

I N D E X M A T E R I A L S **STUD WALL** ROUGH WOOD FRAMING

SYMBOLS INDEX B SECTION CUT — — — PROPERTY LI NE NEW CONTOUR —— — CENTER LINE — — EXI STI NG CONTOUR 110 ROOM NUMBER 00.00 NEW GRADE - DETAIL CUT 00.00 EXISTING GRADE WINDOW AND BUILDING ELEVATION DOOR TYPES

FINISH WOOD

WWW INSULATION

RIGID INSULATION

STUD WALL (W/ SOLID BEARING)

C.M.U.

BRI CK

SOLID MASONRY

PANEL SHEATHING

CONCRETE

| FOR REVIEW ONLY | NOT FOR CONSTRUCTION

PROJECT TEAM

ARCHITECT:

WILLIAM H. CHILDS, JR. & ASSOCIATES, INC. 6 W. WASHINGTON ST.

CHAGRIN FALLS, OH 44022 (440) 247-4122

GENERAL CONTRACTOR:

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(216) 291-3131

STRUCTURAL ENGINEER:

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M. E. P. ENGINEER:

MCHENRY & ASSOCIATES INCORPORATED 25001 EMERY ROAD. SUITE 200 WARRENSVILLE HEIGHTS, OH 44128 (216) 292-4696

LANDSCAPE ARCHITECT:

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CIVIL ENGINEER:

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HESS & ASSOCIATES ENGINEERING INC. 12121 KI NSMAN ROAD NEWBURY, OH 44065

GEOTECHNICAL ENGINEER:

DAVID V. LEWIN CORPORATION SUITE 340 - CAXTON BUILDING 812 HURON ROAD CLEVELAND, OH 44115-1126

POOL CONSULTANT:

HIGHLAND CONSTRUCTION

17535 SOUTH MILES ROAD CLEVELAND, OH 44128 (216) 581-5809

CONSTRUCTION NOTES

THE CONTRACTOR IS RESPONSIBLE FOR ASSURING THAT ALL WORK IS DONE IN ACCORDANCE WITH THE CURRENT LOCAL CODES. THE CONTRACTOR SHALL VERIFY ALL CURRENT APPLICABLE CODES PRIOR TO CONSTRUCTION THE FOLLOWING CONSTRUCTION NOTES ARE IN ADDITION TO ALL CURRENT LOCAL CODES.

GENERAL NOTES

- 1. ALL ELEMENTS OF CONSTRUCTION SHALL BE PROVIDED IN ACCORDANCE FIRST WITH THE CURRENT

- TO THE ARCHITECT PRIOR TO BEGINNING CONSTRUCTION. 7. DO NOT SCALE THESE DRAWINGS. FOLLOW THE DIMENSIONS GIVEN. CONTACT ARCHITECT FOR
- 8. AN OVERALL REVIEW OF THE PLANS SHALL BE CONDUCTED BY EACH CONTRACTOR AND ANY UNCLEAR AREAS OR DI SCREPANCI ES SHALL BE REPORTED TO THE ARCHI TECT PRI OR TO BEGI NNI NG ANY CONSTRUCTION. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY MISINTERPRETATIONS OR

FOUNDATIONS

- 1. DESIGN BEARING PRESSURE HAS BEEN ASSUMED TO BE 3,000 PSF. PRIOR TO CONSTRUCTION THE GENERAL CONTRACTOR MUST VERIFY SOIL BEARING PRESSURE, AND THAT SETTLEMENTS AT THIS PRESSURE WILL BE WITHIN ACCEPTABLE LIMITS. REFER TO SOIL CONDITION REPORT FOR FURTHER COORDI NATI ON.
- 2. EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 42" BELOW FINAL GRADE FOR FROST PROTECTION 3. ALL HIGHER FOOTINGS MUST BE STEPPED DOWN TO BOTTOM OF BASEMENT FOOTING, OR TO LOWER THE CONSTRUCTION DOCUMENTS
 - 3.1 TYPI CAL STEP FOOTING STEP (2) HORI ZONTAL UNITS TO (1) VERTI CAL UNIT PER STEP, 2'-0" MAX. VERTICALLY. INSTALL DOWELS AT EACH STEP TO MATCH FOOTING REINFORCEMENT. 4'-0" MIN. LAP AT EACH STEP. GENERAL CONTRACTOR TO COORDINATE WITH SITE GRADING PLAN. ENGINEER OF RECORD IS NOT RESPONSIBLE FOR CONTRACTOR ERRORS. 3.2 DEEP STEP FOOTING - FOR CHANGING THE VERTICAL LEVEL OF THE FOOTING IN A SINGLE STEP.
 - LOWER FOOTING TO THE TOP OF THE HIGHER FOOTING. FORM STEP FOOTING 2'-0" MIN. WIDE AT STEP BY FOOTING WIDTH FOR FULL HEIGHT. REINFORCE FOOTING VERTICALLY W/ (4) #6 DOWELS W/ #3 TIES @ 12" O.C. VERTICALLY AROUND DOWELS. 3" MIN. COVER AROUND REINFORCING. ALIGN VERTICAL DOWELS W/ LOWER AND HIGHER FOOTING REINFORCING AND
 - 3.3 REFER TO ELEVATIONS FOR LOCATIONS AND DIMENSIONS OF EACH TYPE OF STEP FOOTING CONTACT ARCHITECT IF FURTHER DETAILS ARE REQUIRED.

CONCRETE

1. REFER TO THE GENERAL STRUCTURAL NOTES ON SHEET S0.1.

MASONRY

- 2. USE OF MORTAR IN LIEU OF GROUT IS NOT PERMITTED. 3. GROUT MASONRY WALL SOLID FULL HEIGHT FOR THE WIDTH OF THE WALL AND FOR 12" TO EACH SIDE OF THE BEARING CENTERLINE (24" TOTAL MIN.) UNDER EACH STEEL BEAM ABOVE AND FOR STEEL COLUMNS BEARING ON THE WALL FROM ABOVE. REFER TO STRUCTURAL DWGS FOR FURTHER
- 4. ALL MASONRY FIREPLACE FIREBOX HEARTH FLOOR FIREBRICKS SHALL BE 9 x 4.5 x 2.5 FULL DARK RED FI REBRI CKS (SUPERI OR CLAY CORP.) LAID IN A BASKET WEAVE PATTERN. ALL MASONRY FI REPLACE FIREBOX WALLS SHALL BE 9 x 4.5 x 1.25 SPLIT DARK RED FIREBRICKS (SUPERIOR CLAY CORP.) LAID IN A HERRI NGBONE PATTERN. USE MEDI UM DUTY REFRACTORY MORTAR (PER ASTM C-199) WI TH 1/4" WI DE JOINTS MAXIMUM.

STRUCTURAL STEEL

- 1. REFER TO THE GENERAL STRUCTURAL NOTES ON SHEET S0.1.
- 2. ANCHOR RODS SHALL BE ASTM A-1554. 3. STEEL BEARING PLATE PLATES ARE REQUIRED UNDER STEEL BEAMS OR COLUMNS BEARING ON CMU
- WALLS. REFER TO THE STRUCTURAL DWGS. FOR NOTES, DETAILS AND LOCATIONS. I. ALL STEEL BEAMS SUPPORTING BEAMS OR COLUMNS ABOVE NEED A PAIR OF FITTED WEB STIFF PLATES
- CENTERED UNDER LOAD ABOVE. REFER TO STRUCTURAL DWGS. FOR NOTES, DETAILS AND LOCATIONS. . ALL STEEL BEAMS SUPPORTING FRAMING SHALL HAVE A 2 x WOOD TOP PLATE (MATCH FLANGE WIDTH) ATTACHED TO THE TOP FLANGE WITH 2 - ½" Ø BOLTS @ 32" O.C. U.N.O. ALL HOLES SHOP DRI LLED
- 3. ALL STEEL BEAMS REQUIRING SOLID WEB BLOCKING FOR SUPPORT (I.E. FACE MOUNTED HANGERS) SHALI HAVE THE BLOCKING ATTACHED TO THE WEB WITH ½" Ø BOLTS @ 16" O.C. AT THE WEB CENTERLINE IN SHOP DRILLED HOLES OR RAMSET TO THE WEB WITH 2 - 0.145 PINS @ 16" O.C., U.N.O. STEEL FABRICATOR SHALL PROVIDE SHOP DRAWINGS FOR APPROVAL ONLY IF REQUIRED BY THE
- COMMENCE UNTIL ALL PARTIES HAVE SIGNED, DATED AND APPROVED THE SHOP DRAWING SET. THE GO IS SOLELY RESPONSIBLE FOR COORDINATING THE SHOP DRAWING REVIEW & APPROVAL PROCESS.

