

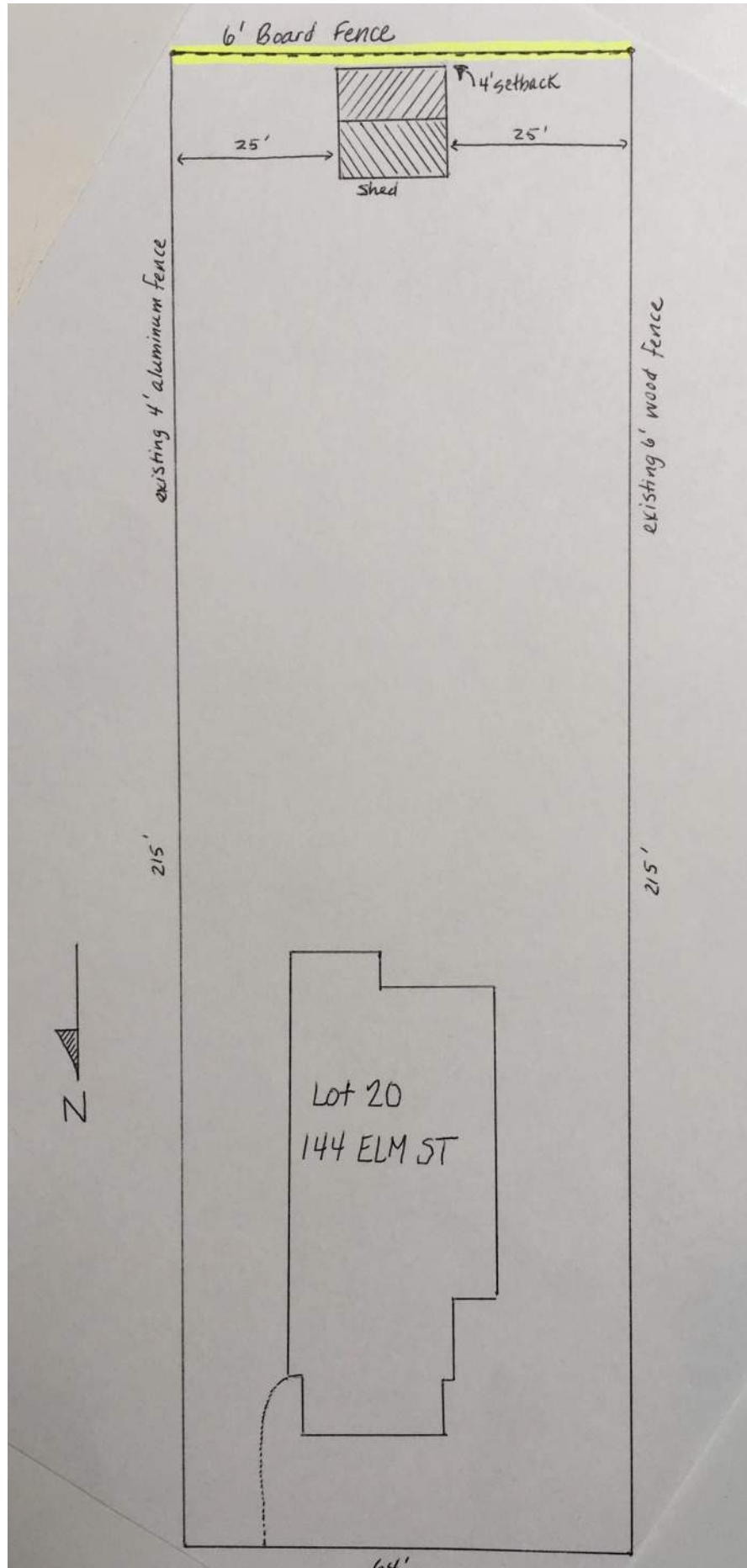
144 Elm Street

Applicant Summary of Project:

This project involves deconstructing part of the existing 1950 garage currently located across the street at 147 Elm and reusing it as a shed. This property has been approved for demolition. We have permission to move this structure from the current owners, who are pleased to see it being reused. The current all-wood structure is sound and has many details which relate to our house, including the wood paneled man door (which is an exact match to our side door), gable roof, wood siding, and wood windows. Currently, the left/west side of the building is blank. We will add a square (faux) shuttered window with matching trim the same size as the other two. This will face our new fence. We will also re-center the existing window on the right/east side in order to maintain a balanced look. Siding and trim will be painted to match the red and white of our house. We will roof with charcoal dimensional shingles to match the house. Our intent is to build the foundation deck with pressure treated lumber supported on concrete piers and then landscape extensively around the entire structure. We will build a small ramp at the overhead door.

