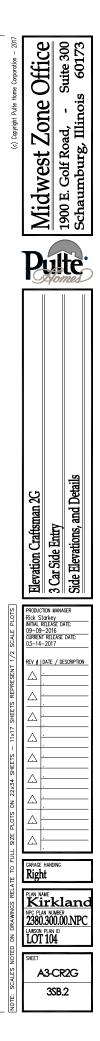


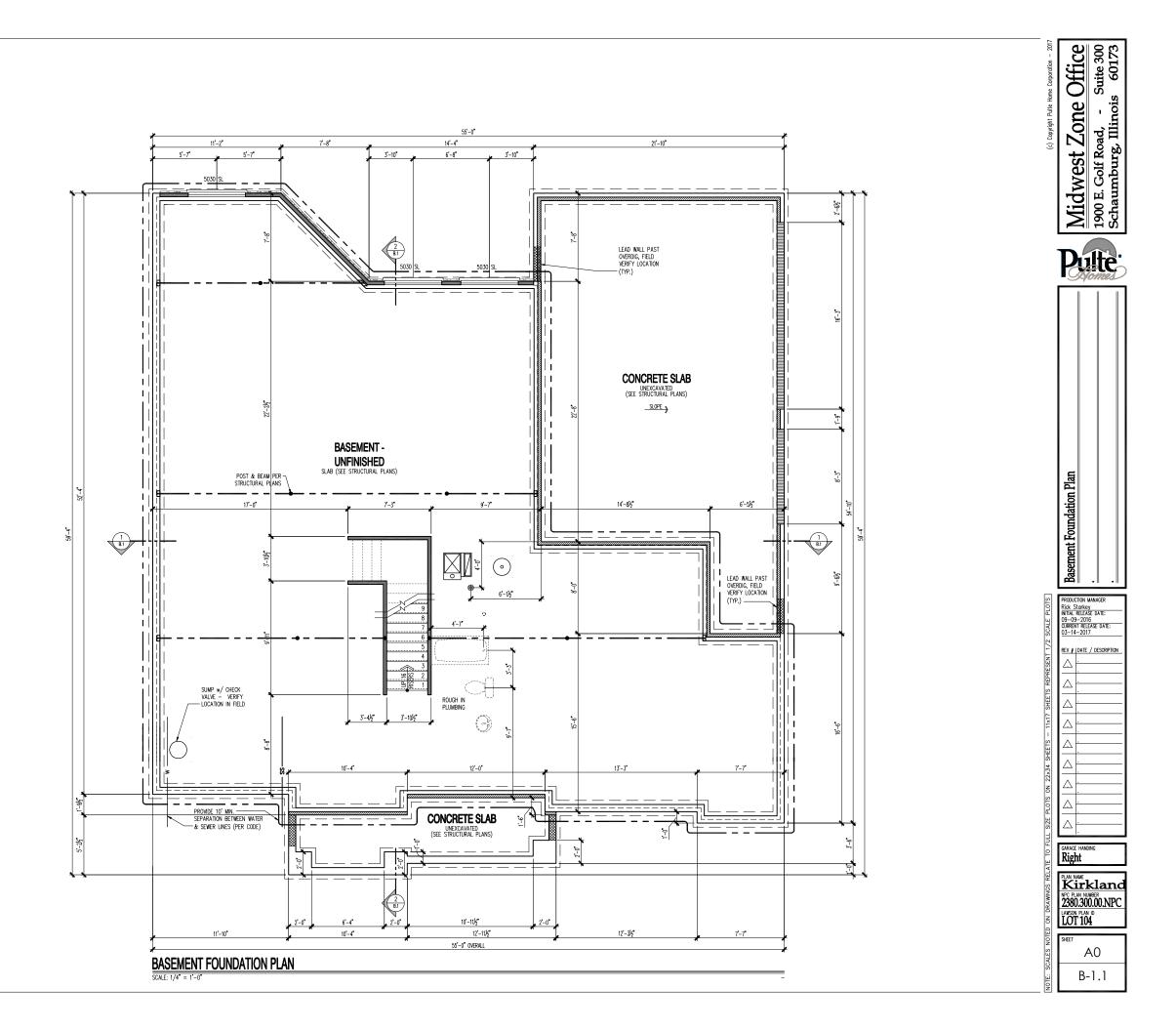
ATTIC VENT SCHEDULE									
TILATION REQUIRED AND SUPPLIED IS BASED ON POT VENT VALUES AND REDGE VENT VALUES SHOWN IN TABLE ABOVE ONTRA-CIOSE INSTALLING VENTILATION ARE RESPONDENCE FOR VERFITING THAT VENTIL SUPPLY VENTILATION TO MEET CODE REQUIREMENTS THOLIE HAS BEEN CALCULATED SUBMICES FOR VENTILATION AT 50 SAVE, OF TOTAL MEET RESCH AVAGORE FOTAL REQUIRED VENTILATION									
ELEVATION CR2G									
ROOF AREA "A" SQ FTG 2275					AT / NEAR RIDGE			AT / NEAR EAVE	
NT TYPE	SQ. FT. TYPE REQUIRED		SQ. FT.	PERCENT OF TOTAL	POT LARGE	POT SMALL (SQLIN EACH)	RIDGE VENT (SQ. N. PER (J)	EAVE VENT	CONT. VENT
		IGE	SUPPLIED	SUPPLIED	61.00	40.00	18.00	28.00	10.00
H - POT ITS ONLY	3.03	3.79	3.81	47.78	9	0			
