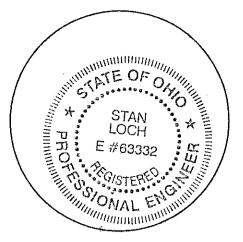
APPROVED: STAFF APPROVAL DATE APPROVED: ENGINEERING DEPT. APPROVAL DATE	BUILDER: PULTE HOMES OF OHIO, LLC. ADDRESS: 387 MEDINA ROAD SUITE 1700, MEDINA, OHIO 44256 PHONE: 330-239-1587	CURVE TABLE CURVE LENGTH RADIUS TANGENT CHORD BEARING DELTA C1 102.63' 430.00' 51.56' 102.39' \$16"24'36"W 13'40'29" C2 209.44' 400.00' 107.18' 207.06' \$14'33'31"W 30'00'00' C-A 69.91' 400.00' 35.05' 69.82' \$04'33'56"W 10'00'51"	V 670 745 640
PRIMARY BENCHMARK: ** TOC/BOC ELEV @ P/L IN FRONT OF SUBLOT'S 99/100 ELEV. = 1004.67 **SECONDARY BENCHMARK TOP STEM OF HYDRANT IN FRONT OF SUBLOT'S 98/99 ELEV. = 1010.37 **THE CONTRACTOR MUST CHECK THE BENCHMARK WITH THE CURB GRADES PRIOR TO DIGGING THE FOUNDATION. **	OWNER: ADDRESS: PHONE: NOTE: ALL PROPOSED FOOTERS WILL REQUIRE SURVEY CERTIFICATION ONCE SET AND PRIOR TO THE COMPLETION OF HOME CONSTRUCTION	NOTE: FINAL LOCATION OF (3) TREES TO BE DETERMINED AND INSTALLED BY PURCHASER IN COMPLIANCE WITH CITY OF HUDSON LAND DEVELOPMENT CODE (1207.04J).	NOTES: DOWNSPOUTS TO BE CONNECTED TO STORM SEWER CONNECTION SUMP PUMP REQUIRED FOR FOOTER DRAINS NOTE: PURCHASER TO INSTALL MINIMUM OF 3 TREES PER MUNICIPAL REQUIREMENTS
	VACANT SL 101 14,380 SQ.FT. 0.3301 AC. P.P. 43010123 PULTE HOMES OF OHIO LLC.	The MON ASSET OF THE MO	NOTE: PURCHASER TO INSTALL LANDSCAPING PER CITY OF HUDSON LANDSCAPING REQUIREMENTS. NOTE: PER ARB, EGRESS WINDOW WELLS SHOULD BE NO MORE THAN 6" ABOVE FINISHED GRADE GRAPHIC SCALE 10 20 (IN FEET) 1 inch = 20 ft. DATE OF SURVEY: MARCH 28th, 2017
BLOCK "2C" 283.3416 AC. 12,342,360 SQ.FT. (RESERVED FOR FUTURE SUBDIVIDING) 16 934 SQ.FT. 0.3888 AG. 19.P. #3010122 SQ.FT. 0.400 S	10' SOLMED 10' SOLMED 15' 15' 100' SOLMED 10' SOLME	EX SAS MH RIM 1000,75 8'S INV 990.24	PLAN# DRESDEN ELEVATION: 1 W/9' GRDN BSMT GAR:3 CAR SIDE LEFT W/FIREPLACE & EXTENDED GATHERING ROOM PERCENTAGE OF LOT COVERAGE = 25.8% HOUSE COVERAGE = 2,622 SQ.FT. DRIVEWAY COVERAGE = 1,512 SQ.FT. WALKWAY COVERAGE = 238 SQ.FT. TOTAL COVERAGE = 4,372 SQ.FT. OF OF OF OF OF OF PICE SAS CONN O 1.0% MIN 10% MAX
$1RM 999.01 \qquad 1 \qquad 1 \qquad 1 \qquad 190 \qquad 1.33$	PROP TREE (TYP.) PROP TREE (T	Total State of the	TAN R. BOCH BOAN IN TOX MAX SEGISTER TONAL T
SECONDARY BENT TOP STEM OF HYD ELEV. = 1010.	3. UTUTY EASTMENT TO CITY 3. UTUTY EASTMENT TO CITY 3. UTUTY EASTMENT TO CITY SAMPLE TO CIT	EX SAS MH RIM 1006.41 B*INVS 990.85	WY SP = SUMP PUMP ① = EX STORM MANHOLE — — = SWALE — — = FLOW ARROW E = ELECTRIC STUB C = CABLE PEDESTAL T = TELEPHONE PEDESTAL T = TRANSFORMER BOX AC = AIR CONDITIONER E = ELECTRIC CONNECTION G = GAS CONNECTION U = OFFSET HUB □ = LIGHT POST



