

APPROVED: _____ DATE _____
STAFF APPROVAL

APPROVED: _____ DATE _____
ENGINEERING DEPT. APPROVAL

APPROVED: _____ DATE _____
LANDSCAPE ARCHITECT APPROVAL

****PRIMARY BENCHMARK:****
TOC/BOC ELEV @ P/L
IN FRONT OF SUBLOT'S 99/100
ELEV. = 1004.67

****SECONDARY BENCHMARK****
TOP STEM OF HYDRANT
IN FRONT OF SUBLOT'S 98/99
ELEV. = 1010.37

****THE CONTRACTOR MUST CHECK THE
BENCHMARK WITH THE CURB GRADES
PRIOR TO DIGGING THE FOUNDATION.****

BUILDER: PULTE HOMES OF OHIO, LLC.
ADDRESS: 387 MEDINA ROAD SUITE 1700, MEDINA, OHIO 44256
PHONE: 330-239-1587

OWNER: _____
ADDRESS: _____
PHONE: _____

NOTE:
ALL PROPOSED FOOTERS WILL REQUIRE SURVEY
CERTIFICATION ONCE SET AND PRIOR TO THE
COMPLETION OF HOME CONSTRUCTION

CURVE TABLE					
CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING
CT	102.63'	430.00'	51.56'	102.39'	S16°24'36"W
C2	209.44'	400.00'	107.18'	207.06'	S14°33'31"W
C-A	69.91'	400.00'	35.05'	69.82'	S04°33'56"W

INITIAL SITE BENCHMARK:
SUMMIT COUNTY GEODETIC MONUMENT HU 118
STATE PLAN COORDINATE
N 572,745.649
E 2,250,912.641
ELEVATION = 1006.912 NAVD 1988

NOTES:
DOWNSPOUTS TO BE CONNECTED TO
STORM SEWER CONNECTION
SUMP PUMP REQUIRED FOR FOOTER DRAINS

NOTE:
PURCHASER TO INSTALL
MINIMUM OF 3 TREES
PER MUNICIPAL REQUIREMENTS

NOTE:
PURCHASER TO INSTALL LANDSCAPING PER CITY
OF HUDSON LANDSCAPING REQUIREMENTS.

NOTE:
PER ARB, EGRESS WINDOW WELLS SHOULD BE NO
MORE THAN 6" ABOVE FINISHED GRADE

GRAPHIC SCALE



(IN FEET) 1 inch = 20 ft.

DATE OF SURVEY:
MARCH 28th, 2017

TYPE OF HOUSE:
PLAN# DRESDEN
ELEVATION: 1 W/9' GRDN BSMT
GAR: 3 CAR SIDE LEFT W/FIREPLACE
& EXTENDED GATHERING ROOM

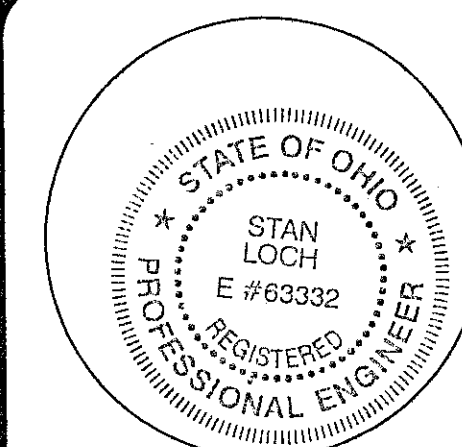
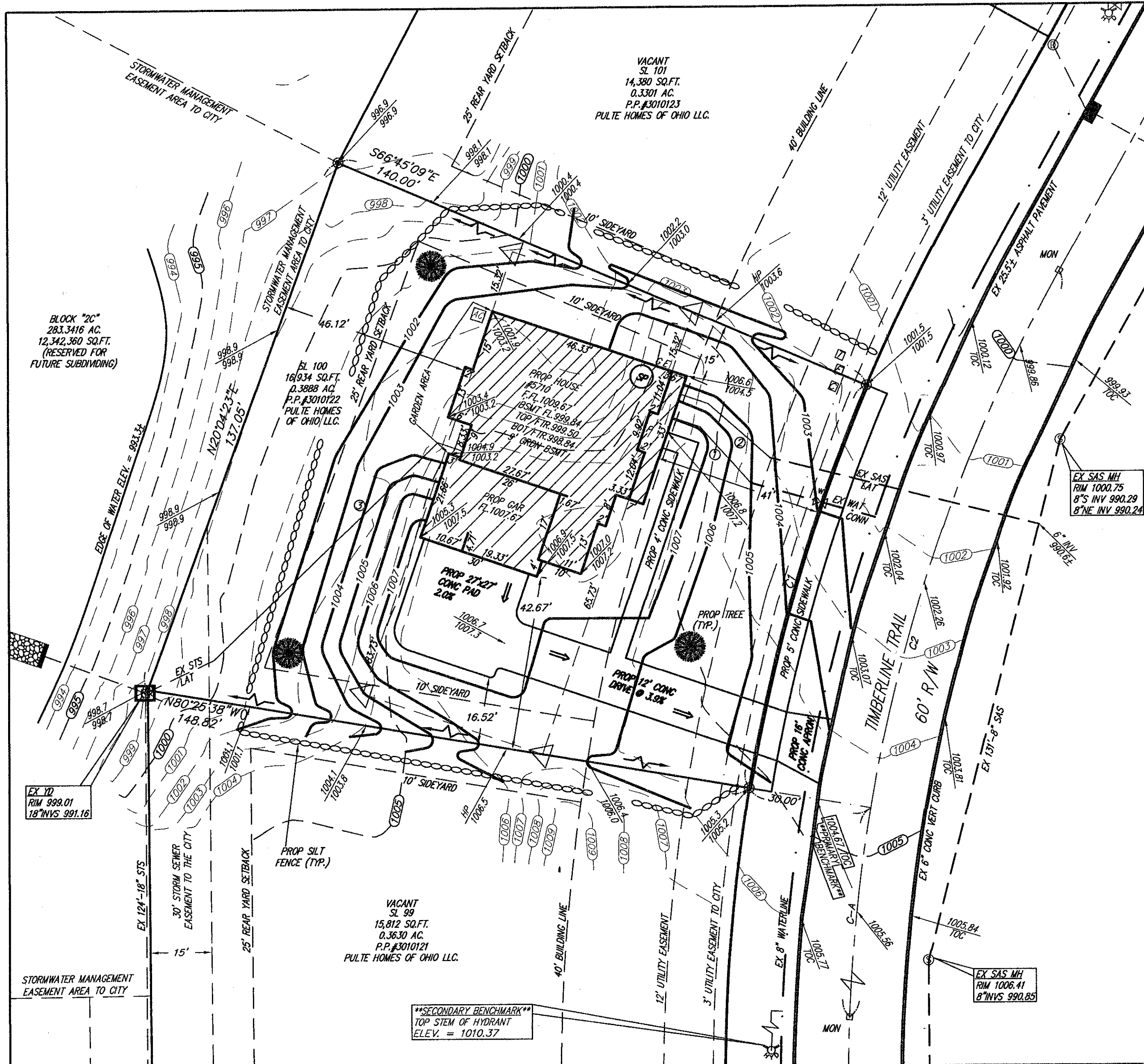
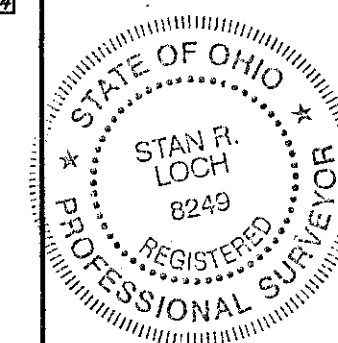
PERCENTAGE OF
LOT COVERAGE = 25.8%

HOUSE COVERAGE = 2,622 SQ.FT.
DRIVEWAY COVERAGE = 1,512 SQ.FT.
WALKWAY COVERAGE = 238 SQ.FT.
TOTAL COVERAGE = 4,372 SQ.FT.