AVE	4.55	3.79	4.17	52.22				0	60.00
L (MIN)	7.58	7.58	7.98	100.00					
H - SE VENT	3.03	3.79	3.50	45.65	0	0	28.00		
AVE	4.55	3.79	4.17	54.35				0	60.00
L (MIN)	7.58	7.58	7.67	100.00	ADDITIONAL POT VENTS MAY BE REQUIRED F THERE IS INSUFFICENT RDGE AVAILABLE				
ROOF AREA "B"		SQ FTG	658	AT / NEAR RIDGE AT / NEAR EAV		AR EAVE			
		. FT. JIRED	SQ. FT.	PERCENT OF TOTAL	POT LARGE	POT SMALL (SQ. IN: EACH)	RIDGE VENT (SQ. N. PER LF)	EAVE VENT (SQ. IN. EACH)	CONT. VENT
	RANGE		SUPPLIED	SUPPLIED	61.00	40.00	18.00	28.00	10.00
H - POT ITS ONLY	0.88	1.10	1.27	47.78	3	0			
AVE	1.32	1.10	1.39	52.22				0	20.00
L (MIN)	2.19	2.19	2.66	100.00					
H - SE VENT	0.88	1.10	0.00	******	0	0	0.00		
AVE	1.32	1.10	0.00	****				0	0.00
L (MIN)	2.19	2.19	0.00	######	ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE				