ROUGH CARPENTRY

- 1. REFER TO THE GENERAL STRUCTURAL NOTES ON SHEET S0.1. 2. NO STRUCTURAL MEMBER SHALL BE CUT OR NOTCHED UNLESS SPECIFICALLY SHOWN, NOTED OR
- APPROVED BY THE ARCHITECT.
- 3. ALL STRUCTURAL MEMBERS SHALL BE KI LN DRI ED.
- 4. ALL L.V.L. AND ENGINEERED I-JOIST MEMBERS SHALL BE STORED, HANDLED AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- 6. ALL LUMBER LESS THAN 8" ABOVE GRADE OR LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESERVATI VE PRESSURE TREATED (PPT) SOUTHERN PI NE #2 (U.N.O.)

F. ROUGH CARPENTRY (CONTINUED)

7. ALL SILL PLATES SHALL BE PPT LUMBER AND SHALL CONFORM TO I BC STANDARDS. 8. ALL EXPOSED PPT LUMBER ABOVE GRADE SHALL BE SOUTHERN PI NE #1.

9. ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PPT (U.N.O.)

- ONE KING-STUD AT EACH SIDE FULLY NAILED TO JACK-STUDS AND BEAM SIDE. STUDS ARE TO EXTEND TO SOLID OR BEAM BEARING OR AS NEEDED. BLOCK SOLID AS NEEDED.
- TOP PLATE TO THE UNDERSIDE OF THE SUBFLOOR AT EACH BEARING LOCATION. 19. INSTALL SOLID BLOCKING (MATCH JOIST SIZE) UNDER PERPENDICULAR WALLS (MATCH STUD WIDTH) BETWEEN THE JOISTS WHERE POINT LOADS OCCUR (U.N.O.)
- 20.ALL JOISTS UNDER AND MIN. 16" BEYOND EACH KITCHEN ISLAND SIDE SHALL BE DOUBLED. 21. PROVI DE HURRI CANE / WI ND TI ES AT EACH TRUSS BEARI NG PER TRUSS DESI GNER'S LOAD
- 22.PROVI DE H-CLI PS ON ALL ROOF SHEATHING CENTERED BETWEEN THE RAFTERS OR TRUSSES. 23.ROOF SLOPES SHALL BE LAID OUT IN-PLACE AND THE RELATIONSHIP TO EACH OTHER AND TO
- RELATED WINDOW AND DOOR OPENINGS SHALL BE VERIFIED PRIOR TO ORDERING WINDOWS OR
- 24.ALL HEADERS AND RAFTERS AROUND ROOF OPENINGS (I.E. DORMERS) SHALL BE DOUBLED FULL 25.PROVIDE AN ACCESS PANEL (MIN. ROUGH OPENING SIZE 22" X 30") TO ATTIC AREAS EXCEEDING 30 SQ. FT. HAVING A VERTICAL HEIGHT OF 30" OR MORE. PROVIDE 30" MIN. HEADROOM AT ACCESS PANEL

1. REFER TO THE GENERAL STRUCTURAL NOTES ON SHEET S0.1.

LOCATION. REFER TO R.C.O. SECTION R807 FOR FURTHER COORDINATION.

- 2. REFER TO THE "REPORT ON SOIL CONDITIONS" DAVID V. LEWIN CORP. / GEOTECHNICAL ENGINEERING DATED NOVEMBER 16, 2016 PRIOR TO CONSTRUCTION.
- 3. THE FINISH GRADE AROUND THE HOUSE AND ADDITION SHALL SLOPE 5% MINIMUM AWAY FROM THE FOUNDATION AROUND THE ENTIRE PERIMETER. IF NECESSARY, SWALES SHALL BE CREATED TO ALLOW THIS TO OCCUR. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR FURTHER COORDINATION. 4. ALL ROOFS TO HAVE GUTTERS AND DOWNSPOUTS AS REQUIRED FOR PROPER DISCHARGE INTO

STORM SEWERS, OR ON TO SPLASH BLOCKS, AS REQUIRED BY THE CITY, VILLAGE OR TOWNSHIP. H. MECHANICAL, ELECTRICAL, PLUMBING (M.E.P.)

- . REFER TO THE MECHANI CAL ENGINEER M.E.P. DRAWINGS FOR FURTHER COORDINATION. THESE NOTES ARE TO BE USED IN CONJUNCTION WITH THE M.E.P. DWGS.
- HVI RECOMMENDED CFM/SQ.FT. CALCULATED EXHAUST FAN, PANASONIC 'WHI SPER CEILING SERIES' ROOF. PROVIDE A DUCT TERMINATION KIT (ENERGY EFFICIENT W/ SCREEN) AND W/ FLASHING AS

2. ALL BATHS, LAVS, POWDER ROOMS, ETC. WITH A TOILET AND/OR TUB OR SHOWER SHALL HAVE A

- REQUIRED AT THE DUCT EXTERIOR OUTLET. PAINT THE EXTERIOR WALL PENETRATION(S) TO MATCH THE FINISHED SURFACE. THE DUCT RUN SHALL BE SMOOTH METAL WITH FOIL 'MASTIC' TAPED JOINTS AND CLAMPS (NO SCREWS) AND INSULATED OR IN AN INSULATED CAVITY FOR THE ENTIRE LENGTH FROM THE UNIT TO THE EXTERIOR OUTLET.
- 4. A 4" FLOOR DRAIN SHALL BE PROVIDED IN THE IMMEDIATE VICINITY OF ALL FURNACES,WATER HEATERS, AND WASHING MACHINES ON ALL FLOORS UNLESS NOTED OTHERWISE. THE FLOOR FINISH SHALL BE WATER RESISTANT (I.E. TILE) AND SHALL SLOPE TOWARDS THE DRAIN. 5. ALL SMOKE DETECTORS (WHETHER NOTED ON DRAWINGS OR NOT) SHALL BE BOCA APPROVED AND
- HARD-WIRED WITH BATTERY BACK-UP. SMOKE DETECTORS SHALL BE LOCATED AS PER THE M.E.P. 6. INSTALL SINGLE STATION CARBON MONOXIDE ALARMS IN THE IMMEDIATE VICINITY OF EACH FUEL-FIRED APPLIANCE AND OUTSIDE EACH SEPARATE SLEEPING AREA WHETHER INDICATED ON
- THE DRAWINGS OR NOT. REFER TO M.E.P. DWGS. FOR FURTHER COORDINATION AND LOCATIONS. 7. ALL LIGHTS, OUTLETS AND WIRING SHALL BE INSTALLED ACCORDING TO THE CURRENT NATIONAL ELECTRIC CODE (NEC).

