

1. GARAGE INTERIOR SURFACES SHALL BE COMPLETELY SEPARATED FROM ALL OTHER PARTS OF THE STRUCTURE WITH (1) LAYER OF 5/8" TYPE "X" FIRECODE GYPSUM WALLBOARD ON THE GARAGE SIDE OF THE WALLS AND SUFFICIENT WALL FLASHINGS.
2. THE DOOR FROM THE GARAGE TO THE HOUSE SHALL BE A (20) MINUTE RATED FIREDOOR.
3. ALL ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACES AND SOFFITS PROTECTED BY THE ENCLOSED SPACE WITH 5/8" GYPSUM BOARD ON THE GARAGE SIDE.
4. GYPSUM BUTTER FLOORS FROM ROOFING TO ROOFING SHALL BE ON ALL SURFACES (ICE & WATERRESH BY GFCI APPLIED TECHNOLOGIES, INC. OR APPROVED EQUAL) 7/2" FROM ALL EAVES, VALLEYS AND 1/2" MIN. UP SIDE WALLS ADJACENT TO ROOF SURFACES WHERE POSSIBLE SUCH AS ACCUMULATION OR BACK UP MAY BE REQUIRED TO PROTECT FROM ICE DAMS (SEE SPECIFICATIONS 4-10, 4-10.1, 4-10.2, OR LESS.) UNDO VERIFY COMPATIBILITY OF PRODUCTS W/ ROOFING MANUFACTURER SPECS.
5. ALL METAL ROOFING (E.G. COPPER) AND FLASHINGS SHALL BE INSTALLED FOLLOWING S.M.A.C.N.A. (SEE SPECIFICATIONS 4-10.1, 4-10.2, 4-10.3, 4-10.4, 4-10.5, 4-10.6, 4-10.7, 4-10.8, 4-10.9, 4-10.10, 4-10.11, 4-10.12, 4-10.13, 4-10.14, 4-10.15, 4-10.16, 4-10.17, 4-10.18, 4-10.19, 4-10.20, 4-10.21, 4-10.22, 4-10.23, 4-10.24, 4-10.25, 4-10.26, 4-10.27, 4-10.28, 4-10.29, 4-10.30, 4-10.31, 4-10.32, 4-10.33, 4-10.34, 4-10.35, 4-10.36, 4-10.37, 4-10.38, 4-10.39, 4-10.40, 4-10.41, 4-10.42, 4-10.43, 4-10.44, 4-10.45, 4-10.46, 4-10.47, 4-10.48, 4-10.49, 4-10.50, 4-10.51, 4-10.52, 4-10.53, 4-10.54, 4-10.55, 4-10.56, 4-10.57, 4-10.58, 4-10.59, 4-10.60, 4-10.61, 4-10.62, 4-10.63, 4-10.64, 4-10.65, 4-10.66, 4-10.67, 4-10.68, 4-10.69, 4-10.70, 4-10.71, 4-10.72, 4-10.73, 4-10.74, 4-10.75, 4-10.76, 4-10.77, 4-10.78, 4-10.79, 4-10.80, 4-10.81, 4-10.82, 4-10.83, 4-10.84, 4-10.85, 4-10.86, 4-10.87, 4-10.88, 4-10.89, 4-10.90, 4-10.91, 4-10.92, 4-10.93, 4-10.94, 4-10.95, 4-10.96, 4-10.97, 4-10.98, 4-10.99, 4-10.100, 4-10.101, 4-10.102, 4-10.103, 4-10.104, 4-10.105, 4-10.106, 4-10.107, 4-10.108, 4-10.109, 4-10.110, 4-10.111, 4-10.112, 4-10.113, 4-10.114, 4-10.115, 4-10.116, 4-10.117, 4-10.118, 4-10.119, 4-10.120, 4-10.121, 4-10.122, 4-10.123, 4-10.124, 4-10.125, 4-10.126, 4-10.127, 4-10.128, 4-10.129, 4-10.130, 4-10.131, 4-10.132, 4-10.133, 4-10.134, 4-10.135, 4-10.136, 4-10.137, 4-10.138, 4-10.139, 4-10.140, 4-10.141, 4-10.142, 4-10.143, 4-10.144, 4-10.145, 4-10.146, 4-10.147, 4-10.148, 4-10.149, 4-10.150, 4-10.151, 4-10.152, 4-10.153, 4-10.154, 4-10.155, 4-10.156, 4-10.157, 4-10.158, 4-10.159, 4-10.160, 4-10.161, 4-10.162, 4-10.163, 4-10.164, 4-10.165, 4-10.166, 4-10.167, 4-10.168, 4-10.169, 4-10.170, 4-10.171, 4-10.172, 4-10.173, 4-10.174, 4-10.175, 4-10.176, 4-10.177, 4-10.178, 4-10.179, 4-10.180, 4-10.181, 4-10.182, 4-10.183, 4-10.184, 4-10.185, 4-10.186, 4-10.187, 4-10.188, 4-10.189, 4-10.190, 4-10.191, 4-10.192, 4-10.193, 4-10.194, 4-10.195, 4-10.196, 4-10.197, 4-10.198, 4-10.199, 4-10.200, 4-10.201, 4-10.202, 4-10.203, 4-10.204, 4-10.205, 4-10.206, 4-10.207, 4-10.208, 4-10.209, 4-10.210, 4-10.211, 4-10.212, 4-10.213, 4-10.214, 4-10.215, 4-10.216, 4-10.217, 4-10.218, 4-10.219, 4-10.220, 4-10.221, 4-10.222, 4-10.223, 4-10.224, 4-10.225, 4-10.226, 4-10.227, 4-10.228, 4-10.229, 4-10.230, 4-10.231, 4-10.232, 4-10.233, 4-10.234, 4-10.235, 4-10.236, 4-10.237, 4-10.238, 4-10.239, 4-10.240, 4-10.241, 4-10.242, 4-10.243, 4-10.244, 4-10.245, 4-10.246, 4-10.247, 4-10.248, 4-10.249, 4-10.250, 4-10.251, 4-10.252, 4-10.253, 4-10.254, 4-10.255, 4-10.256, 4-10.257, 4-10.258, 4-10.259, 4-10.260, 4-10.261, 4-10.262, 4-10.263, 4-10.264, 4-10.265, 4-10.266, 4-10.267, 4-10.268, 4-10.269, 4-10.270, 4-10.271, 4-10.272, 4-10.273, 4-10.274, 4-10.275, 4-10.276, 4-10.277, 4-10.278, 4-10.279, 4-10.280, 4-10.281, 4-10.282, 4-10.283, 4-10.284, 4-10.285, 4-10.286, 4-10.287, 4-10.288, 4-10.289, 4-10.290, 4-10.291, 4-10.292, 4-10.293, 4-10.294, 4-10.295, 4-10.296, 4-10.297, 4-10.298, 4-10.299, 4-10.300, 4-10.301, 4-10.302, 4-10.303, 4-10.304, 4-10.305, 4-10.306, 4-10.307, 4-10.308, 4-10.309, 4-10.310, 4-10.311, 4-10.312, 4-10.313, 4-10.314, 4-10.315, 4-10.316, 4-10.317, 4-10.318, 4-10.319, 4-10.320, 4-10.321, 4-10.322, 4-10.323, 4-10.324, 4-10.325, 4-10.326, 4-10.327, 4-10.328, 4-10.329, 4-10.330, 4-10.331, 4-10.332, 4-10.333, 4-10.334, 4-10.335, 4-10.336, 4-10.337, 4-10.338, 4-10.339, 4-10.340, 4-10.341, 4-10.342, 4-10.343, 4-10.344, 4-10.345, 4-10.346, 4-10.347, 4-10.348, 4-10.349, 4-10.350, 4-10.351, 4-10.352, 4-10.353, 4-10.354, 4-10.355, 4-10.356, 4-10.357, 4-10.358, 4-10.359, 4-10.360, 4-10.361, 4-10.362, 4-10.363, 4-10.364, 4-10.365, 4-10.366, 4-10.367, 4-10.368, 4-10.369, 4-10.370, 4-10.371, 4-10.372, 4-10.373, 4-10.374, 4-10.375, 4-10.376, 4-10.377, 4-10.378, 4-10.379, 4-10.380, 4-10.381, 4-10.382, 4-10.383, 4-10.38