I CERTIFY THAT THIS PLAN WAS PREPARED BY ME AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

STAN R. LOCH P.E. #63332 DATE

5425 WARNER ROAD - SUITE 12 VALLEY VIEW, OHIO 44125 440-602-9071

TECH

FAX 216-369-0259

ENGINEERING and SURVEYING

Civil Engineering Land Surveying

SHEET CONTENT

SITE PLAN FOR

PULTE HOMES

SUBLOT 100

5710 TIMBERLINE TRAIL

IN THE

RESERVE AT RIVER

OAKS SUBDIVISION PH.2

SITUATED IN THE

CITY OF HUDSON

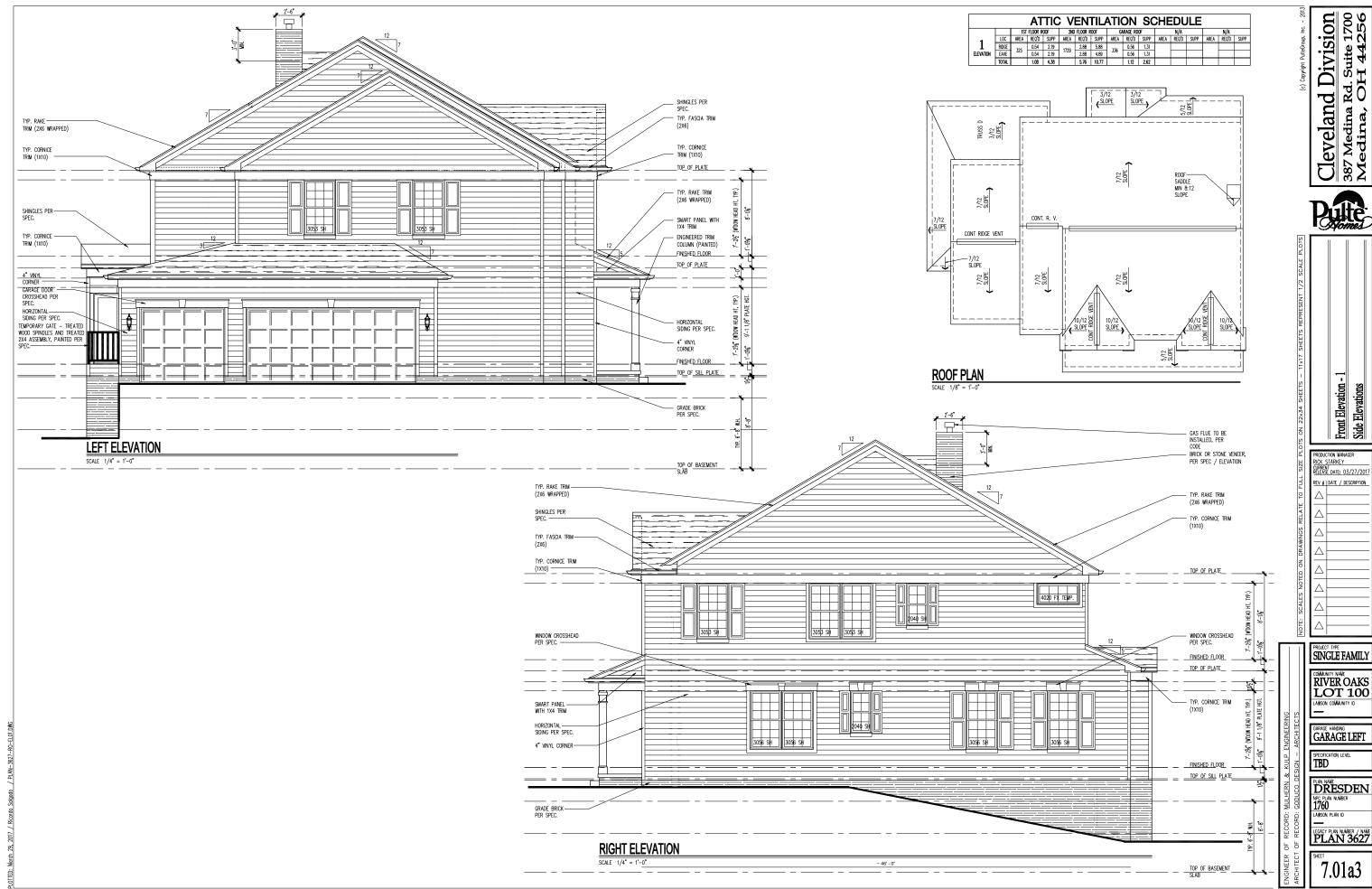
COUNTY OF SUMMIT

STATE OF OHIO

	REVISIONS				
NO.	DATE	DESCRIPTION	BY		
1	4/24/17	REVISE PER CITY	KEG		
		· · · · · · · · · · · · · · · · · · ·			
		· · · · · · · · · · · · · · · · · · ·			

HORIZ, SCALE	YERT. SCALE
1" = 20'	
DRAWN BY	DATE
KEG	4-3-2017
CHECKED BY	DRAWING NO
SRL	River Oaks 2
JOB NO	SHEET
201429772	1 OF 1





Cleveland Division
387 Medina Rd. Suite 1700
Medina, OH 44256

Pulte

Full Basement Foundation Plan

PRODUCTION MANAGER
RICK STARKEY
QUIRBENT
RELEASE DATE: 0.5/27/2017
RELY J DATE / DESCRIPTION
A
A
A

PROJECT TYPE
SINGLE FAMILY

RIVER OAKS LOT 100

GARAGE HANDING
GARAGE LEFT

SPECIFICATION LEV

PLAN NAME DRESDEN NPC PLAN NUMBER 1760

1760
LANSON PLAN ID
LEGACY PLAN NUMBER / NAME
PLAN 3627

1.30a

Cleveland Division 387 Medina, OH 44256

Pulte.