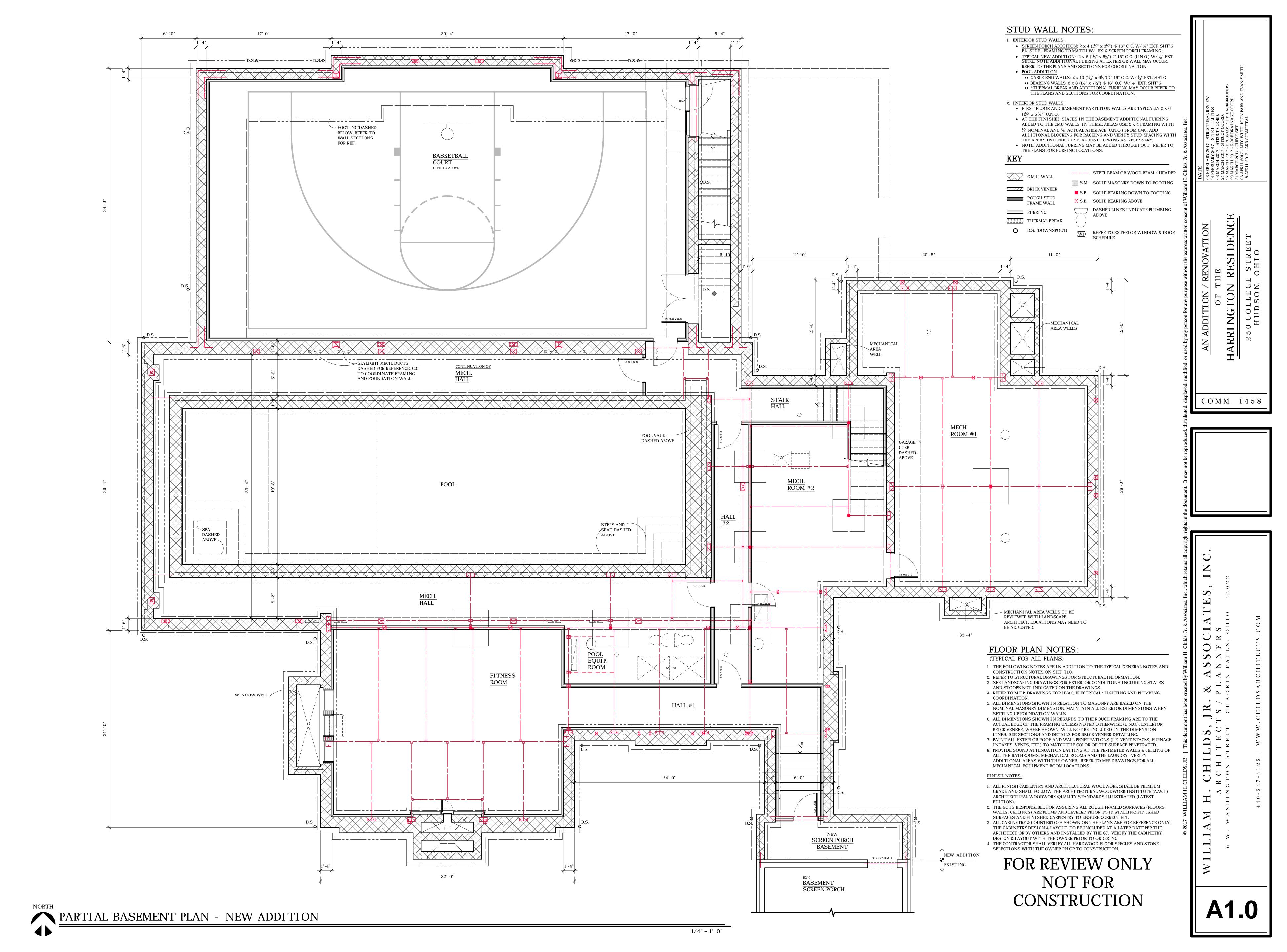
8. LOCATIONS OF CONVENIENCE OUTLETS AND G.F.C.I. OUTLETS SHALL BE SPECIFIED AS PER NEC

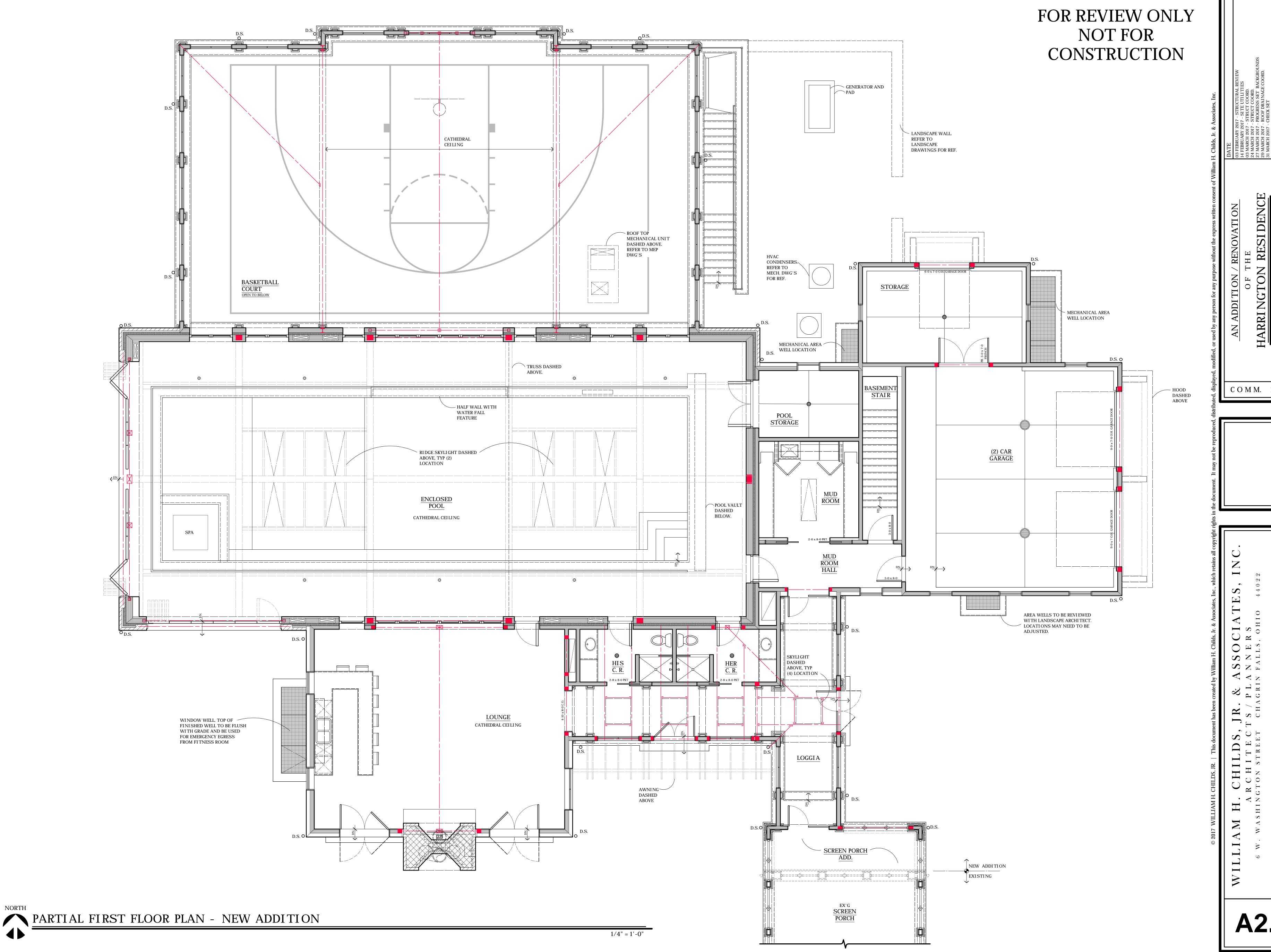
- REGULATIONS. 9. WHERE WHIRLPOOLS, SPAS OR TUBS ARE INSTALLED, ALL WIRING AND INSTALLATION OF LIGHT FIXTURES, SWITCHES, RECEPTACLES AND OTHER ELECTRICAL DEVICES SHALL BE INSTALLED ACCORDING TO NEC. VERIFY UNIT ELECTRICAL REQUIREMENTS WITH MANUFACTURER
- 10. RADON GAS MITIGATION SYSTEM AS PER THE M.E.P. DWGS.

