING LOCATION.
- DOUBLE FLOOR JOISTS UNDER PARALLEL PARTITION WALLS ABOVE, TYPICAL. ALSO DOUBLE JOISTS UNDER PERPENDICULAR WALLS BETWEEN THE JOISTS WHERE POINT LOADS OCCUR.
- PROVIDE MIN. (2)x2x STUDS AS SOLID BEARING (S.B.) AT EACH STRUCTURAL HEADER END OR POINT LOAD BEARING LOCATION.
- PROVIDE SOUND ATTENUATION BATTING INSULATION AT THE PERIMETER WALLS OF ALL THE BATHROOMS AND THE LAUNDRY.
- ALL EXTERIOR WALLS ON THE MAIN HOUSE ARE TO BE 2x6 STUDS @ 16" O.C.
- FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF AL CONCEALED DRAFT OPENINGS (VERTICAL & HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES AND BETWEEN STORIES AND ROOF.
- SMOKE DETECTORS SHALL BE INSTALLED INSIDE EACH BEDROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH FLOOR, INCLUDING THE BASEMENT. THE SMOKE DETECTORS SHALL BE HARDWIRED WITH BATTERY BACKUP.

NOTES:



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FIRST FLOOR PLAN

ISSUE DATE:

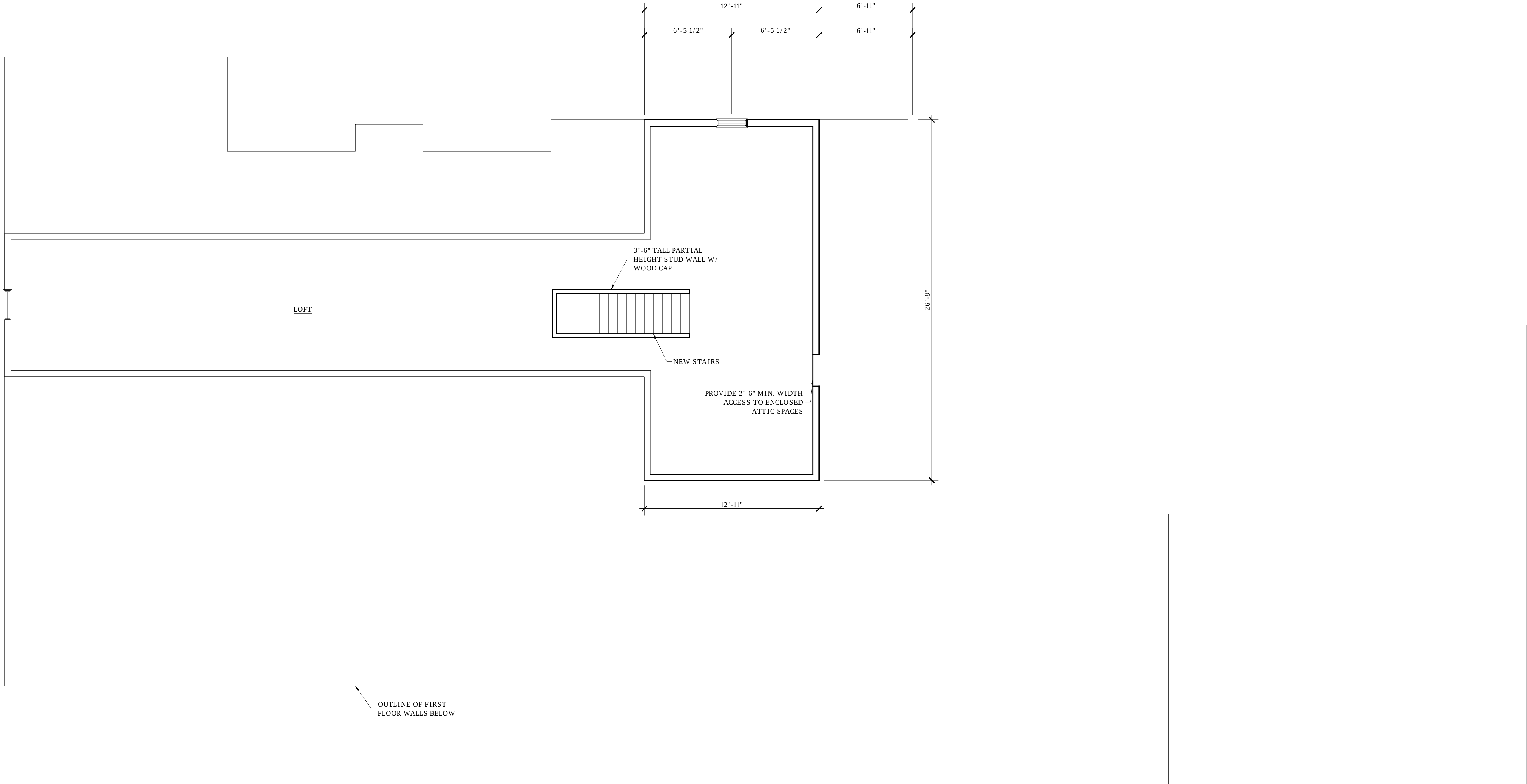
3-14-17	ZONING REVIEW
3-29-17	CLIENT REVIEW
3-30-17	ARCHITECTURE REVIEW

SHEET NUMBER:

A2.01

17018

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SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



SQUARE FOOTAGE SUMMARY:

• EXISTING RESIDENCE TO BE RENOVATED	2,358 S.F.
• HOUSE ADDITION	988 S.F.
• PORCH ADDITION	107 S.F.
• GARAGE ADDITION	894 S.F.

GENERAL NOTES:

- FIRE STOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES AND BETWEEN STORIES AND ROOF.
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FLOOR PLAN LEGEND:

- 2x4 OR 2x6 STUD WALL
- - - STEEL OR WOOD BEAM / HEADER
- S.B. SOLID BEARING DOWN TO FOUNDATION
- ⌘ S.B. SOLID BEARING ABOVE

FRAMING NOTES:

- TRUSS DATA SHEETS & SHOP DRAWINGS WITH AN OHIO REGISTERED ENGINEER'S STAMP MUST BE PROVIDED AT FRAMING INSPECTION.
- PROVIDE SOLID BEARING DOWN TO FOUNDATION AT ALL TRUSS AND BEAM BEARING LOCATIONS.
- DOUBLE FLOOR JOISTS AROUND STAIR OPENINGS AND UNDER ALL WALLS PARALLEL TO FLOOR JOISTS.
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TEMPERED GLAZING:

- ALL GLAZING IN THE FOLLOWING LOCATIONS SHALL BE TEMPERED:
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- GLAZING WITHIN 24" OF ANY DOOR IN THE CLOSED POSITION.
- GLAZING WITHIN 18" OF THE FINISH FLOOR.
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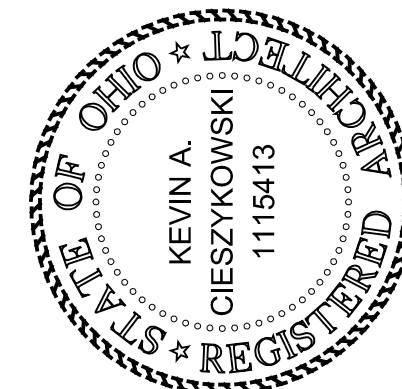
PLUMBING NOTE:

- ALL WASTE STACKS SHALL BE PVC PIPING. ALL WALL, FLOOR & CEILING CAVITIES BETWEEN THE STUDS & JOISTS WHERE THESE STACKS & VENTS OCCUR SHALL BE INSULATED WITH SOUND ATTENUATION BATTS.

FLOOR PLAN NOTES:

- ALL DIMENSIONS ARE TO THE OUTSIDE FACE OF SHEATHING OR ROUGH FRAMING UNLESS NOTED OTHERWISE. ALL DIMENSIONS TO STRUCTURAL POSTS ARE TO POST CENTERLINE.
- ALL DOORS SHALL BE 6" FROM ADJACENT WALLS UNLESS NOTED OTHERWISE. CLOSET DOORS TO BE CENTERED IN CLOSET UNLESS NOTED OTHERWISE.
- PROVIDE SOLID BEARING BETWEEN THE FLOOR JOISTS FROM THE TOP OF THE SILL PLATE AND/OR BEAM TOP PLATE TO THE UNDERSIDE OF THE SUBFLOOR AT EACH BEARING LOCATION.
- DOUBLE FLOOR JOISTS UNDER PARALLEL PARTITION WALLS ABOVE, TYPICAL. ALSO DOUBLE JOISTS UNDER PERPENDICULAR WALLS BETWEEN THE JOISTS WHERE POINT LOADS OCCUR.
- PROVIDE MIN. (2)x STUDS AS SOLID BEARING (S.B.) AT EACH STRUCTURAL HEADER END OR POINT LOAD BEARING LOCATION.
- PROVIDE SOUND ATTENUATION BATTING INSULATION AT THE PERIMETER WALLS OF ALL THE BATHROOMS AND THE LAUNDRY.
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SHEET DESCRIPTION:

SECOND FLOOR PLAN

ISSUE DATE:

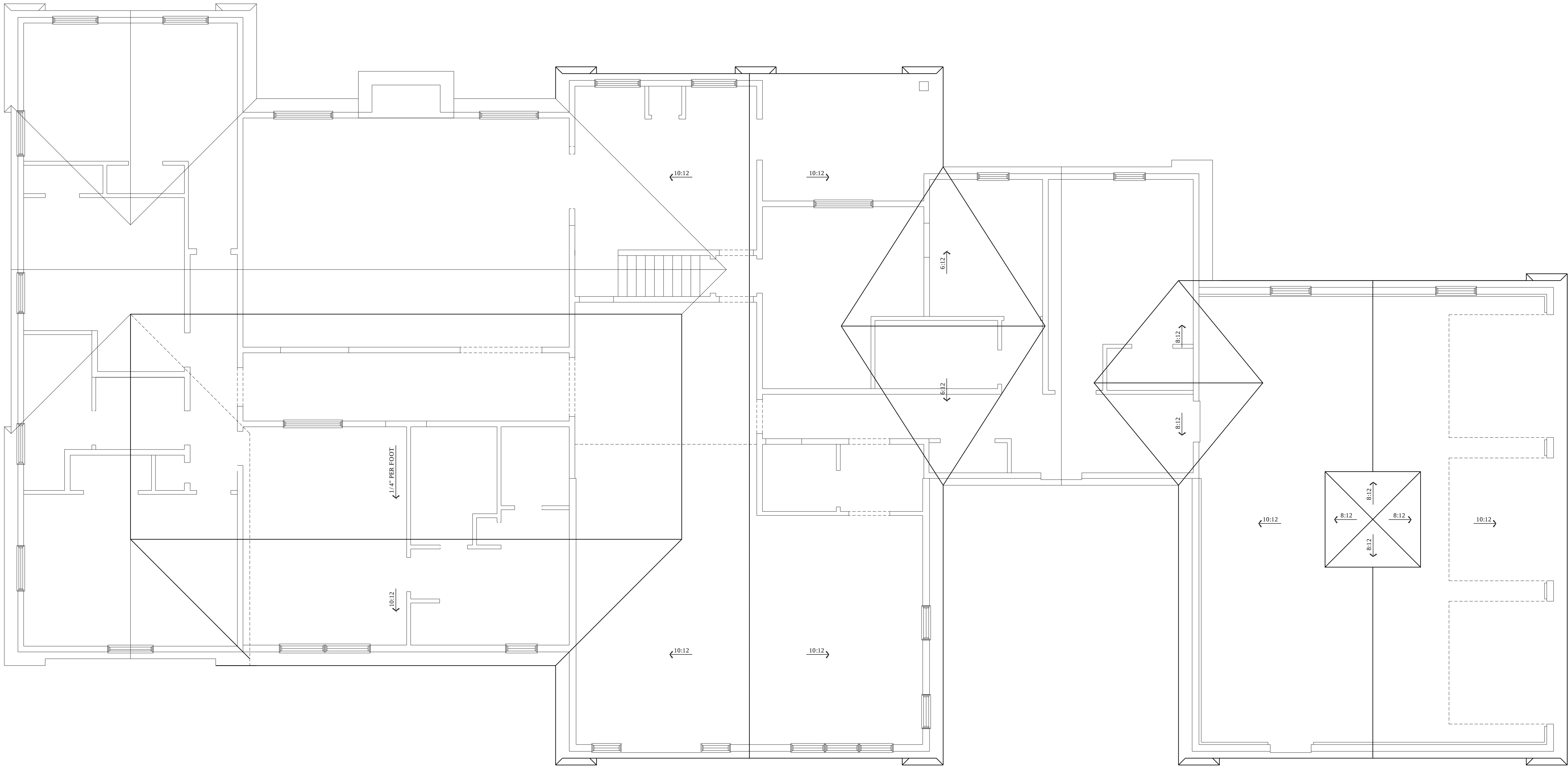
3-14-17	ZONING REVIEW
3-29-17	CLIENT REVIEW
3-30-17	ARCHITECTURE REVIEW

SHEET NUMBER:

A2.02

17018

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ROOF PLAN
SCALE: 1/4" = 1'-0"

ROOF PLAN LEGEND:

- STRUCTURAL MEMBER
- SOLID BEARING
- DOWNSPOUT
- ▨ OVERBUILT ROOF FRAMING

OVERLAY FRAMING

0'-0" - 6'-0" SPAN: 2x4 @ 24" O.C.
6'-0" - 9'-0" SPAN: 2x6 @ 24" O.C.
9'-0" - 12'-0" SPAN: 2x8 @ 24" O.C.
12'-0" - 15'-0" SPAN: 2x10 @ 24" O.C.
15'-0" - 18'-0" SPAN: 2x12 @ 24" O.C.

FRAMING NOTES:

- DESIGN SNOW LOAD IS 30 PSF.
- TRUSS DATA SHEETS & SHOP DRAWINGS WITH AN OHIO REGISTERED ENGINEER'S STAMP MUST BE PROVIDED AT FRAMING INSPECTION.
- PROVIDE SOLID BEARING DOWN TO FOUNDATION AT ALL TRUSS AND BEAM BEARING LOCATIONS.
- DOUBLE FLOOR JOISTS AROUND STAIR OPENINGS AND UNDER ALL WALLS PARALLEL TO FLOOR JOISTS.

ICE & WATER SHIELD NOTE:

- INSTALL ICE & WATER SHIELD AT:
- ALL VALLEYS AND ROOF PENETRATIONS.
 - 3'-0" HORIZONTALLY EXTENDING FROM THE BOTTOM EDGE OF THE ROOF.
 - WHERE ROOF PLANES INTERSECT VERTICAL WALLS (18" MIN. UP WALL AND ONTO ROOF).
 - AT ALL ROOF AREAS WITH A PITCH LESS THAN 3.5:12.

ROOF PLAN NOTES:

- CONTRACTOR TO DETERMINE THE NUMBER, SIZE AND LOCATION OF DOWNSPOUTS PER APPLICABLE CODES FOR PROPER ROOF DRAINAGE.
- PROVIDE CRICKETS AS NECESSARY FOR PROPER WATER DRAINAGE.



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ROOF PLAN

ISSUE DATE:

3-14-17	ZONING REVIEW
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3-30-17	ARCHITECTURE REVIEW

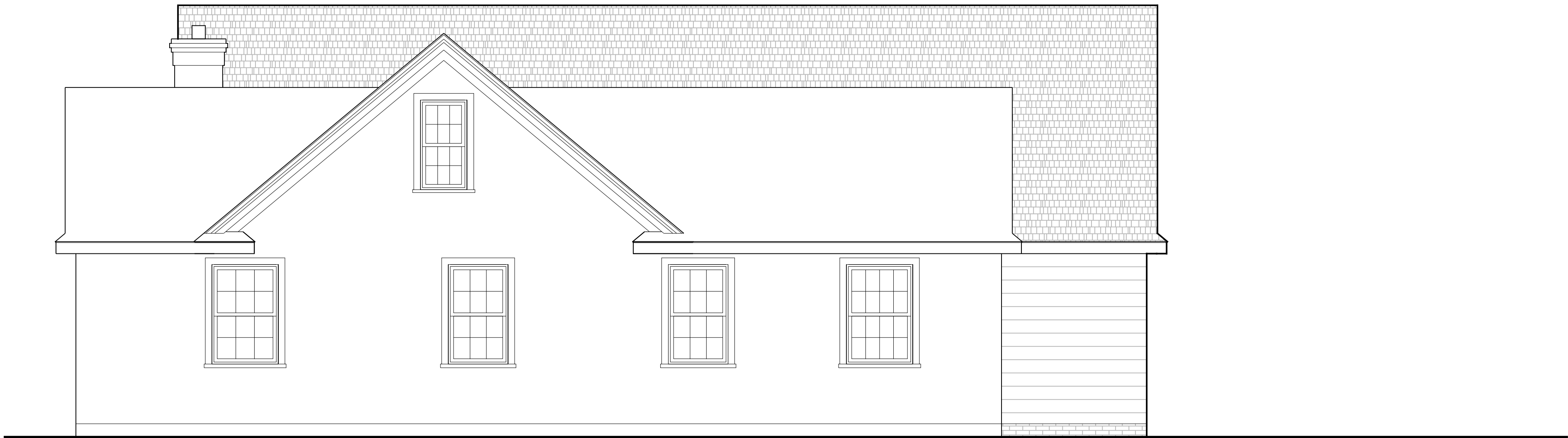
SHEET NUMBER:

A2.03

17018



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



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EXTERIOR ELEVATIONS

ISSUE DATE:

3-14-17	ZONING REVIEW
3-29-17	CLIENT REVIEW
3-30-17	ARCHITECTURE REVIEW

SHEET NUMBER:

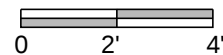
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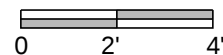
REAR ELEVATION

SCALE: 1/4" = 1'-0"

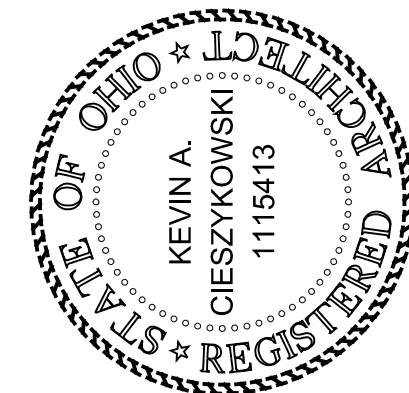


LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



NOTES:



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SHEET DESCRIPTION:

EXTERIOR ELEVATIONS

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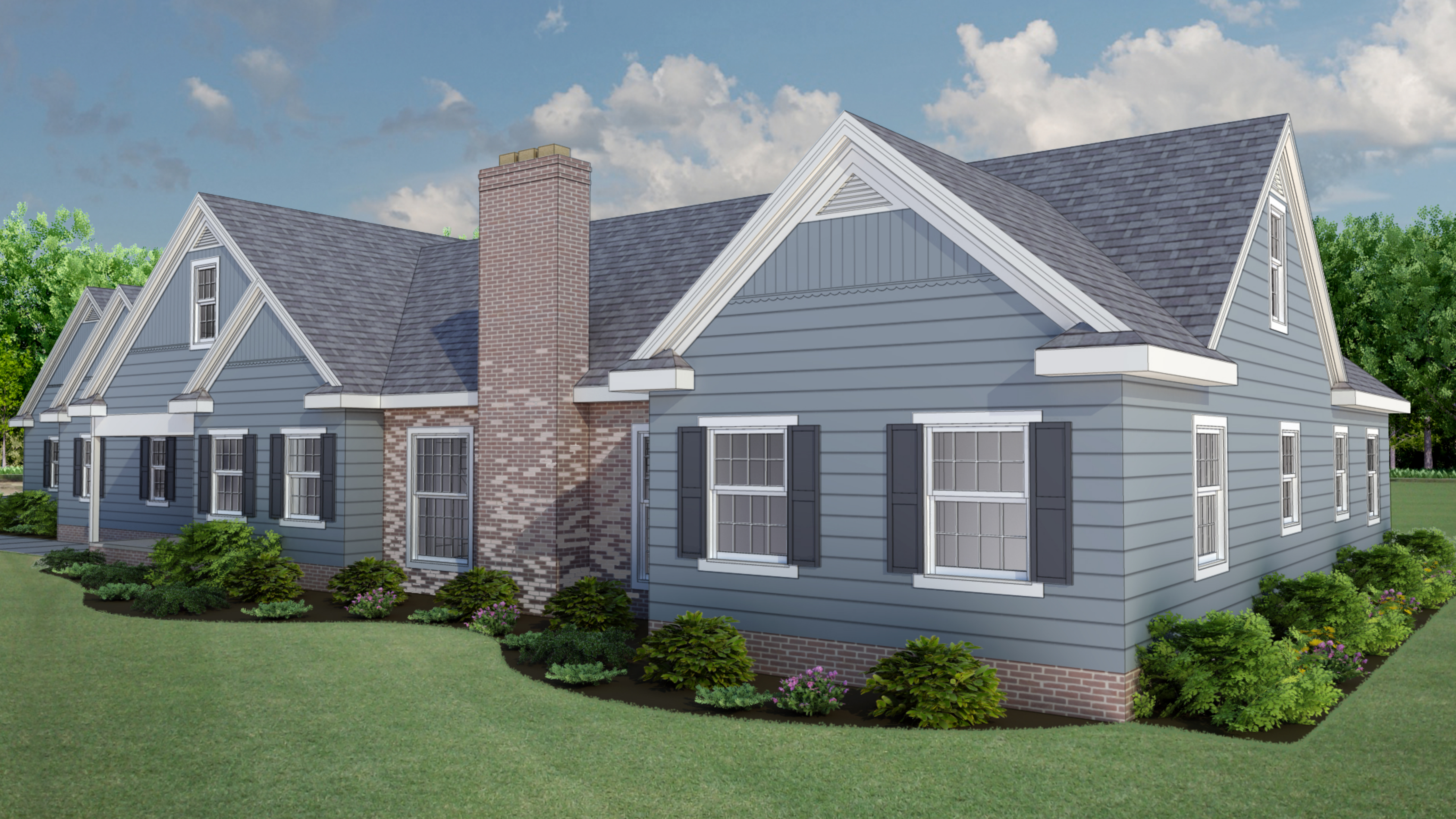
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A3.01