Finished Basement Plan

PRODUCTION MANAGER
RICK STARKE Y
UNREST DATE: 0.3/27/2017
REV # I DATE / DESCRIPTION

A

A

A

A

PROJECT TYPE
SINGLE FAMILY

COMMUNITY NAME
RIVER OAKS
LOT 100

GARAGE HANDING
GARAGE LEFT

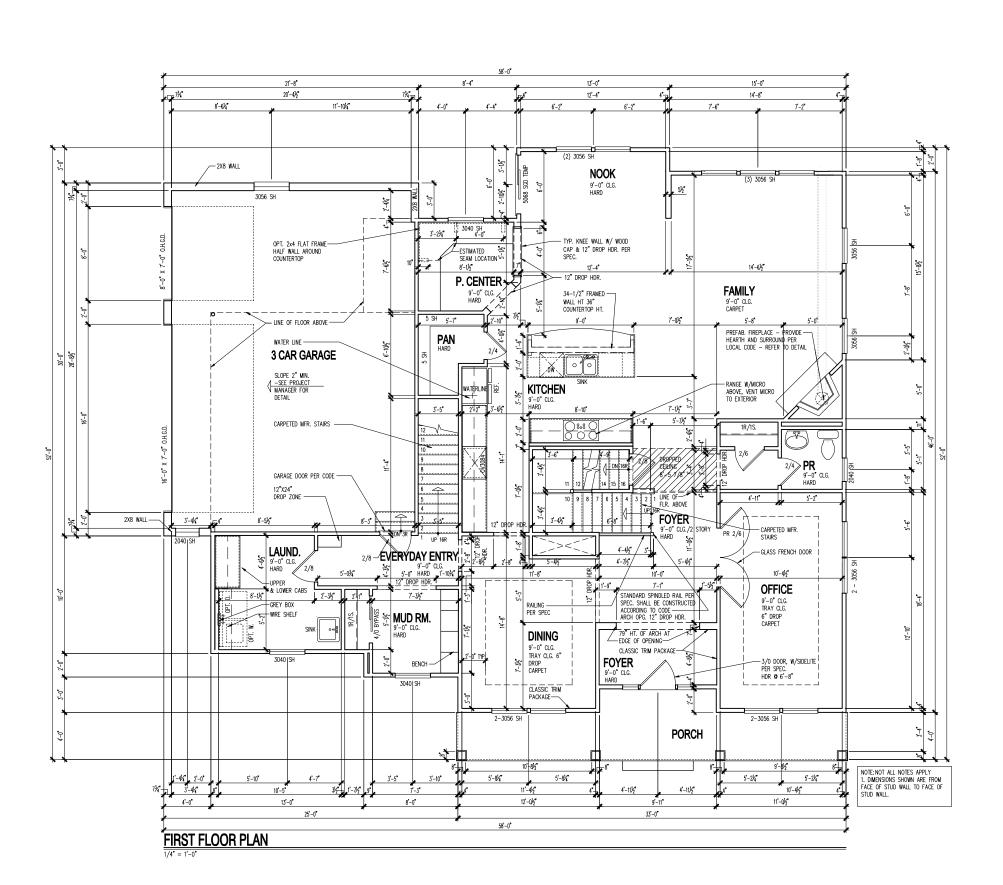
GARAGE LE

SPECIFICATION LEVEL TBD

PLAN NAME DRESDEN NPC PLAN NUMBER 1760 LANSON PLAN ID

LEGACY PLAN NUMBER / NAME PLAN 3627

2.00



Cleveland Division 387 Medina Rd. Suite 1700 Medina, OH 44256

First Floor Plan

PRODUCTION MANAGER RICK STARKEY CURRENT RELEASE DATE: 03/27/201 REV # DATE / DESCRIPTION

SINGLE FAMILY

LAWSON COMMUNITY ID GARAGE LEFT

DRESDEN NPC PLAN NUMBER 1760 LAWSON PLAN ID

LEGACY PLAN NUMBER / NAME PLAN 3627

Cleveland Division 387 Medina Rd. Suite 1700 Medina, OH 44256

Pulte.