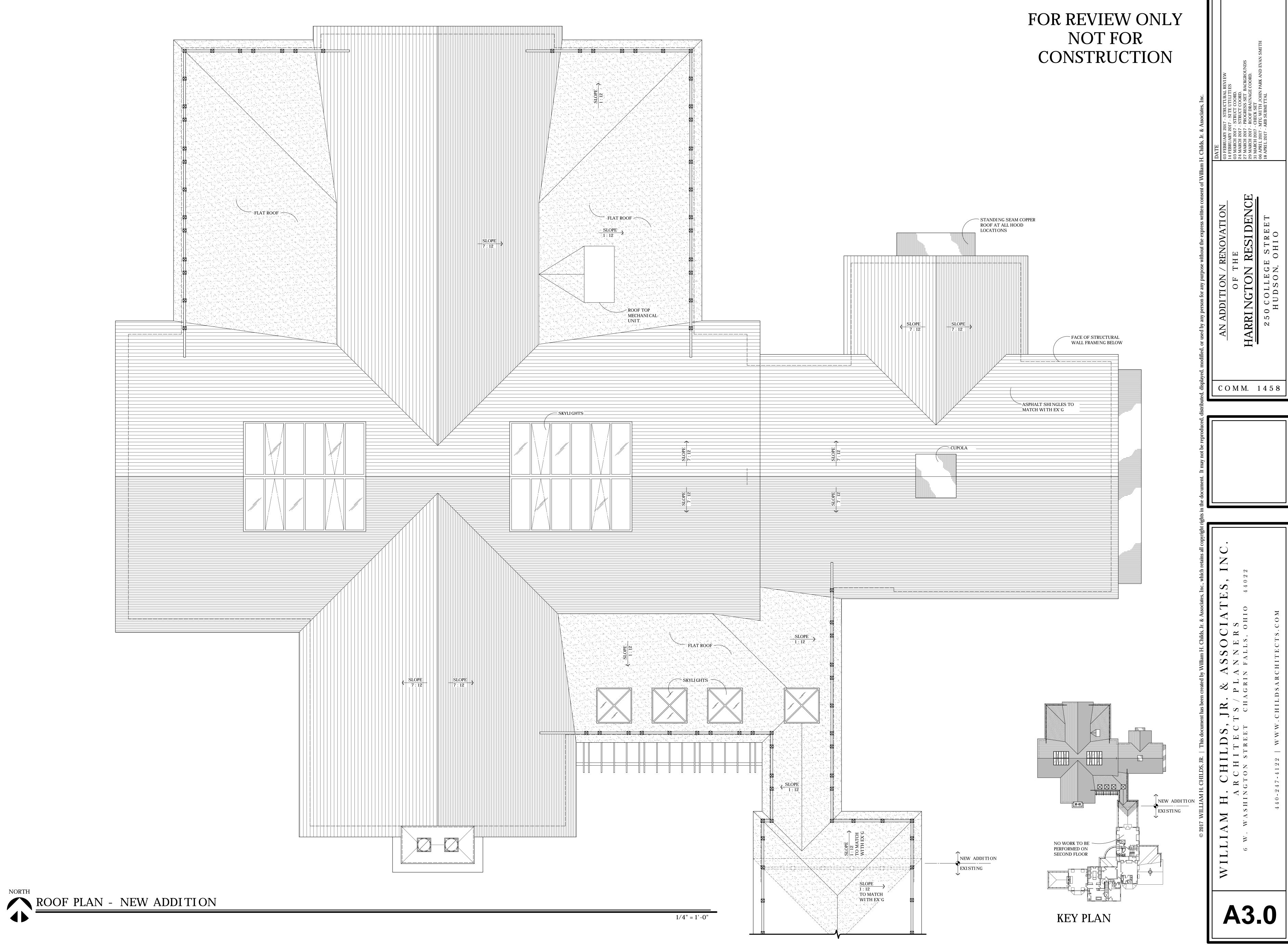
THERMAL & MOISTURE

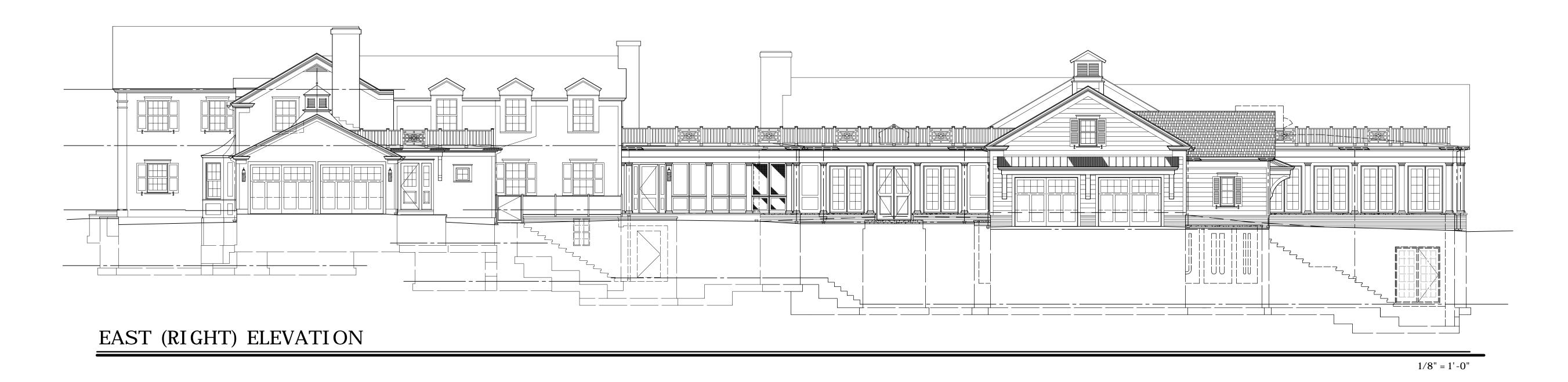
- 1. GARAGE INTERIOR SPACES SHALL BE COMPLETELY SEPARATED FROM ALL OTHER PARTS OF THE STRUCTURE WITH (1) LAYER OF 5/8" TYPE 'X' FIRECODE GYPSUM WALLBOARD ON THE GARAGE SIDE OF ALL ADJACENT WALLS & CEILINGS
- 2. THE DOOR FROM THE GARAGE TO THE HOUSE SHALL BE A (20) MI NUTE RATED FI REDOOR. 4. PROVIDE BITUTHENE PROTECTION ON ROOF & WALL ROUGH FRAMED SURFACES (ICE & WATERSHIELD
- BY GCP APPLIED TECHNOLOGIES, INC. OR APPROVED EQUAL) UP 72" FROM ALL EAVES, VALLEYS AND 2'-0" MIN. UP SIDE WALLS ADJACENT TO ROOF SURFACES WHERE POSSIBLE SNOW ACCUMULATION OR I CE BACK-UP MAY OCCUR. ENTIRE ROOF TO BE I CE & WATERSHI ELD WHERE ROOF SLOPE I S 4:12 OR LESS. (U.N.O) VERIFY COMPATIBILITY OF PRODUCTS W/ROOFING MANUFACTURER SPECS.
- 5. ALL METAL ROOFING (I.E. COPPER) AND FLASHINGS SHALL BE INSTALLED FOLLOWING S.M.A.C.N.A. APPROVED DETAILS, SPECIFICATIONS AND RECOMMENDATIONS. 6. ALL EXPOSED EXTERIOR MATERIALS FOR PORCHES, OVERHANGS, SOFFITS, TRIM, ETC. SHALL BE OF AN APPROVED EXTERIOR GRADE MATERIAL. 7. ALL WOOD MEMBERS (FINI SHED OR ROUGH FRAMING EXCLUDING PPT LUMBER) SHALL BE A MIN. OF
- 8" ABOVE ALL FINISHED GRADING OR EARTH UNLESS PROTECTED BY MEANS OF A MOISTURE RESISTANT MEMBRANE TYPE FLASHING. COORDINATE WITH ARCHITECT FOR FLASHING APPROVAL. 8. ALL EXTERIOR WOOD TRIM BOARDS (SIDING, SOFFIT, FASCIA, FRIEZE, RAKE, CASING, SURROUNDS, ETC.) SHALL BE BACK-PRIMED & EDGE-PRIMED (INCLUDING CUT EDGES) PRIOR TO INSTALLATION.

