

CONSTRUCTION NOTES:

1. The contractor must verify all foundation dimensions and proposed grades shown on this plan. Any errors resulting from failure to check or to notify the surveyor of any changes shall not be the responsibility of Apex Land Surveying.
2. All grades shall comply w/corresponding government office.
3. All swales must maintain a minimum slope of 1%.
4. Maintain positive yard drainage across entire lot.
5. Contractor to notify utilities protection services/ OUPS prior to construction
6. Contractor shall verify location and depths of existing laterals & verify if proper connections can be made to house. Contact corresponding government office if discrepancies occur.
7. All sewer connections must maintain a minimum slope of 1%.

8. A foundation sump pump is required
9. Silt fence must surround any excavation areas so that no silt escapes site.
10. There was no search for easements of record, right-of-ways, restrictive covenants, encumbrances, ownership title evidence, or any other facts that a title search may disclose.
11. Construction entrance is required to be installed and maintained throughout construction. Entrance shall be a minimum of 70 L.F., 6 inch of #1 & #2 limestone or crushed concrete, installed on geo-textile fabric.
12. Mud, soil and other debris shall not be deposited onto public roadways. Contractor shall be responsible for removal of such as directed by the City of Hudson.
13. Contractor shall minimize impact to surrounding residents. Vehicles and equipment shall not be parked in roadway blocking adjacent properties.

TOPOGRAPHIC SURVEY & SITE PLAN for The Liang/Zhang Residence by LDA Builders, Inc. Builders, Inc.

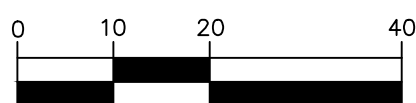
Situated in the City of Hudson, County of Summit and
State of Ohio: And known as being Sublot No. 1 in the Sapphire
Estates, as recorded in R.N. 56110768.

LEGEND

- 1000--- - Ex. Contour
- 999--- - PR. CONTOUR
- - Ex. Tree Line
- - PR. CLEARING
- - PR. SILT FENCE
- PR. GRADE
- Ex. Grade
- PR. DRAINAGE
- - TREE TO BE REMOVED
- CE - PR. CONST. ENTRANCE
- Ex. = Existing PR. = PROPOSED
- Ex. San./Strm. MH.
- Ex. Pedestal
- Ex. Hydrant
- PR. DOWNSPOUT LOCATION
- PR. AIR COND. UNIT, ELEC. & GAS METER
- Iron Pin Fnd./Set
- Iron Pipe Fnd.
- Mon. Fnd.



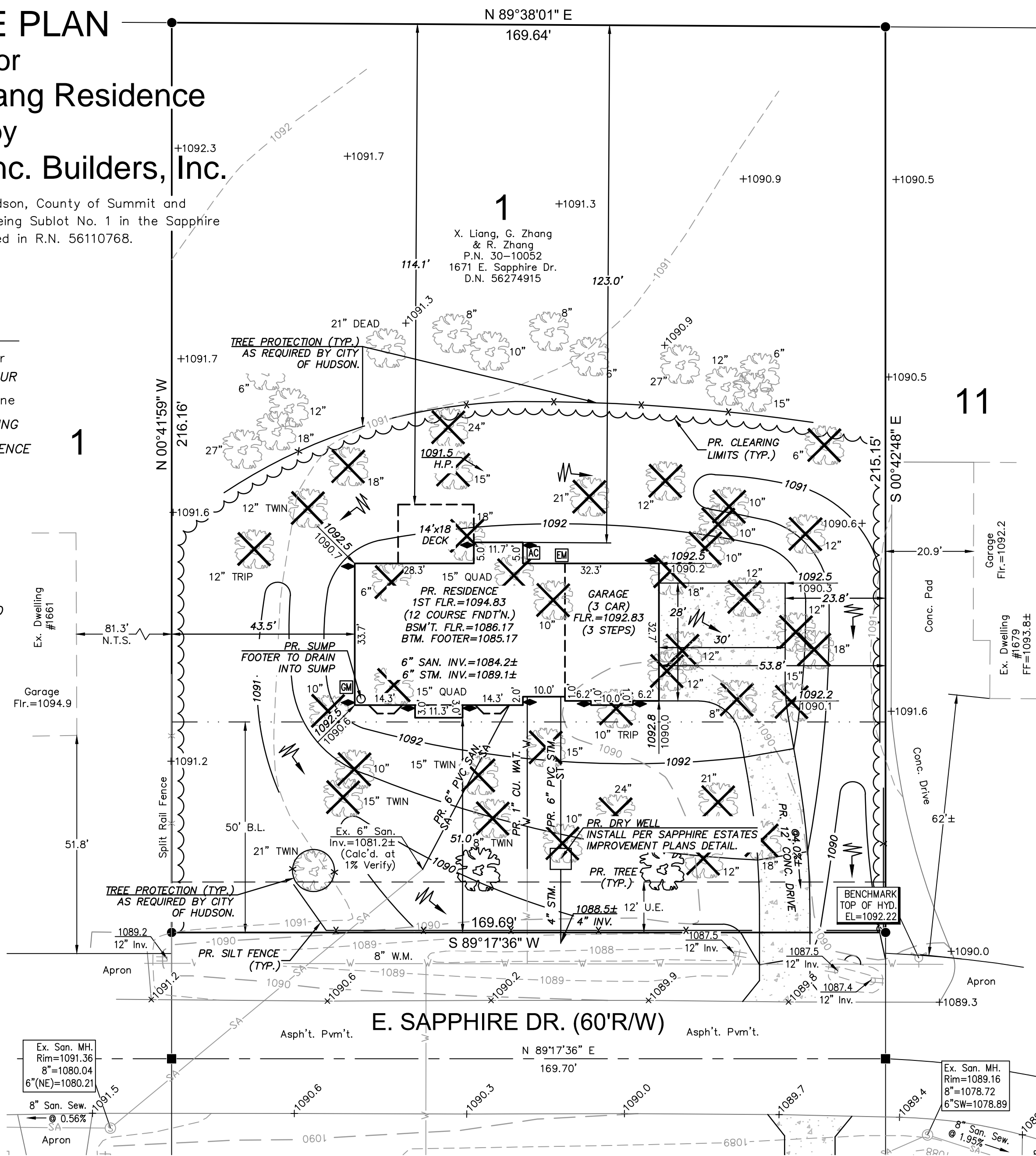
Know what's below.
Call before you dig.