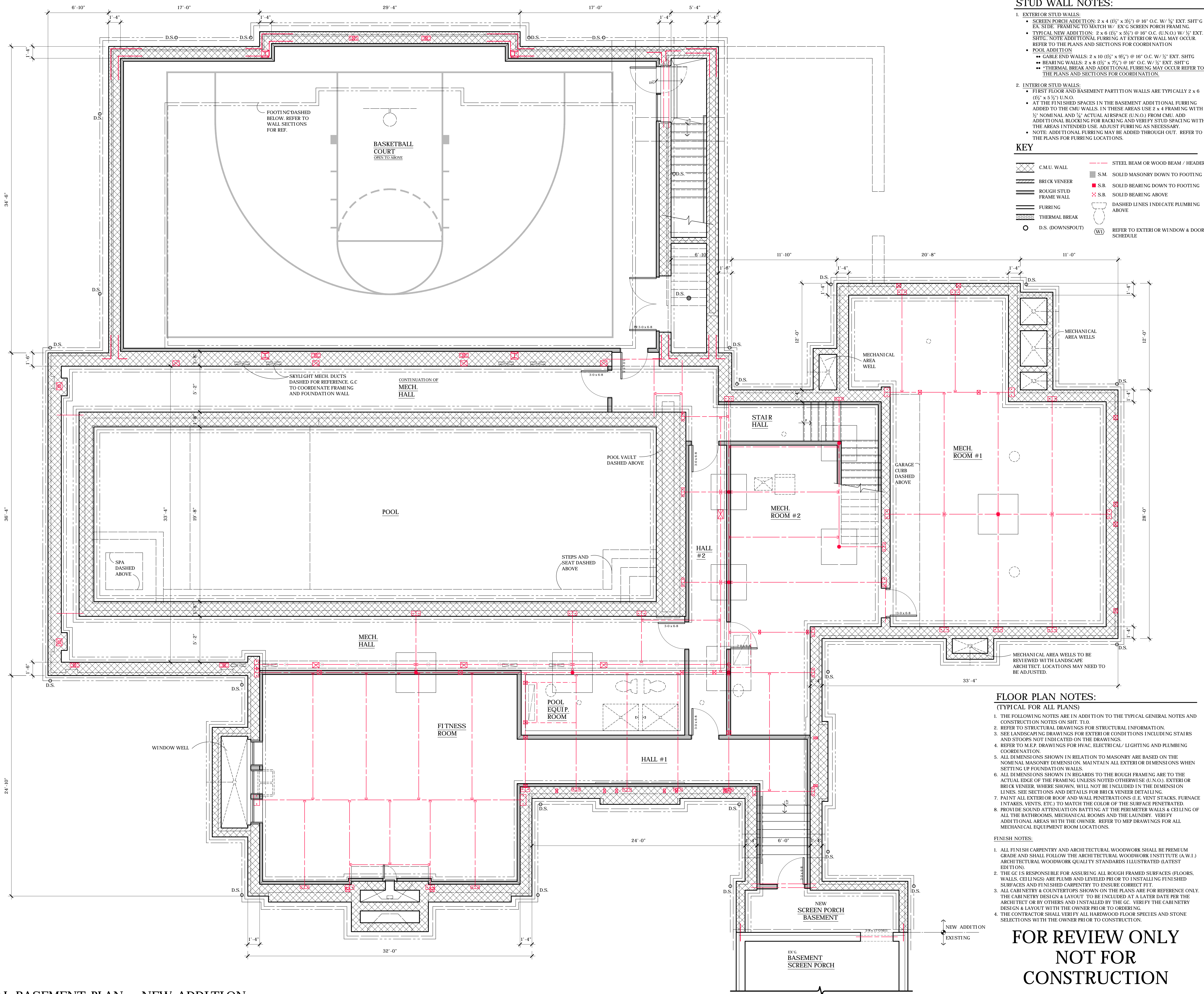
AN ADDITION / RENOVATION
OF THE
HARRINGTON RESIDENCE
250 COLLEGE STREET
HUDSON, OHIO

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ARCHITECTS / PLANNERS
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PARTIAL BASEMENT PLAN - NEW ADDITION

1/4" = 1'-0"



AN ADDITION / RENOVATION
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250 COLLEGE STREET
HUDSON, OHIO

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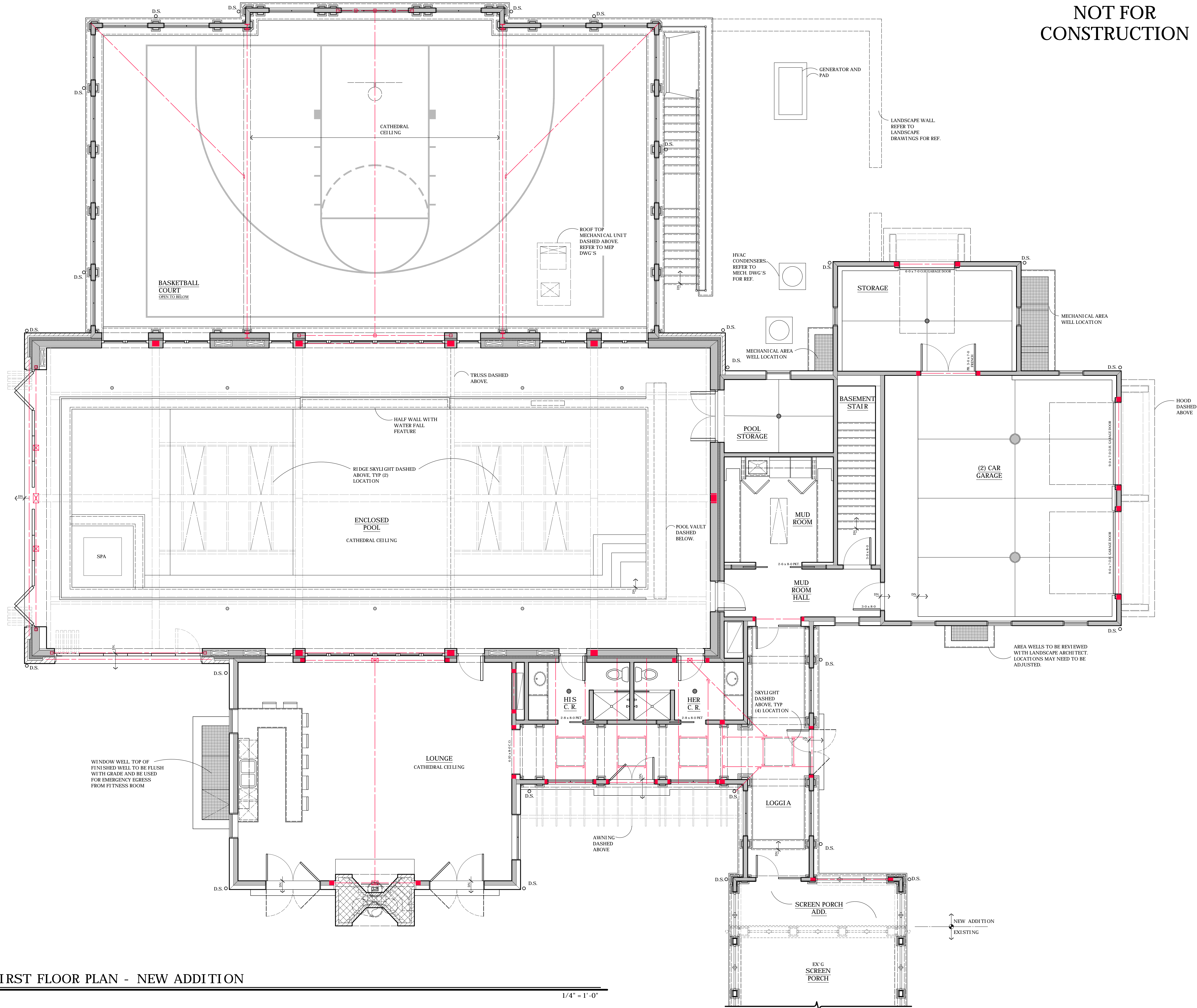
A1.0