- ① = PROP 1" WAT CONN
② = PROP 6" PVC SAS CONN @
1.0% MIN 10% MAX
③ = PROP 6" PVC STS CONN @
1.0% MIN 10% MAX

LEGEND:

- = PROPOSED TREE
□ = PROP MONUMENT
⊕ = EX CURB INLET
⊙ = EX SANITARY MANHOLE
⊙ = IRON PIN SET
5/8"x30" REBAR
CAPPED "AZTECH #8249"
— = EXISTING GRADE
— = PROPOSED GRADE
— = SILT FENCE
⊕ = EX HYDRANT
⊕ = EX WATER VALVE
⊕ = SUMP PUMP
⊕ = EX STORM MANHOLE
— = SWALE
→ = FLOW ARROW
⊕ = ELECTRIC STUB
⊕ = CABLE PEDESTAL
⊕ = TELEPHONE PEDESTAL
⊕ = TRANSFORMER BOX
⊕ = AIR CONDITIONER
E = ELECTRIC CONNECTION
G = GAS CONNECTION
▽ = OFFSET HUB
☆ = LIGHT POST



I CERTIFY THAT THIS PLAN WAS
PREPARED BY ME AND IS CORRECT TO
THE BEST OF MY KNOWLEDGE AND
BELIEF.

4-24-17
STAN R. LOCH P.E. #63332 DATE

5425 WARNER ROAD - SUITE 12
VALLEY VIEW, OHIO 44125
440-602-9071

AZTECH
FAX 216-369-0259

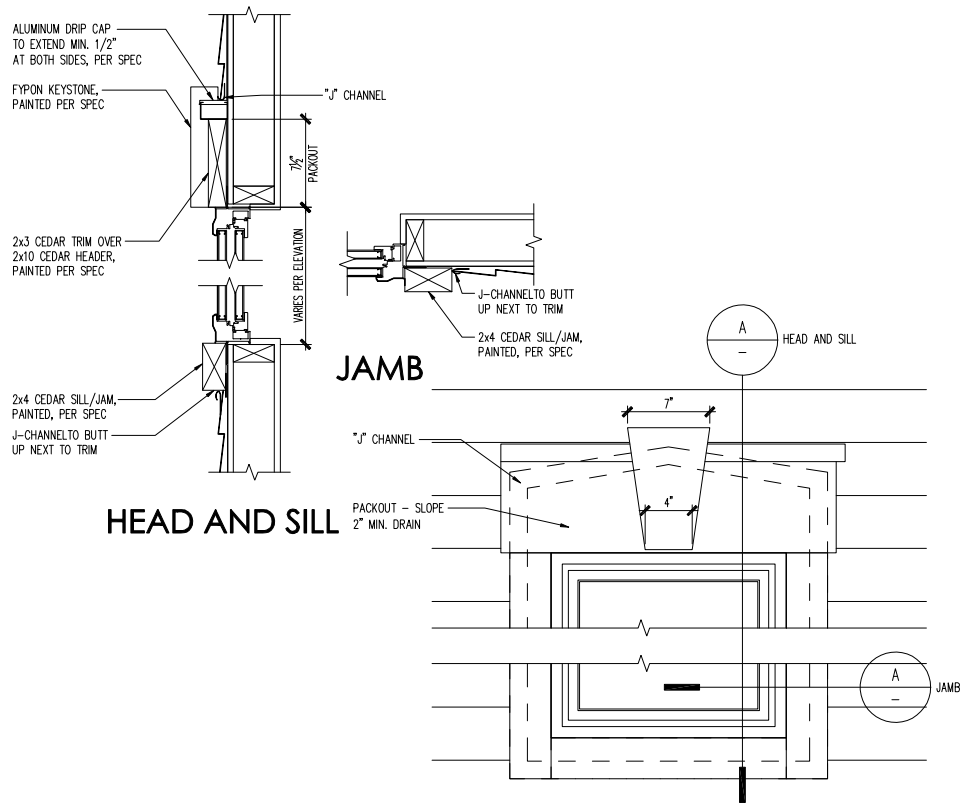
ENGINEERING and SURVEYING
Civil Engineering · Land Surveying

SHEET CONTENT

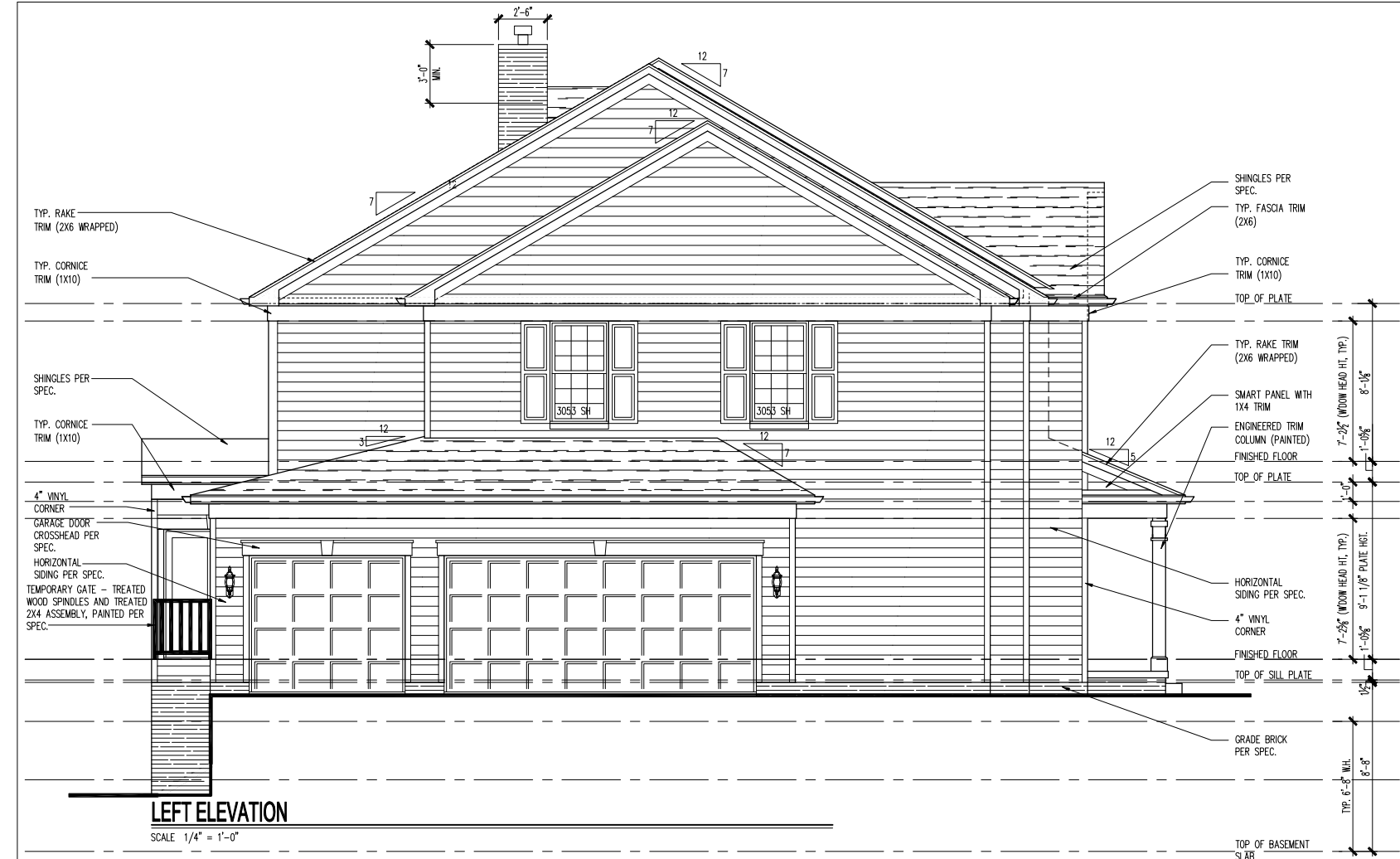
SITE PLAN
FOR
PULTE HOMES
SUBLOT 100
5710 TIMBERLINE TRAIL
IN THE
RESERVE AT RIVER
OAKS SUBDIVISION PH.2
SITUATED IN THE
CITY OF HUDSON
COUNTY OF SUMMIT
STATE OF OHIO

REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	4/24/17	REVISE PER CITY	KEG

HORIZ. SCALE		VERT. SCALE	
1" = 20'		DATE	
DRAWN BY		4-3-2017	
KEG		DRAWING NO	
CHECKED BY		River Oaks 2	
SRL		SHEET	
JOB NO		1 OF 1	
20142977-2			

[illegible]

PROJECT TYPE	SINGLE FAMILY
COMMUNITY NAME	RIVER OAKS
	LOT 100
LAWSON COMMUNITY ID	_____
GARAGE HANDING	GARAGE LEFT
SPECIFICATION LEVEL	TBD
PLAN NAME	DRESDEN
NPC PLAN NUMBER	1760
LAWSON PLAN ID	_____
LEGACY PLAN NUMBER / NAME	PLAN 3627



LEFT ELEVATION

SCALE 1/4" = 1'-0"

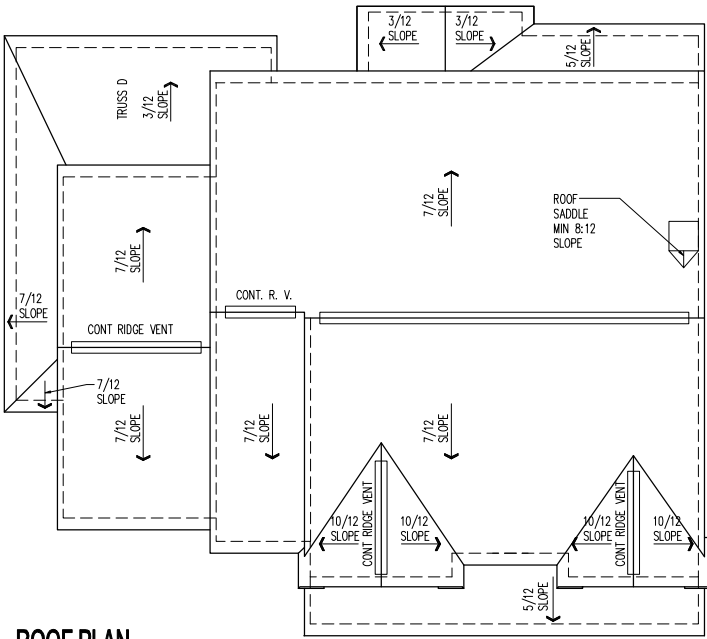


RIGHT ELEVATION

SCALE 1/4" = 1'-0"

- 46' - 0"

ATTIC VENTILATION SCHEDULE													
1 ELEVATION	LOC	AREA	REQ'D	SUPP	AREA	REQ'D	SUPP	AREA	REQ'D	SUPP	AREA	REQ'D	SUPP
	TRUSS D												
	RIDGE	325	0.54	2.19	1729	2.88	5.88	336	0.56	1.31			
	EAVE		0.54	2.19		2.88	4.89		0.56	1.31			
TOTAL			1.08	4.38		5.76	10.77		1.12	2.62			



ROOF PLAN

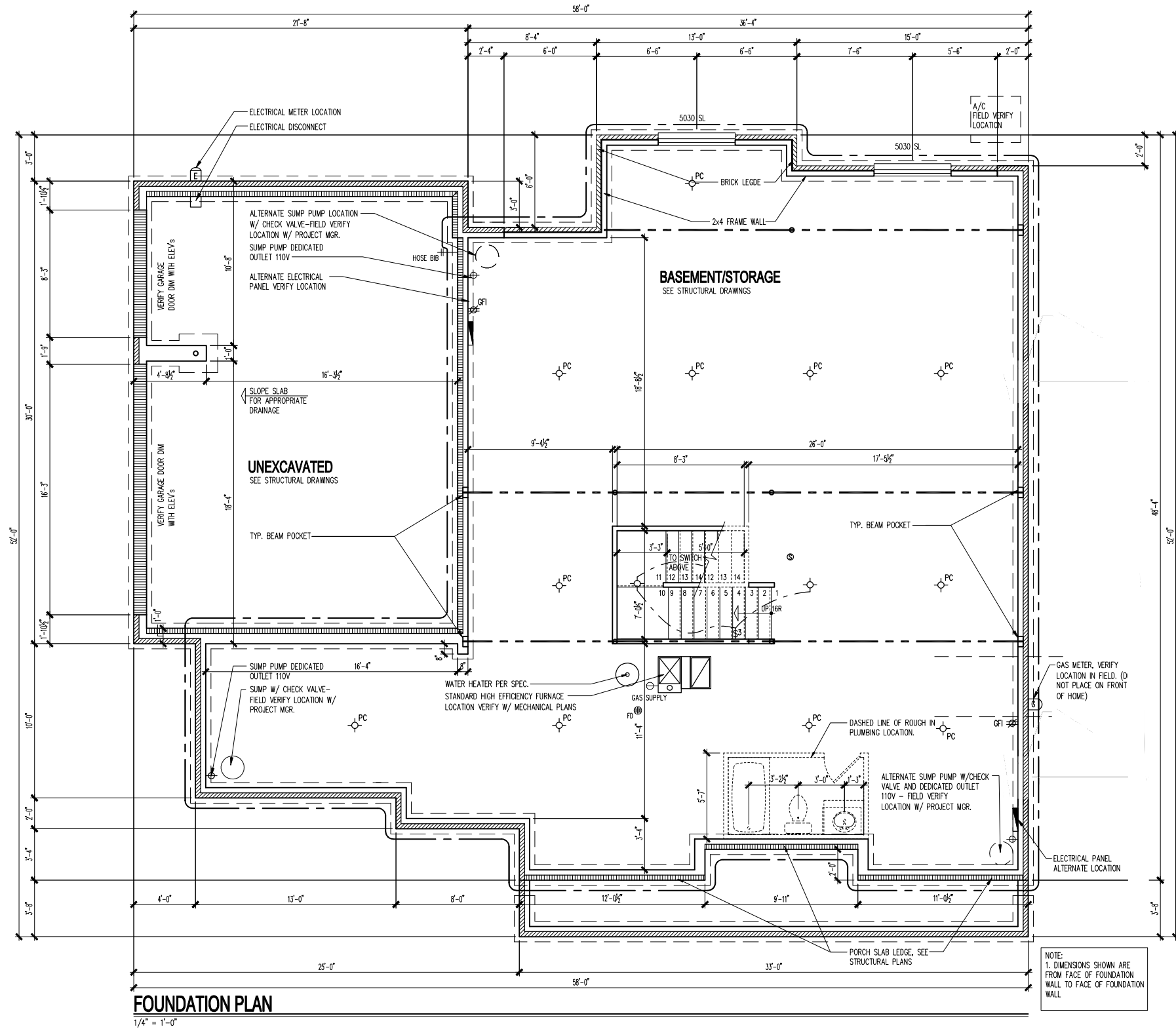
SCALE 1/8" = 1'-0"