E PLOTS ON 22x34 SHEETS — 11x17 SHEETS REPRESENT 1/2 SCALE PLOT

A SAMELY SAMELY SAME SHEETS — 11x17 SHEETS REPRESENT 1/2 SCALE PLOT

A SAMELY SAMELY

PROJECT TYPE SINGLE FAMILY COMMUNITY NAME RIVER OAKS LOT 100

GARAGE HANDING
GARAGE LEFT

LAWSON COMMUNITY ID

SPECIFICATION TBD

PLAN NAME DRESDEN NPC PLAN NUMBER 1760 LAWSON PLAN ID

LEGACY PLAN NUMBER / NAME PLAN 3627

2.20a

2'-0" (TYP.) ICE & WATER SHIELD COMPOSITION ROOF SHINGLES PER SPEC OVER 15# BLDG. FELT w/ STARTER STRIP AND METAL DRIP OVER ROOF PER ELEV. DECK PER SPEC ON PRE-ENGINEERED ROOF TRUSSES PER PLAN R-38 INSULATION W/ BAFFLES PER - IECC CODE REQUIREMENTS. R-49 IN AVON, OHIO (COMMUNITY OF 2X2 NAILER -TOP OF FASCIA TO TOP OF PLATE VINYL, PERFORATED SOFFIT -PER SPEC -____1/2" GYPSUM BOARD DOUBLE 2x4 TOP PLATE, LAPS
SHALL BE STAGGERED &
OFFSET 40" MIN. FROM
CORNERS, TYP. @ LOAD
BEARING WALLS 1/2" GYPSUM BOARD 2X10 ALUM. WRAPPED FRIEZE-@ SIDING SHEATHING PER SPEC. OVER 2X4 STUDS AT 16" O.C. W/ R13 BATT INSULATION HOLD PLATE BACK FOR SHEATHING - 3/4" T&G SUBFLOOR OVER FLOOR JOIST., ATTACHMENT PER SPC SIDING PER SPEC. -2x4 SOLE PLATE -FLOOR SYSTEM PER PLAN & R13 INSUL @ BOND DOUBLE 2x4 TOP PLATE, LAPS SHALL BE STAGGERED & OFFSET 40" MIN. FROM CORNERS, TYP. @ LOAD BEARING WALLS — T/2" GYPSUM BOARD SHEATHING PER SPEC. OVER 2X4 STUDS AT 16" O.C. W/ R13 BATT INSULATION HOLD PLATE BACK FOR SHEATHING - 1/2" GYPSUM BOARD SIDING PER SPEC.
WITH WEATHER RESISTANT
HOUSE WRAP BARRIER OVER
SHEATHING AND SILL
PLATE, PER SPEC - 3/4" T&G SUBFLOOR OVER FLOOR JOIST., ATTACHMENT PER SPC 2x4 SOLE PLATE -2x4 SOLE PLATE — TRTD. ON SILL SEAL FLOOR SYSTEM PER PLAN & R13 INSUL @ BOND - PROVIDE 1/2" GYPSUM BOARD AS REQUIRED BY CODE R-13 INSULATION AT FINISHED BASEMENT AREAS. R-11 AT UNFINISHED BASEMENT AREAS DELTA MS WATERPROOFING, PER SPEC — OPT. FINISHED BASEMENT 🝃 - 2x4 WALL AT 24" O.C. AT FINISHED BASEMENT BACKFILL MATERIAL PER IRC-404.1.7 SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION REGARDING FOUNDATION/SLAB MATERIALS FILTER FABRIC OVER ROCK PER SPEC - TRTD. 2x4 PLATE AT FINISHED BASEMENT 4" PERFORATED DRAIN TILE IN MIN. 2" — SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION REGARDING FOUNDATION/SLAB MATERIALS STONE BED W/ MIN. 6" STONE COVER SCHEDULE 30 DRAIN TILE PER PLAN NOTE: I-JOISTS, PER SPEC. REFER TO TYPICAL WALL SECTION - sides & rear JOIST LAYOUTS PROVIDED BY OTHERS SCALE 1/2* = 1'-0*