DATE:
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27 MARCH 2017 - PROGRESS SET BACKGROUNDS
29 MARCH 2017 - ROOF DRAINAGE COORD.
03 APRIL 2017 - MTG WITH JOHN PARK AND EVAN SMITH
18 APRIL 2017 - ABB SUBMITTAL

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PARTIAL FIRST FLOOR PLAN - NEW ADDITION

1/4" = 1'-0"

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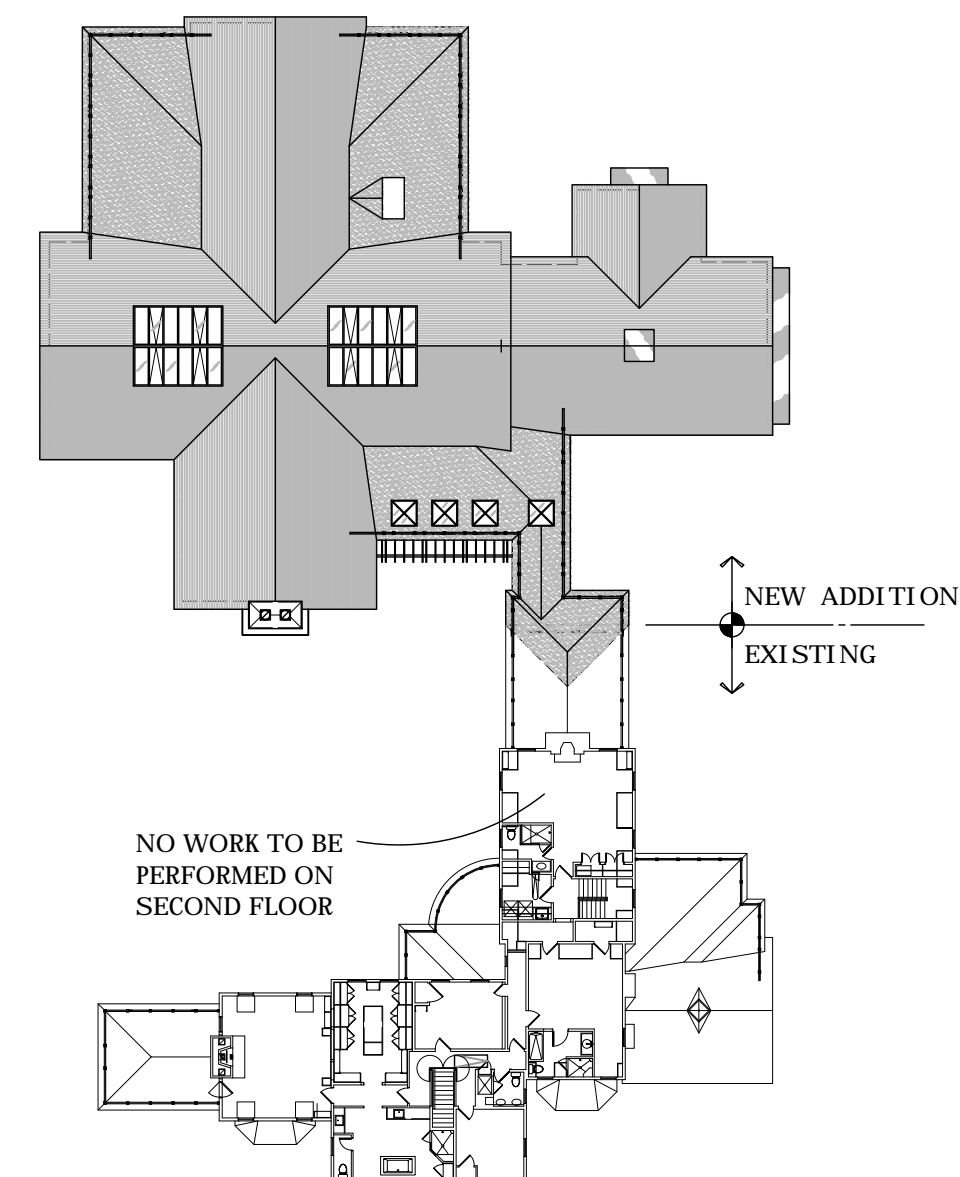
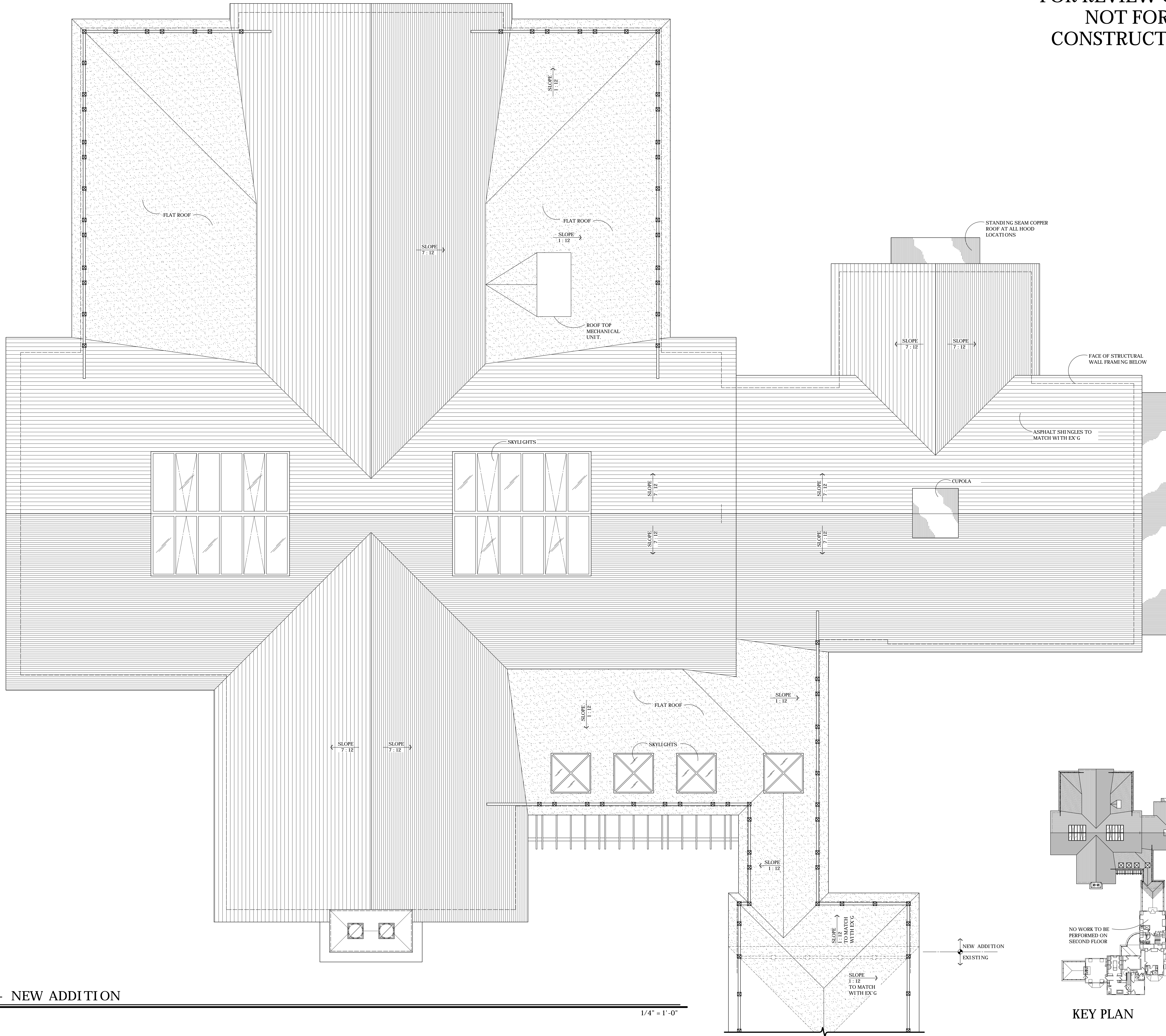
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A2.0