FOUNDATION NOTES

GENERAL SPECIFICATIONS

- WHERE DISCREPANCIES BETWEEN SOLS REPORT AND STRUCTURAL DRAWINGS OCCUR, CONTACT THE STRUCTURAL ENGINEER
 PINISH GRADE SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE.
 SURFACE WATER TO DRAIN AWAY FROM STRUCTURE. THE GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST TO FEET (2% FOR IMPERMOUS SURFACES)IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES.
- LOCAL CODES. 4. GARAGE SLAB SHALL SLOPE A MIN. OF 2" AWAY FROM STRUCTURE. 5. CORCRETE STOOPS AND PORCH/PATIO SLABS SHALL SLOPE A MIN. OF 1/4" PER FOOT AWAY FROM STRUCTURE. 6. PROVIDE DEARING LEDGE FOR MASORIPY AS INDICATED BY STRUCTURAL DRAWINGS. 7. FOR ADDITIONAL INFORMATION SEE STRUCTURAL DRAWINGS AND NOTES

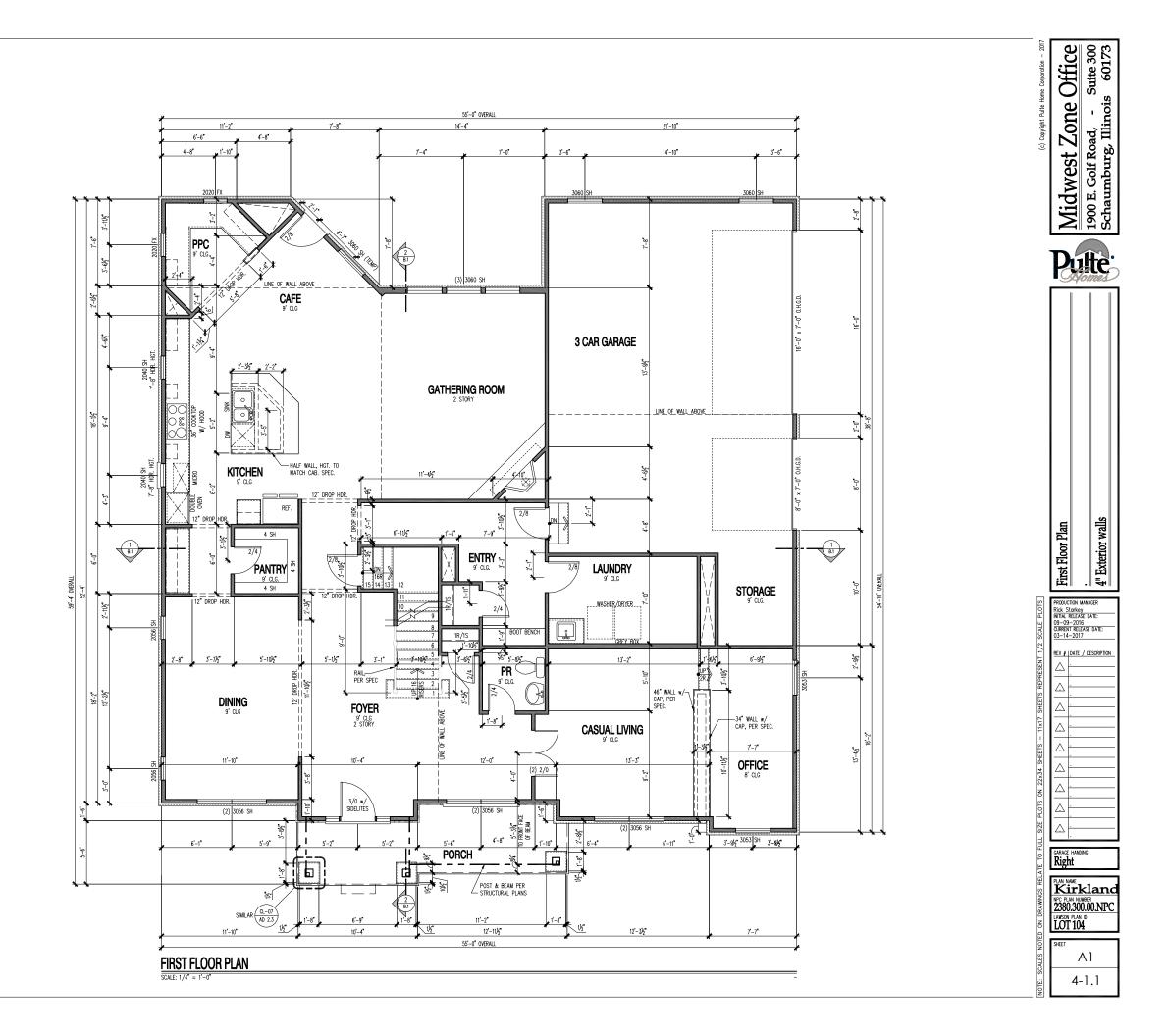


FLOORPLAN NOTES

GENERAL SPECIFICATIONS

- ALL ANGLED WALLS (OTHER THAN THOSE AT 90') SHALL BE CONSDERED TO BE AT 45' UNLESS NOTED OTHERWISE
 ALL NON-BEARING WALLS TO BE 2x4 STUDS AT 24" O.C. KITCHEN AND PULTE PLANNING CENTER WALLS, WHERE CABINETS ARE TO BE HUNG, SHALL BE FRAMED AT 16" O.C.