NO. TITLE ARCHITECTURAL TI.0 SITE PLAN, CONST. NOTES, DRAWING INDEX / KEY, PROJECT TEAM STRUCTURAL STRUCTURAL M.E.P. REFER TO M.E.P. ENGINEER DRAWING SET. CIVIL REFER TO CIVIL DRAWING SET. LANDSCAPE REFER TO CIVIL DRAWING SET.		D	R	A	W	I	N	G		I	N	D	E	X	
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EXISTING SOUTH (FRONT) ELEVATION

NO WORK TO BE PERFORMED JUST SHOWN FOR REFERENCE

1/8" = 1'-0"

EXISTING NORTH (REAR) ELEVATION

ELEVATION WITH NEW SCREEN PORCH ADDITION

FOR REVIEW ONLY NOT FOR CONSTRUCTION

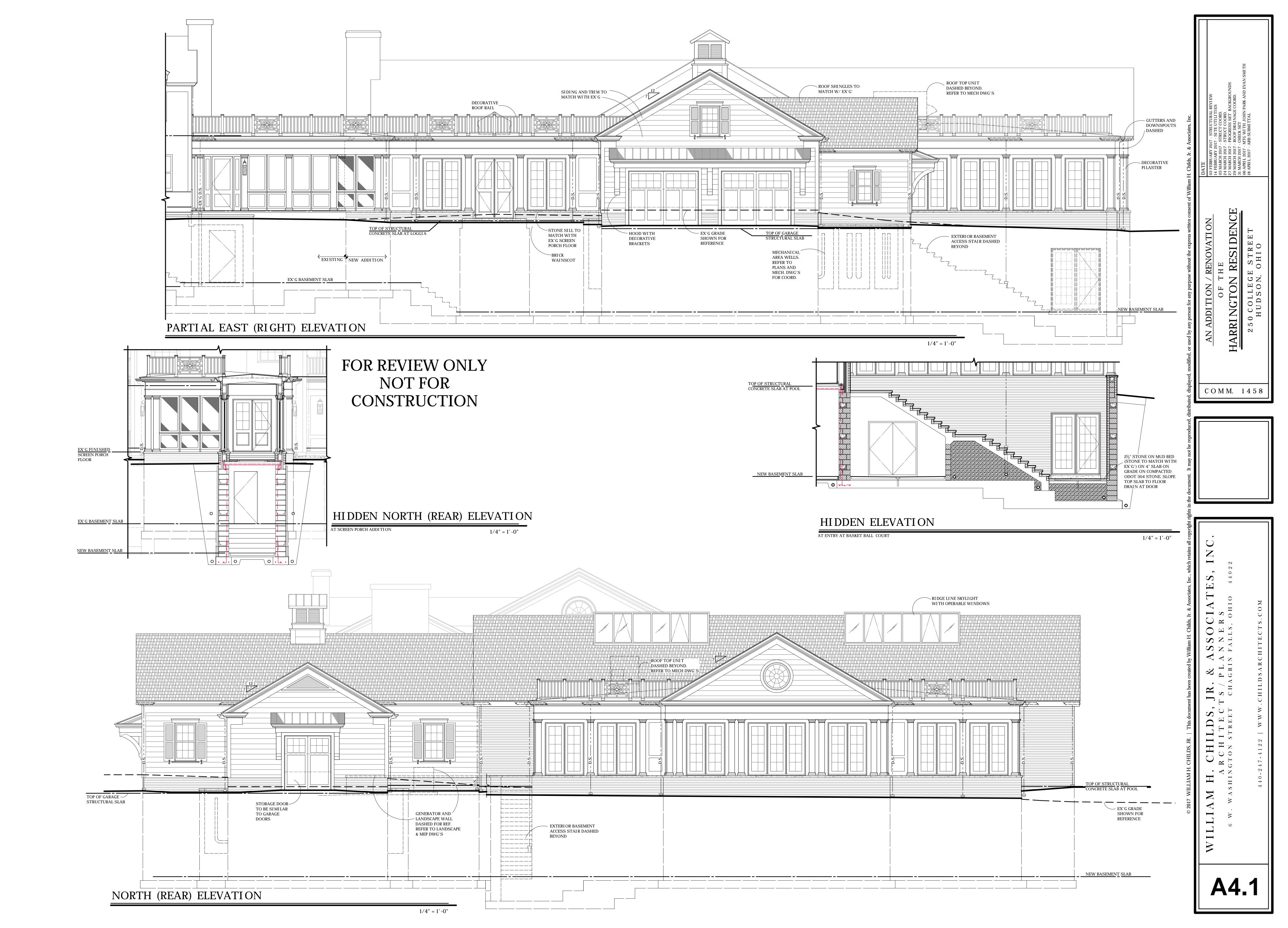
TYPICAL EXTERIOR ELEVATION NOTES:

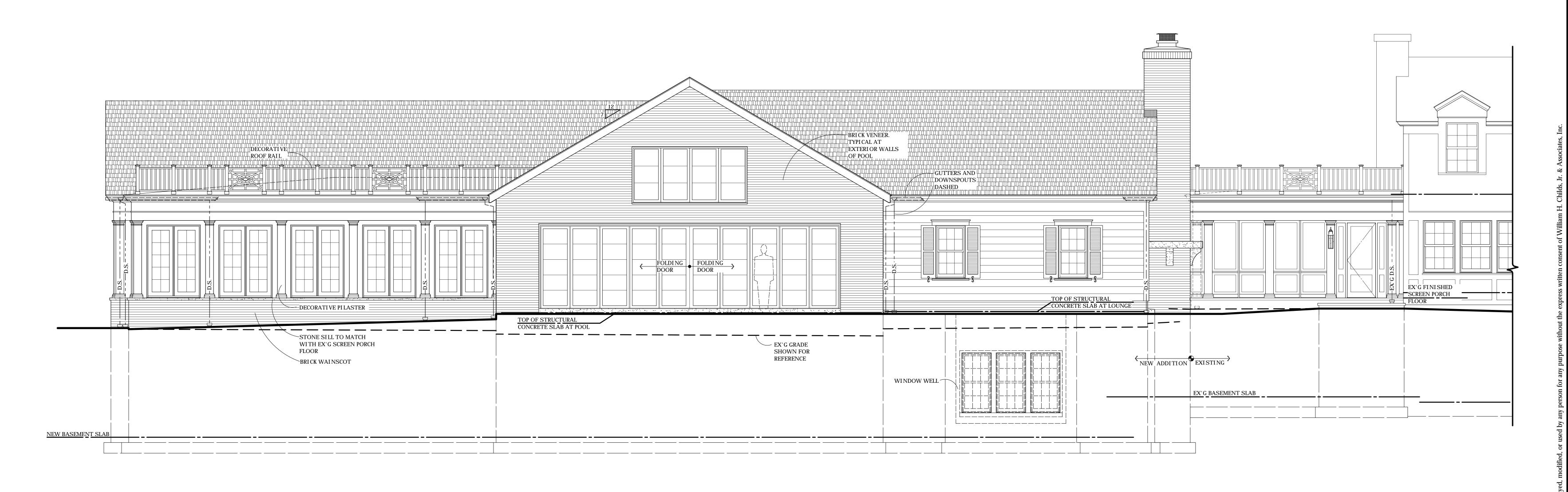
THE FOLLOWING NOTES ARE IN ADDITION TO THE TYPICAL GENERAL NOTES AND CONSTRUCTION NOTES ON SHT. T-1.0
 REFER TO "TYPICAL WALL SECTION NOTES" FOR ALL CONSTRUCTION METHODS AND MORE DETAILED MATERIAL SPECIFICATIONS.