ROOF PLAN - NEW ADDITION

1/4" = 1'-0"



KEY PLAN

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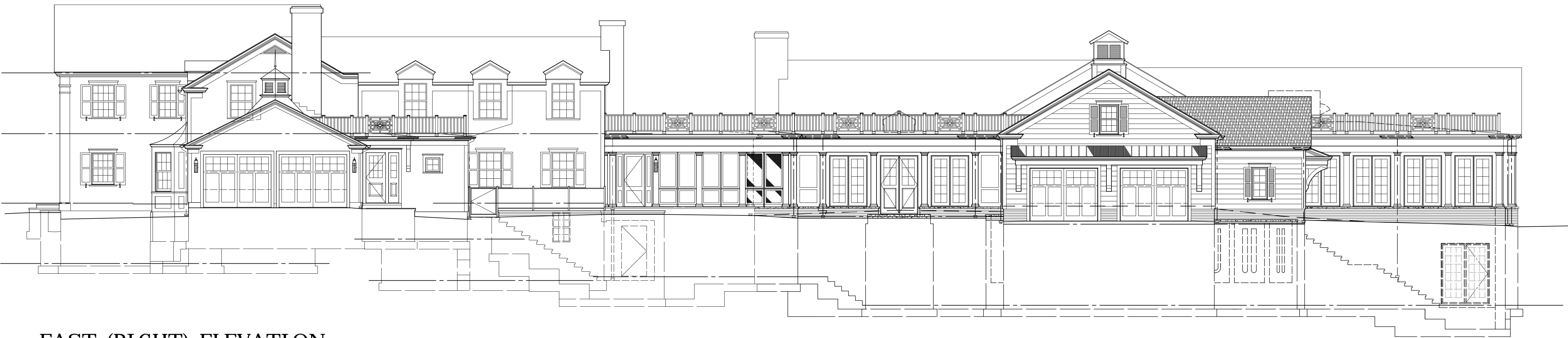
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**AN ADDITION / RENOVATION
OF THE
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250 COLLEGE STREET
HUDSON, OHIO
COMM. 1458

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A3.0



EAST (RIGHT) ELEVATION

1/8" = 1'-0"



WEST (LEFT) ELEVATION

1/8" = 1'-0"



EXISTING SOUTH (FRONT) ELEVATION

NO WORK TO BE PERFORMED JUST SHOWN FOR REFERENCE

1/8" = 1'-0"



EXISTING NORTH (REAR) ELEVATION

ELEVATION WITH NEW SCREEN PORCH ADDITION

1/8" = 1'-0"

- TYPICAL EXTERIOR ELEVATION NOTES:
1. THE FOLLOWING NOTES ARE IN ADDITION TO THE TYPICAL GENERAL NOTES AND CONSTRUCTION NOTES ON SHEET T-1.0
 2. REFER TO "TYPICAL WALL SECTION NOTES" FOR ALL CONSTRUCTION METHODS AND MORE DETAILED MATERIAL SPECIFICATIONS.

EXTERIOR FINISH SCHEDULE		
NAME	MATERIAL / TYPE	COLOR / FINISH
EXTERIOR FIREPLACE AND CHIMNEY MASS	BRICK TO MATCH WITH EX'G HOUSE	PAINTED, WHITENASHED TO MATCH BRICK VENER AT HOUSE
EXTERIOR FIREPLACE STONE ACCENTS	SANDSTONE	BUFF, TO MATCH WITH HOUSE
BRICK (TYPICAL AT EXTERIOR WALLS AT ENCLOSED POOL AND WAINSCOTT BASE)	BRICK TO MATCH WITH EX'G HOUSE	PAINTED, WHITENASHED TO MATCH BRICK VENER AT HOUSE
STONE SILL	SANDSTONE	BUFF, TO MATCH WITH HOUSE
SIDING AND PANELING	WOOD OR COMPOSITE MATERIAL (AZEK OR BOARAL)	PAINTED WHITE TO MATCH WITH HOUSE
ALL TRIM INCLUDING ALL EAVES AND SOFFITS	WOOD OR COMPOSITE MATERIAL (AZEK OR BOARAL)	PAINTED WHITE TO MATCH WITH HOUSE
ROOF SHINGLES	ASPHALT	TO MATCH WITH EX'G
FLAT ROOFS (OPTION #1)	20 OZ. SOLDER SEAM COPPER	AGED, PATINA
FLAT ROOFS (OPTION #2)	EPDM ROOF	TO MATCH WITH EX'G
GARAGE, STORAGE AND CUPOLA ROOFS	20 OZ. STANDING SEAM COPPER	AGED, PATINA
SKYLIGHTS	CLAD WOOD	EITHER NATURAL COPPER OR BLACK POWDER COATED ALUMINUM
FLASHING	20 OZ. COPPER	AGED, PATINA
GUTTERS AND DOWNSPOUTS	20 OZ. COPPER, HALF ROUND WITH ROUND D.S.	TO MATCH WITH EX'G
GARAGE DOORS	WOOD	TO MATCH WITH EX'G
TYPICAL WINDOWS AND FRENCH DOORS	ALUMINUM CLAD	WHITE (TO MATCH WITH HOUSE)
ALUMINUM FRAMED WINDOWS AND DOORS (TYPICAL AT ENCLOSED POOL)	ALUMINUM/ POWDER COATED	WHITE (TO MATCH WITH HOUSE)
WINDOW SHUTTERS	WOOD OR COMPOSITE MATERIAL (AZEK OR BOARAL)	TO MATCH WITH EX'G. SHUTTER WIDTH - 1/2 WINDOW WIDTH. SEE ELEVATIONS FOR NEW SHUTTER LOCATIONS.
PROVIDE SAMPLE PANELS OF ALL MATERIALS, COLORS AND FINISHES FOR OWNER APPROVAL		