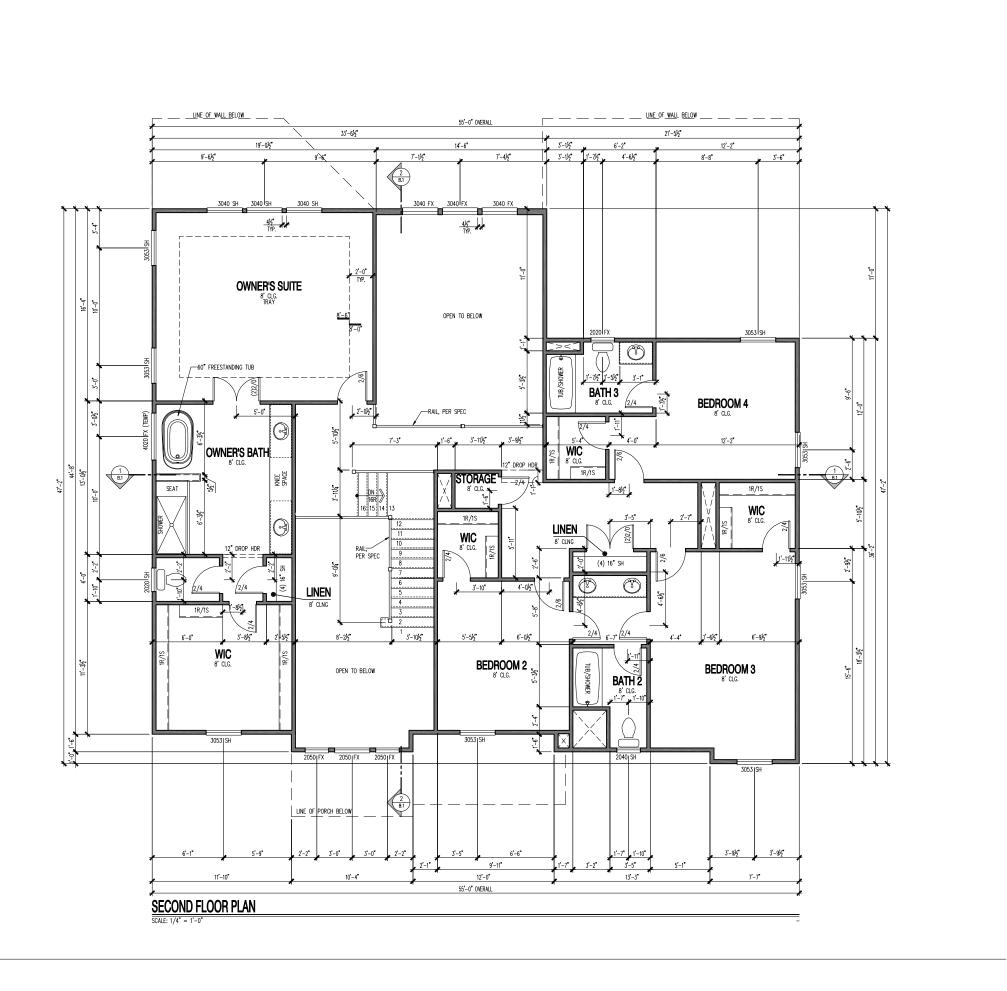
- PROVIDE A 1-3/8" OR LARGER SOLID CORE WOOD DOOR, SOLID CORE STEEL DOOR OR HONEYCOME CORE STEEL DOOR, OR 20 MINTE FIRE-FACED DOOR ENDEPD WITH A SELF-CLOSING DEVICE EETWEEIN GRARGE AND LIVING SPACE IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE
 PROVIDE FIRE SEPARATION BETWEEIN DWELLING AND GARAGE IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE
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 PROVIDE FIRE SEPARATION BETWEEIN DWELLING AND UNDERSDE OR STARE ASSEMILY ACCESSIBLE SPACE UNDER STAIRS IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
 ALL GLAZINE INSTALLED IN HAZARDOUS LOCATIONS AS DEFINED BY THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE SHALL HAVE A PERMANENT DESIGNATION OR LABEL AFRIKED TO EACH PANE OF GLAZING BEARING THE MANUFACTURER'S LABEL SHOWING THE TYPE AND THICKNESS OF GLASS. FOR OHER THAN TEMPERED GLASS, LABELS MAY BE GWITED PROVIDE THE GUIDANG THE MANUFACTURER'S LABEL SHOWING THE TYPE AND THICKNESS OF GLASS. FOR OTHER THAN TEMPERED CLASS. LABELS AN VIE CONITED PROVIDED THE BUILDING OFFICIAL APPROVES THE USE OF A CERTIFICATE, AFFIDANT OR OTHER EVIDENCE CONFIRMING COMPLIANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE. ALL BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINSHED WITH A NON-ABSORBENT SUFFACE. SUCH WALL SUFFACES SHALL EXTEND TO A HEIGHT NOT LESS THAN 72" ABOVE THE FLOOR FRE THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCE.
- IRC OR APPLICABLE LOCAL CODE.
- IRC OR APPLICABLE LOCAL CODE. 8. PROVIDE X[®] MAX. SHEATING WITH TAPED JOINTS AS DRAFT STOP WITH BATT INSULATION FILLING ALL CAVITES AT EXTERIOR WALLS ADJACENT TO TUBS AND SHOWERS. 9. ALL REQUIRED CUARDRAILS AND CHARDWALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENTY ADOPTED EDITION OF THE RC OR APPLICABLE LOCAL CODES. GUARDS SHALL NOT BE LESS THAN 36' HIGH MEASURED VERTICALLY