NAME	MATERI AL / TYPE	COLOR / FINISH
EXTERI OR FIREPLACE AND CHIMNEY MASS	BRICK TO MATCH WITH EX'G HOUSE	PAI NTED, WHI TEWASHED TO MATCH BRICK VENEER AT HOUSE
EXTERI OR FI REPLACE STONE ACCENTS	SANDSTONE	BUFF, TO MATCH WITH HOUSE
BRICK (TYPICAL AT EXTERIOR WALLS AT ENCLOSED POOL AND WAINSCOT BASE)	BRICK TO MATCH WITH EX'G HOUSE	PAINTED, WHITEWASHED TO MATCH BRICK VENEER AT HOUSE
STONE SILL	SANDSTONE	BUFF, TO MATCH WITH HOUSE
SI DI NG AND PANELI NG	WOOD OR COMPOSITE MATERIAL (AZEK OR BOARAL)	PAINTED WHITE TO MATCH WITH HOUSE
ALL TRIM INCLUDING ALL EAVES AND SOFFITS	WOOD OR COMPOSITE MATERIAL (AZEK OR BOARAL)	PAINTED WHITE TO MATC
ROOF SHINGLES	ASPHALT	TO MATCH WITH EX'G
FLAT ROOFS (OPTION #1)	20 OZ. SOLDER SEAM COPPER	AGED, PATINA
FLAT ROOFS (OPTION #2)	EPDM ROOF	TO MATCH WITH EX'G
GARAGE, STORAGE AND CUPOLA ROOFS	20 OZ. STANDI NG SEAM COPPER	AGED, PATINA
SKYLIGHTS	CLAD WOOD	EI THER NATURAL COPPER OR BLACK POWDER COATED ALUMI NUM
FLASHING	20 OZ. COPPER	AGED, PATINA
GUTTERS AND DOWNSPOUTS	20 OZ. COPPER, HALF ROUND WITH ROUND D.S.	TO MATCH WITH EX'G
GARAGE DOORS	WOOD	TO MATCH WITH EX'G
TYPI CAL WINDOWS AND FRENCH DOORS	ALUMI NUM CLAD	WHI TE (TO MATCH WI TH HOUSE)
ALUMI NUM FRAMED WI NDOWS AND DOORS (TYPI CAL AT ENCLOSED POOL)	ALUMI NUM/ POWDER COATED	WHITE (TO MATCH WITH HOUSE)
WINDOW SHUTTERS	WOOD OR COMPOSITE MATERIAL (AZEK OR BOARAL)	TO MATCH WITH EX'G. SHUTTER WIDTH = 1/2 WINDOW WIDTH SEE ELEVATIONS FOR NEW SHUTTER LOCATIONS.

COMM. 1458

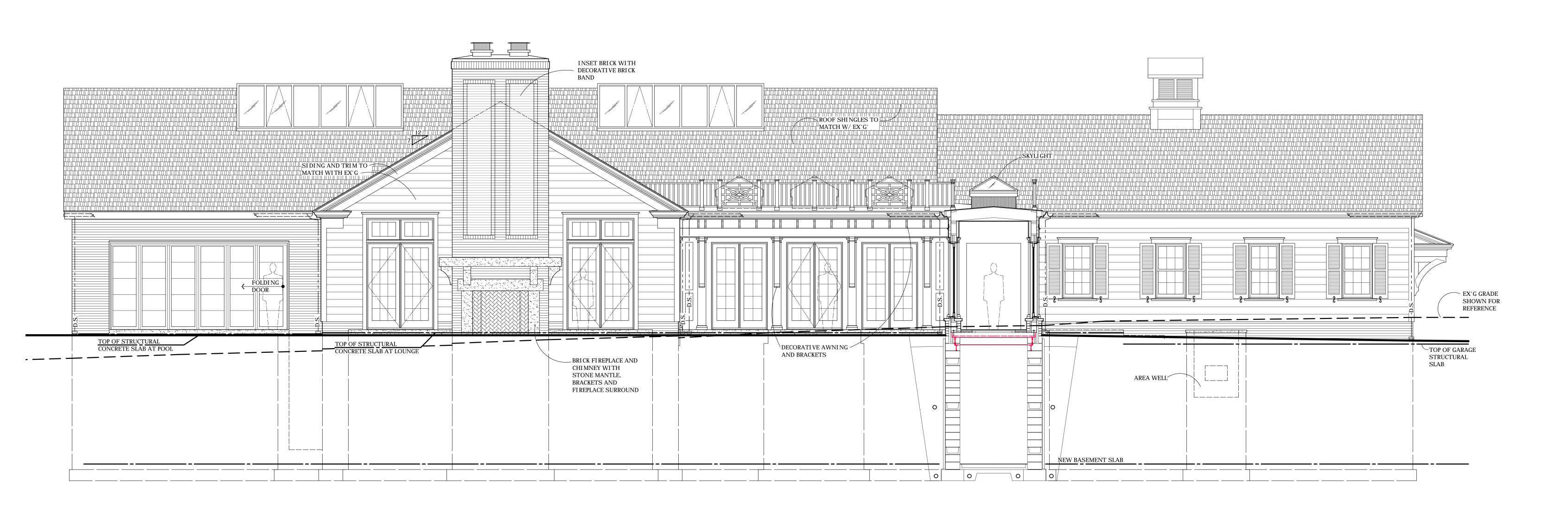
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PARTIAL WEST (LEFT) ELEVATION

1/4" = 1'-0"



SOUTH (FRONT) ELEVATION

FOR REVIEW ONLY
NOT FOR
CONSTRUCTION

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DATE

03 FEBRUARY 201

14 FEBRUARY 201

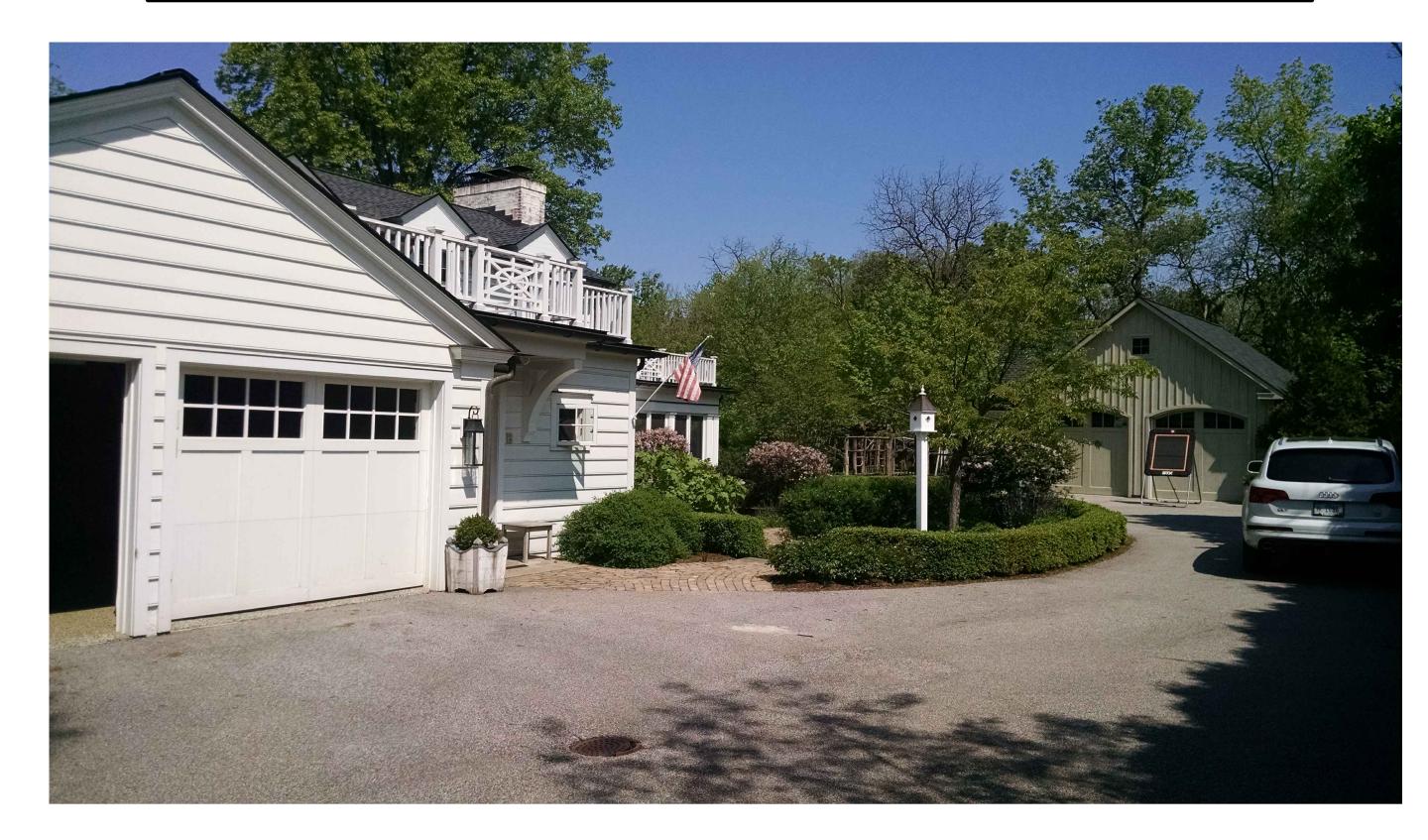
03 MARCH 2017
24 MARCH 2017
29 MARCH 2017
31 MARCH 2017
06 APRIL 2017
18 APRIL 2017 -