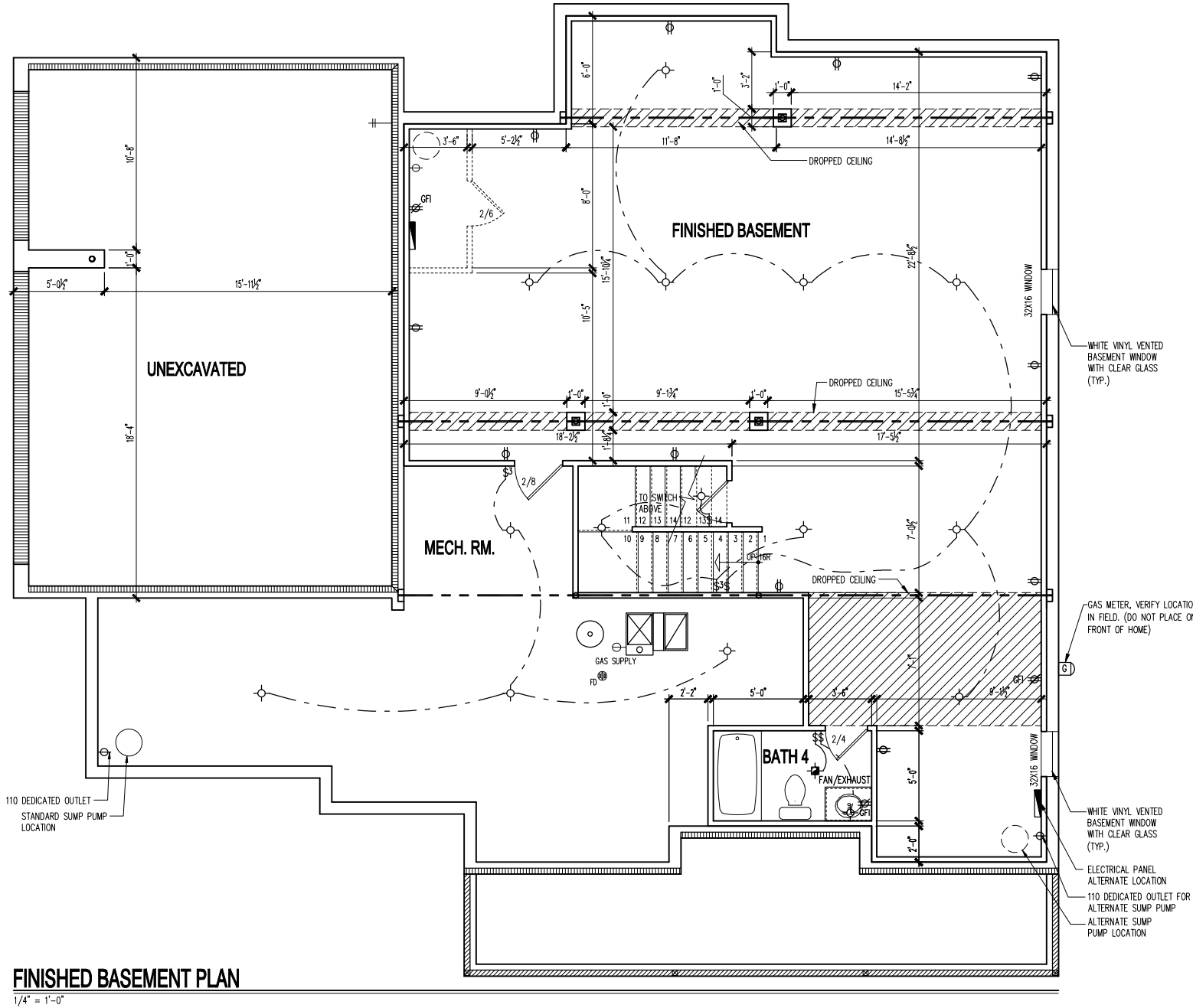
PRODUCTION MANAGER	
RICK STARKEY	
CURRENT RELEASE DATE: 03/27/2017	
REV #	DATE / DESCRIPTION
△	
△	
△	
△	
△	
△	
△	
△	
△	

PROJECT TYPE	
SINGLE FAMILY	
COMMUNITY NAME	
RIVER OAKS LOT 100	
LAWSON COMMUNITY ID	

GARAGE HANDING	
GARAGE LEFT	
SPECIFICATION LEVEL	
TBD	
PLAN NAME	
DRESDEN	
NPS PLAN NUMBER	
1760	
LAWSON PLAN ID	

LEGACY PLAN NUMBER / NAME	
PLAN 3627	





FINISHED BASEMENT PLAN



Cleveland Division
 387 Medina Rd. Suite 1700
 Medina, OH 44256

Finished Basement Plan

PRODUCTION MANAGER	
RICK STARKEY	
CURRENT RELEASE DATE: 03/27/2017	
REV #	DATE / DESCRIPTION
△	
△	
△	
△	
△	
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△	
△	
△	

PROJECT TYPE
 SINGLE FAMILY

COMMUNITY NAME
 RIVER OAKS
 LOT 100
 LANSON COMMUNITY ID
 -

GARAGE HANDING
 GARAGE LEFT

SPECIFICATION LEVEL
 TBD

PLAN NAME
 DRESDEN
 NPS PLAN NUMBER
 1760
 LANSON PLAN ID
 -
 LEGACY PLAN NUMBER / NAME
 PLAN 3627

SHEET
 2.00

[illegible]