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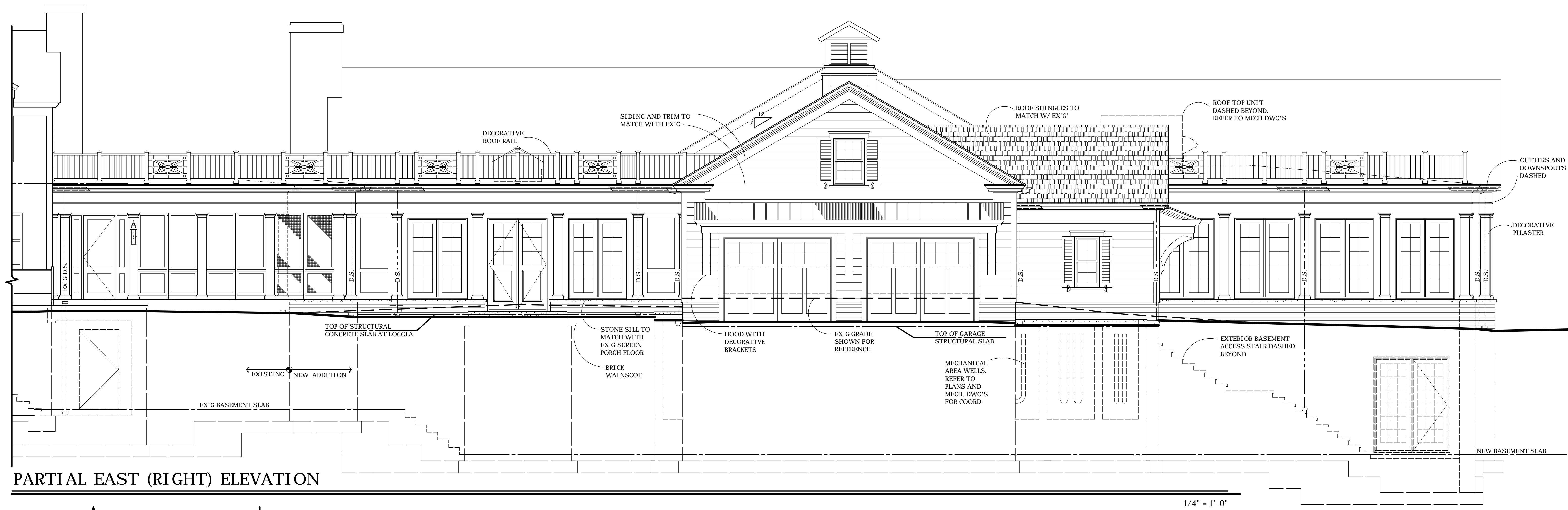
AN ADDITION / RENOVATION
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250 COLLEGE STREET
HUDSON, OHIO

COMM. 1458

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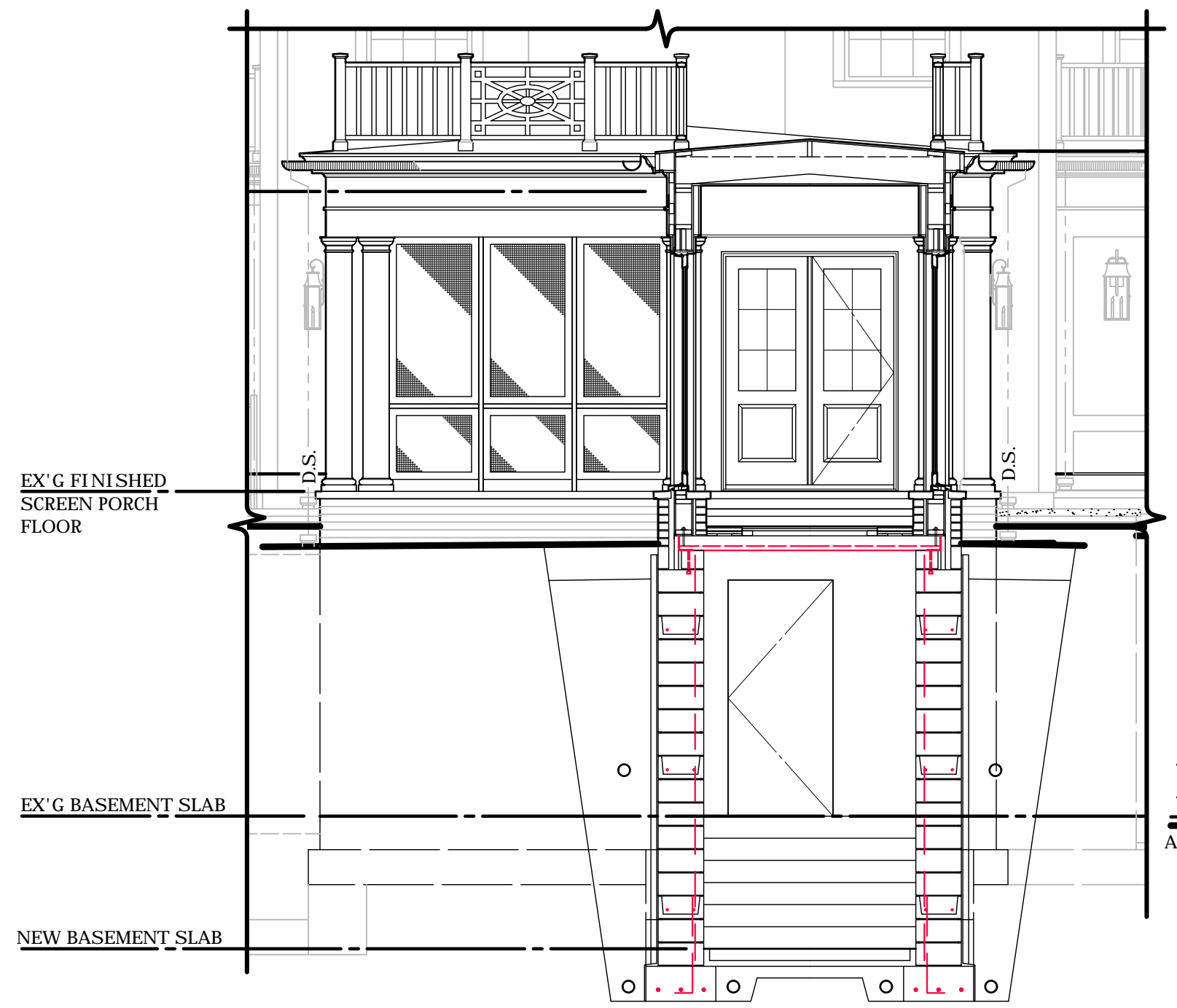
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A4.0



PARTIAL EAST (RIGHT) ELEVATION

1/4" = 1'-0"