Cleveland Division
387 Medina Rd. Suite 1700
Medina, OH 44256



Typical Wall Sections

PRODUCTION WANAGER
RICK STARKEY
GURRENT
RELEASE DATE: 0.3/27/2017
REV # IDATE: / DESCRIPTION

A DATE: OBSCRIPTION

PROJECT TYPE SINGLE FAMILY

RIVER OAKS LOT 100

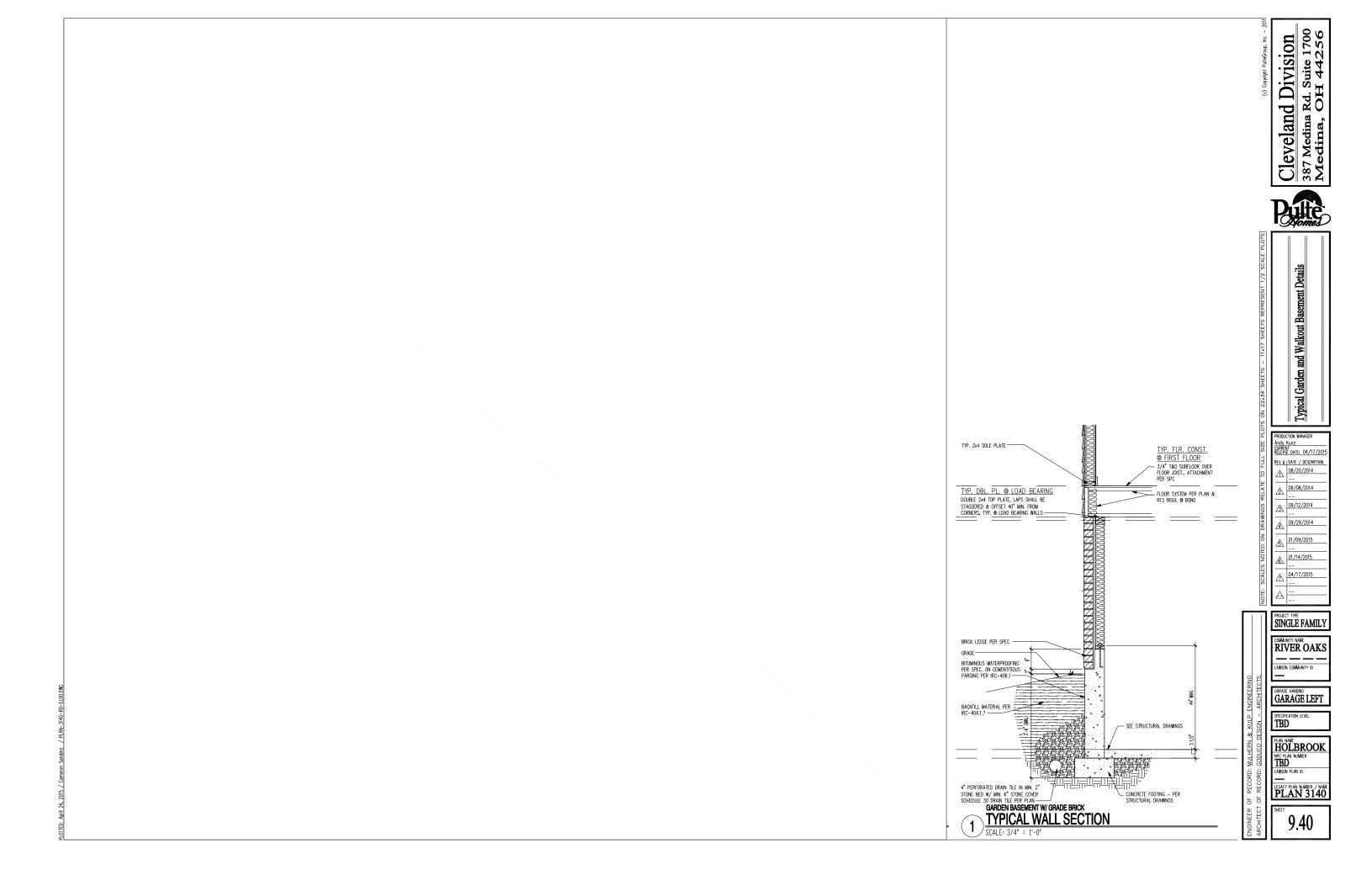
GARAGE LEFT

SPECIFICATION LEVEL TBD

PLAN NAME DRESDEN
NPC PLAN NUMBER
1760
LANSON PLAN ID

LANSON PLAN ID
LEGACY PLAN NUMBER / NAME
PLAN 3627

3.31a



Cleveland Division
387 Medina Rd. Suite 1700
Medina, OH 44256

S ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

Typical Wall Sections

PRODUCTION WANAGER
RICK STARKEY
CORRENT
RELLES DATE: 0.3/27/2017
REV # DATE / DESCRIPTION

PROJECT TYPE
SINGLE FAMILY

COMMUNITY MAJE
RIVER OAKS
LOT 100

LANSON COMMUNITY ID

GARAGE HANDING

GARAGE TEFT

GARAGE LEFT

SPECIFICATION LEVEL

TBD

PLAN NAME DRESDEN NPC PLAN NUMBER 1760 LAMSON PLAN ID

LEGACY PLAN NUMBER / NAME PLAN 3627

3.31b

BUILDING LINE CLEAR GRATE COVER - STEEL SAFETY GRATE STRUCTURAL STEEL -PER PLAN - FINISHED GRADE LINE APPROX, 3" BELOW WELL SLOPE GRADE AWAY FROM WELL 4040 INSULATED VINYL WINDOW 52×36-60* WINDOW WELL - 4'-0 ESCAPE LADDER (WHEN EXIT HEIGHT EXCEEDS 44") - GRAVEL BASE CAST-IN-PLACE BUCK SYSTEM - WELL DRAIN SYSTEM TYPICAL ESCAPE WINDOW WELL B SC. 3/4" = 1'-0" DETAIL SECTION - FOUNDATION WALL

NET WIDTH OF PATH = 21 3/4" (20" MIN. REQUIRED FOR EGRESS) NET HEIGHT = 45 3/8" - 4040 CAST-IN-PLACE BUCK AND DOUBLE INSULATED VINYL WINDOW - 52x36-60 WINDOW WELL (GRATE AND COVER NOT SHOWN FOR CLARITY)

52" WELL WIDTH

- 4'-0 ESCAPE LADDER

TYPICAL ESCAPE WINDOW WELL SC. 3/4" = 1'-0" PLAN VIEW



В

UPDATE MISC 11/24/2015

Pulte Central Zone
1901 North Roselle Road, Suite 1000
Schaumburg, Illinois 60195

Escape Window - Del Webb Boot Bench

Miscellaneous Architectural Details

PRODUCTION MANAGER
RICK STARKEY
INITIAL RELEASE DATE:
4/8/3013
CURRENT RELEASE DATE:
03/17/2014

DATE / DESCRIPTION
UPDATE COL LOC
06/25/2015

NPC PLAN NUMBER LAWISON PLAN ID

ΑD

3.7



OHIO DIVISION LOT - 100

RIVER OAKS

DRESDEN

1 - GENERAL BUILDING & DESIGN REQUIREMENTS 1) THE ATTACHED PLANS & SPECIFICATIONS ARE THE SOLE PROPERTY OF PULTE HOMES INC. ANY LINALITHORIZE USE OF THESE PLANS WITHOUT PRIOR WRITTEN CONSENT OF PULTE HOMES INC. IS STRICTLY PROHIBITED.

2) PULTE HOMES INC. DESIGNS & BUILDS HOUSING AS SET FORTH BY THE FORMAT AND PROVISIONS OF THE RÉSIDENTIAL CODE OF OHIO (RCO), AND THE NATIONAL ELECTRIC CODE (NEC). ANY NON-CONFORMING DOCUMENTS DISCOVERED BY THE CONTRACTOR OR HIS AGENTS SHALL BE CALLED TO THE IMMEDIATE ATTENTION OF PULTE HOMES

3) THESE PLANS ARE SUBJECT TO MODIFICATIONS TO MEET CODE REQUIREMENTS AND/OR TO FACILITATE MÉCHANICAL/ ELECTRICAL/ PLUMBING INSTALLATION AND/ OR TO IMPLEMENT DESIGN IMPROVEMENTS. ANY INTENTION TO MODIFY THESE PLANS MUST BE APPROVED IN WRITING BY PULTE HOMES INC.

TO MOUR? I THESE PLANS MOST BE APPROVED IN MAINTING BY PULLE HOMES INC.

4) CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AFFECTING CONTRACTOR'S PRODUCTS,
INSTALLATIONS, OR FABRICATIONS IN THE FIELD PRIOR TO EXPEDITING THE CONSTRUCTION OF SUCH WORK. FIELD
VERIFY ALL DIMENSIONS — DO NOT SCALE DRAWNGS!! CONTRACTOR IS RESPONSIBLE FOR SURVEYING THE PROJECT
AND BECOMING FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK INCLUDING BUT NOT LIMITED TO SITE

5) FRRORS AND OMISSIONS WHICH MAY OCCUR IN THE CONTRACT DOCUMENTS SHALL BE BROLIGHT TO THE 5) LERVINS AND OMISSIONS MINIOT MAY OCCUR IN THE CONTRACT DOCUMENTS STALLE BEOUGHT IN OF ATTENTION OF THE ARCHITECT, IN MIRTING, AND WRITTEN INSTRUCTION SHALL BE OBTAINED PRIOR TO PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY ERRORS, DISCREPANCES, OR OMISSIONS FOR WHICH THE CONTRACTOR FALLED TO NOTIFY THE ARCHITECT PRIOR TO CONSTRUCTION AND/OR FABRICATION OF THE WORK.