HARRINGT

A4.2



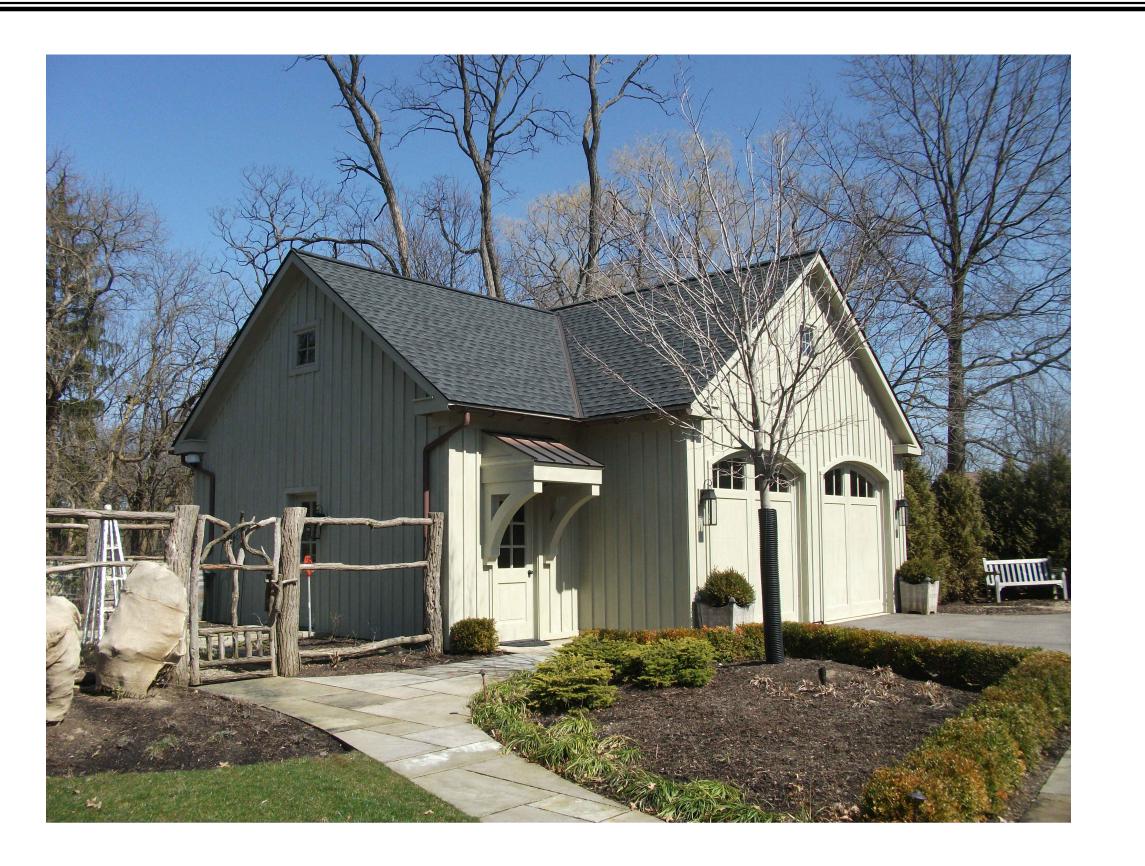
EXISTING HOUSE (VIEW LOOKING NORTH)



EXISTING GARAGE (VIEW LOOKING NORTH)



EXISTING HOUSE (VIEW LOOKING SOUTH)



EXISTING GARAGE TO BE REMOVED



EXISTING SITE (VIEW LOOKING SOUTH)

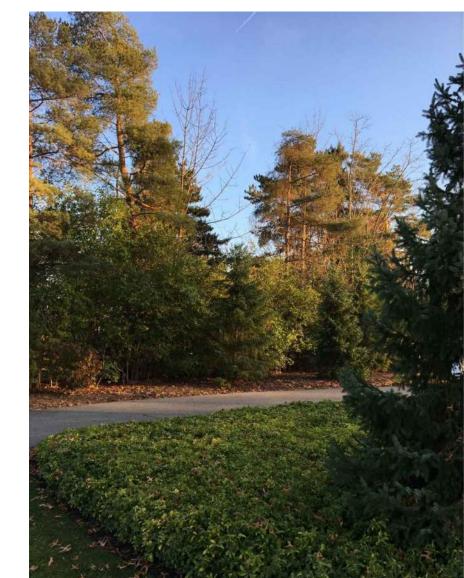
WILLIAM H. CHILDS, JR. & ASSOCIATES, IN
ARCHITECTS/PLANNERS
6 W. WASHINGTON STREET CHAGRIN FALLS, OHIO 44022