- LOCAL CODES. GUARDIS STALL NOT BE LESS THAN 36 HIGH MEASURED VERTICALLY ABOVE THE ADJACENT WAIKING SUFFACE AND NOT LESS THAN 34" HIGH MEASURED VERTICALLY FROM THE SLOPED PLANE THAT ADJOINS THE TREAD MOSINGS. 10. ALL REQUIRED HANDRALS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. HANDRALS SHALL BE PROVIDED ON AT LEAST ONE SDE OF EACH CONTINUOUS RIN OF TREADS OR FUICHT WITH 4 OR MORE BISCE. HANDRALH HEIGHT SHALL HOT BE LESS THAN 34" OR MORE THAN 38" AS MEASURED VERTICALLY FROM THE SLOPED PLANE THAT ADDING DEFEND MOST ADDILLATE ONE OFFICIALLY FROM THE SLOPED PLANE THAT ADDING DEFEND MOST ADDILLATE OF CONTINUES FOR DEFENDITIONS.
- 34 UK MURE THAN 38 AS MEASURED VERTICALLY FROM THE SLOPED FLAME THAT ADJOINTS THE TREAD NOSINGS AND SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLICHT. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE NOT LESS THAN 1-1/2" BETWEEN THE WALL AND THE HANDRAIL 11. BASEMENTS, HABITABLE ATTICS AND ALL SLEPTING ROOMS MUST HAVE AT LEAST ONE EVERGENCY ESCAPE IN ACCORDANCE WITH THE CURRENTLY ADDRED EDITION OF THE IRC OR APPLICABLE LOCAL COORS. THE EMERGENCY ESCAPE MUST HAVE A 5.7 SPECIERAR OPENING AND A SILL HEIGHT OF NO MORE THAN 44" ABOVE FINISHED DEODE FORMER WINDOWE AS DURDE FLOW MUST LAVE A 5.7 SHOLERA OFENING AND A SILL HEIGHT OF NO MOKE HIAN 44 ABOVE FINISHED FLORE, ESCARE WINDOWS AT ROADE LEVEL MUST HAVE A MIN OF 5.0 SF OF OPEN AREA. REQUIRED CLEAR OPENINGS SHALL BE A MINIMUM OF 24" HIGH AND 20" WIDE, BURREDKY ESCARES WITH A FINISHED SILL HEIGHT BELOW THE ADJACENT CRADE MUST HAVE A WINDOW WELL AND LODGEN IN ACCORDANCE WITH THE CURRENTLY ADOPTED BUTION OF THE RC. OR APPLICABLE LOCAL CODES. 12. FOR ADDITIONAL INFORMATION SEE STRUCTURAL DRAWINGS AND NOTES