PROJECT TYPE
SINGLE FAMILY

COMMUNITY NAME	RIVER OAKS LOT 100
LAWSON COMMUNITY ID	

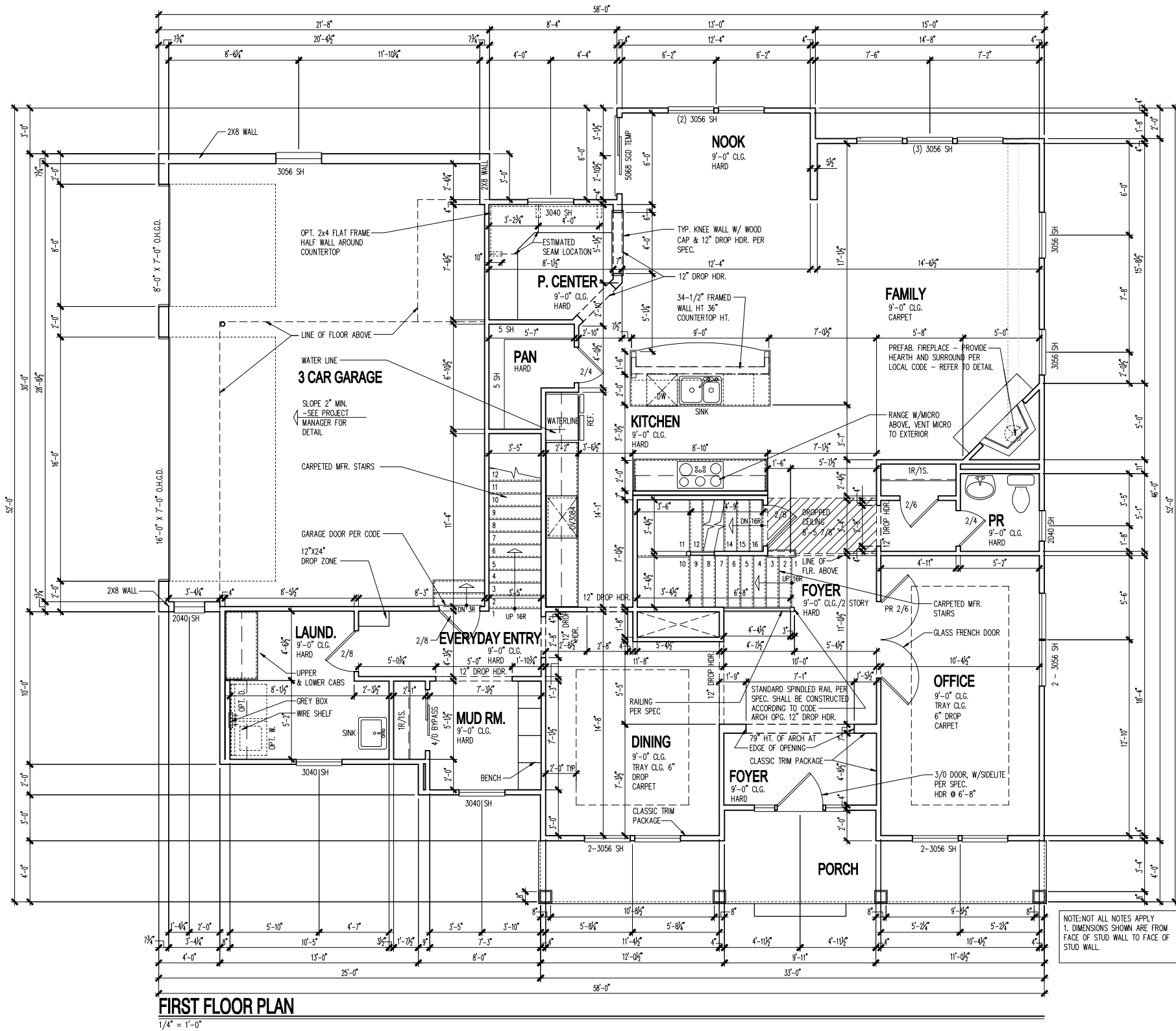
GARAGE HANDING GARAGE LEFT

SPECIFICATION LEVEL
TBD

PLAN NAME	DRESDEN
NPC PLAN NUMBER	1760
LAWSON PLAN ID	---
LEGACY PLAN NUMBER / NAME	PLAN 3627

SHEET

2.10a



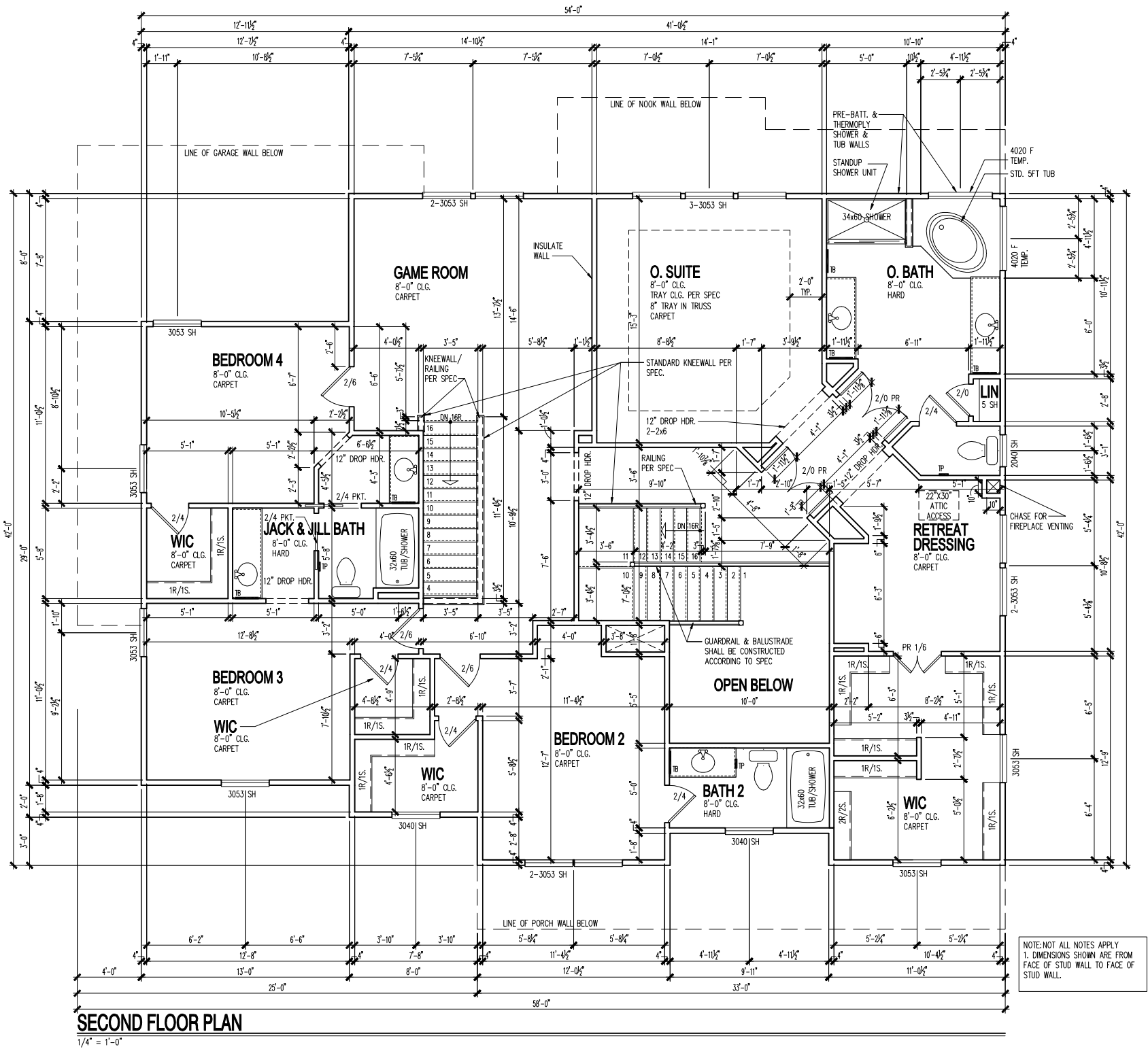