PHOTOS







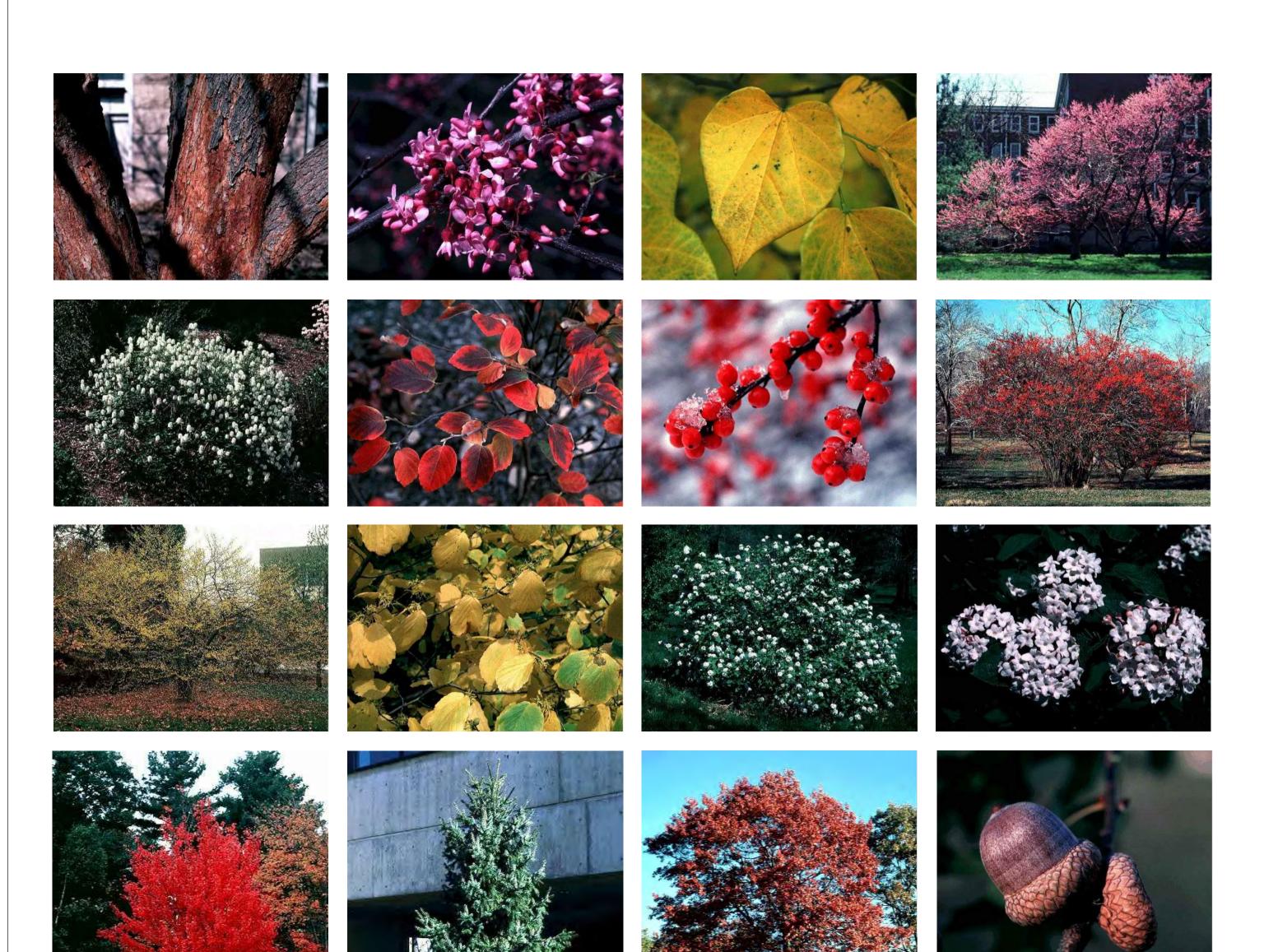


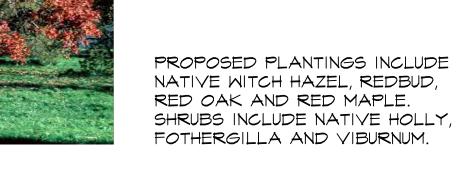


EXISTING LANDSCAPE CHARACTER TO BE PRESERVED AND ENHANCED. EXISTING MATURE OAKS ON SITE TO BE PROTECTED WITH EXCEPTION OF ONE OAK IN BACK. SPECIMEN TREES TO BE USED TO ADD BALANCE AND UNITY TO OVERALL COMPOSITION WITH EXISTING AND PROPOSED STRUCTURES. EXISTING HEDGEROWS TO BE PRUNED WITH REMOVALS OF INVASIVE SPECIES WHERE APPROPRIATE, ADDITION OF NATIVE TREES AND SHRUBS WILL ADD SCREENING ALONG PROPERTY LINES TO PRESERVE OVERALL CHARACTER AND ENHANCE EXISTING PLANTINGS. EXISTING SANDSTONE PAVING TO BE SALVAGED AND RE-USED ON SITE.

EXISTING LANDSCAPE CHARACTER

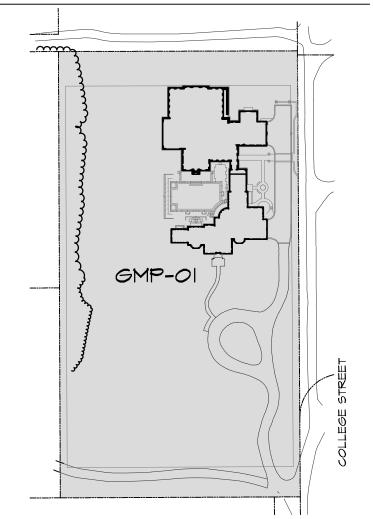
PROPOSED TREES AND SHRUBS



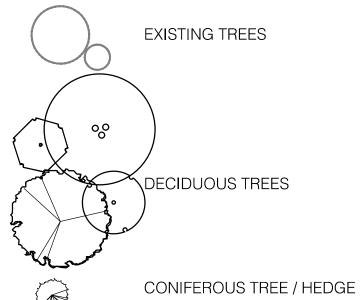








LEGEND



HIGH STREET

SHRUB PLANTING

STEPPING STONES

STONE BAND / CLIPP

STOI
SAN
SAN
SAN

30400400400A

STEPFING STONES

STONE BAND / CURB

SANDSTONE STEP / BAND

SANDSTONE COBBLES

SANDSTONE PAVING

PEBBLE BAND

DOWNSPOUT

	BASE INFORMATION OBTAINED ELECTRONICALLY FROM ALBAN SURVEYING COMPANY, TEL: 440-946-0752								
	5.	APR 18 2017	FOR AHBR SUBMISSION	PT					
	4.	APR 06 2017	FOR CO-ORDINATION	PT					
	3.	FEB 14 2017	FOR CO-ORDINATION	PT					
	2.	JAN 20 2017	CO-ORDINATION MEETING	PT					
	1.	DEC 13 2016	CONCEPT PLAN	PT					
	no.	date	version	by					

All information hereon to be checked and verified at the site and any discrepancies must be reported to and clarified by the landscape architect before commencing work. All drawings, specifications, details, digital information, etc., prepared by the landscape architect are instruments of service and as such are their property and must be returned upon request.

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consultants

ARCHITECT:
WILLIAMS H. CHILDS, JR. & ASSOCIATES, INC.
ARCHITECTS / PLANNERS
6 W. WASHINGTON STREET

440-247-4122 **CIVIL ENGINEER :**

CHAGRIN FALLS, OHIO 44022

HESS & ASSOCIATES ENGINEERING INC. 12121 KINSMAN ROAD NEWBERRY, OHIO 44065 440-564-8008

STRUCTURAL ENGINEER: I.A. LEWIN PE & ASSOCIATES

4110 MAYFIELD ROAD, SUITE B SOUTH EUCLID, OHIO 44121 216-291-3131

project name and client

HARRINGTON RESIDENCE

HUDSON, OHIO 44236

drawing title

GARDEN MASTER PLAN

project no. 0006	date JUNE 28, 2016
file 0006-GMP01R4-17APR18	drawn PT
direction N	scale* 1" = 20'
	drawing no. GMP-01

*NOTED SCALE IS APPLICABLE ONLY WHEN PRINTED ON 30"x42" SIZE SHEET







5.	APR 18 2017	FOR AHBR SUBMISSION	PT
4.	APR 06 2017	FOR CO-ORDINATION	PT
3.	FEB 14 2017	FOR CO-ORDINATION	PT
2.	JAN 20 2017	CO-ORDINATION MEETING	PT
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STRUCTURAL ENGINEER: I.A. LEWIN PE & ASSOCIATES 4110 MAYFIELD ROAD, SUITE B

SOUTH EUCLID, OHIO 44121 216-291-3131

project name and client

HARRINGTON RESIDENCE

HUDSON, OHIO 44236

drawing title

LANDSCAPE ELEVATIONS

	project no. 0006	date JUNE 28, 2016
	file0006-GMP02R4-17APR18	drawn PT
	direction	scale*
		AS SHOWN
/8"= '-0"		drawing no.
		GMP-02
	*NOTED SCALE IS ADDITIONAL E ONLY WHEN	DDINTED ON 20"V42" CIZE CHEET

SECTION CI-C2

HEDGEROW BEYOND

SCALE - 1/8

*NOTED SCALE IS APPLICABLE ONLY WHEN PRINTED ON 30"x42" SIZE SHEET