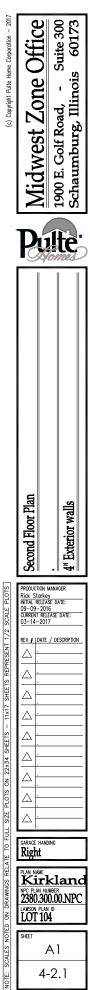


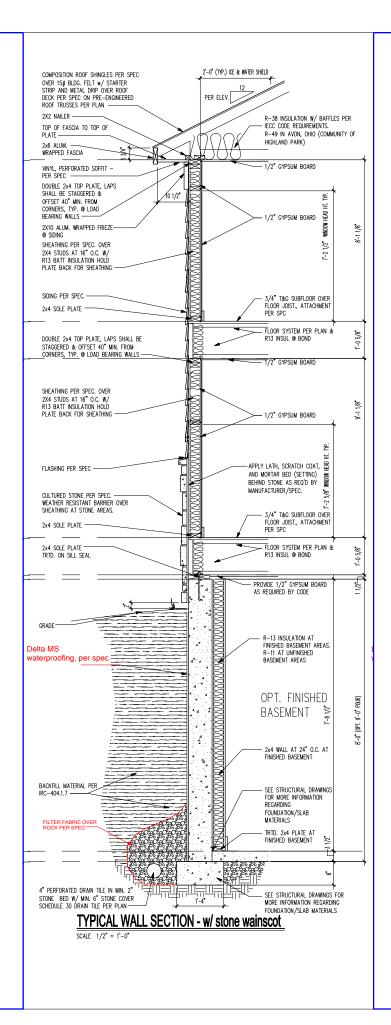
FLOORPLAN NOTES

GENERAL SPECIFICATIONS

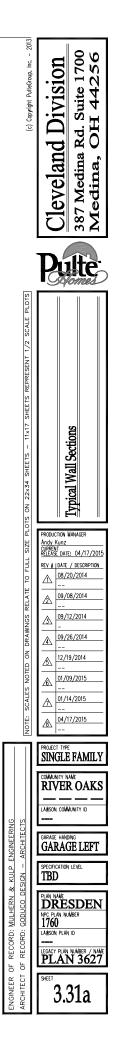
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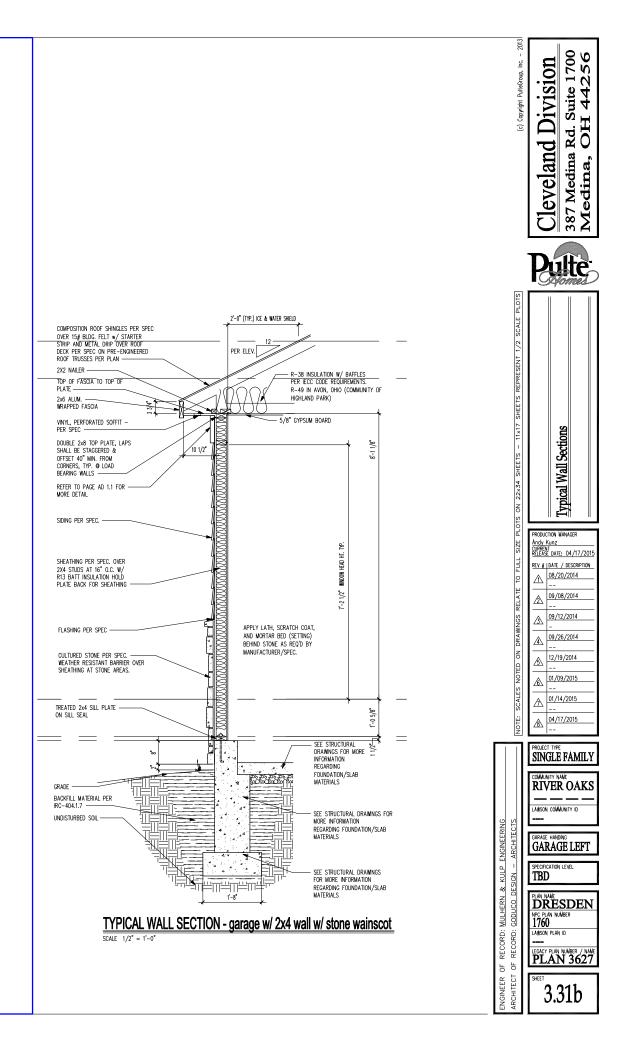




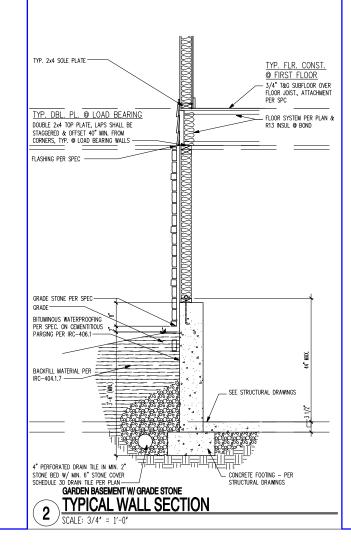


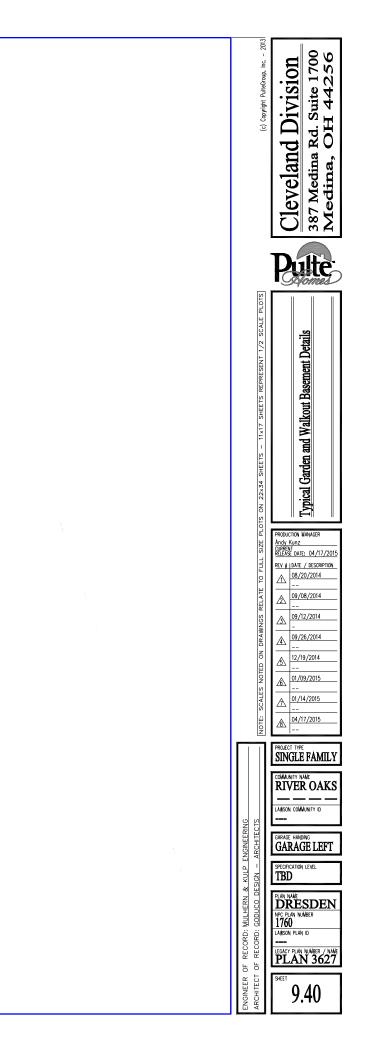














Kirkland River Oaks (Lot 104)