5 - METALS

6 - WOOD AND PLASTICS

7 - THERMAL & MOISTURE PROTECTION

INSTALL FIRE STOPPING AND / OR DRAFT STOPPING AS REQUIRED. 2) ATTIC VENTILATION SHALL BE PROVIDED AT 1/150th OF THE AREA OF THE SPACE VENTILATED. CROSS VENTILATED WITH HALF OF THE VENTILATED AREA SHALL BE PROVIDED BY RIDGE OR GABLE VENTS AND THE OTHER HALF BY EAVE OR CORNICE VENTS. VENTS SHALL BE PLACED SO AS TO NOT ALLOW INFILTRATION OF RAIN OR SNOW. 3) PROVIDE APPROVED TILE BACKER BOARD FOR ALL SHOWER AND BATH SPACE

4) PROVIDE ICE-SHIFLD PER CODE

4) Province inc-shield per oud:
5) Roof Venting to Be provided as shown. Soffit, Ridge, and other roof vents to be installed as noted on the drawings & as per manufacturers recommendations.
6) House wrap & Flashing to Be installed per pulte best practices.

8 - DOORS AND WINDOWS

I) WINDOW CALL OUT PER WINDOW SCHEDULE VERIFY WINDOW MANUFACTURER WITH PROJECT MANAGER 2) REVIEW ALL WINDOW HDR HEIGHTS PER PLATE HT. AND VERIFY W/ ELEVATIONS AND CORNICE DETAILS 3) TEMPERED CLASS SHALL BE LISED IN ALL HAZARDOUS AREAS

4) FRONT DOOR WIDTH AS REQUIRED BY CODE

) GARAGE DOOR AS REQUIRED BY CODE

6) EMERGENCY - SLEEPING ROOMS SHALL HAVE AT LEAST ONE EGRESS OPENING OF NOT LESS THAN 5.7 SE AND A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR

1) SOIL BEARING CALCULATIONS BASED ON 3000 PSF MIN. 2) BACK FILL SHALL BE FREE FROM MEGETATION AND CONSTRUCTION DEBRIS. 3) BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS BACKFILL TO

2 - SITE CONSTRUCTION

3 - CONCRETE

NOT DAMAGE THE FOUNDATION WALLS OR ANY WATERPROOFING / DAMPPROOFING MATERIALS

1) ALL CONCRETE EXPOSED TO EXTERIOR ELEMENTS SHOULD BE AIR ENTRAINED 4-6%.
2) SLOPE ON DRIVE SHALE BE NO LESS THAN 2% OR 1/4" PER FOOT- PREFERABLY 4% OR 1/2" PER FOOT. THE FRONT STOOP SHALL. HAVE SLOPE EQUAL TO 1" PER FOOT. THE RAISED WALK IN GARAGE SHALL HAVE A 1/2 PER FOOT SLOPE AND DRIVE SLAB SHALL BE SLOPED MIN. 1/4" PER FOOT.

3) SOME COLUMN DIMENSIONS ARE FROM CENTER OF COLUMN TO EXTERIOR FACE OF BASEMENT WALL.

4) BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS.

5) BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS TO NOT DAMAGE THE FOUNDATION WALLS OR WATERPROOFING / DAMPPROOFING MATERIALS.

6) MUD SILLS SHALL BE TREATED MEMBERS AND SECURED BY ANCHOR BOLTS AND/OR STRAPS AS SPECIFIED IN TH

DRAWINGS, DETAILS, AND SPECIFICATIONS

7) CALCULATIONS FOR COLUMN PADS BASED ON 3000 PSF SOIL BEARING.

4 - MASONRY

ALL EXTERIOR BRICK MUST MEET ASTM C-216 FOR "SW" CONDITIONS 2) MASONRY VENEER SHALL BE ATTACHED TO SUPPORTING WALLS W/ 22GA x 7/8" CORRUGATED METAL TIES AT

3) Flashing Behind Masonry Shall be 14# Building Paper or Felt or approved equal attached to the Sheathing to prevent moisture penetration.

4) WEEPHOLES SHALL BE PROVIDED ALONG THE OUTSIDE WYTHE OF EXTERIOR MASONRY WALLS AT 33" O.C. MAX, SHALL BE A MIN. OF 3/16" IN DIAMETER, AND LOCATED IMMEDIATELY ABOVE THE FLASHING

15 - MECHANICALS

1) FACTORY BUILT CHIMNEYS AND FIREPLACES SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS, AND ARE SUBJECT TO MECHANICAL INSPECTION

2) PROVIDE EXTERIOR AIR INTAKE FOR COMBUSTION AIR

16 - ELECTRICAL

1) ALL ELECTRICAL INSTALLATION SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRIC CODE (NEC). ALL MATERIAL AND EQUIPMENT SHALL BEAR THE LABEL OF APPROVAL OF THE UNDERWRITERS LABORATORIES, INC. 2) ELECTRICAL CONTRACTOR SHALL VERIFY SPACE REQUIRED FOR METER INSTALLATION BEFORE CONSTRUCTION AND SHALL NOTIFY GENERAL CONTRACTOR OF ANY DISCREPANCIES

3) VERIFY LOCATION OF ALL RECEPTACLES FOR APPLIANCES WITH MANUFACTURER SPECIFICATIONS.