SCALE: 1" = 20'

DATUM:

B.O.B.: RECORD PLAT
VERT: IMPROVEMENT PLANS



Surveyed by:

APEX
PROFESSIONAL LAND SURVEYING
Kelly D. Dunford, P.S. 8182
2858 Fulmer Drive, Silver Lake, Ohio 44224
Phone/Fax: (330) 928-7750
ps8182@sbcglobal.net
www.apexlandsurveying.com

TITLE: TOPO & SITE PLAN

CLIENT: LDA BUILDERS

SCALE: 1" = 20'

DRAWN BY: KDD

CREW: KDD

SHEET SIZE: 17" X 22"

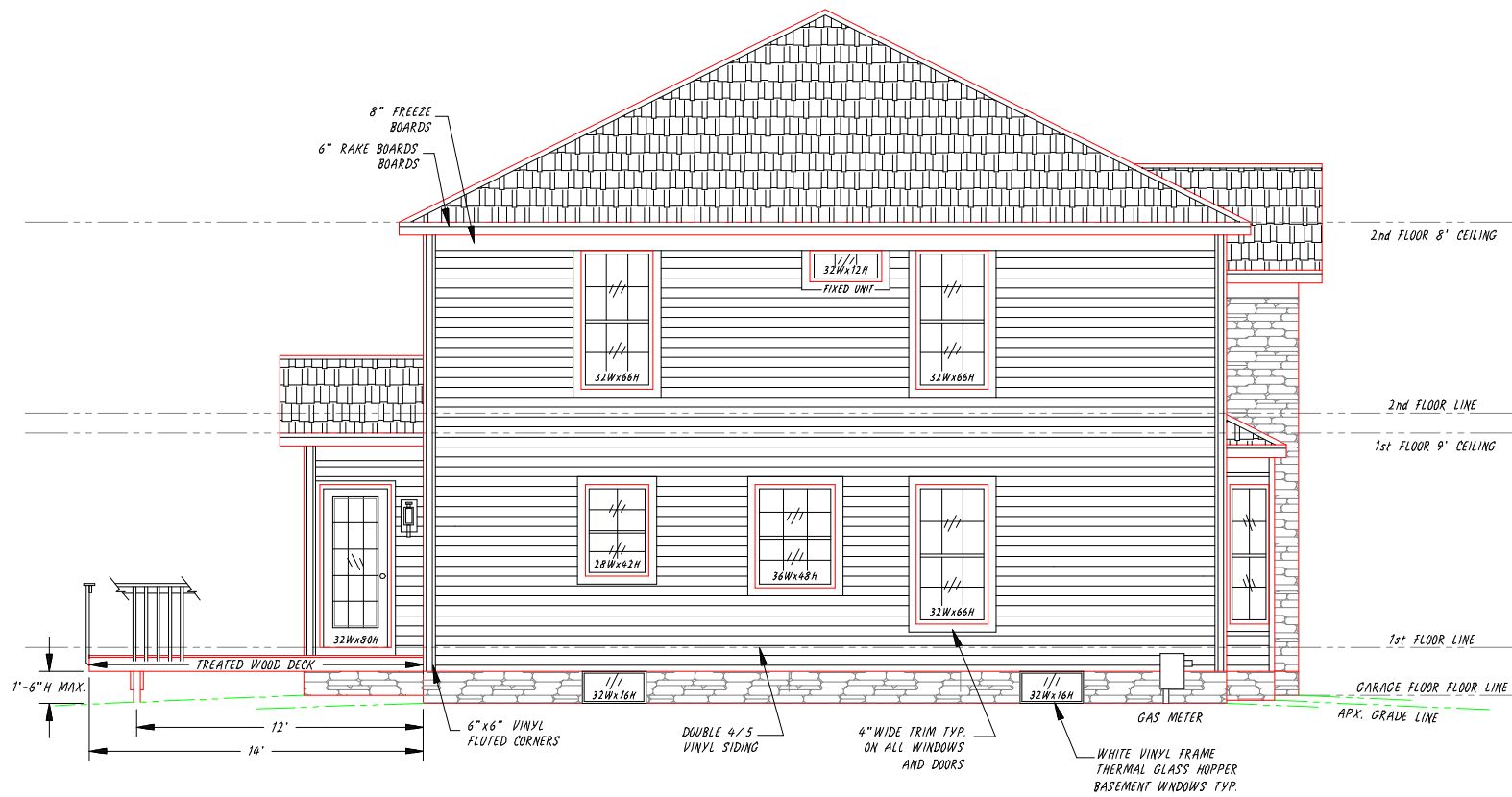
DATE: MAR. 2017

PROJ.: 2017017

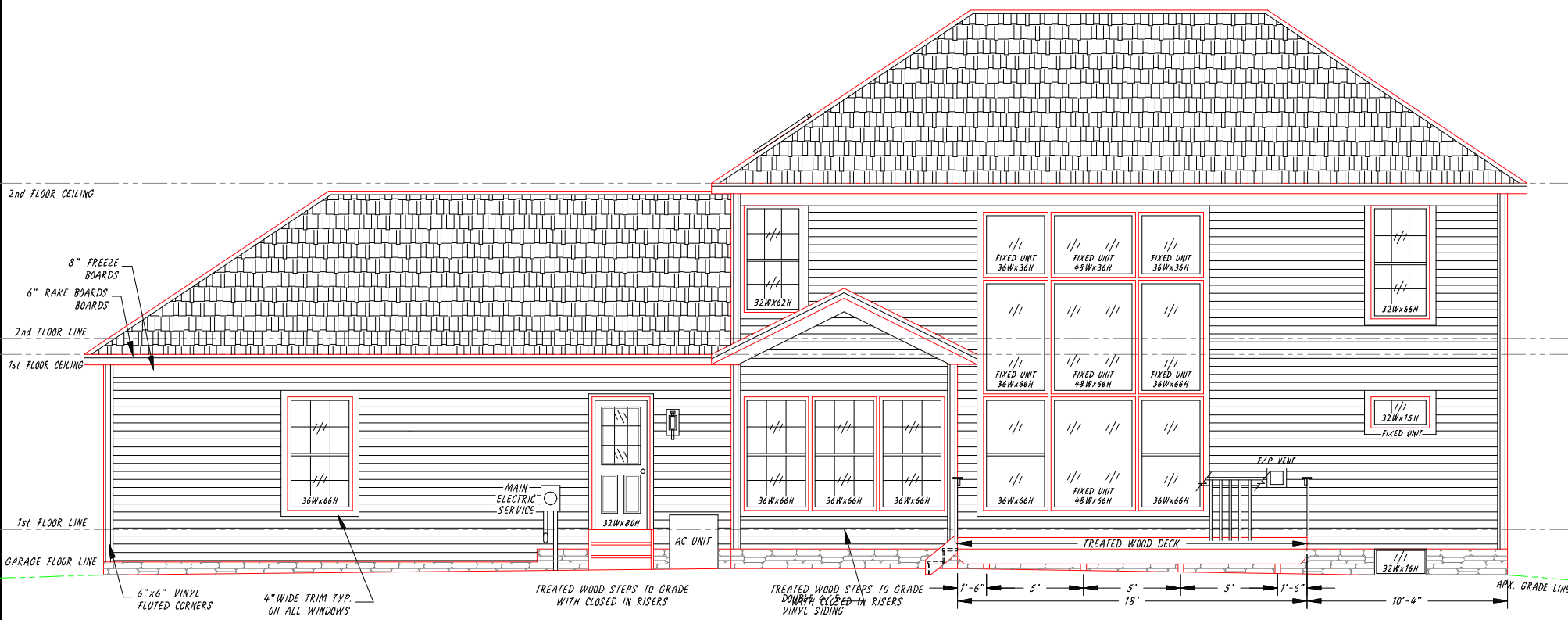
FILE: 2017017.dwg

CHECKED BY: KDD

SHEET: 1 OF 1



Left Side Elevation



Rear Elevation

Customer

Xin Liang &
Gang Zhang

Scale

1/8" = 1'-0"