17018

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1772 East Hines Hill Road, Hudson, Ohio



C.H. 115, R/W 60')

MAG NAIL FOUND

30.59'

N 79°06'40" E 799.78'

50' FRONT SETBACK

0.5425 acres in Road R/W
8.8872 acres total

1.P. SET

20' SIDE SET BACK

511.71'

S 00°21'30"W

RAY AUTHUR DALTON
R.N. 54315929

PARCEL B

20' SIDE SET BACK

N 43°35'58" W

951.33'

987.11'

PARCEL A

LOT 84

LOT 74

3/4" P.T. FD.

LOT 85

LOT 75

S 43°48'54" E 185.90'

3/4" O.T. FD.

DAVID & KARIN R. JANOTKA
R.N. 54368013

THE ABOVE PARCEL "A" AND PARCEL "B" WHICH ARE
OWNED BY JOHN W. & BARBARA M. CARTER SHALL
NOT BE SOLD SEPERATELY THEREFORE.

BILL & BARABARA R. NOBLEY
OR 2239 PAGE 423

5/8" O.T. FD.

50' REAR SET BACK

S 46°16'59" W 318.45'

RICHARD & BARABARA MALSON
VOL. 5690 PAGE 647

CONSOLIDATION

OWNERS:

JOHN W. & BARABARA M CARTER

1772 HINES HILL ROAD

HUDSON, OHIO 44236

PART OF O.L. 74,75 AND 84

HUDSON TOWNSHIP, NOW

THE CITY OF HUDSON

COUNTY OF SUMMIT

STATE OF OHIO

SCALE: 1" = 100'

HINES HILL ROAD

T.P.O.B.

5/8" REBAR FD.

510.62'

P.O.B.

5/8" REBAR FD.

VALLEYVIEW ROAD
(S.R. 631, RW 60')

MARGARET MARY FLYNN
FLYNN FAMILY TRUST
R.N. 55671244

NORTH

APPROVED BY:

CITY OF HUDSON ENGINEER

CITY OF HUDSON MANAGER

THOMAS J. SHERIDAN P.E., P.S. DATE

JANE HOWINGTON DATE

PERPARED BY:

Glen A. Gibson 12-14-14
GLEN A. GIBSON P.S. NO. 7107 DATE
1037 LINDSAY AVE. AKRON, OHIO 44306

BASIS OF BEARING THE CENTERLINE
OF HINES HILL ROAD PER DEED 55671244
SUMMIT COUNTY RECORD OFFICE