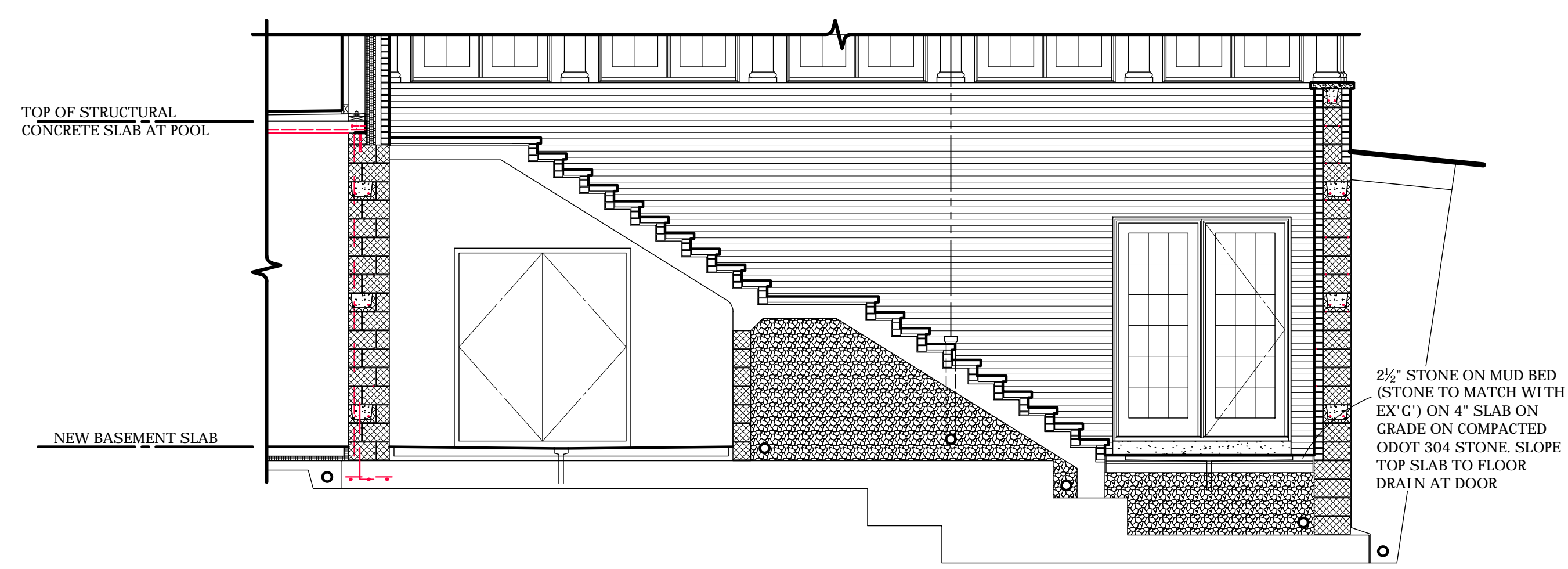


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HIDDEN NORTH (REAR) ELEVATION

AT SCREEN PORCH ADDITION

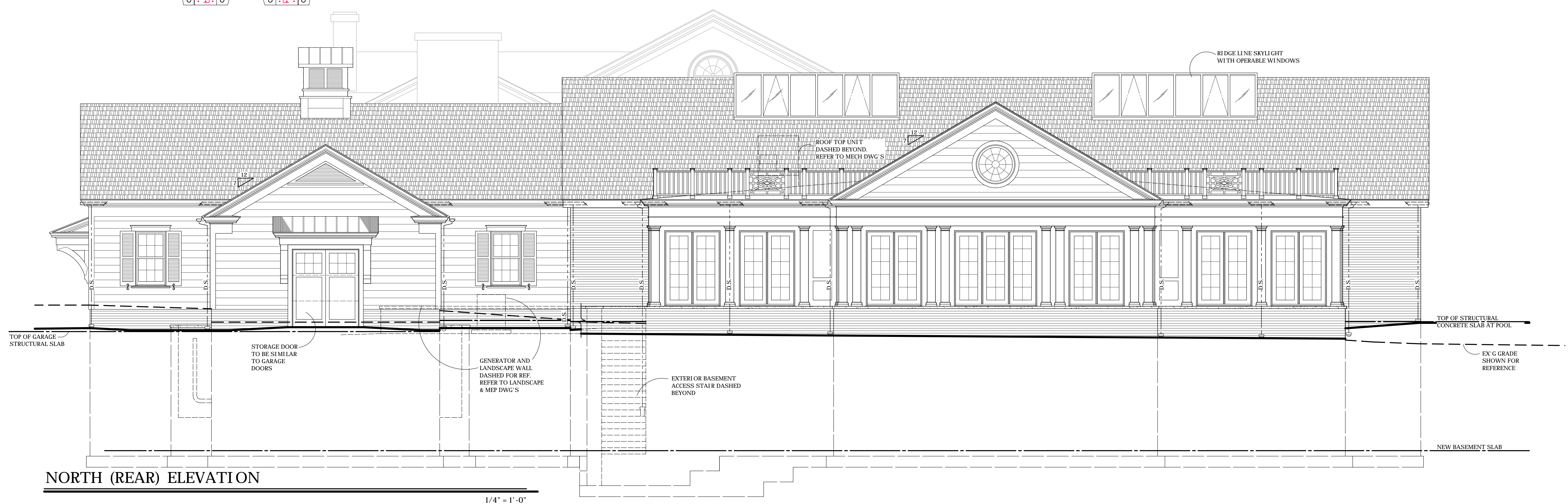
1/4" = 1'-0"



HIDDEN ELEVATION

AT ENTRY AT BASKET BALL COURT

1/4" = 1'-0"



NORTH (REAR) ELEVATION

1/4" = 1'-0"

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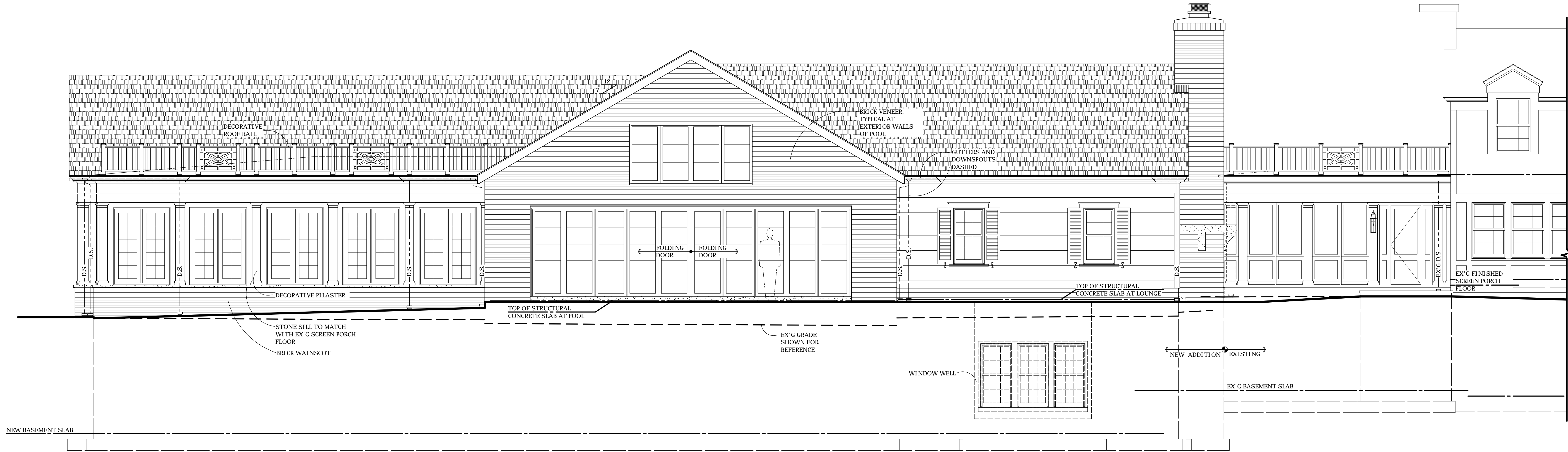
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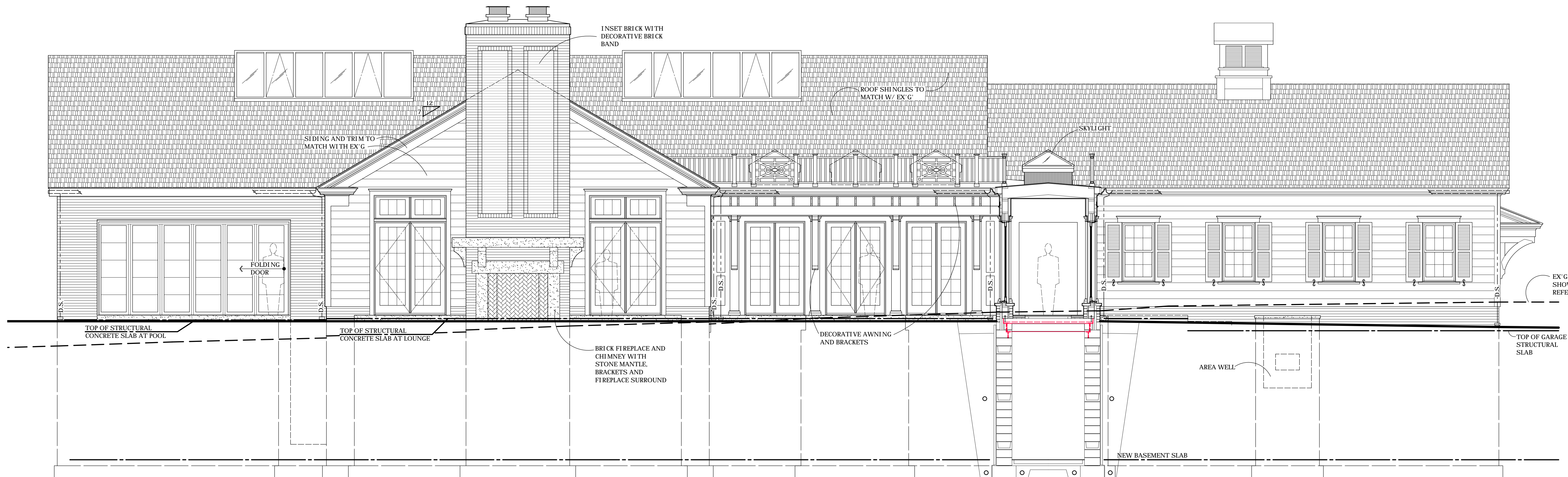
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A4.1