Date

04/27/20

Drawn By

JK

Checked By

JK

Revised By

JK

Revised Date

04/27/20

1. PER HUDSON PLANNING REQUEST

2. PER HUDSON PLANNING REQUEST

BY

DATE

FL

04/27/20

LDI BUILDERS INCORPORATED

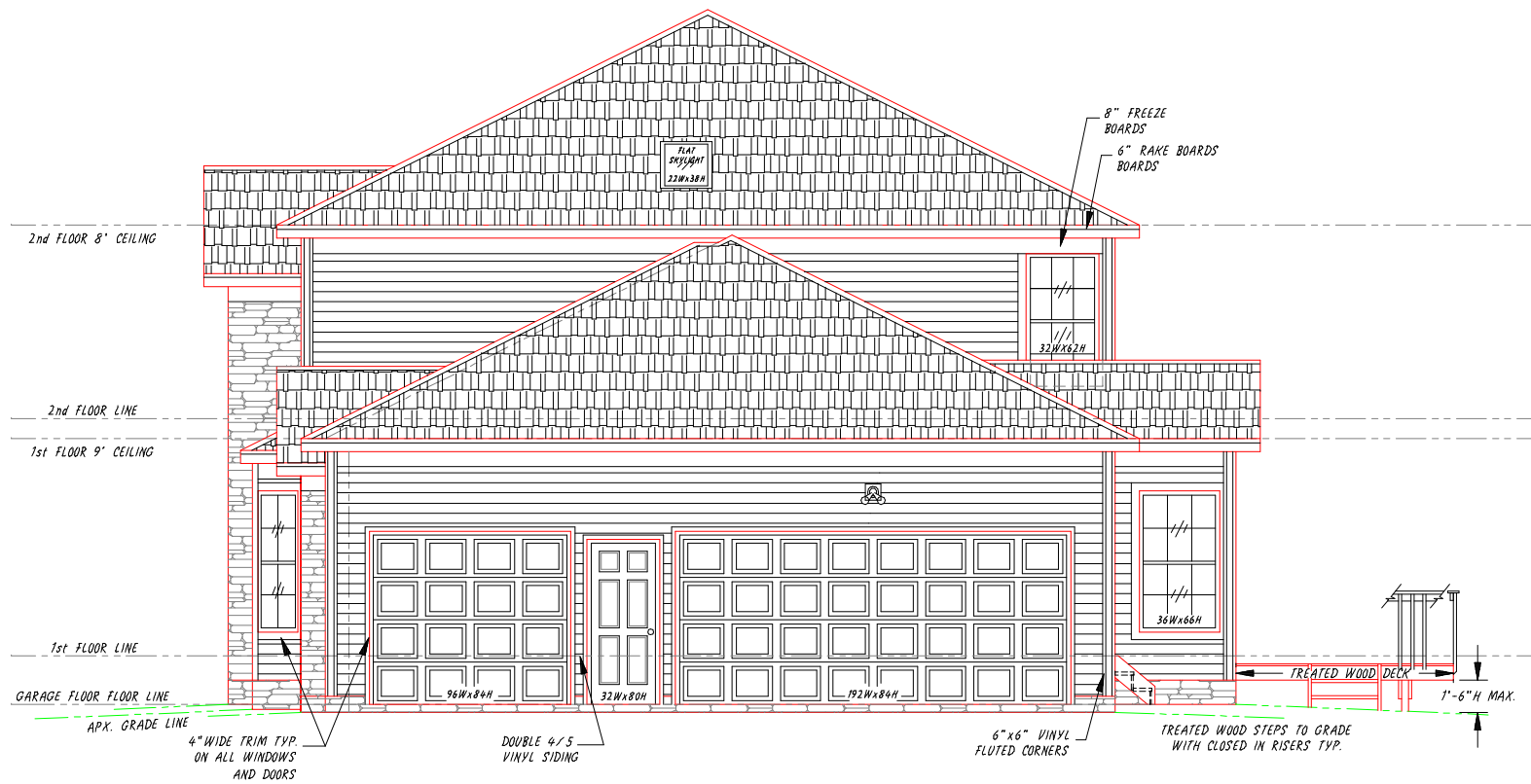
Boston Hts., Ohio U.S.A. • Phone/Fax Cleveland (330) 528-3800 • Akron (330) 342-4240

TITLE CAMBRIDGE II, mod. 2 STORY (2743 sq.ft.)

NO.

16-GE001-12

REAR ELEVATION



Right Side Elevation

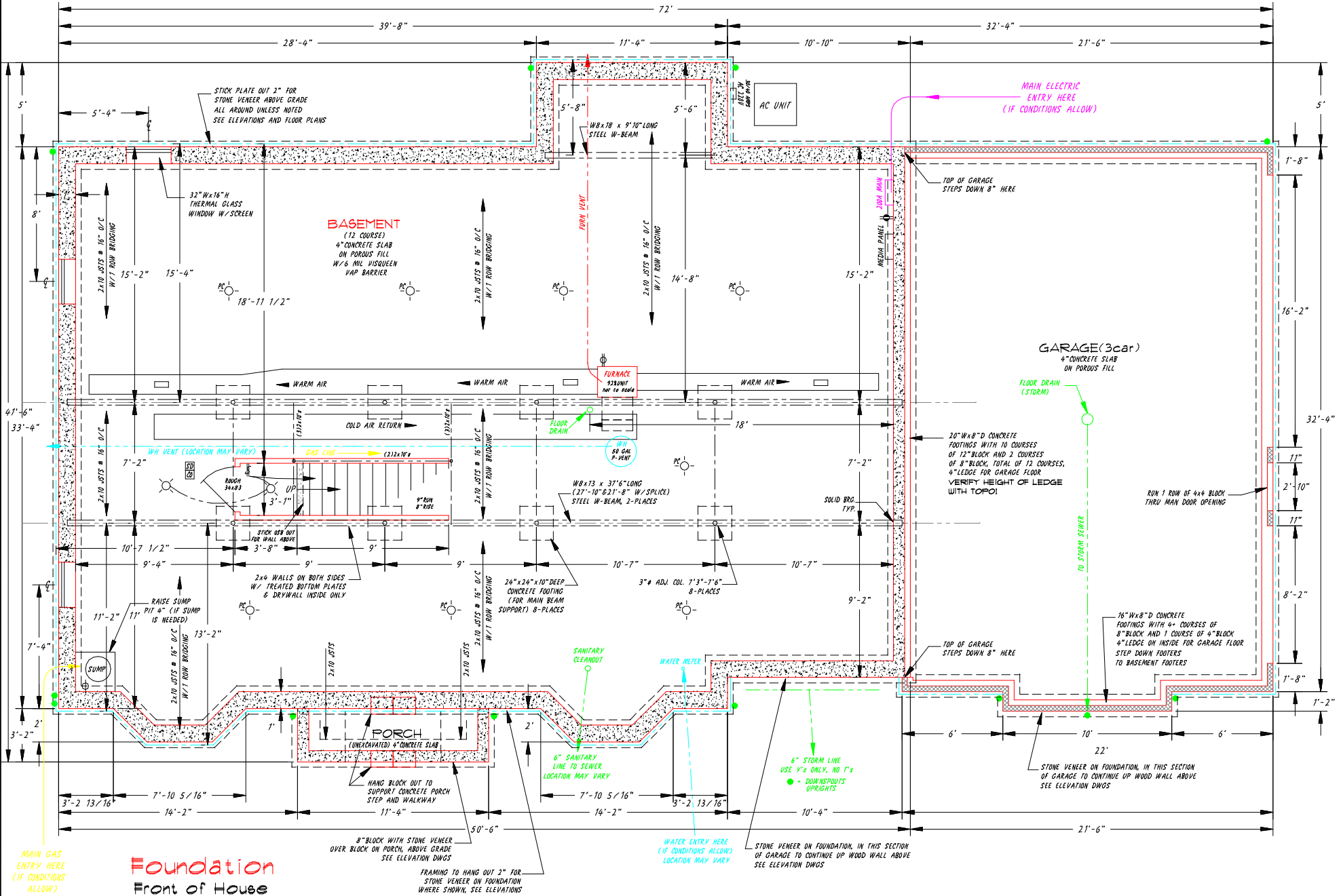
CUSTOMER Xin Liang & Gang Zhang	SCALE	1/8" = 1'	REVISIONS	BY	DATE	ILIDA BUILDERS INCORPORATED Boston Hts., Ohio U.S.A. • Phone/Fax Clev(330) 528-3800 • Akron(330) 342-4240 TITLE CAMBRIDGE II, mod. 2 STORY (2743 sq.ft.) NO. 16-GE001-13 RIGHT SIDE ELEVATION
	DATE	04/27				
	DRN	JK				
	APP'D	JL				
			1) PER HUDSON PLANNING REQUEST			