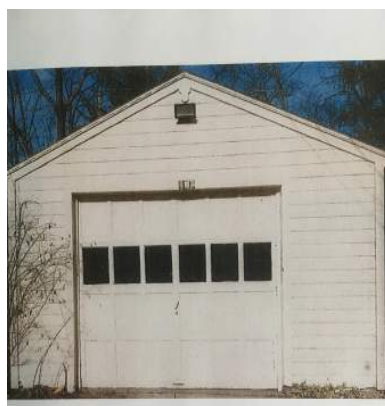
(Please note that the photo of the back yard shows a large swing set near the shed site. This is being removed prior to the project.)

Rear/south lot line fence. Last year, both of our immediate neighbors got massive dogs and fenced their yards. We are enclosing our back yard with 65 feet of 6' pressure treated, dog-ear style board fence. Stringers on the inside. This matches the style that our neighbors at 140 Elm chose.

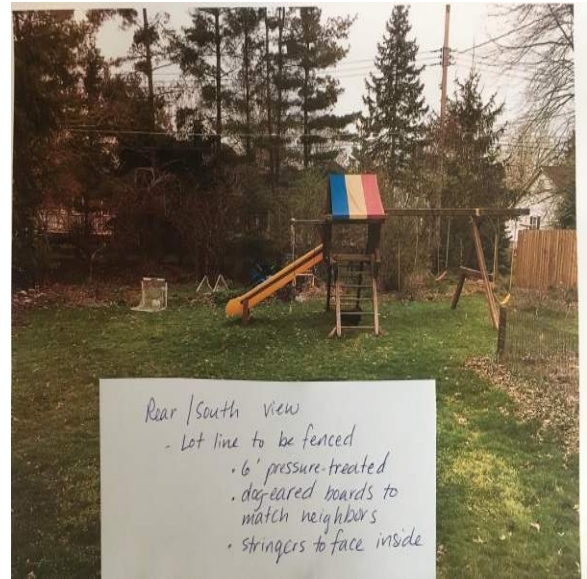




Existing garage rear. will face west.



Existing garage front. will be oriented toward East.



Rear / South view
 - Lot line to be fenced
 - 6' pressure-treated
 - dog-eared boards to
 match neighbors
 - stringers to face inside



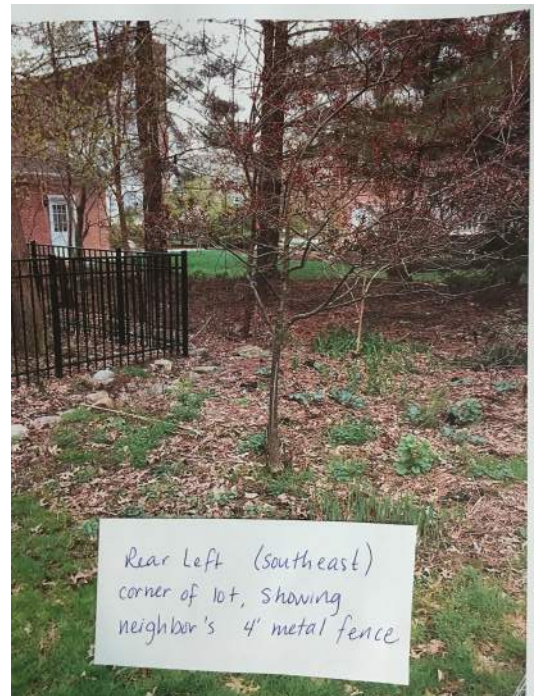
Current East side of garage. Will re-orient to face North (will face our house).

- Main door is a match to our home's side entry door
- Plan to re-center window on the wall