PARTIAL WEST (LEFT) ELEVATION

1/4" = 1'-0"



SOUTH (FRONT) ELEVATION

1/4" = 1'-0"

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AN ADDITION / RENOVATION
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A4.2



EXISTING HOUSE (VIEW LOOKING NORTH)



EXISTING HOUSE (VIEW LOOKING SOUTH)



EXISTING GARAGE (VIEW LOOKING NORTH)



EXISTING GARAGE TO BE REMOVED



EXISTING SITE (VIEW LOOKING SOUTH)

AN ADDITION / RENOVATION
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HUDSON, OHIO

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PHOTOS

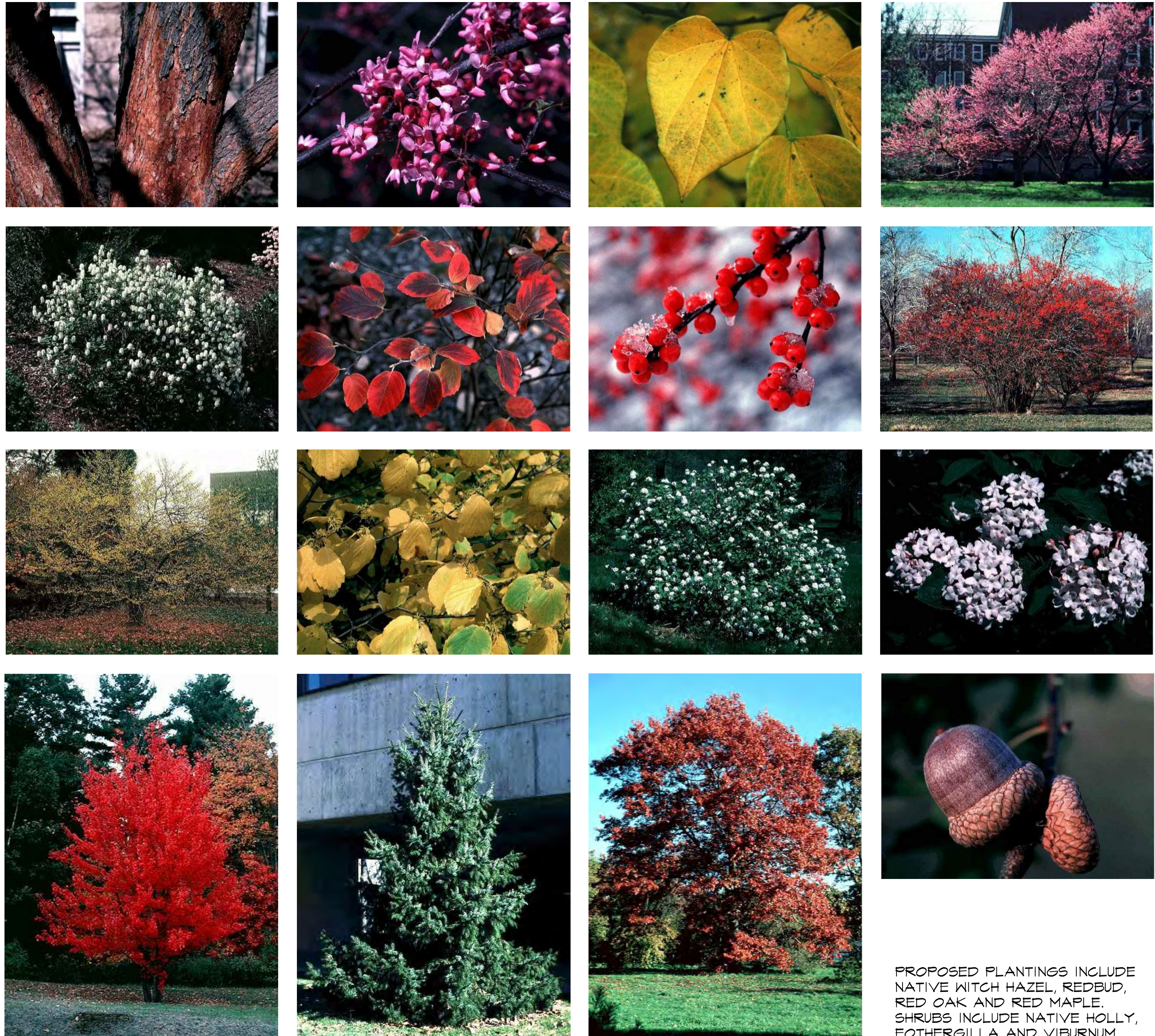
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EXISTING LANDSCAPE CHARACTER TO BE PRESERVED AND ENHANCED. EXISTING MATURE OAKS ON SITE TO BE PROTECTED WITH EXCEPTION OF ONE OAK IN BACK. SPECIMEN TREES TO BE USED TO ADD BALANCE AND UNITY TO OVERALL COMPOSITION WITH EXISTING AND PROPOSED STRUCTURES. EXISTING HEDGEROWS TO BE PRUNED WITH REMOVALS OF INVASIVE SPECIES WHERE APPROPRIATE. ADDITION OF NATIVE TREES AND SHRUBS WILL ADD SCREENING ALONG PROPERTY LINES TO PRESERVE OVERALL CHARACTER AND ENHANCE EXISTING PLANTINGS. EXISTING SANDSTONE PAVING TO BE SALVAGED AND RE-USED ON SITE.