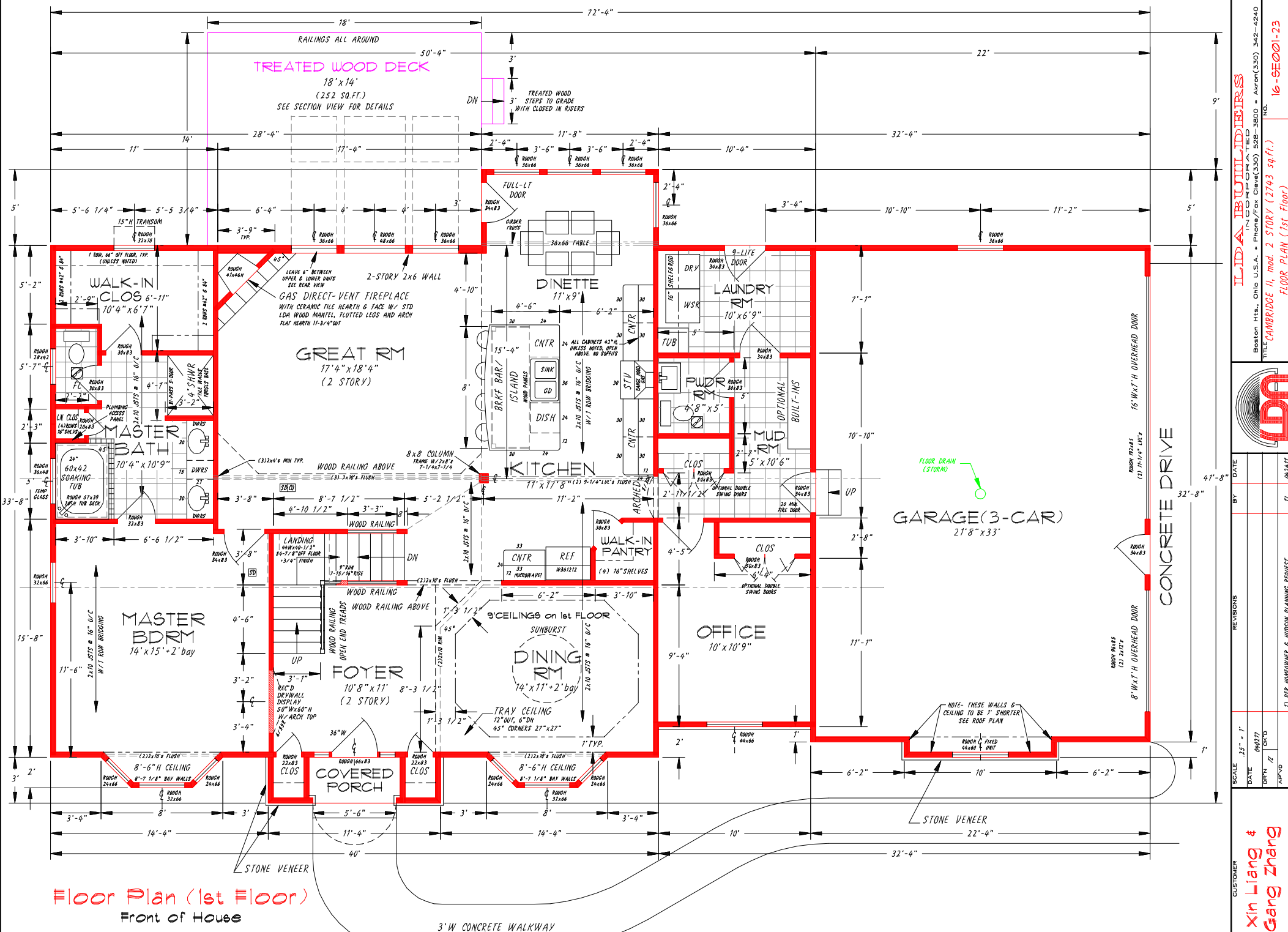
MASONRY NOTES

- 1) STEP DOWN FOOTINGS WHERE SLAB MEETS BASEMENT FOR DIRECT BEARING
- 2) FILL ALL VOIDS IN MASONRY WALLS PRIOR TO DAMP/WATERPROOFING
- 3) SEE ELEVATION DRAWINGS & TOPO FOR GARAGE FLOOR LEDGE & STEPPING OF BRICK/STONE VENEER