4) GROUND FAULT INTERRUPTS SHALL BE LOCATED PER THE NEC. 5) ALL SWITCHES SHALL BE INSTALLED AT 3'-2" ABOVE FINISHED FLOOR TO CENTERLINE OF SWITCH UNLESS NOTED

3) ALL SAMONES SHALL BE INSTALLED AT 3-2 ABOVE FINISHED FLOOR TO CENTERLINE OF SMITCH UNLESS NOTE

6) ALL CONVENIENCE OUTLETS SHALL BE INSTALLED W/ CENTERLINE OF OUTLET LOCATED 1'-3" ABOVE FINISHED
FLOOR UNLESS NOTED OTHERWISE.

7) ALL CONVENIENCE OUTLETS WITH SWITCHES TO BE SWITCH AT TOP ONLY. 8) ALL EXTERIOR WALL BRACKET FIXTURES SHALL BE INSTALLED AT 5'-6" ABOVE ADJACENT DOOR SILL HEIGHT TO

9) APPROVED SMOKE DETECTORS SHALL BE LOCATED ON EVERY STORY OF THE DWELLING UNIT AS PER CODE (SEE SHEET 6,XXX FOR LOCATIONS), WHERE MORE THAN ONE DETECTOR IS REQUIRED THEY SHALL BE INTERCONNECTED POWER SOURCE SHALL BE BUILDING POWER w/ BATTERY BACKUP.

APPLICABLE CODES:

2009 INTERNATIONAL RESIDENTIAL CODE (SECTION 602) 2012 INTERNATIONAL RESIDENTIAL CODE 2013 RESIDENTIAL CODE OF OHIO 2011 INTERNATIONAL PLUMBING CODE 2011 INTERNATIONAL MECHANICAL CODE

2009 INTERNATIONAL ENERGY CONSERVATION CODE

2011 NATIONAL ELECTRIC CODE 2011 INTERNATIONAL FIRE CODE

GENERAL FRAMING SPECS AND CONSTRUCTION NOTES STAIRS: LIGHT & VENT CALCULATIONS: 1) THE MAXIMUM RISER HEIGHT SHALL BE 7 3/4 INCHES (210 MM) AND THE MINIMUM TREAD DEPTH SHALL BE 10

FIRST FLOOR

GAME ROOM

Control Date

Rev # Date

2) HANDRAIL AND BALUSTRADE (WHERE PRESENT) SHALL BE CONSTRUCTED PER CODE 4) ALL REQUIRED HAND RAILS SHALL BE CONTINUOS THE FULL LENGTH OF THE STAIRS W/ 2 OR MORE RISERS FROM A POINT ABOVE THE THE TOP RISER OF A FLIGHT TO A POINT ABOVE THE LOWEST RISER OF THE FLIGHT. ENDS SHALL BE RETURNED OR SHALL TERMINATE AT NEWEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1.5" BETWEEN THE WALL AND HAND RAIL.

2) HANDRAILS HÁVING MINIMUM AND MAXIMUM HEIGHTS OF 34 INCHES AND 38 INCHES SHALL BE PROVIDED ON AT

) ALL STUDS TO BE 2x4 SPF OR EQUAL UNLESS NOTED OTHERWISE. 2) USE DBL TOP PLATES 16" OC ON BOTH FIRST AND SECOND FLOOR AT ALL EXTERIOR AND LOAD BEARING

FLOORS: STRUCTURAL FLOOR MEMBERS SHALL NOT BE CUT, BORED, OR NOTCHED IN EXCESS OF THE LIMITATIONS SPECIFIED

2) THE ENDS OF EACH JOIST, BEAM, OR GIRDER SHALL HAVE NOT LESS THAN 1.5 INCHES (38MM) OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3 INCHES (76MM) ON MASONRY OR CONCRETE OR AS OTHERWISE SPECIFIED PER CODE

3) ANY CONVENTIONAL FLOOR JOISTS SHOWN DOUBLED ON PLANS TO BE GLUED AT INSTALLATION AND NAILED W/ 3-16d NAILS @ 16" O.C. MULTIPLE PLIES OF ENGINEERED LUMBER TO BE ASSEMBLED PER MANUF. RECOMM. 4) SHOP DRAWNGS FOR ANY AND ALL ENGINEERD FLOOR SYSTEMS TO BE SUBMITTED TO ARCHITECT TO REVIEW IN CONFORMANCE WITH THESE CONSTRUCTION DOCUMENTS. WHERE THE CONSTRUCTION DOCUMENTS DO NOT ADDRESS METHODOLOGY, CONTRACTOR TO BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

1) ALL FRAMING DIMENSIONS TO FACE OF MEMBER/SHEATING

2) ALL BEARING HEADERS TO BE 2 X 8 HEM—FIR #2 OR EQUAL UNLESS NOTED OTHERWISE.
3) ALL 2x10 & 2x12 HEADERS TO BE HEM—FIR — #2 UNLESS NOTED OTHERWISE.

ALL 2x8 HEADERS TO BE HEM-FIR-#2 UNLESS NOTED OTHERWISE.

CONDITIONS ALL OTHER PARTITION WALL USE SINGLE TOP PLATE 24"OC.

5) PROVIDE 1x BLOCKING UNDER ALL EXTERIOR SLIDING DOORS.
6) ALL BEAMS & HEADERS SHALL HAVE A MINIMUM OF (1) 2x JACK STUD & (1) 2x KING STUD. THE NUMBER OF STUDS LABELED ON PLANS INDICATES THE NUMBER OF JACK STUDS ONLY (UNLESS NOTED OTHERWISE). STOURS DEALED OF THE NAME INCOMESTS OF THE NAME OF THE

8) JOIST HANGERS, WHERE REQUIRED, SHALL BE USED WITHOUT ANGLES. 9) INSTALL FIRE STOPPING AND / OR DRAFT STOPPING AS REQUIRED.