CLEVELAND DIVISION 387 MEDINA RD. - SUITE 1700 - MEDINA, OH 44256

MUNICIPALITY	ARCHITECT
•	• • • •
STRUCT. ENGINEER	MECH. ENGINEER
Mulhern & Kulp Engineers 20 s. Maple Street Suite 150 Ambler, PA 19002 21 s. 446.8001 www.mulhernkulp.com	· · · · · · · · · · · · · · · · · · ·
BUILDING CODE ANALYSIS	APPLICABLE CODES
ZONING ORDINANCE: . USE GROUP: One & Two Family dwelling CONSTRUCTION CLASS: Unprotected Frame HEIGHT & AREA: OTHER REQUIREMENTS: .	BUILDING CODE: FIRE CODE: ELECTRICAL CODE: ENERGY CODE: PLUMBING CODE: MECHANICAL CODE: MUNICIPAL CODE:

SHFF1					
Sheet No.	Sheet Description				
CC 0.1	Community Cover				
CC 0.2	Community General Notes				
CC 0.3	Community Schedules and Abbreviations				
ARCHITECTURAL DRAWINGS					
A0 B-1.1	Basement Foundation Plan				
A1 4-1.1	First Floor Plan / 4" Exterior Walls				
A1 4-2.1	Second Floor Plan / 4" Exterior Walls				
A2 B.1	Building Sections 1 and 2 / Basement Foundation				
A3-CR2G 3SB.1	Elevation Craftsman 2G / 3 Car Side Entry / Front and Rear Elevations				
A3-CR2G 3SB.2	Elevation Craftsman 2G / 3 Car Side Entry / Side Elevations				
UTILITY DRAWINGS					
UO B1.1	Basement Utility Plan / All Basement Walls				
U1 4 -1.10	First Floor Utility Plan / 4" Exterior Walls				
U1 4 -1.11	First Floor Utility Plan / Optional Lighting Package /4" Exterior Walls				
U1 4-2 .10	Second Floor Utility Plan / 4" Exterior Walls				
U1 4-2.11	Second Floor Utility Plan / Optional Lighting Package /4" Exterior Walls				
STRUCTURAL DRAWINGS					
S-0 Sheets	Structural Notes				
S-1 Sheets	Foundation & First Floor Framing Plans				
S-2 Sheets	Second Floor Framing Plans				
S-3 Sheets	Roof Framing Plans				
S-4 Sheets	Framing Details				
SO-3 Sheets	Deck Framing Plans				
	STRUCTURAL Details				
SD Sheets	Structural Details				

ES	DESIGN LOADS UVE LOADS: IVVE LOADS: Sleeping 30 PSF Non-Sleeping 40 PSF EXT, DECKS & STAIRS, 40 PSF DEAD LOAD: 10 PSF GUARDRAIL & HANDRAIL: 200 LB	GUARD IN-FILL COMPONENTS:50 PSF WIND SPEED:MPH ROOF LIVE LOAD:PSF SNOW LOAD:PSF LATERAL LOAD:PCF OTHER:	(c) Copyright Pulte Home Corporation - 2017	Midwest Zone Office 1900 E. Golf Road, - Suite 300 Schaumburg, Illinois 60173
			NOTE: SCALES NOTED ON DRAWNGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS	Image: state of the state

ROOM NAME	AREA	REQUIRED		SUPPLIED	
ROOM NAME	AREA	LIGHT	VENT	LIGHT	VENT
OFFICE/CASUAL LIVING	260.63	20.85	10.43	41.1	17.
DINING	183.22	14.66	7.33	30.3	13.
GATHERING RM/CAFE/KITCHEN	653.88	52.31	26.16	65.2	27.
POWDER	28.95	2.32	1.16	ARTIF.	MECH
BATH 2	35.62	2.85	1.42	5.2	2.
BATH 3	54.63	4.37	2.19	2.4	MECI
BEDROOM 2	144.42	11.55	5.78	11.7	5.
BEDROOM 3	166.50	13.32	6.66	23.4	11.
BEDROOM 4	159.39	12.75	6.38	23.4	11.
OWNER'S BATH	161.39	12.91	6.46	5.5	MECH
OWNER'S SUITE	294.67	23.57	11.79	48.9	24.