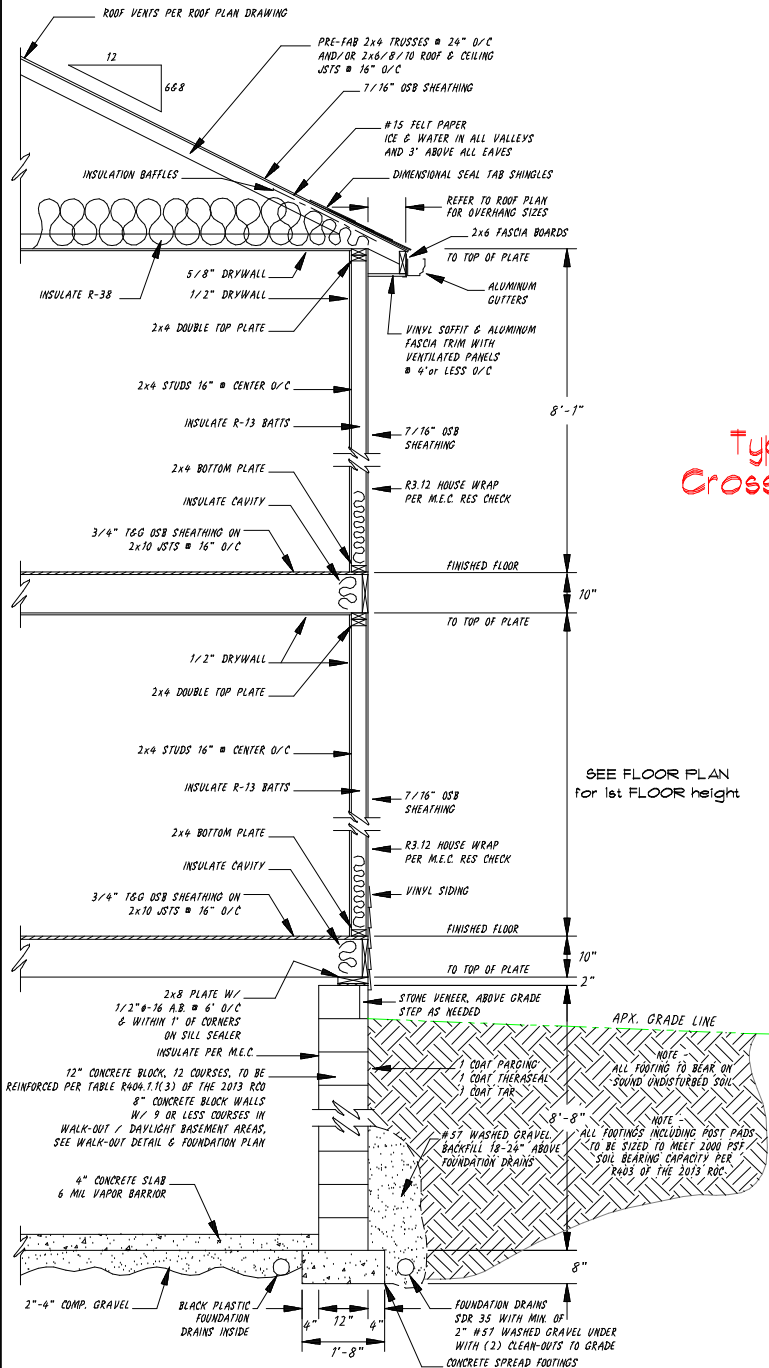
FRAMING NOTES

- 1) PROVIDE DOUBLE JOIST AND CROSS BLOCKING UNDER ALL PARALLEL WALLS
- 2) ALL FRAMING LUMBER TO BE STRUCTURAL GRADE
- 3) SPACE FLOOR JOISTS OR HEADER OFF FLOOR JOISTS FOR TOILETS, CENTER OF TOILET 4"-D DRAINS ARE 12" OFF WALL
- 4) FIRESTOP ALL AREAS AS REQUIRED BY MUNICIPALITY CODE
- 5) WALLS TO BE BRACED PER SEC 602.10 OF THE CURRENT RCD