Second Floor Plan

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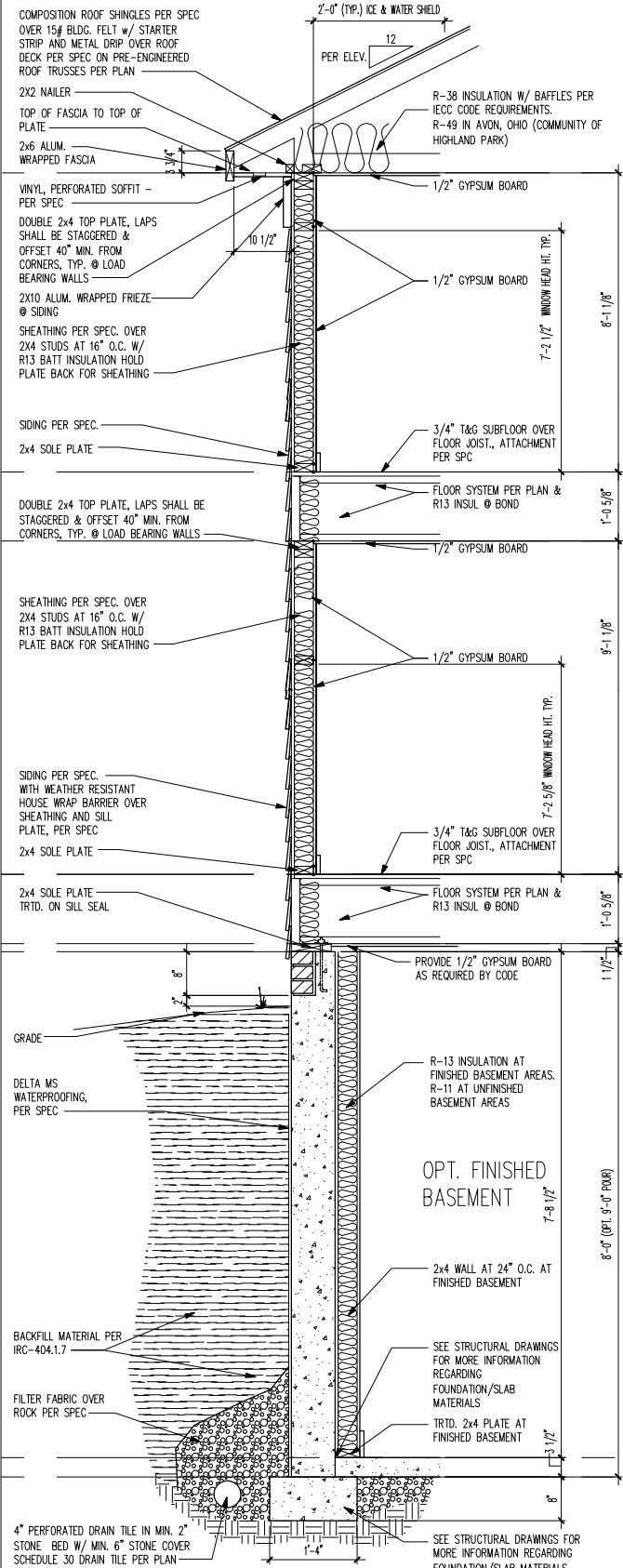
PROJECT TYPE	SINGLE FAMILY
COMMUNITY NAME	RIVER OAKS LOT 100
LAWSON COMMUNITY ID	_____
GARAGE HANDING	GARAGE LEFT
SPECIFICATION LEVEL	TBD
PLAN NAME	DRESDEN
NPC PLAN NUMBER	1760
LAWSON PLAN ID	_____
LEGACY PLAN NUMBER / NAME	PLAN 3627