INCHES (229 MM).

1) HIP AND VALLEY RAFTERS SHALL BE SUPPORTED AT RIDGE DOWN TO BEARING PARTITION. CUT ENDS OF RAFTERS SHALL BE FULLY SUPPORTED WALL AND RIDGE.
2) SHOP DRAWINGS FOR ANY AND ALL ENGINEERED ROOF TRUSS SYSTEMS TO BE SUBMITTED TO ARCHITECT TO REVIEW IN CONFORMANCE WITH THESE CONSTRUCTION DOCUMENTS. WHERE THE CONSTRUCTION DOCUMENTS DO NOT

ADDRESS METHODOLOGY, CONTRACTOR TO BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

SOLIARE FOOTAGE INDEX

OWOLINE I OO I AOL III				
		,		
DESCRIPTION OF AREA	AREA	Α		
ELEVATION 1		Α		
FIRST FLOOR	1835 SQ. FT.			
SECOND FLOOR	2038 SQ. FT.	A		
ANSI STAIR	N/A SQ. FT.	1		
	ily it	Α		
TOTAL	3873 SQ. FT.			
GARAGE	635 SQ. FT.	^		
PORCH 1	152 SQ. FT.	Α		
		^		
TOTAL AREA UNDER ROOF	2622 SQ. FT.	Α		
JNFINISHED BASEMENT	1723 SQ. FT.			
INISHED BASEMENT	1220 SQ. FT.	Α		
		Α		

PLAN SHEET INDEX

SHT.	DESCRIPTION
0.00	COVER SHEET
1.30a	FULL BASEMENT FOUNDATION PLAN
2.00	FINISHED BASEMENT PLAN
2.10a	FIRST FLOOR PLAN
2.11a	PLAN DETAILS
2.11b	PLAN DETAILS
2.11c	PLAN DETAILS
2.20a	SECOND FLOOR PLAN
3.30a	TYPICAL BUILDING SECTIONS
3.30b	TYPICAL BUILDING SECTIONS
3.31a	TYPICAL WALL SECTIONS
3.31b	TYPICAL WALL SECTIONS
6.10	FIRST FLOOR ELECTRICAL PLAN
6.11	SECOND FLOOR ELECTRICAL PLAN
7.01a1	ELEVATION "1" — FRONT AND REAR ELEVATIONS
7.01a2	ELEVATION "1" - SIDE ELEVATIONS AND ROOF PLAN
S-1.0	FOUNDATION/FIRST FLOOR FRAMING PLAN
S-1.0A	FOUNDATION/FIRST FLOOR FRAMING PLAN
S-1.0A	FOUNDATION/FIRST FLOOR FRAMING PLAN
S=1.1	FOUNDATION/FIRST FLOOR FRAMING PLAN
5-1.2 S-1.3	FOUNDATION/FIRST FLOOR FRAMING PLAN
S=1.3 S=2.0	SECOND FLOOR FRAMING PLAN
S-2.0	SECOND FLOOR FRAMING PLAN
S=2.1	SECOND FLOOR FRAMING PLAN
S-2.3	SECOND FLOOR FRAMING PLAN
S-3.0	ROOF FRAMING PLAN
S-3.1	ROOF FRAMING PLAN
S-3.2	ROOF FRAMING PLAN
S-3.3	ROOF FRAMING PLAN
S-3.4	ROOF FRAMING PLAN
S-4.0	WALL BRACING DETAILS
S-41	WALL BRACING DETAILS

WALL BRACING DETAILS TYPICAL FOUNDATION DETAILS

LIGHT REQ'DLIGHT SUPP VENT REQ'D VENT SUPP

4.56 9.80 2.28

15.20 27.40 7.60 11.80

17.28 35.10 8.64 15.00

26 N/A N/A 1.12 50.00

GATHERING ROOM 238 18.24 68.50 9.12 29.50

KITCHEN/NOOK 396 31.84 58.90 15.92 29.80

OWNER'S SUITE 209 16.72 35.10 8.36 15.00

 RETREAT/DRESS
 107
 8.56
 23.40
 4.28
 10.00

 BEDROOM 2
 171
 13.68
 23.40
 6.84
 10.00

BEDROOM 3 153 12.24 23.40 6.84 10.00 BEDROOM 4 132 10.56 11.70 5.28 5.00

 OWNER'S BATH
 141
 N/A
 25.20
 155.10
 200.00

 TOILET ENCLOSURE
 18
 N/A
 N/A
 19.8
 50.00

OFFICE W/LOUNGE 73 5.84 27.40 2.92 11.80

EXT. GATHER. RM 286 22.88 68.50 11.44 29.50 BATH 1 45 N/A 5.20 49.50 50.00

86 N/A N/A 94.60 100.00 51 N/A 8.50 56.10 60.00 156 12.48 27.40 6.24 11.80

114 9.12 27.40 4.56 11.80

DINING ROOM 168 13.44 27.40 6.72 11.80

NOTES

TYPICAL FOUNDATION DETAILS
TYPICAL FOUNDATION DETAILS

7 Medina edina,

Division

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PRODUCTION MANAGE RICK STARKEY CURRENT RELEASE DATE: 03/27/20 REV # | DATE / DESCRIPTION

SINGLE FAMILY

RIVER OAKS **LOT 100**

GARAGE LEFT

TBD

DRESDEN

LEGACY PLAN NUMBER / NAM PLAN 3627