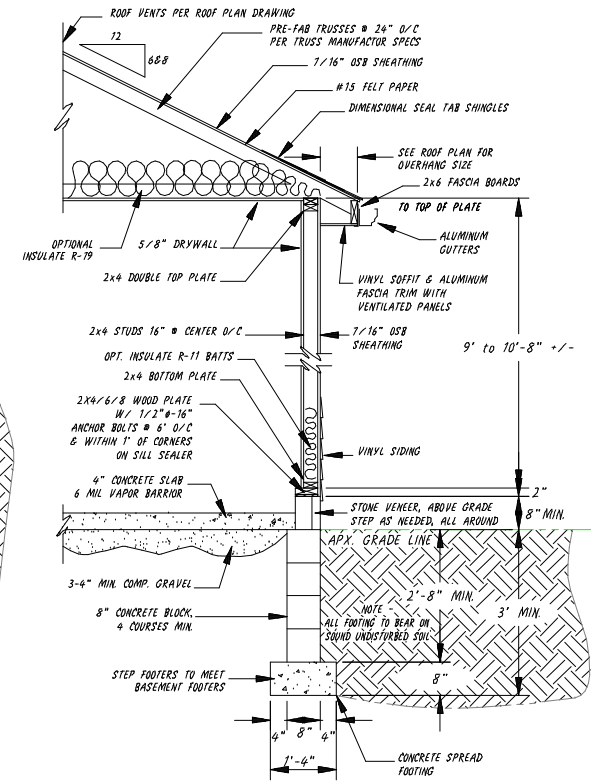
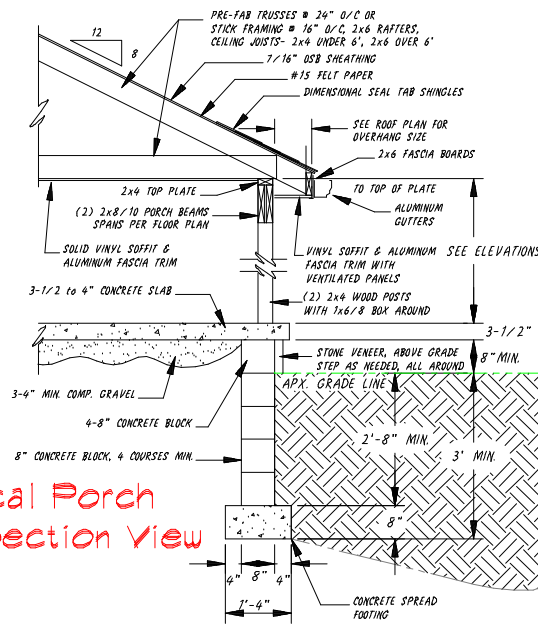