EXISTING LANDSCAPE CHARACTER

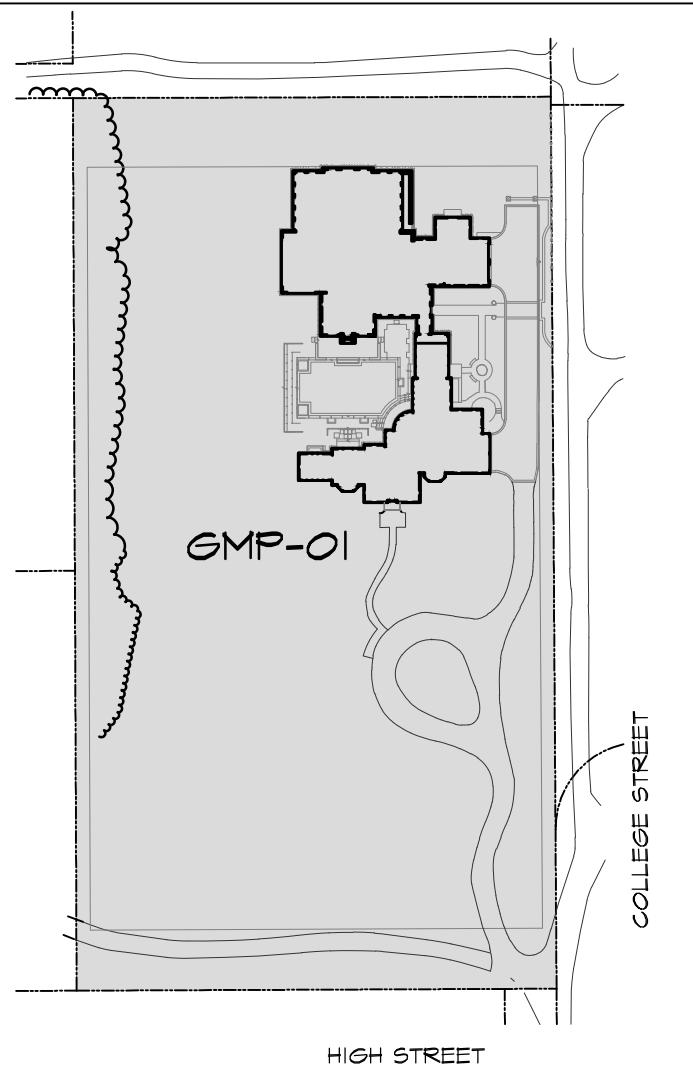


PROPOSED PLANTINGS INCLUDE NATIVE WITCH HAZEL, REDBUD, RED OAK AND RED MAPLE. SHRUBS INCLUDE NATIVE HOLLY, FOTHERGILLA AND VIBURNUM.

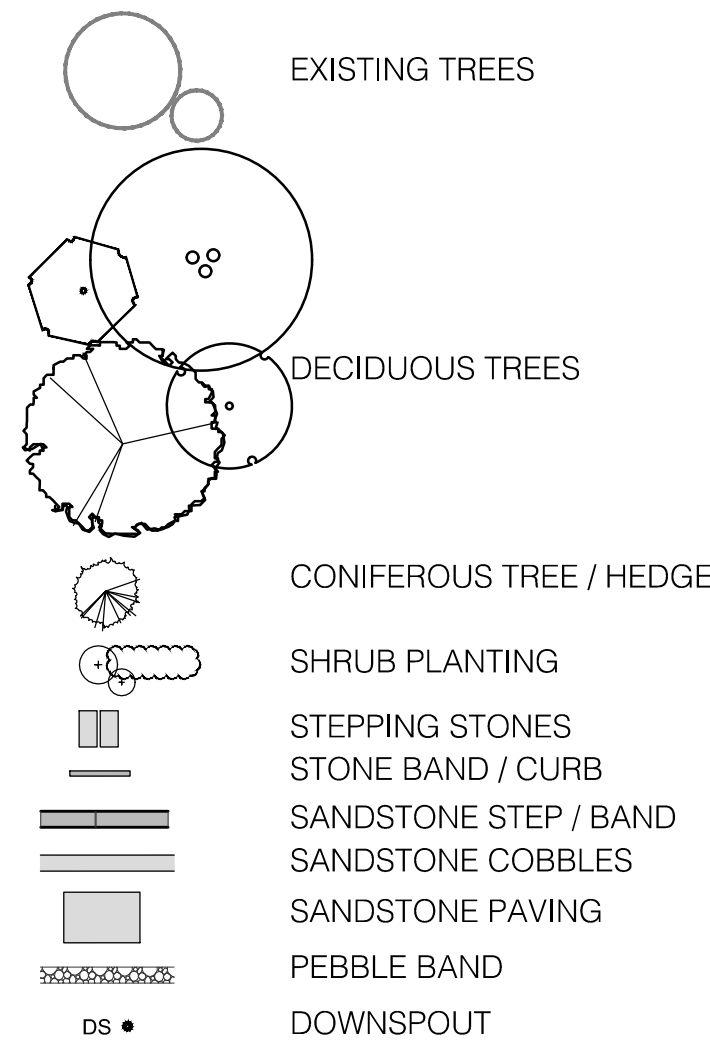
PROPOSED TREES AND SHRUBS



KEY PLAN



LEGEND



BASE INFORMATION OBTAINED ELECTRONICALLY FROM ALBAN SURVEYING COMPANY, TEL. 440-946-0732

no.	date	version	by
5.	APR 18 2017	FOR AHB SUBMISSION	PT
4.	APR 06 2017	FOR CO-ORDINATION	PT
3.	FEB 14 2017	FOR CO-ORDINATION	PT
2.	JAN 20 2017	CO-ORDINATION MEETING	PT
1.	DEC 13 2016	CONCEPT PLAN	PT

All information herein to be checked and verified at the site and any discrepancies must be reported to and clarified by the landscape architect before commencing work. All drawings, specifications, details, digital information, etc., prepared by the landscape architect are instruments of service and as such are their property and must be returned upon request.

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consultants:

ARCHITECT:

WILLIAMS H. CHILDS, JR. & ASSOCIATES, INC.

ARCHITECTS / PLANNERS

6 W. WASHINGTON STREET

CHAGRIN FALLS, OHIO 44022

440-247-4122

CIVIL ENGINEER:

HESS & ASSOCIATES ENGINEERING INC.

12121 KINGSMAN ROAD

NEWBERRY, OHIO 44065

440-564-8008

STRUCTURAL ENGINEER:

I.A. LEWIN PE & ASSOCIATES

4110 MAYFIELD ROAD, SUITE B

SOUTH EUCLID, OHIO 44121

216-291-3131

project name and client

HARRINGTON RESIDENCE

250 COLLEGE STREET

HUDSON, OHIO 44236

drawing title

GARDEN MASTER PLAN

project no. 0006

date JUNE 28, 2016

files 0006-GMP01-R4-17APR18

drawn PT

direction N

scale* 1" = 20'

drawing no. GMP-01

NOTED SCALE IS APPLICABLE ONLY WHEN PRINTED ON 30"x42" SIZE SHEET



SECTION A1-A2

SCALE = 1/8"=1'-0"



SECTION B1-B2

SCALE = 1/8"=1'-0"



SECTION C1-C2

SCALE = 1/8"=1'-0"

no.	date	version	by
5.	APR 18 2017	FOR AHB SUBMISSION	PT
4.	APR 06 2017	FOR CO-ORDINATION	PT
3.	FEB 14 2017	FOR CO-ORDINATION	PT
2.	JAN 20 2017	CO-ORDINATION MEETING	PT
1.	DEC 13 2016	CONCEPT PLAN	PT

All information hereon to be checked and verified at the site and any discrepancies must be reported to and clarified by the landscape architect before commencing work. All drawings, specifications, details, digital information, etc., prepared by the landscape architect are instruments of service and as such are their property and must be returned upon request.

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project name and client

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HUDSON, OHIO 44236

drawing title

LANDSCAPE ELEVATIONS

project no.	0006	date	JUNE 28, 2016
file	0006-GMP02R4-17APR18	drawn	PT
direction		scale*	AS SHOWN
		drawing no.	GMP-02

*NOTED SCALE IS APPLICABLE ONLY WHEN PRINTED ON 30"x42" SIZE SHEET