SHEET
2.20a



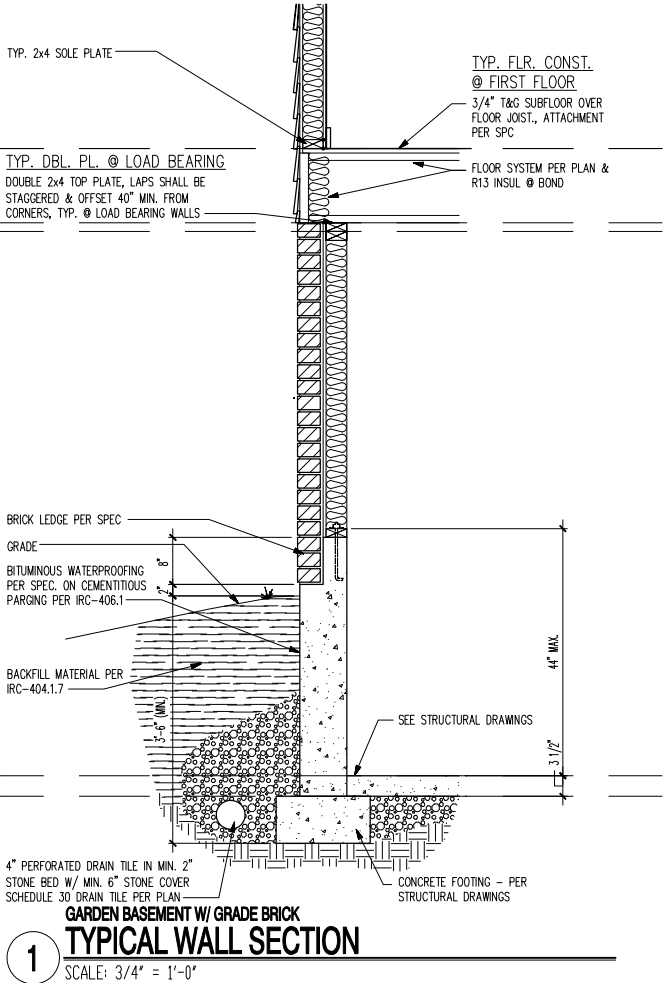
SECOND FLOOR PLAN

$$\overline{1/4^n} = 1' - 0^n$$



NOTE:
I-JOISTS, PER SPEC. REFER TO
JOIST LAYOUTS PROVIDED BY OTHERS

PRODUCTION MANAGER	
RICK STARKEY	
CURRENT RELEASE DATE: 03/27/2017	
REV #	DATE / DESCRIPTION
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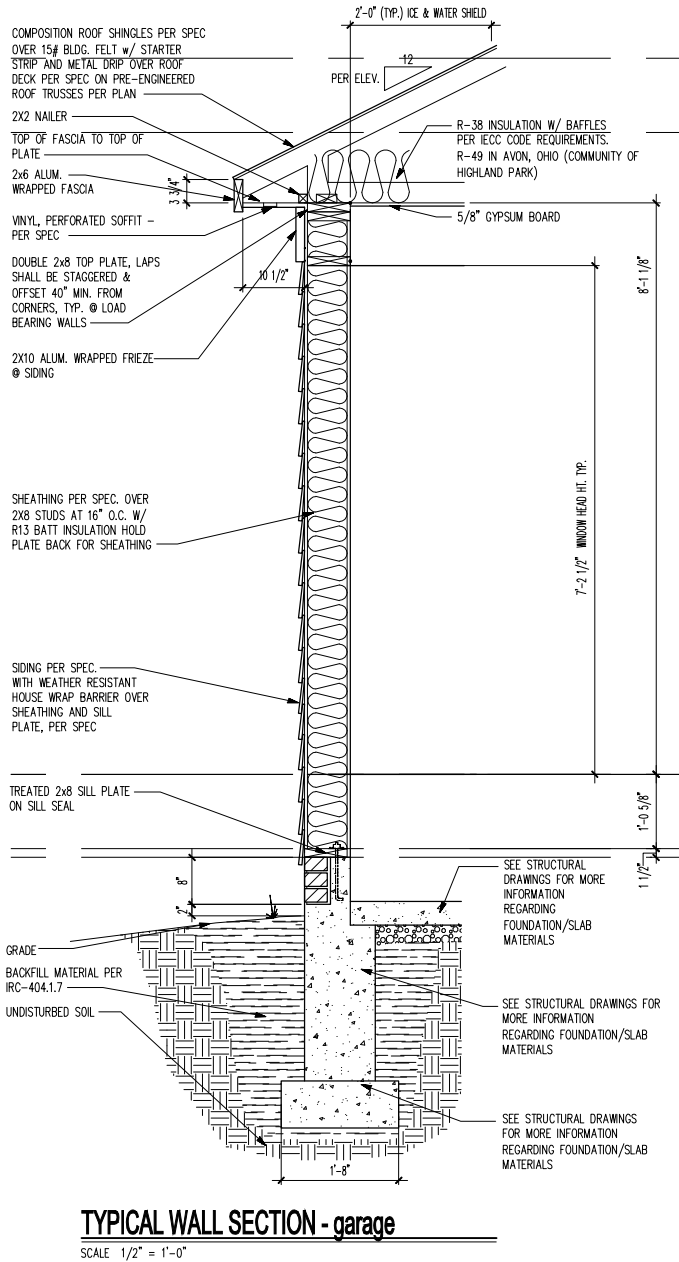


PRODUCTION MANAGER	
Andy Kunz	
CURRENT RELEASE DATE: 04/17/2015	
REV #	DATE / DESCRIPTION
--	08/20/2014
--	09/08/2014
--	09/12/2014
--	09/29/2014
--	01/09/2015
--	01/14/2015
--	04/17/2015
--	
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PROJECT TYPE	SINGLE FAMILY
COMMUNITY NAME	RIVER OAKS
LANSON COMMUNITY ID	
GARAGE HANDING	GARAGE LEFT
SPECIFICATION LEVEL	TBD
PLAN NAME	HOLBROOK
NRC PLAN NUMBER	TBD
LANSON PLAN ID	
LEGACY PLAN NUMBER / NAME	PLAN 3140
SHEET	9.40

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

ENGINEER OF RECORD: MULHERN & KULP ENGINEERING
 ARCHITECT OF RECORD: GODOLCO DESIGN - ARCHITECTS

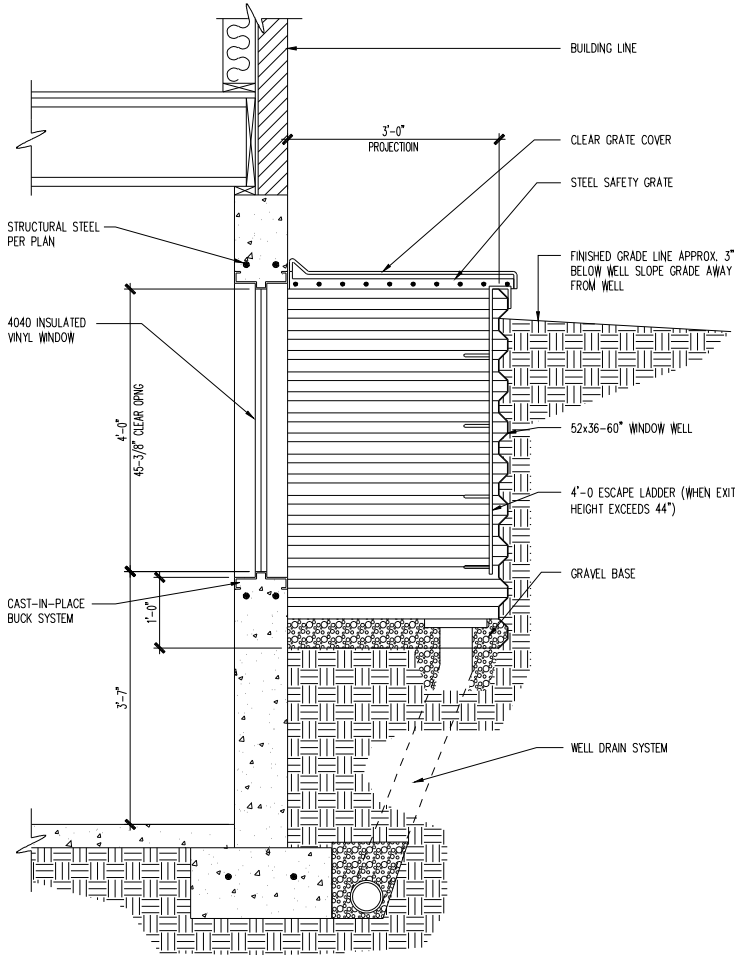


PRODUCTION MANAGER	
RICK STARKEY	
CURRENT RELEASE DATE: 03/27/2017	
REV #	DATE / DESCRIPTION
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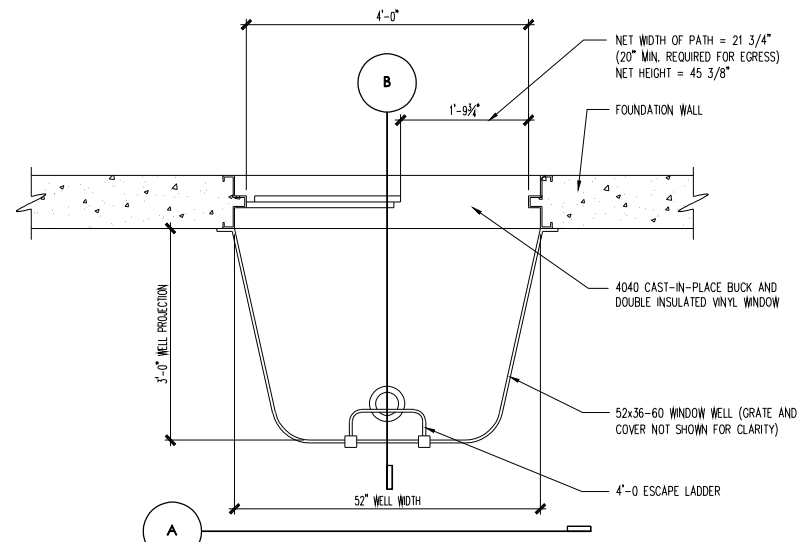
PROJECT TYPE	
SINGLE FAMILY	
COMMUNITY NAME	
RIVER OAKS LOT 100	
LAWSON COMMUNITY ID	