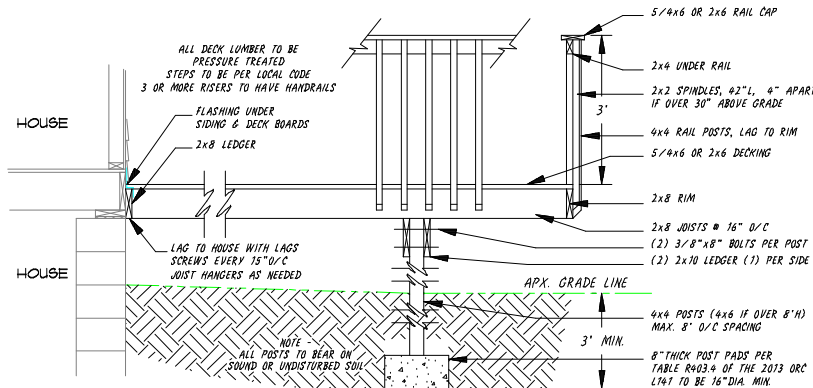


Main House Wall Cross Section View

Typical Porch Cross Section View



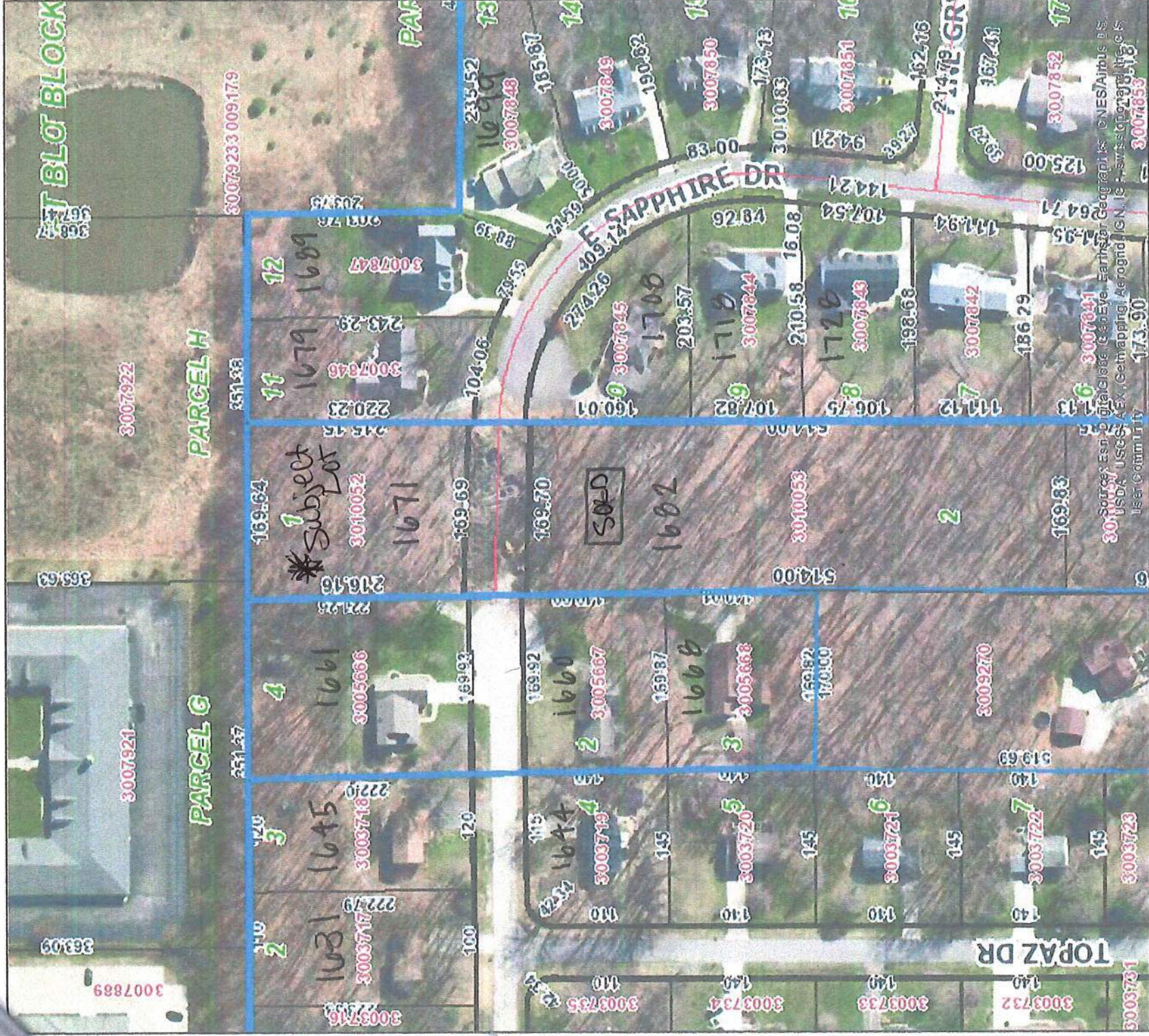
Garage Wall Cross Section View



Deck Cross Section View

CONSTRUCTION NOTES (2013)


- 1) ALL ROOF PITCHES TO BE AN 8/12 SIDE TO SIDE & A 6/12 FRONT TO BACK, UNLESS NOTED, INCLUDING GARAGES, PORCHES & CANTILEVERS
- 2) ALL PARALLEL WALLS TO HAVE DOUBLE JOISTS AND CROSS BLOCKING UNDER THEM
- 3) GARAGE WALLS, BETWEEN GARAGE & HOUSE, AND GARAGE CEILING TO HAVE 5/8" FIRECODE DRYWALL
- 4) BLOCK WALLS TO BE REINFORCED PER TABLE R404.1(3) OF THE 2013 ROC AND HAVE HORIZONTAL DURAWALL EVER APX. 3 COURSES
- 5) ALL HEADERS TO BE A MIN. OF (2) 2x10'S WITH 7/16" OSB CENTER, OR LARGER AS INDICATED ON FLOOR PLANS
- 6) ALL ROOF STICK FRAMING & OVERBUILDS TO BE A MIN. OF 2x6 FOR SPANS UNDER 14', A MIN. OF 2x8 FOR SPANS 14' TO 18' AND INCLUDE 2x8 SHOE PLATES, 2x8 RIDGE BOARDS AND 2x4 COLLAR TIES
- 7) TRUSS ANCHORS TO BE INSTALLED PER SECTION R502.10.5 OF THE 2013 ROC
- 8) ALL DEAD AND LIVE LOADS TO BE PER THE 2013 ROC, AND MINIMUM UNIFORMITY DISTRIBUTED LIVE LOADS TO BE PER TABLE R301.5
- 9) THE MAIN DOOR BETWEEN THE HOUSE AND GARAGE IS TO COMPLY WITH SECTION R301.1 OF THE 2013 ROC




July 20, 2016

0 0.01 0.02 0.04 mi
1:2,000

Disclaimer:
The data displayed on this map is provided as a public service by the County of Summit. The County of Summit and its GIS staff make no warranty, expressed or implied, for the accuracy of the data. The County of Summit and its GIS staff make every effort to ensure the accuracy of the data, but no guarantee is made. The user assumes all liability for any use of the data. The data is intended to serve as a reference only. It is not intended to be used for legal, medical, engineering, or other professional purposes. The County of Summit and its GIS staff do not assume responsibility for any errors or omissions in the data. Users of the map accept all risk.