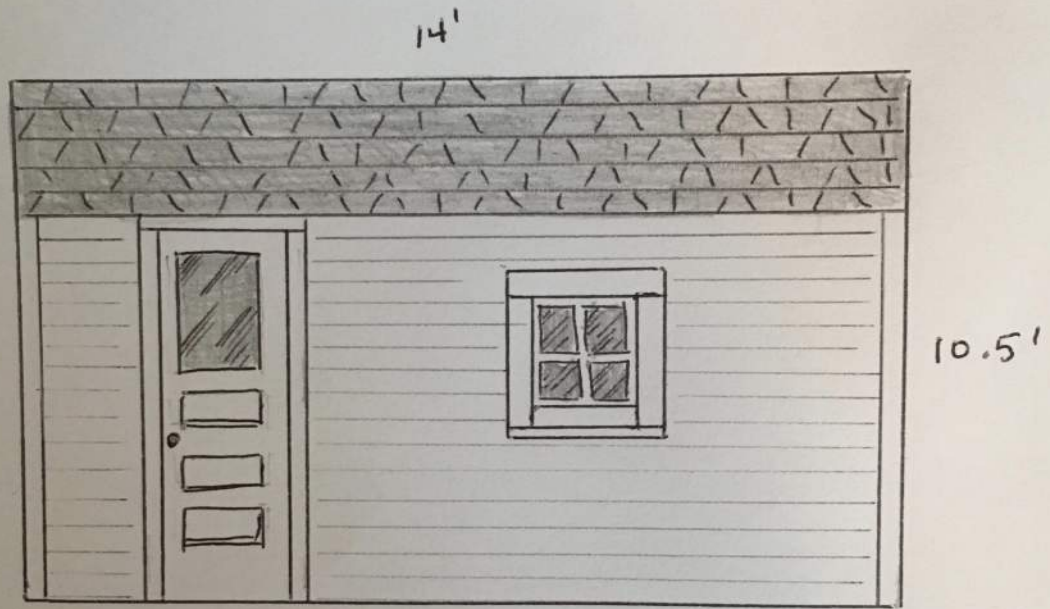
* Currently, building is 14' x 22'. Will reuse front and rear walls, cutting side walls to 14'.



Rear Right (southwest) corner of lot, showing neighbor's 6' wood fence



Rear Left (southeast) corner of lot, showing neighbor's 4' metal fence



South Elevation

OHIO HISTORIC INVENTORY

Ohio Historic Preservation Office
Ohio Historical Center
Columbus, Ohio 43211

1. No.		4. Present Name(s)		1. NO.	
2. County Summit		5. Other Name(s)			2. County Summit
3. Location of Negatives HHA 31-32					
6. Specific Location 144 Elm Street		18. Thematic Category C		3. THematic Category	
		17. Date(s) or Period c. 1890			
7. City or Town If Rural, Township & Vicinity Hudson		18. Style or Design not determined		4. THematic Category	
8. Site Plan with North Arrow		19. Architect or Engineer			
		20. Contractor or Builder		5. THematic Category	
		21. Original Use, if apparent residence			
9. Coordinates		22. Present Use residence		6. THematic Category	
Lat. _____ Long. _____ U.T.M. Reference 17 463753 4565475		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>			
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		24. Owner's Name & Address, if known		7. THematic Category	
11. National Register? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> 12. Is it Eligible? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> 13. Part of Estab. Yes <input type="checkbox"/> Hist. Dist.? No <input checked="" type="checkbox"/> 14. District Yes <input checked="" type="checkbox"/> Potent'l? No <input type="checkbox"/>		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>			
15. Name of Established District		26. Local Contact Person or Organization Hudson Heritage Association		8. THematic Category	
		27. Other Surveys in Which Included			
42. Further Description of Important Features Full length front porch, enclosed; gable roofed wall dormer, east side; pedimented front gable with pent roof; center chimney; west chimney; single pane double-hung windows; rear addition.		28. No. of Stories 2½		9. THematic Category	
		29. Basement? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>			
		30. Foundation Material concrete block		10. THematic Category	
		31. Wall Construction wood frame			
		32. Roof Type & Material gable- asph shingle		11. THematic Category	
		33. No. of Bays Front 3 Side 3			
		34. Wall Treatment shingles		12. THematic Category	
		35. Plan Shape square			
		36. Changes (Explain in #42) Addition <input checked="" type="checkbox"/> Altered <input type="checkbox"/> Moved <input type="checkbox"/>		13. THematic Category	
		37. Condition Interior _____ Exterior good			
		38. Preservation Underway? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		14. THematic Category	
		39. Endangered? By What? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>			
		40. Visible from Public Road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		15. THematic Category	
		41. Distance from and Frontage on Road 25'			
<div style="border: 1px solid black; width: 100%; height: 100%; position: relative;"> Photo </div>					
43. History and Significance					
44. Description of Environment and Outbuildings Detached garage. Quiet residential street in area of public high school. Little traffic.					
Sources of Information Summit County Tax Assessment records Personal inspection		46. Prepared by L Newkirk, F Barlow 47. Organization HHA 48. Date 49. Revision Date(s)			