GARAGE HANDING	
GARAGE LEFT	
SPECIFICATION LEVEL	
TBD	
PLAN NAME	
DRESDEN	
NPS PLAN NUMBER	
1760	
LAWSON PLAN ID	

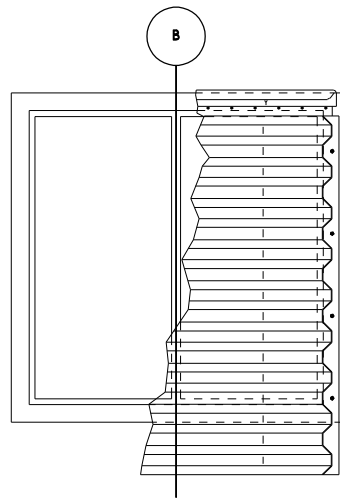
LEGACY PLAN NUMBER / NAME	
PLAN 3627	



B
 TYPICAL ESCAPE WINDOW WELL
 SC. 3/4" = 1'-0" DETAIL SECTION



M-06
 TYPICAL ESCAPE WINDOW WELL
 SC. 3/4" = 1'-0" PLAN VIEW



A
 TYPICAL ESCAPE WINDOW WELL
 SC. 3/4" = 1'-0" ELEVATION



OHIO DIVISION LOT - 100

RIVER OAKS

DRESDEN

1 - GENERAL BUILDING & DESIGN REQUIREMENTS	5 - METALS	GENERAL FRAMING SPECS AND CONSTRUCTION NOTES STAIRS:	LIGHT & VENT CALCULATIONS:
1) THE ATTACHED PLANS & SPECIFICATIONS ARE THE SOLE PROPERTY OF PULTE HOMES INC. ANY UNAUTHORIZED USE OF THESE PLANS WITHOUT PRIOR WRITTEN CONSENT OF PULTE HOMES INC. IS STRICTLY PROHIBITED. 2) PULTE HOMES INC. DESIGNS & BUILDS HOUSING AS SET FORTH BY THE FORMAT AND PROVISIONS OF THE RESIDENTIAL CODE OF OHIO (RCO), AND THE NATIONAL ELECTRIC CODE (NEC). ANY NON-CONFORMING DOCUMENTS DISCOVERED BY THE CONTRACTOR OR HIS AGENTS SHALL BE CALLED TO THE IMMEDIATE ATTENTION OF PULTE HOMES INC. BY CALLING (651) 452-5200. 3) THESE PLANS ARE SUBJECT TO MODIFICATIONS TO MEET CODE REQUIREMENTS AND/OR TO FACILITATE MECHANICAL / ELECTRICAL / PLUMBING INSTALLATION AND/OR TO IMPLEMENT DESIGN IMPROVEMENTS. ANY INTENTION TO MODIFY THESE PLANS MUST BE APPROVED IN WRITING BY PULTE HOMES INC. 4) CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AFFECTING CONTRACTOR'S PRODUCTS, INSTALLATIONS, OR FABRICATIONS IN THE FIELD PRIOR TO EXPEDITING THE CONSTRUCTION OF SUCH WORK. FIELD VERIFY ALL DIMENSIONS - DO NOT SCALE DRAWINGS!! CONTRACTOR IS RESPONSIBLE FOR SURVEYING THE PROJECT AND BECOMING FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK INCLUDING BUT NOT LIMITED TO SITE AND SOIL BEARING CONDITIONS. 5) ERRORS AND OMISSIONS WHICH MAY OCCUR IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, IN WRITING, AND WRITTEN INSTRUCTION SHALL BE OBTAINED PRIOR TO PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY ERRORS, DISCREPANCIES, OR OMISSIONS FOR WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT PRIOR TO CONSTRUCTION AND/ OR FABRICATION OF THE WORK.		1) THE MAXIMUM RISER HEIGHT SHALL BE 7 3/4 INCHES (210 MM) AND THE MINIMUM TREAD DEPTH SHALL BE 10 INCHES (229 MM). 2) HANDRAILS HAVING MINIMUM AND MAXIMUM HEIGHTS OF 34 INCHES AND 38 INCHES SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS. 3) HANDRAIL AND BALUSTRADE (WHERE PRESENT) SHALL BE CONSTRUCTED PER CODE 4) ALL REQUIRED HAND RAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS W/ 2 OR MORE RISERS FROM A POINT ABOVE THE TOP RISER OF A FLIGHT TO A POINT ABOVE THE LOWEST RISER OF THE FLIGHT. ENDS SHALL BE RETURNED OR SHALL TERMINATE AT NEWEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1.5" BETWEEN THE WALL AND HAND RAIL.	
	6 - WOOD AND PLASTICS		
	7 - THERMAL & MOISTURE PROTECTION	WALLS: FLOORS: FRAMING:	
	8 - DOORS AND WINDOWS		
2 - SITE CONSTRUCTION			
3 - CONCRETE	15 - MECHANICALS	ROOF:	
	16 - ELECTRICAL		Control Date
4 - MASONRY	APPLICABLE CODES:	SQUARE FOOTAGE INDEX:	

PLAN SHEET INDEX	
SHT.	DESCRIPTION
0.00	COVER SHEET
1.30a	FULL BASEMENT FOUNDATION PLAN
2.00	FINISHED BASEMENT PLAN
2.10a	FIRST FLOOR PLAN
2.11a	PLAN DETAILS
2.11b	PLAN DETAILS
2.11c	PLAN DETAILS
2.20a	SECOND FLOOR PLAN
3.30a	TYPICAL BUILDING SECTIONS
3.30b	TYPICAL BUILDING SECTIONS
3.31a	TYPICAL WALL SECTIONS
3.31b	TYPICAL WALL SECTIONS
6.10	FIRST FLOOR ELECTRICAL PLAN
6.11	SECOND FLOOR ELECTRICAL PLAN
7.01a1	ELEVATION "1" - FRONT AND REAR ELEVATIONS
7.01a2	ELEVATION "1" - SIDE ELEVATIONS AND ROOF PLAN
S-1.0	FOUNDATION/FIRST FLOOR FRAMING PLAN
S-1.0A	FOUNDATION/FIRST FLOOR FRAMING PLAN
S-1.1	FOUNDATION/FIRST FLOOR FRAMING PLAN
S-1.2	FOUNDATION/FIRST FLOOR FRAMING PLAN
S-1.3	FOUNDATION/FIRST FLOOR FRAMING PLAN
S-2.0	SECOND FLOOR FRAMING PLAN
S-2.1	SECOND FLOOR FRAMING PLAN
S-2.2	SECOND FLOOR FRAMING PLAN
S-2.3	SECOND FLOOR FRAMING PLAN
S-3.0	ROOF FRAMING PLAN
S-3.1	ROOF FRAMING PLAN
S-3.2	ROOF FRAMING PLAN
S-3.3	ROOF FRAMING PLAN
S-3.4	ROOF FRAMING PLAN
S-4.0	WALL BRACING DETAILS
S-4.1	WALL BRACING DETAILS
SD.01	TYPICAL FOUNDATION DETAILS
SD.02	TYPICAL FOUNDATION DETAILS
SD.03	TYPICAL FOUNDATION DETAILS

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

ENGINEER OF RECORD: MULHERN & KULP, ENGINEERING
ARCHITECT OF RECORD: GODOUC DESIGN - ARCHITECTS

Cleveland Division
387 Medina Rd. Suite 1700
Medina, OH 44256

Cover Sheet
Specifications & General Notes

PRODUCTION MANAGER
RICK STARKEY
CURRENT
RELEASE DATE: 03/27/2017
REV # / DATE / DESCRIPTION
△
△
△
△
△
△
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△
△
△

PROJECT TYPE
SINGLE FAMILY

COMMUNITY NAME
RIVER OAKS
LOT 100
LAWSON COMMUNITY ID
—

GARAGE HANDING
GARAGE LEFT

SPECIFICATION LEVEL
TBD

PLAN NAME
DRESDEN
NPS PLAN NUMBER
1760
LAWSON PLAN ID
—
LEGACY PLAN NUMBER / NAME
PLAN 3627

SHEET
0.00

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