A photograph of a two-story white house with a red roof. The house features a central gabled section with a large arched window on the second floor and a white door on the first floor. There are several other windows with blue shutters. The house is surrounded by green trees and shrubs, and a large lawn is in the foreground. A handwritten note at the bottom of the photo reads: 1708 East Sapphire Drive (across the street, 1 house)

1708 East Sapphire Drive (across the street, 1 house)




1718 East Sapphire Drive (across the street 2 houses)



1161 E - Sapphire Drive (1 house left of subject lot)



1045 East Sapphire Drive (2 houses left of subject lot)



1631 East Sapphire Dr (3 houses, left of subject lot)




1679 East Sapphire Drive (1 house right of subject lot)




1689 East Sapphire Drive (2 houses right of subject lot)




1699 East Sapphire Dr (3 houses, right of subject lot)



1602 East Sapphire Drive
across street of subject lot

A photograph of a single-story house with a brown roof and white shutters, surrounded by lush green trees and a grassy lawn. The house has a white front door and several windows with white shutters. The lawn is green and slightly overgrown. The background is filled with tall, leafy trees.

1660 East Sapphire Drive (across the street, 1 house)

A photograph of a two-story house with light-colored siding and dark shutters. The house has a two-car garage on the left side. In the front yard, there is a small yellow and pink playhouse. The house is surrounded by large, leafy green trees. The scene is captured in bright daylight with some lens flare visible in the upper center.

11644 East Sapphire Drive (across the street, 2 miles)