SCHEDULE of AREAS BASE HOUSE - HEATED 2077 FIRST FLOOR

SECOND FLOOR	1790
TOTAL BASE HEATED	3867
BASE HOUSE - UNDER ROOF	
GARAGE - 3 CAR SIDE ENTRY	716
BASEMENT	1966
FRONT PORCH	133
TOTAL BASE UNDER ROOF	2793

ABBREVIATIONS

AFF	ABOVE FINISH FLOOR
A/C	AIR CONDITIONING
ALT	ALTERNATE
ARCH	ARCHITECT ARCHITECTURAL
BSMT	BASEMENT
BLK BLKG	BLOCK BLOCKING
BD	BOARD
BLDG	BUILDING
CAB	CABINET
CPT	CARPET
CSMT	CASEMENT WINDOW
CLG	CEILING
CIR CIRC	CIRCLE
CLR	CIRCUMFERENCE CLEAR CLEARANCE
COL	COLUMN
CMU	CONCRETE MASONRY UNIT
CONC	CONCRETE
CONST	CONSTRUCTION
CONT	CONTINUOUS
CJ CF	CONTROL OR CONSTRUCTION JOINT CUBIC FOOT
CY	CUBIC YARD
DET	DETAIL
DIA	DIAMETER
DIM	DIMENSION
DW	DISH WASHER
DR DH	DOOR DOUBLE HUNG
DS	DOWNSPOUT
FLFC	ELECTRIC ELECTRICAL
ELEC	ELEVATION
EQ	EQUAL
EXH	EXHAUST
EXT	EXTERIOR
F0 FIN	FACE OF FINISH
FPL	FIREPLACE
FLR	FLOOR FLOORING
FD	FLOOR DRAIN
FLUOR	FLUORESCENT
FTG	FOOTING
FND FUR	FOUNDATION FURR FURRED FURRING
GA	GAUGE
GDO	GARAGE DOOR OPENER
GFI	GROUND FAULT CIRCUIT
GFI/WP	GROUND FAULT CIRCUIT-WEATHER PROOF
GL	GLASS GLAZING
GYP BD	GYPSUM WALLBOARD DRYWALL
HDW HDR	HARDWARE HEADER
HVAC	HEATING-VENTILATING-AIR CONDITIONING
HGT	HEIGHT
HC	HOLLOW CORE
HORIZ	HORIZONTAL
HB	HOSE BIBB
INSUL INT	INSULATE INSULATED INSULATION INTERIOR
JT	JOINT
JST	JOIST
KIT	KITCHEN
LAV	LAVATORY
LT	LIGHT
LNTL	LOWER
l VR MFR	LOUVER MANUFACTURE MANUFACTURER
nd IX	MANULACIONE MANULACIONEN

4 H	UN3
AS	MASONRY
ATL	MATERIAL
AX	MAXIMUM
ECH	MECHANICAL
C	MEDICINE CABINET
TL.	METAL
IN IR	MINIMUM
	MIRROR MISCELLANEOUS
	MODULAR
	MULLION
	NOT TO SCALE
0	ON CENTER
A	OVERALL
H	OVERHEAD
PT	OPTIONAL
3 NL	PUSH BUTTON PANEL
NL AR	PANEL PARTITION
ED	PEDESTAL
	PLATE
VC	POLYVINYL CHLORIDE
REFAB	PREFABRICATE PREFABRICATED
	RISER
EF	REFERENCE
EFR	REFRIGERATOR
EINF	REINFORCE REINFORCED REINFORCING
A.G. EV	RETURN AIR GRILLE REVISIONS REVISED
	ROOF DRAIN
	ROOFING
	ROOM
C	ROUGH OPENING
CHED	SCHEDULE
CT	SECTION
GD	SLIDING GLASS DOOR
HTH HT	SHEATHING
11	SHEET SHELF SHELVING SINGLE HUNG WINDOW
м	SIMILAR
	SLIDING WINDOW
5	SOLID CORE
PKR	SPEAKER
PEC	SPECIFICATIONS
2	SQUARE
TD	STANDARD
TL TOR.	STEEL STORAGE
IRUCT	STRUCTURAL
EL	TELEPHONE
7	TELEVISION
IR	THRESHOLD
k G	TONGUE AND GROOVED
00	TOP OF CONCRETE
)F (P	TOP OF FOUNDATION
	TYPICAL UNFINISHED
	UNLESS NOTED OTHERWISE
ERT	VERTICAL
H	
С	WATER HEATER WATER CLOSET
IN .	WINDOW
1	WITH
/0	WITHOUT
D	WOOD WROUGHT IRON
	TRUN

